



## FLORISSANT CITY COUNCIL AGENDA

City Hall

955 rue St. Francois

Monday, May 10, 2021

7:00 PM

Karen Goodwin, MMC/MRCC



Due to COVID-19 pandemic and by Order of the St. Louis County Executive, the Council meeting will be conducted remotely with the City Council, Mayor, City Attorney, City Clerk, staff and residents being allowed to attend through a Zoom platform. The meeting will also be available to watch via live streaming on Facebook.

The public will be allowed to speak during “Hearing from Citizens” by attending via the Zoom link and typing your name and address in the “Chat” tab prior to or during that portion of the meeting. The public is also invited to submit written comments via email to [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com) prior to 3 pm on Monday, May 10, 2021. Such public comments, provided they comply with the City’s guidelines found in section 110.090 of the Florissant City Code, will be read during the meeting and made a part of the official record of the meeting.

There are several Public Hearings scheduled during this meeting. The public is invited to provide comments on any Public Hearing in the following ways:

- Written comments sent prior to 3 pm on Monday May 10, 2021 to [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com). Provided such comments comply with the City Code section 110.090, they will be read as a part of the public hearing for which the comment is addressed.
- Participate in the virtual meeting by offering comments when the public hearing is opened for that application. Participants will be prompted by the Council President after they submit their **name and address** in the “Chat” tab during that public hearing.

Residents are invited to attend the zoom meeting by the following methods:

As a matter of precaution, the Zoom meeting ID number and Password will be made available at Florissantmo.com, on the City of Florissant Facebook page at <https://www.facebook.com/Florissant.mo.us/>, and on the bulletin board in the Lobby at City hall, at 6pm on Monday May 10, 2021. If you need additional assistance please contact the City Clerk at [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).

Thank you for your patience and understanding regarding our meeting format change. It is extremely important that extra measures be taken to protect, employees, residents and elected officials during these challenging times.

***I. PLEDGE OF ALLEGIANCE***

***II. ROLL CALL OF MEMBERS***

***III. APPROVAL OF MINUTES***

- City Council Meeting minutes of April 26, 2021
- Council Executive session minutes of April 26, 2021

***IV. ELECTION OF COUNCIL OFFICERS***

***V. PROCLAMATIONS***

- Police Week

***VI. HEARING FROM CITIZENS***

***VII. COMMUNICATIONS***

***VIII. PUBLIC HEARINGS***

CDBG PH Annual Plan	Public Hearing for Fiscal Year 2021-2025 Consolidated Plan & the Florissant Community Development Block Grant Program (CDBG).	Carol O'Mara
21-05-012 (Ward 6) Application Staff Rept Plans	Request to amend Special Use Permit No. 7321 to allow for the expansion of Clement Olympic Motors located at 1760, 1780 and 1790 N Hwy 67. (Planning and Zoning Commission recommended approval on 4/19/21)	Paniel Raj Clement

***IX. OLD BUSINESS***

***A. BILLS FOR SECOND READING***

9673	Ordinance authorizing an amendment to B-5 ordinance no. 5733 as amended, to allow the removal of siding located at 2341 N. Highway 67.	2 <sup>nd</sup> Reading Siam
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9674	Ordinance authorizing an amendment to Special Use Ordinance no. 8068, as transferred, to allow for the addition of a detached walk-in cooler and bus parking located at 300 St. Ferdinand.	2 <sup>nd</sup> Reading Schildroth
9675	Ordinance authorizing a Special use Permit to Bank of America to allow for an ATM in the parking lot located at 428 Howdershell.	2 <sup>nd</sup> Reading Eagan
9676	Ordinance authorizing a Special Use Permit for SFP Enterprises, Inc. d/b/a Busloop Burgers to the operation of a carry-out restaurant located at 2632 N. Hwy 67.	2 <sup>nd</sup> Reading Siam
9677	Ordinance authorizing a Special Use Permit for Jordan & Johnson Enterprise LLC, d/b/a Creations Smoothies located at 147 Flower Valley Shopping Center to allow for the operation of a sit-down, carry-out restaurant.	2 <sup>nd</sup> Reading Siam
9678	Ordinance authorizing an amendment to section 520.050 “Ground Signs” subsection H “Temporary Signs” section 2 to allow for signage during road projects.	2 <sup>nd</sup> Reading Schildroth
9680 Memo	Ordinance amending Title III of the Florissant City Code, Schedule III Table III-B “Two-Way Stops” by adding “St. Michael at Aubuchon”	2 <sup>nd</sup> Reading Mulcahy

## ***X. NEW BUSINESS***

### ***A. BOARD APPOINTMENTS***

### ***B. REQUESTS***

SPU Transfer (Ward 6) Application	Request to authorize a transfer of Special Use permit no. 8025 from Monro Muffler, Inc D/B/A Auto Tire to RNR of Missouri, LLC d/b/a RNR Tire Express for the operation of an automotive service garage located at 530 N. Hwy 67.	Steven Carrico
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### ***C. BILLS FOR FIRST READING***

9682	Ordinance authorizing an amendment to Special Use Permit No. 7321 to allow for the expansion of Clement Olympic Motors located at 1760, 1780 and 1790 N Hwy 67.	Mulcahy
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9683	Ordinance authorizing a transfer of Special Use Permit no. 8025 from Monro Muffler, Inc d/b/a Auto Tire to RNR of Missouri, LLC d/b/a RNR Tire Express for the operation of an automotive service garage located at 530 N. Hwy 67.	Mulcahy
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***XI. COUNCIL ANNOUNCEMENTS***

***XII. MESSAGE FROM THE MAYOR***

***XIII. ADJOURNMENT***

**THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON MAY 7, 2021 AT 12:00 PM ON THE BULLETIN IN THE LOBBY AT CITY HALL. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, MAY 10, 2021.**



# CITY OF FLORISSANT



## COUNCIL MINUTES

April 26, 2021

Due to the Coronavirus (COVID-19) Pandemic, the Florissant City Council met in a virtual meeting through a Zoom platform on Monday, April 26, 2021 at 7:00 p.m. with Council President Schildroth presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Schildroth, Mulcahy, Pagano, Parson, Siam, Harris, Manganelli and Caputa. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

The City Attorney explained that the meeting was being conducted remotely because of the Coronavirus (COVID-19) Pandemic emergency. He stated that under the Sunshine Law, Section 610.015, when an emergency existed, the members of the City Council who are not physically present in the Council Chambers, can participate and vote remotely on all matters.

Councilman Parson moved to approve the City Council Minutes of April 12, 2021, seconded by Manganelli. Motion carried.

The next item on the Agenda was *Hearing from Citizens*.

Marvin Tobias, 826 Woodridge Ln, asked the city to consider posting the full budget to the website so residents can get a full line by line view of where monies are being spent. He also asked the council to consider quarterly updates or reports by the different departments. Mr. Tobias asked if there would be a legislative update based on bills that are be considered on the state level.

The next item on the Agenda was *Public Hearings*.

The City Clerk reported that Public Hearing 21-04-007 for the request to amend B-5 ordinance no. 5733 as amended, to allow the removal of siding located at 2341 N. Highway 67. The Chair declared the Public Hearing to be open.

Ashley Astor, Target Representative, stated the company is having issues with the faux wood siding at multiple stores across the country. Ms. Astor stated the original condition brick would be

32 restored for the building, but would also mean the current sign would change to a smaller red sign to  
33 better coordinate with the original brick. Councilman Caputa asked how this construction could be  
34 affecting customers coming into the store and asked who would be completing the contract. Ms. Astor  
35 stated the construction times were not clear on removing the siding, but customers should not see any  
36 interruptions on their shopping experiences and the contractors would be local or within the state. Ashley  
37 Astor stated in high winds and storms the siding would crack then fall and becoming a safety hazard at  
38 more than half the stores where the siding was installed. Ms. Astor recommended the city pay attention  
39 to the bracketing and installation on future siding of other stores and locations to prevent other stores  
40 having the same issues. Phil Lum, Building Commissioner, stated the siding has already been removed  
41 for emergency purposes which are allowed by code. Mr. Lum continued that permits are still required to  
42 make the change official.

43         Being no further comments, Councilman Siam moved to close the Public Hearing, seconded by  
44 Pagano. Motion carried.

45         The City Clerk reported that Public Hearing 21-04-008 for the request authorizing an amendment  
46 to Special Use Ordinance No. 8068, as transferred, to allow for the addition of a detached walk-in cooler  
47 and bus parking located at 300 St. Ferdinand. The Chair declared the Public Hearing to be open.

48         Bob Mannecke, Mann Meats, stated with the limited space in the restaurant, a walk-in cooler  
49 would be helpful to expand the business. Mr. Mannecke stated the old pad for the previous business's  
50 walk-in cooler will be used for their proposed cooler. Councilman Schildroth thanked Mr. Mannecke for  
51 being part of the community and expanding his business in Florissant.

52         Being no further comments, Councilman Schildroth moved to close the Public Hearing, seconded  
53 by Mulcahy. Motion carried.

54         The City Clerk reported that Public Hearing 21-04-009 for the request to approve a Special use  
55 Permit to add an ATM in the parking lot located at 428 Howdershell. The Chair declared the Public  
56 Hearing to be open.

57         Kelly Stedman, Bank of America Engineer, stated the bank is proposing a drive-up ATM in the  
58 parking lot and would be a standard facility. Councilman Eagan stated his concern with a tight turn when  
59 leaving the ATM and suggested arranging a day to meet on site to review the area.

60         Being no further comments, Councilman Eagan moved to close the Public Hearing, seconded by  
61 Manganelli. Motion carried.

62 The City Clerk reported that Public Hearing 21-04-010 for the request to approve a Special Use  
63 Permit for SFP Enterprises, Inc. d/b/a Busloop Burgers to the operation of a carry-out restaurant located  
64 at 2632 N. Hwy 67. The Chair declared the Public Hearing to be open.

65 Suzzetta Porter, Busloop Burgers, stated the restaurant is a quick service location which serves  
66 fresh burgers, fries, and homemade shakes and has been around since 1996. Ms. Porter stated the business  
67 would like to expand to Florissant for a carry-out only restaurant. Councilman Siam thanked Ms. Porter  
68 for expanding to Florissant and asked how many employees she intends to hire at the location. Suzzetta  
69 Porter stated they would have at least 20 employees working from 10:30 am to 9:30 pm Monday through  
70 Saturday and she hopes to be open and running by the first week in August. Councilman Parson noted  
71 issues with trash along the area and confirmed there will be trash receptacles for the customers to use.

72 Being no further comments, Councilman Siam moved to close the Public Hearing, seconded by  
73 Parson. Motion carried.

74 The City Clerk reported that Public Hearing 21-04-011 for the request to approve a Special Use  
75 Permit for Jordan & Johnson Enterprise LLC, d/b/a Creations Smoothies located at 147 Flower Valley  
76 Shopping Center to allow for the operation of a sit-down, carry-out restaurant. The Chair declared the  
77 Public Hearing to be open.

78 Kendall Johnson, Creations Smoothies, stated he wants to bring a healthy smoothie and snack  
79 shop to Florissant which will be located near the Planet Fitness in Flower Valley Shopping Center. Mr.  
80 Johnson stated they have a successful location in O'Fallon, Missouri near Dierbergs off T.R. Hughes and  
81 two other locations out of state. He stated the hours may change, but they would like to open around  
82 7:30am every day to catch people on their way to the gym in the morning. Mr. Johnson stated there will  
83 be tables inside the restaurant to accommodate 45 people without any restrictions. He hopes to open the  
84 business in late June or early July.

85 Being no further comments, Councilman Siam moved to close the Public Hearing, seconded by  
86 Manganelli. Motion carried.

87 The Chair stated that the next item on the agenda was *Second Readings*.

88 Councilman Schildroth moved that Bill No. 9671 an Ordinance authorizing supplemental budget  
89 adjustments to roll over Fiscal Year 2020 outstanding appropriations in various funds be read for a second  
90 time, seconded by Eagan. Motion carried and Bill No. 9671 was read for a second time.

91 Councilman Caputa moved that Bill No. 9671 be read for a third time, seconded by Pagano.  
92 Motion carried and Bill No. 9671 was read for a third and final time and placed upon its passage.

On roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes.

Whereupon the Chair declared Bill No 9671 to have passed and become Ordinance No 8681.

Councilman Mulcahy moved that Bill No. 9672 an Ordinance authorizing an appropriation of \$40,000 from the Capital Improvement Fund to budget account no. 03-5-06-61470 Capital Additions – Parks for the repairs on the Wiese House be read for the second time, seconded by Schildroth. Motion carried and Bill No. 9672 was read for the second time.

Councilman Mulcahy moved that Bill No. 9672 be read for the third time, seconded by Schildroth. Motion carried and Bill No. 9672 was read for the third and final time and placed upon its passage.

On roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes.

Whereupon the Chair declared Bill No 9672 to have passed and become Ordinance No. 8682.

The Chair stated that the next item on the agenda was *Board Appointments*.

Councilman Caputa moved to accept the Mayor's appointment of Charles Beem, 610 Creststone Dr, to the Citizen Police Review Board with a term expiring on 4/26/2024. Seconded by Councilman Eagan, motion carried and the appointment was made.

The Chair stated that the next item on the agenda was *Resolutions*.

The Council as a whole introduced Resolution 1028 "A Resolution of the Florissant City Council opposing the elimination of April Municipal elections". Councilman Caputa made a motion for a second reading, seconded by Siam. Motion carried, Resolution 1028 was read for a second time. Councilman Caputa made a motion for a third reading, seconded by Parson.

On roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes. Motion carried, Resolution 1028 was read for a third time. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes. Motion carried, Resolution 1028 passed and the resolution was read in its entirety.

The Council as a whole introduced Resolution 1029 "A Resolution of the Florissant City Council supporting Medicaid Expansion and its funding for the state of Missouri". Councilman Siam made a motion for a second reading, seconded by Schildroth. Motion carried, Resolution 1029 was read for the second time. Councilman Caputa made a motion for a third reading, seconded by Siam.

On roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes. Motion carried, Resolution 1029 was read for a third time. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes. Motion carried, Resolution 1029 passed and the resolution was read in its entirety.

The Chair stated that the next item on the agenda was *Bills for First Reading*.

Councilman Siam introduced Bill No. 9673 an Ordinance authorizing an amendment to B-5 ordinance no. 5733 as amended, to allow the removal of siding located at 2341 N. Highway 67 and said Bill was read for the first time by title only.

Councilman Schildroth introduced Bill No. 9674 an Ordinance authorizing an amendment to Special Use Ordinance no. 8068, as transferred, to allow for the addition of a detached walk-in cooler and bus parking located at 300 St. Ferdinand and said Bill was read for the first time by title only.

Councilman Eagan introduced Bill No. 9675 an Ordinance authorizing a Special Use Permit to Bank of America to allow for an ATM in the parking lot located at 428 Howdershell was read for the first time.

Councilman Siam introduced Bill No. 9676 an Ordinance authorizing a Special Use Permit for SFP Enterprises, Inc. d/b/a Busloop Burgers to the operation of a carry-out restaurant located at 2632 N. Hwy 67 was read for the first time.

Councilman Siam introduced Bill No. 9677 an Ordinance authorizing a Special Use Permit for Jordan & Johnson Enterprise LLC, d/b/a Creations Smoothies located at 147 Flower Valley Shopping Center to allow for the operation of a sit-down restaurant, carry-out restaurant was read for the first time.

Councilman Schildroth introduced Bill No. 9678 an Ordinance authorizing an amendment to section 520.050 "Ground Signs" subsection H "Temporary Signs" section 2 to allow for signage during road projects was read for the first time.

Councilman Schildroth introduced Bill No. 9679 an Ordinance authorizing an appropriation of \$60,000 from the Capital Improvement Fund to budget account no. 03-5-03-61430 Capital Additions – Theatre for replacement of theatre lighting dimmer rack was read for the first time.

Councilman Schildroth moved that Bill No. 9679 be read for a second time, seconded by Eagan. Motion carried and Bill No. 9679 was read for a second time. Councilman Schildroth moved that Bill No. 9679 be read for a third time, seconded by Pagano. On roll call the Council voted: Schildroth yes,

Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes. Having received the unanimous vote of all members present Bill No. 9679 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes.

Whereupon the Chair declared Bill No. 9679 was passed and became Ordinance No. 8683.

Councilman Mulcahy introduced Bill No. 9680 an Ordinance amending Title III of the Florissant City Code, Schedule III Table III-B “Two-Way Stops” by adding “St. Michael at Aubuchon” was read for the first time.

Councilman Mulcahy introduced Bill No. 9681 an Ordinance amending Schedule XVIII “Handicapped Parking”, Table XVIII-A “Handicap Parking” by adding “Paddock Drive, west side of Paddock in front of 1325 Paddock, for a distance of 300 feet from the intersection of Parker Road” was read for the first time. Councilman Mulcahy moved that Bill No. 9681 be read for a second time, seconded by Pagano. Motion carried and Bill No. 9681 was read for a second time. Councilman Mulcahy moved that Bill No. 9681 be read for a third time, seconded by Pagano. On roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes. Having received the unanimous vote of all members present Bill No. 9681 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes.

Whereupon the Chair declared Bill No. 9681 was passed and became Ordinance No. 8684.

The next item on the Agenda was *Council Announcements.*

Councilman Siam thanked the various departments involved in the process of allowing business to open. He stated Ward 9 is setting up a clean-up day some time in the future. Mr. Siam stated his appreciation to Mr. Manganelli and others who helped pick up along Ward 9.

Councilman Parson stated Ward 8 will have a trash pick up on Saturday, May 1 at 11am and will meet at the east parking lot of the James J. Eagan Center. He reminded everyone they do not just have to be Ward 8 residents to come help clean up the streets.

Councilwoman Pagano reminded people to practice patience on Dunn Road and surrounding streets with the Highway 270 road project.

Councilman Mulcahy thanked everyone who showed interest in the clean-up and stated it has been postponed to Saturday, May 15 at Crest Bowl and Church of the Master. He reminded everyone of the Old Town Beautification on Saturday, May 1 at 1pm which will meet behind Paul Manganelli Insurance on St. Francois.

Councilman Caputa stated Ward 4 Neighborhood Watch is holding a clean up on Saturday, May 15 at 10am, meeting at Patterson Plaza. Mr. Caputa stated this week is Work Zone awareness week and reminded drivers to be aware of the workers and the work zones to keep everyone safe. He reminded residents to lock up firearms in their house and to join the Neighborhood Watch.

Councilman Eagan reminded the TEAM food pantry is always accepting donations.

Councilman Manganelli stated on Thursday, April 22 Ward 2 had a food truck get together which was a great success and allowed new residents to meet each other and sign up for Neighborhood Watch. Mr. Manganelli thanked Mann Meats for stepping in for the food truck event when the original truck could not make it. He stated on Earth Day the Greater North County Chamber of Commerce celebrated by having a clean up on Lindbergh and noted Al's Lounge, Hooter's and Lee Chicken were picking up their own trash that day. The Ward 2 clean up has been rescheduled for May 22.

Councilman Harris stated he is positive about the economic development progress of the city and thanked all the employees for their hard work.

Councilman Schildroth reminded residents during grass season to not blow grass into the street as it is an Ordinance violation and can end up in the sewers which cause backups. Mr. Schildroth offered his condolences to the Gaydos family who lost Gary Gaydos recently. Mr. Gaydos was the former Theatre director for the City of Florissant and heavily involved in various activities around the city.

The next item was *Mayor Announcements*.

Mayor Lowery echoed his sympathies for the Gaydos family and stated his appreciation for his work for the city. Mayor Lowery reminded residents of the bulk trash pickups taking place for Wards 1, 2 and 3 on Saturday, May 1 at the JFK Center, in Wards 4, 5, and 6 on Saturday, May 8 at St. Ferdinand, and in Wards 7, 8, and 9 on Saturday, May 15 at the JJE Center. He stated the Valley of Flowers Festival has cancelled but there are events on May 7<sup>th</sup> and 8<sup>th</sup> including two band concerts at the JJE Center, a plant and flower sale at Bangert Park, and contests throughout the city on the weekend which are all available on the Valley of Flowers website. Mayor Lowery reminded residents of the Mayors for Meals

216 event on Tuesday, May 18 at the JFK Center collecting items for the St. Louis Food Bank from 9am to  
217 noon. On Saturday, May 15, at the James J. Eagan Center the City of Florissant will cohost with the  
218 Greater North County Chamber of Commerce, a Business Showcase and Career Fair. Midwest Recycling  
219 Center will hold an electronics recycling event on Saturday, May 22 from 10am to 1pm at St. Ferdinand  
220 Park.


221 The Council President stated that the next regular City Council Meeting will be Monday, May  
222 10, 2021 at 7:00 pm.

223 Councilman Manganelli moved to adjourn the meeting, seconded by Eagan. Motion carried.

224 The meeting was adjourned at 8:23 p.m.

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Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

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229 The following Bills were signed by the Mayor:

230	Bill No. 9671	Ord. 8681
231	Bill No. 9672	Ord. 8682
232	Bill No. 9679	Ord. 8683
233	Bill No. 9681	Ord. 8684
234	Resolution 1028	
235	Resolution 1029	





**CITY OF FLORISSANT**  
**CITY COUNCIL**  
**OPEN EXECUTIVE SESSION**

April 26, 2021

The City Council of the City of Florissant met in open Executive Session on Monday, April 26, 2021 at 6:45 pm. Via the Zoom platform with President Caputa presiding. On Roll Call the following Council members were present: Schildroth, Mulcahy, Pagano, Parson, Siam, Harris, Manganelli, Eagan, Caputa. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin and City Attorney John Hessel.

Council President Caputa stated that the only item for discussion was a quarterly budget update from Finance Director Kimberlee Johnson.

Mrs. Johnson reviewed the current state of the 2021 budget and provided an overview of the revenues reported so far this year in comparison to previous years. She reviewed the quarterly report she presented to the City Council.

There being no further business to discuss, Councilman Schildroth motioned to adjourn, seconded by Siam. Motion carried and the meeting adjourned at 6:55 p.m.

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Karen Goodwin  
City Clerk



**OFFICE OF**



**THE MAYOR**

## **CITY OF FLORISSANT**

**WHEREAS:** we acknowledge 2021 National Police Week to honor the service and sacrifice of those law enforcement officers killed in the line of duty while protecting our communities and safeguarding our democracy; and

**WHEREAS:** there are approximately 900,000 law enforcement officers serving in communities across the United States, including the dedicated members of the Florissant Police Department; and

**WHEREAS:** over 60,000 assaults against law enforcement officers are reported each year, resulting in approximately 17,400 injuries; and

**WHEREAS:** sadly, over the last decade, an average of 163 officers a year have been killed in the line of duty. And throughout U.S. history more than 21,000 law enforcement officers have made the ultimate sacrifice; and

**WHEREAS:** the names of these dedicated public servants are engraved on the walls of the National Law Enforcement Officers Memorial in Washington, D.C.; and

**WHEREAS:** new names of fallen heroes are being added to the National Law Enforcement Officers Memorial this spring, including 94 officers killed in 2021 to date and 359 officers killed in the previous year; and

**WHEREAS:** May 14, 2021 is designated as Peace Officers Memorial Day, in honor of all fallen officers and their families and U.S. flags should be flown at half-staff.

**NOW, THEREFORE, I, TIMOTHY J. LOWERY, MAYOR OF THE CITY OF FLORISSANT AND MEMBERS OF THE CITY COUNCIL** do hereby formally designates May 9-15, 2021, as National Police Week in the City of Florissant, and publicly salute the service of law enforcement officers in our community and in communities across the nation.

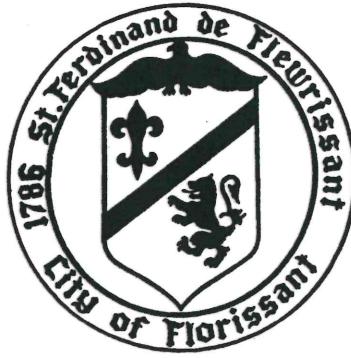


In Witness Whereof I hereunto Set My Hand  
And Cause To Be Affixed The Seal Of The City  
Of Florissant, Missouri, this 10<sup>th</sup> day of May  
2021.

*Timothy J. Lowery*  
Mayor Timothy J. Lowery

*Keith E. Schildroth*  
Keith Schildroth - Council President





## **PUBLIC NOTICE CITY OF FLORISSANT**

**Public Hearing for the Community Development Block Grant (CDBG)  
Fiscal Year (FY) 2021-2025 5-Year Consolidated Plan  
Fiscal Year (FY) 2021 Annual Action Plan**

**PUBLIC NOTICE IS HEREBY GIVEN that a public hearing will be held on Monday, May 10, 2021, at 7:00 p.m. VIA THE ZOOM PLATFORM concerning the Fiscal Year 2021-2025 Consolidated Plan and the Fiscal Year 2021 Annual Plan for the Florissant Community Development Block Grant Program.**

**DUE TO COVID-19 PANDEMIC AND BY ORDER OF THE GOVERNOR OF THE STATE OF THE MISSOURI AND BY ORDER OF THE ST. LOUIS COUNTY EXECUTIVE, THE COUNCIL MEETING WILL BE HELD VIRTUALLY AND IS OPEN TO THE PUBLIC TO ATTEND VIA THE ZOOM PLATFORM, IF YOU WOULD LIKE TO ATTEND THE MEETING, PLEASE CONTACT THE CITY CLERK VIA EMAIL AT [KGOODWIN@FLORISSANTMO.COM](mailto:KGOODWIN@FLORISSANTMO.COM) TO OBTAIN ACCESS INFORMATION**

**For additional information, contact Carol O'Mara, Director Housing & Community Development**

**Posted this 22<sup>nd</sup> day of April, 2021**

A handwritten signature in blue ink, appearing to read "Carol O'Mara", is written over a horizontal line.

**M. Carol O'Mara, Director  
Housing and Community Development  
3147.839.7680**

# FLORISSANT CITY COUNCIL

## AGENDA REQUEST FORM

4/26/2021

Mayor's Approval:

Agenda Date Requested:

10-May-21

Description of request: Public Hearing for Fiscal Year 2021-2025 Consolidated Plan & the 2021 Annual Plan for the Florissant Community Development Block Grant Program (CDBG)

Department: Community Development

Recommending Board or Commission: Citizens Participation Committee

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N
Public Hearing needed: Yes / No	YES	3 readings? : Yes / No	NO

Back up materials attached:		Back up materials needed:	
Minutes		Minutes	
Maps		Maps	
Memo	X	Memo	
Draft FY2021-2025 Con Plan	X	Draft Ord.	

I will email this before 5/10 PH

I will email this before 5/10 PH

**Note:** Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: \_\_\_\_\_

PH Speaker: \_\_\_\_\_

KGR 4/26/2021

# MEMORANDUM

**To:** MAYOR LOWERY & FLORISSANT CITY COUNCIL  
**From:** M. Carol O'Mara, Director Community Development  
**Re:** Community Development Block Grant (CDBG) 2020 Annual Action Plan  
**Date:** April 26, 2021

This is a request for the approval of the Community Development Block Grant (CDBG) 2021 Annual Action Plan.

## PROPOSED USE OF CDBG FUNDS 2021 *Estimated* Financial Summary

FY2021 CDBG Program

### Community Development Block Grant Resources

Entitlement Amount Estimate	\$262,402.00
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<b>Total FY2021 Anticipated Funding</b>	<b>\$262,402.00</b>
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Proposed Uses of CDBG Funds

### Housing Programs

Home Improvement Program	\$128,922.00
Home Improvement Program – Mechanical	\$ 60,000.00
Project IMPACT	\$ 10,000.00

### Public Services

Mortgage, Rental & Utility Assistance	\$ 11,000.00
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<b>Grant Administration</b>	<b>\$ 52,480.00</b>
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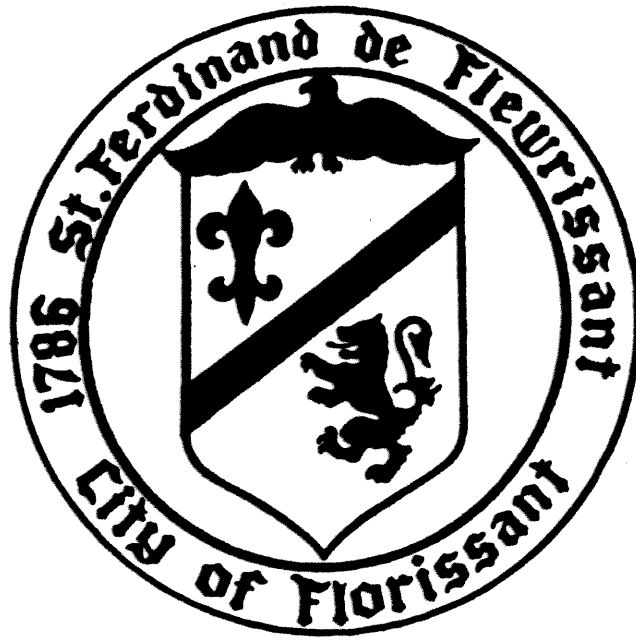
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<b>Total</b>	<b>\$262,402.00</b>
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7/4/21, 2021

# CDBG

## ANNUAL ACTION PLAN FY2021



# DRAFT

## **Executive Summary**

### **ES-05 Executive Summary - 24 CFR 91.200(c), 91.220(b)**

#### **1. Introduction**

The Consolidated Plan is a strategic planning instrument required by the Department of Housing and Urban Development (HUD) as part of the Community Development Block Grant (CDBG) Program. The Consolidated Plan helps the City of Florissant identify key community issues and the resources to deal with those issues.

This Consolidated Plan outlines the use of Community Development Block Grant (CDBG) funds for FY2021 through FY2025. This document will serve as a five-year Consolidated Plan.

This document also includes the required FY2021 Annual Action Plan. The Annual Action Plan process requires that the grantee outline an action plan, which addresses the priority needs and local objectives of the community over a one-year period.

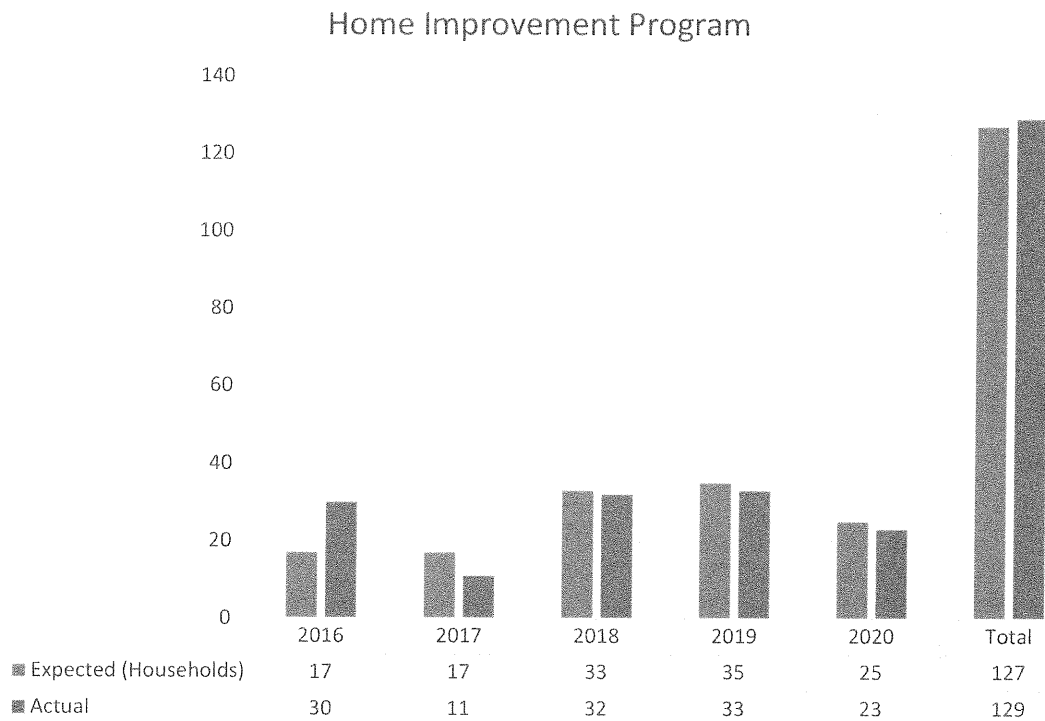
#### **2. Summary of the objectives and outcomes identified in the Plan Needs Assessment Overview**

As an entitlement community, the City of Florissant has determined, through a need's assessment, market analysis, and public participation process that it is in the best interest of the community to continue to concentrate limited CDBG funds in a few areas of primary concern over the next five years. Housing, Public Services, and the Removal of Architectural Barriers have been the focus in the past and will remain the focus over the next five years. There continues to be a need and concern regarding the preservation and maintenance of existing structures, homeownership, lead, and emergency repair throughout the City. The programs addressing these issues that the City currently funds have been very popular and have met a great need in the community. In addition, Public Services programs such as programs for emergency mortgage, rental, and utility assistance have been identified through the needs assessment and public participation process as important strategies for serving City residents.

#### **3. Evaluation of past performance**

The City of Florissant has an excellent performance record and, as of the end of 2020, is on track to meet or exceed performance goals for four out of the five CDBG funded activities from the last Consolidated Plan (covering FY2016-FY2020). Currently, the only one of the five CDBG funded activities from the last Consolidated Plan that has not met the estimated goal is the MRU Assist program. The MRU Assist program was a new program that was created in 2016 to meet a need for rental assistance but some time to get it off the ground. The program is relatively new for the City, and the first year of

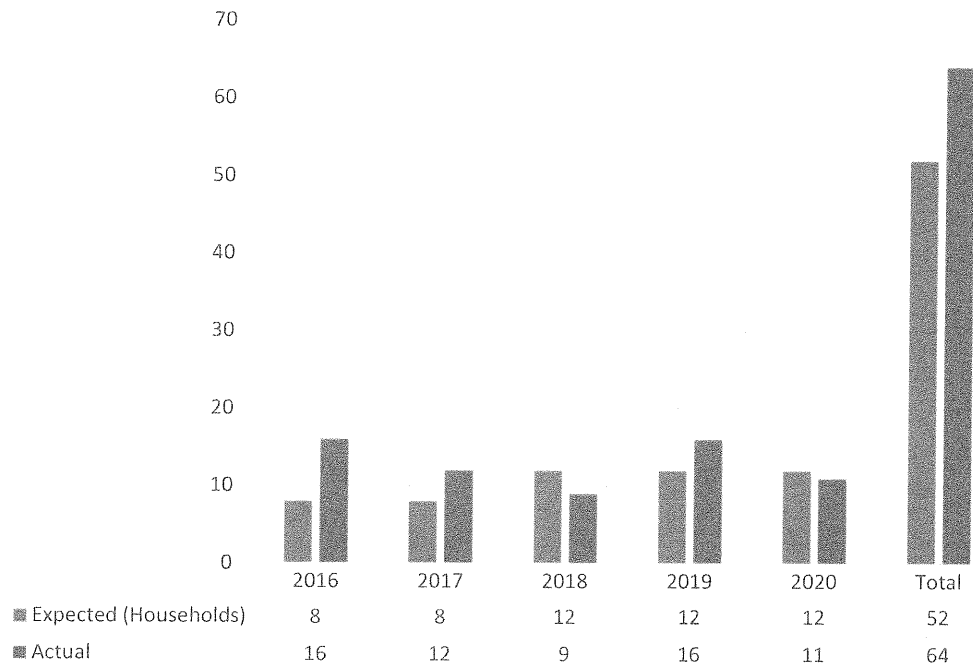
any new program can be difficult. In other words, not meeting the goal for the MRU Assist program is an issue of ambitious goal-setting in the first year it was offered rather than an issue of poor performance. The charts below visualize the City’s performance in each performance goal area from the FY2016-FY2021 Consolidated Plan.



**ES-05-Chart-1**

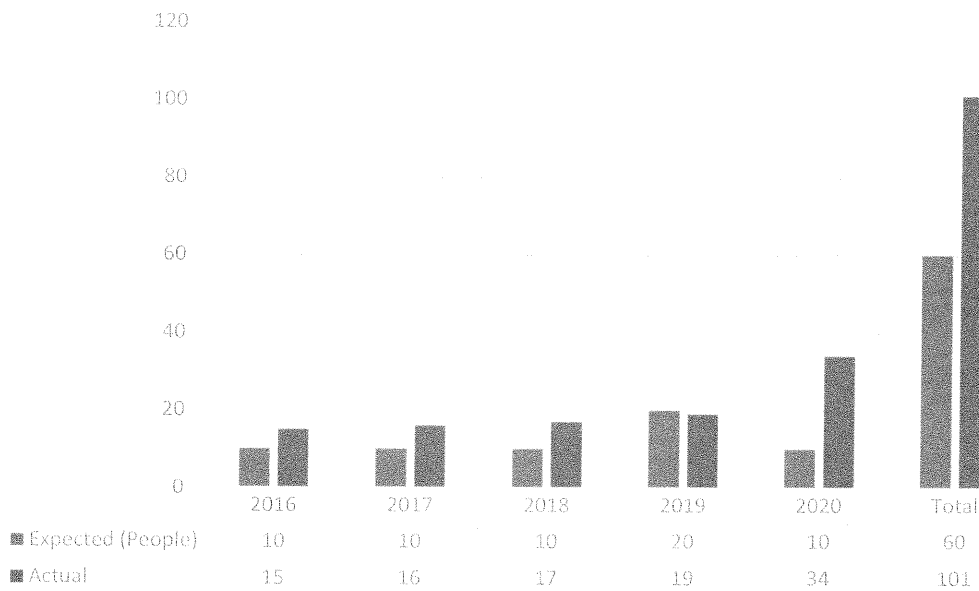


### Home Improvement Program - Mechanical

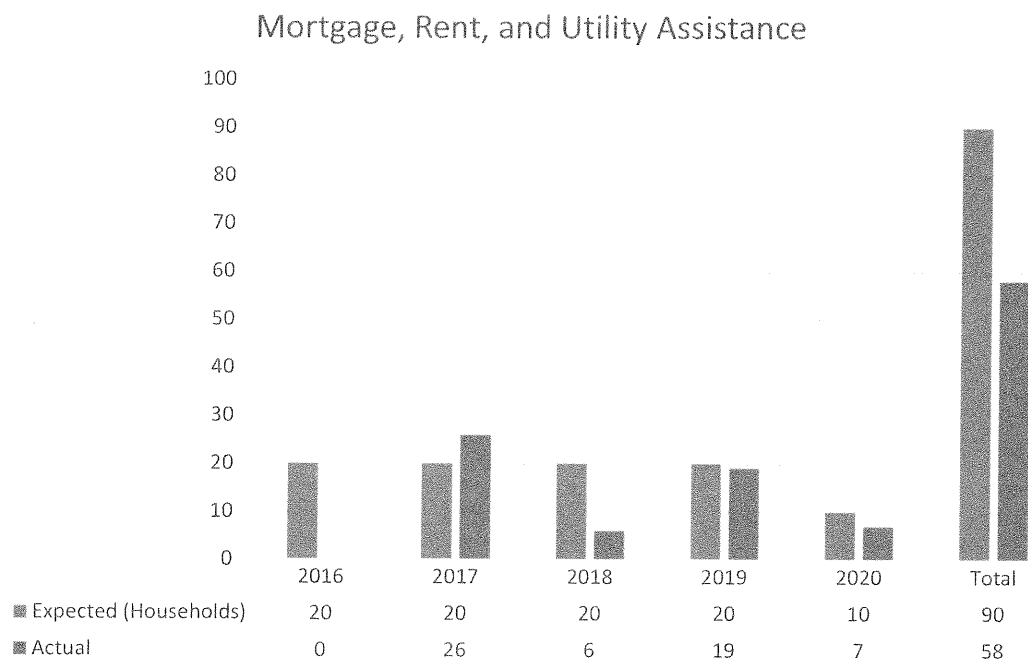


**ES-05-Chart-2**

### Project Impact



**ES-05-Chart-3**



**ES-05-Chart-4**

#### **4. Summary of citizen participation process and consultation process**

The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council.

In accordance with our Citizen Participation Plan, our 2021—2025 Consolidated Plan and 2021 Annual Action Plan process included a public hearing. The CPC committee met and a public hearing was held on May 10, 2021 at 7:00 p.m. via the Zoom platform. Public hearing notices were posted on the City’s cable television channel and the City’s website, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and the Independent Newspaper.

A summary of the draft plan was posted on our website and all of our other media outlets. The summary described the contents of the plan and the entire Consolidated Plan could be reviewed on line and at the City’s Government Center or by written request. The plan was available for public comment for 30 days starting on May 10, 2021. The city also provides free copies of the plan to citizens and groups that request a copy in writing. The draft-consolidated plan is made available to persons with disabilities in a format that is readily accessible upon request.

**5. Summary of public comments**

At this point in time, there have been no public comments beyond the discussion at the May 10, 2021 Public Hearing and Citizen Participation Committee meeting. Discussion of the 5-year consolidated plan and data at that meeting revealed that the City's priority need is still single-family housing but with the continued increase in rental dwelling there is a need in this area that is currently going unmet. In response to this unmet need, the City of Florissant will continue to fund the Mortgage, Rental and Utility Assistance Program for FY2021. The funding of this program could assist in possibly opening up more opportunities for Florissant residents.

**6. Summary of comments or views not accepted and the reasons for not accepting them**

N/A

**7. Summary**

After a need's assessment market analysis and public participation process the City of Florissant identified four main goals for 2021-2025. The five main goals include Home Improvement, Home Improvement Program-Mechanical, Project I.M.P.A.C.T., and Mortgage Rental and Utility Assistance.

## The Process

### PR-05 Lead & Responsible Agencies 24 CFR 91.200(b)

#### 1. Describe agency/entity responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source

The following are the agencies/entities responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

Agency Role	Name	Department/Agency
CDBG Administrator	FLORISSANT	Community Development Department

Table 1 – Responsible Agencies

#### Narrative

The City of Florissant has always been proactive in its communications with residents and we have many mechanisms for public input in place. We publish and mail a quarterly newsletter directly to residents. We also produce our own cable television channel. We have had an active Citizens Participation Committee (CPC) for many years. It was developed as part of the City of Florissant's effort to include as many citizens as possible in the community development planning process. The CPC is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC is the major mechanism whereby the citizens of Florissant have an opportunity to express their needs as well as to be kept aware of the performance of the city's community development programs.

The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council. It:

- Conducts regular meetings on the second Thursday of each month, except June, July and August
- Evaluates and recommends priorities regarding community development needs
- Evaluates existing CDBG programs
- Evaluates and recommends programs for possible inclusion in future Annual Plans
- Evaluates any amendments to approved CDBG projects, except those for urgent need activities
- Evaluates suggested uses of any CDBG funds earmarked for contingency activities
- The CPC may recommend against such expenditures.
- Reviews the draft Consolidated Plan prior to its being made available for public comment
- Recommends changes in the draft Consolidated Plan.
- Reviews the Citizen Participation Plan annually
- Provides assistance and information to interested individuals and/or groups within Florissant

As a Metropolitan City entitlement community, our goal is to educate the community on the Community Development Block Grant (CDBG) program and to encourage citizen participation in the local consolidated planning process. Our long-term goal is to keep the public involved in our community and to provide opportunities to participate in the consolidated planning process on an annual basis.

In accordance with our Citizen Participation Plan, our process included a public hearing. The CPC committee met and a public hearing for the FY2021—2025 Consolidated Plan was held on May 10, 2021 at 7:00 p.m. via the ZOOM platform. Public hearing notices were posted on the City's cable television channel and the City's website, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and in the Independent Newspaper.

A summary of the draft plan was posted on our website, cable TV channel and social media sites. The summary described the contents of the plan and the entire Consolidated Plan could be reviewed on line, at the City's Government Center or by written request. The plan was available for public comment for 30 days starting on May 10, 2021. The city also provides free copies of the plan to citizens and groups that request a copy in writing. The draft-consolidated plan is made available to persons with disabilities in a format that is readily accessible upon request.

#### **Consolidated Plan Public Contact Information**

Mrs. M. Carol O'Mara  
Director of Housing and Community Development  
Florissant Government Building  
1055 rue St. Francois  
Florissant, Missouri 63031  
(314) 839-7680

## **PR-10 Consultation - 91.100, 91.200(b), 91.215(l)**

### **1. Introduction**

**Provide a concise summary of the jurisdiction's activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(l)).**

**Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness**

**Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards and evaluate outcomes, and develop funding, policies and procedures for the administration of HMIS**

**2. Describe Agencies, groups, organizations and others who participated in the process and describe the jurisdictions consultations with housing, social service agencies and other entities**

**Table 2 – Agencies, groups, organizations who participated**

1	<b>Agency/Group/Organization</b>	Citizen Participation Committee
	<b>Agency/Group/Organization Type</b>	Civic Leaders
	<b>What section of the Plan was addressed by Consultation?</b>	Housing Need Assessment Market Analysis
	<b>How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?</b>	The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council. In accordance with our Citizen Participation Plan, our 2021-2025 Consolidated Plan and 2021 Annual Action Plan process included a public hearing. The CPC committee met and a public hearing was held on May 10, 2021 at 7:00 p.m. via the ZOOM platform. Public hearing notices were posted on the City website, cable television channel and social media sites, soliciting comments and participation in the process.

**Identify any Agency Types not consulted and provide rationale for not consulting**

**Other local/regional/state/federal planning efforts considered when preparing the Plan**

<b>Name of Plan</b>	<b>Lead Organization</b>	<b>How do the goals of your Strategic Plan overlap with the goals of each plan?</b>
Continuum of Care		

**Table 3 – Other local / regional / federal planning efforts**

**Describe cooperation and coordination with other public entities, including the State and any adjacent units of general local government, in the implementation of the Consolidated Plan (91.215(l))**

The City of Florissant coordinates with various St. Louis County departments and is a member of the St. Louis County Housing Consortium.

**Narrative (optional):**

**PR-15 Citizen Participation**

**1. Summary of citizen participation process/Efforts made to broaden citizen participation  
Summarize citizen participation process and how it impacted goal-setting**

The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council.

In accordance with our Citizen Participation Plan, our 2021—2025 Consolidated Plan and 2021 Annual Action Plan process included a public hearing. The CPC committee met and a public hearing was held on May 10, 2021 at 7:00 p.m. via the ZOOM platform. Public hearing notices were posted on the City's cable television channel and the City's website, and social media sites soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and in the Independent Newspaper.

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At this point in time, there have been no public comments beyond the discussion at the May 10, 2021 Public Hearing and Citizen Participation Committee meeting. Discussion revealed that the City's priority need is still single-family housing but with the continued increase in rental dwelling there is a need in this area that is currently going unmet. In response to this unmet need, the City of Florissant will continue to fund the Mortgage, Rental and Utility Assistance Program for FY2021. The funding of this program could assist in possibly opening up more opportunities for Florissant residents.

**Citizen Participation Outreach**



Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
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# Consolidated Plan

FLORISSANT

11

1	Public Hearing	Non-targeted/broad community	In accordance with our Citizen Participation Plan, our 2021-2025 Consolidated Plan and 2021 Annual Action Plan process included a public hearing. The Citizen Participation Plan committee met and a public hearing was held on May 10, 2021 at 7:00 p.m. via the ZOOM platform. Public hearing notices were posted on the City's cable television channel, the City's website and social media sites, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and in the Independent Newspaper.			
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Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
2	Newspaper Ad	Non-targeted/broad community	In accordance with our Citizen Participation Plan, our 2021-2025 Consolidated Plan and 2021 Annual Action Plan process included a public hearing. The CPC committee met and a public hearing was held on May 10, 2021 at 7:00 p.m. via the ZOOM platform. Public hearing notices were posted on the City's cable television channel, the City's website and social media sites, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and in the Independent Newspaper.			

Consolidated Plan

FLORISSANT

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
3	Cable Television	Non-targeted/broad community	A summary of the draft plan was posted on our cable TV channel. The summary described the contents of the plan and the entire Consolidated Plan could be reviewed on line, at the City Government Center or by written request.			

**Table 4 – Citizen Participation Outreach**

## **Needs Assessment**

### **NA-05 Overview**

#### **Needs Assessment Overview**

As of the 2019 American Community Survey, Florissant was home to 50,952 people, a rate of -2.3% since 2010. The majority of the population was White (52.1% as of 2019) and almost half was Black/African American (40.1% as of 2019). No other minority group made up more than 4% of the City's population. Median household income in Florissant (\$54,978) was slightly lower than that of the State of Missouri (\$55,461) according to the 2019 American Community Survey.

Florissant had an unemployment rate of approximately 8.6% prior to the Covid-19 recession. As the economy reopens, it could be estimated that the economy of Florissant will return to a similar level.

Like in many other communities throughout the St. Louis region, some households in the City of Florissant are housing cost burdened. HUD considers a household housing cost burdened if their rent or home ownership costs exceeds 30% of their household income. In Florissant, 48.2% of renter households and 18.5% of owner households face housing cost burden.

The development of the City's land is now almost complete and the major issues facing the City are a mature housing stock, and aging population, and a changing economic environment. Yet Florissant remains a viable, prosperous community of opportunity that offers its residents a variety of services and activities.

## NA-10 Housing Needs Assessment - 24 CFR 91.205 (a,b,c)

### Summary of Housing Needs

Demographics	Base Year: 2010	Most Recent Year: 2019	% Change
Population	52,158	50,952	-2.3%
Households	21,577	19,710	-8.7%
Median Income	\$51,673.00	\$54,978.00	6.3%

**Table 5 - Housing Needs Assessment Demographics**

**Data Source:** 2010 Census (Base Year), 2019 ACS (Most Recent Year)

### Number of Households Table

	0-30% HAMFI	>30-50% HAMFI	>50-80% HAMFI	>80-100% HAMFI
Total Households	1,350	2,050	3,160	7,280
Small Family Households	420	785	1,165	3,600
Large Family Households	30	135	145	715
Household contains at least one person 62-74 years of age	225	340	585	405
Household contains at least one person age 75 or older	280	445	465	149
Households with one or more children 6 years old or younger	155	360	239	480

**Table 6 - Total Households Table**

**Data Source:** 2013-2017 CHAS

## Housing Needs Summary Tables

### 1. Housing Problems (Households with one of the listed needs)

	Renter					Owner				
	0-30% AMI	>30- 50% AMI	>50- 80% AMI	>80- 100% AMI	Total	0-30% AMI	>30- 50% AMI	>50- 80% AMI	>80- 100% AMI	Total
NUMBER OF HOUSEHOLDS										
Substandard Housing - Lacking complete plumbing or kitchen facilities	0	0	0	70	70	0	0	0	0	0
Severely Overcrowded - With >1.51 people per room (and complete kitchen and plumbing)	0	0	0	0	0	0	0	0	4	4
Overcrowded - With 1.01-1.5 people per room (and none of the above problems)	0	20	4	0	24	20	0	15	75	110
Housing cost burden greater than 50% of income (and none of the above problems)	485	335	80	0	900	385	160	15	0	560

	Renter					Owner				
	0-30% AMI	>30- 50% AMI	>50- 80% AMI	>80- 100% AMI	Total	0-30% AMI	>30- 50% AMI	>50- 80% AMI	>80- 100% AMI	Total
Housing cost burden greater than 30% of income (and none of the above problems)	45	510	380	0	935	215	420	475	135	1,245
Zero/negative Income (and none of the above problems)	35	0	0	0	35	35	0	0	0	35

**Table 7 – Housing Problems Table**

Data 2013-2017 CHAS  
Source:

2. Housing Problems 2 (Households with one or more Severe Housing Problems: Lacks kitchen or complete plumbing, severe overcrowding, severe cost burden)

	Renter					Owner				
	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total
<b>NUMBER OF HOUSEHOLDS</b>										
Having 1 or more of four housing problems	530	860	465	70	1,925	615	580	500	220	1,915
Having none of four housing problems	35	155	765	670	1,625	105	455	1,425	1,305	3,290
Household has negative income, but none of the other housing problems	35	0	0	0	35	35	0	0	0	35

**Table 8 – Housing Problems 2**

Data 2019 CHAS  
Source:



### 3. Cost Burden > 30%

	Renter				Owner			
	0-30% AMI	>30-50% AMI	>50-80% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	Total
NUMBER OF HOUSEHOLDS								
Small Related	300	495	175	970	180	300	255	735
Large Related	10	75	20	105	20	4	40	64
Elderly	50	80	110	240	175	185	60	420
Other	170	140	160	470	155	90	130	375
Total need by income	530	790	465	1,785	530	479	485	1,494

Table 9 – Cost Burden > 30%

Data 2013-2017 CHAS  
Source:

### 4. Cost Burden > 50%

	Renter				Owner			
	0-30% AMI	>30-50% AMI	>50-80% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	Total
NUMBER OF HOUSEHOLDS								
Small Related	275	180	0	455	135	210	0	345
Large Related	10	15	0	25	20	4	0	24
Elderly	50	65	80	195	160	50	15	225
Other	150	70	0	220	90	40	0	130
Total need by income	485	330	80	895	405	304	15	724

Table 10 – Cost Burden > 50%

Data 2013-2017 CHAS  
Source:

### 5. Crowding (More than one person per room)

	Renter					Owner				
	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total
NUMBER OF HOUSEHOLDS										
Single family households	0	20	0	0	20	20	0	0	79	99

	Renter					Owner				
	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	>80-100% AMI	Total
Multiple, unrelated family households	0	0	4	0	4	0	0	15	4	19
Other, non-family households	0	0	0	0	0	0	0	0	0	0
Total need by income	0	0	4	0	24	20	0	15	83	118

**Table 11 – Crowding Information – 1/2**

Data Source: 2013-2017 CHAS

	Renter				Owner			
	0-30% AMI	>30-50% AMI	>50-80% AMI	Total	0-30% AMI	>30-50% AMI	>50-80% AMI	Total
Households with Children Present	0	0	0	0	0	0	0	0

**Table 12 – Crowding Information – 2/2**

Data Source:  
Comments:

### **Describe the number and type of single person households in need of housing assistance.**

The Economic and Market Analysis Division of the US Department of Housing and Urban Development makes Special Tabulations of American Community Survey data, including the presence of housing problems based on household size, available at <http://www.huduser.org/portal/ast/index.htm> at the County level only (i.e., St. Louis County). Based on the 5-year 2013-2017 American Community Survey. Although the number of single person households in need of housing assistance in Florissant is unknown, approximately 45% of single person households in St. Louis County are in need of some sort of housing assistance. If the percent of single person households in Florissant in need of housing assistance is similar, then there are an estimated 3,252 single person households in need of assistance. Although 2020 data is not yet available, due to the Covid-19 Pandemic it is likely that this number has increased.

### **Estimate the number and type of families in need of housing assistance who are disabled or victims of domestic violence, dating violence, sexual assault and stalking.**

The number of Florissant families who are victims of domestic violence, dating violence, sexual assault and stalking is unknown. However, regional resources for these families exist and planning for housing for these families falls under the purview of the St. Louis County Continuum of Care. City of Florissant

staff will keep in close communication with the St. Louis Continuum of Care in order to be able to direct Florissant residents to appropriate assistance.

### **What are the most common housing problems?**

Housing Cost Burden, or housing affordability, is the most common housing problem in the City of Florissant and households of all types (small related, large related, elderly, other) experience housing cost burden. HUD defines a household as being housing cost burdened if rent or home ownership costs are over 30% of a household's income. In Florissant, 48.2% of renter households and 18.5% of owner households face housing cost burden.

### **Are any populations/household types more affected than others by these problems?**

Housing Cost Burden is a measure of affordability that considers both households income and the rent or home ownership costs of housing. Therefore, lower income households tend to experience housing cost burden more frequently. In the City of Florissant, a vast majority of extremely low-income households (less than 30% AMI), or are housing cost burdened with almost 50% of Florissant's population working in middle-low wage occupations. In addition, Sections NA-15 through NA-30 of this document detail proportionately greater needs than the income category as a whole.

### **Describe the characteristics and needs of Low-income individuals and families with children (especially extremely low-income) who are currently housed but are at imminent risk of either residing in shelters or becoming unsheltered 91.205(c)/91.305(c)). Also discuss the needs of formerly homeless families and individuals who are receiving rapid re-housing assistance and are nearing the termination of that assistance**

Homeless needs assessments and services, including rapid re-housing assistance, are provided through the St. Louis County Continuum of Care. The City of Florissant does not provide estimates of populations at risk of homelessness. However, the City of Florissant does participate in St. Louis County Continuum of Care coordination meetings to ensure that City staff is aware of resources so that if at-risk individuals and families ask the City for help, they can be directed to appropriate services. In addition, the City of Florissant has previously offered and plans to offer emergency mortgage, rental, and utility assistance to prevent instability and increased risk of homelessness.

### **If a jurisdiction provides estimates of the at-risk population(s), it should also include a description of the operational definition of the at-risk group and the methodology used to generate the estimates:**

### **Specify particular housing characteristics that have been linked with instability and an increased risk of homelessness**

### **Discussion**

## NA-15 Disproportionately Greater Need: Housing Problems – 91.205 (b)(2)

Assess the need of any racial or ethnic group that has disproportionately greater need in comparison to the needs of that category of need as a whole.

### Introduction

A disproportionately greater need exists when the members of racial or ethnic group at an income level experience housing problem at a greater rate (10 percentage points or more) than the income level as a whole.

As an example, assume that 60% of all low-income households within a jurisdiction have a housing problem and 70% of low-income Hispanic households have a housing problem. In this case, low-income Hispanic households have a disproportionately greater need. The percent of households with a housing problem is calculated by taking the HUD CHAS data from the tables below and dividing the number of households with a housing problem by the total of households with a housing problem and those without a housing problem. HUD specifies that the calculation should not include households with no/negative income, although they are included in the CHAS data in the following tables.

### 0%-30% of Area Median Income

Housing Problems	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	1100	185	35
White	520	135	35
Black / African American	500	50	0
Asian	0	0	0
American Indian, Alaska Native	0	0	0
Pacific Islander	0	0	0
Hispanic	65	0	0

**Table 13 - Disproportionately Greater Need 0 - 30% AMI**

Data 2013-2017 CHAS  
Source:

\*The four housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than one person per room, 4. Cost Burden greater than 30%

### 30%-50% of Area Median Income

Housing Problems	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	930	1115	0
White	355	590	0
Black / African American	485	465	0
Asian	0	0	0
American Indian, Alaska Native	0	0	0
Pacific Islander	0	0	0
Hispanic	65	20	0

**Table 14 - Disproportionally Greater Need 30 - 50% AMI**

Data 2013-2017 CHAS

Source:

\*The four housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than one person per room, 4. Cost Burden greater than 30%

### 30%-50% AMI Disproportionately Greater Needs

### 50%-80% of Area Median Income

Housing Problems	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	585	2570	0
White	285	1430	0
Black / African American	294	980	0
Asian	4	0	0
American Indian, Alaska Native	0	0	0
Pacific Islander	0	0	0
Hispanic	0	95	0

**Table 15 - Disproportionally Greater Need 50 - 80% AMI**

Data 2013-2017 CHAS

Source:

\*The four housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than one person per room, 4. Cost Burden greater than 30%

### 50%-80% AMI Disproportionately Greater Needs

### 80%-100% of Area Median Income

Housing Problems	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	290	1,975	0
White	130	1030	0
Black / African American	145	975	0
Asian	15	0	0
American Indian, Alaska Native	0	15	0
Pacific Islander	0	0	0
Hispanic	0	75	0

**Table 16 - Disproportionately Greater Need 80 - 100% AMI**

Data 2013-2017 CHAS  
Source:

\*The four housing problems are:

1. Lacks complete kitchen facilities,
2. Lacks complete plumbing facilities,
3. More than one person per room,
4. Cost Burden greater than 30%

### Discussion

In the City of Florissant, housing issues are felt at an almost universal rate among the races. The vast majority of Florissant's population is either white or black, without having statistical outside of the margin of error, it is difficult to adequately quantify issues that could affect other ethnic groups. However, it is encouraging to see that major statistical discrepancies do not exist surrounding race in the city of Florissant.

## NA-20 Disproportionately Greater Need: Severe Housing Problems – 91.205 (b)(2)

Assess the need of any racial or ethnic group that has disproportionately greater need in comparison to the needs of that category of need as a whole.

### Introduction

A disproportionately greater need exists when the members of racial or ethnic group at an income level experience severe housing problem at a greater rate (10 percentage points or more) than the income level as a whole.

As an example, assume that 60% of all low-income households within a jurisdiction have a severe housing problem and 70% of low-income Hispanic households have a severe housing problem. In this case, low-income Hispanic households have a disproportionately greater need. The percent of households with a severe housing problem is calculated by taking the HUD CHAS data from the tables below and dividing the number of households with a severe housing problem by the total of households with a severe housing problem and those without a severe housing problem. HUD specifies that the calculation should not include households with no/negative income, although they are included in the CHAS data in the following tables.

### 0%-30% of Area Median Income

Severe Housing Problems*	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	890	395	60
White	585	240	0
Black / African American	405	95	0
Asian	0	0	10
American Indian, Alaska Native	0	0	0
Pacific Islander	0	0	0
Hispanic	0	65	0

**Table 17 – Severe Housing Problems 0 - 30% AMI**

Data Source: 2013-2017 CHAS

\*The four severe housing problems are:

1. Lacks complete kitchen facilities,
2. Lacks complete plumbing facilities,
3. More than 1.5 persons per room,
4. Cost Burden over 50%

### 0%-30% AMI Disproportionately Greater Needs

### 30%-50% of Area Median Income

Severe Housing Problems*	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	510	1485	0
White	185	765	0
Black / African American	330	625	0
Asian	0	0	0
American Indian, Alaska Native	0	0	0
Pacific Islander	0	0	0
Hispanic	0	80	0

**Table 18 – Severe Housing Problems 30 - 50% AMI**

Data 2013-2017 CHAS  
Source:

\*The four severe housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than 1.5 persons per room, 4. Cost Burden over 50%

### 30%-50% AMI Disproportionately Greater Needs

### 50%-80% of Area Median Income

Severe Housing Problems*	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	115	3,045	0
White	90	1630	0
Black / African American	19	1255	0
Asian	4	0	0
American Indian, Alaska Native	0	0	0
Pacific Islander	0	0	0
Hispanic	0	95	0

**Table 19 – Severe Housing Problems 50 - 80% AMI**

Data 2013-2017 CHAS  
Source:

\*The four severe housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than 1.5 persons per room, 4. Cost Burden over 50%



## 50%-80% AMI Disproportionately Greater Needs

### 80%-100% of Area Median Income

Severe Housing Problems*	Has one or more of four housing problems	Has none of the four housing problems	Household has no/negative income, but none of the other housing problems
Jurisdiction as a whole	115	2,110	0
White	85	1075	0
Black / African American	55	965	0
Asian	15	0	0
American Indian, Alaska Native	0	0	0
Pacific Islander	0	0	0
Hispanic	0	15	0

**Table 20 – Severe Housing Problems 80 - 100% AMI**

Data 2013-2017 CHAS  
Source:

\*The four severe housing problems are:

1. Lacks complete kitchen facilities, 2. Lacks complete plumbing facilities, 3. More than 1.5 persons per room, 4. Cost Burden over 50%

## Discussion

In the City of Florissant, one group experiences severe housing problems at a disproportionately greater rate:

1. Black/African American households at 30%-50% AMI

In the City of Florissant, housing issues are felt at an almost universal rate among the races with one exception, the African American households earning 30%-50% of AMI. These homeowners were significantly more likely to have housing issues than their white counterparts and were less likely to live in a home without issue. The vast majority of Florissant's population is either white or black, without having statistical outside of the margin of error, it is difficult to adequately quantify issues that could affect other ethnic groups.

## NA-25 Disproportionately Greater Need: Housing Cost Burdens – 91.205 (b)(2)

Assess the need of any racial or ethnic group that has disproportionately greater need in comparison to the needs of that category of need as a whole.

### Introduction:

A disproportionately greater need exists when the members of racial or ethnic group at experience housing cost burden at a greater rate (10 percentage points or more) than the income level as a whole.

As an example, assume that 60% of all households within a jurisdiction are housing cost burdened and 70% of Hispanic households are housing cost burdened. In this case, Hispanic households have a disproportionately greater need. The percent of housing cost burdened households is calculated by taking the HUD CHAS data from the tables below and dividing the number of households with housing cost burden by the total of households. HUD specifies that the calculation should not include households with no/negative income, although they are included in the CHAS data in the following table.

### Housing Cost Burden

Housing Cost Burden	<=30%	30-50%	>50%	No / negative income (not computed)
Jurisdiction as a whole	9860	2190	1475	70
White	6350	900	695	60
Black / African American	3290	1165	780	0
Asian	35	0	0	0
American Indian, Alaska Native	15	0	4	0
Pacific Islander	0	0	0	10
Hispanic	170	125	0	0

**Table 21 – Greater Need: Housing Cost Burdens AMI**

Data Source: 2007-2011 CHAS

### Discussion:

In the City of Florissant, housing issues are felt at an almost universal rate among the races. The vast majority of Florissant's population is either white or black, without having statistical outside of the margin of error, it is difficult to adequately quantify issues that could affect other ethnic groups. However, it is encouraging to see that major statistical discrepancies do not exist surrounding race in the city of Florissant.

## **NA-30 Disproportionately Greater Need: Discussion – 91.205(b)(2)**

**Are there any Income categories in which a racial or ethnic group has disproportionately greater need than the needs of that income category as a whole?**

As detailed in table 18, above, there is one income category where several racial or ethnic groups have disproportionately greater needs than the income category as a whole. Black/African American households have disproportionately greater severe housing problems (NA-20) at the income level of 30%-50% AMI. Given that the population of Florissant is 40.1% Black/African American, that no other minority group makes up more than 3% of the population, and that Black/African American households face disproportionately greater needs at one particular income level, the needs of these households are the focus of the remaining discussion below.

A disproportionate amount of whites currently falls into the cost burden territory of below 30% according to table 21. This can probably be explained by Florissant's aging population and that more white have retired or rely upon social security payments as a main source of income.

**If they have needs not identified above, what are those needs?**

Key household needs include high housing cost burden and occasionally poor housing quality/safety. High housing cost burden occurs when households are spending a high percentage of their income on rent or mortgage costs and can theoretically be solved through either lower rent/mortgage costs (via affordable housing development or housing vouchers) or higher household incomes (via, for example, job training services). Housing quality/safety can sometimes become an issue when households do not have the funds necessary to complete needed home repairs.

**Are any of those racial or ethnic groups located in specific areas or neighborhoods in your community?**

As the portion of the black population grows, a roughly 20% increase in the past 9 years neighborhoods in Florissant have changed a lot. It is noteworthy that other minority groups are vastly underrepresented in Florissant's demographics which is closely becoming 50:50 white - black.

## NA-35 Public Housing – 91.205(b)

### Introduction

The City of Florissant does not have an independent public housing authority, but rather lies within the jurisdiction of the St. Louis County Housing Authority. The data for the entire St. Louis County Housing Authority is included in this Consolidated Plan for the sole purpose of giving a general sense of the demographics of households served by public housing and housing choice vouchers. The City of Florissant does not have any public housing within its boundaries. According to the 2020 HUD Picture of Subsidized Households data, the City of Florissant has an estimated 2,448 persons (754 households) utilizing Housing Choice Vouchers and 145 persons (142 households) living in Section 8 housing. The majority of Housing Choice Voucher households are families with children, and the average household size is 3.2 people per unit. The majority of Section 8 households are seniors, with an average household size of 1 person per unit.

### Totals in Use

	Certificate	Mod-Rehab	Public Housing	Program Type				Special Purpose Voucher		
				Total	Project - based	Tenant - based		Veterans Affairs Supportive Housing	Family Unification Program	Disabled *
# of units vouchers in use	0	63	341	5,933	1	5,661		0	169	93

Table 22 - Public Housing by Program Type

\*Includes Non-Elderly Disabled, Mainstream One-Year, Mainstream Five-year, and Nursing Home Transition

Data Source: PIC (PIH Information Center)

Consolidated Plan

FLORISSANT

## Characteristics of Residents

Program Type									
	Certificate	Mod- Rehab	Public Housing	Vouchers		Project - based	Tenant - based	Special Purpose Voucher	
				Total				Veterans Affairs Supportive Housing	Family Unification Program
Average Annual Income	0	6,445	10,852	10,743		6,240	10,776	0	9,702
Average length of stay	0	4	5	6		8	6	0	4
Average Household size	0	1	2	2		4	2	0	3
# Homeless at admission	0	0	1	3		0	2	0	1
# of Elderly Program Participants (>62)	0	10	125	374		0	345	0	2
# of Disabled Families	0	8	79	1,219		0	1,123	0	29
# of Families requesting accessibility features	0	63	341	5,933		1	5,661	0	169
# of HIV/AIDS program participants	0	0	0	0		0	0	0	0
# of DV victims	0	0	0	0		0	0	0	0

Table 23 – Characteristics of Public Housing

Table 23 – Characteristics of Public Housing Residents by Program Type

Data Source: PIC (PIH Information Center)

Consolidated Plan

FLORISSANT

OMB Control No: 2506-0117 (exp. 07/31/2015)

## Race of Residents

Program Type										
Race	Certificate	Mod-Rehab	Public Housing	Vouchers			Special Purpose Voucher			
				Total	Project - based	Tenant - based	Special Purpose Voucher			
							Veterans Affairs Supportive Housing	Family Unification Program	Disabled *	
White	0	13	40	422	0	345	0	46	30	
Black/African American	0	50	298	5,505	1	5,311	0	122	63	
Asian	0	0	2	0	0	0	0	0	0	
American Indian/Alaska Native	0	0	0	5	0	4	0	1	0	
Pacific Islander	0	0	1	1	0	1	0	0	0	
Other	0	0	0	0	0	0	0	0	0	
*includes Non-Elderly Disabled, Mainstream One-Year, Mainstream Five-year, and Nursing Home Transition										

Data Source: PIC (PIH Information Center)

Table 24 – Race of Public Housing Residents by Program Type

## Ethnicity of Residents

Program Type									
Ethnicity	Certificate	Mod- Rehab	Public Housing	Vouchers			Special Purpose Voucher		
				Total	Project - based	Tenant - based	Special Purpose Voucher		
							Veterans Affairs Supportive Housing	Family Unification Program	Disabled *
Hispanic	0	0	3	23	0	22	0	0	1
Not Hispanic	0	63	338	5,910	1	5,639	0	169	92
*includes Non-Elderly Disabled, Mainstream One-Year, Mainstream Five-year, and Nursing Home Transition									

Data Source: PIC (PIH Information Center)

Table 25 – Ethnicity of Public Housing Residents by Program Type

**Section 504 Needs Assessment: Describe the needs of public housing tenants and applicants on the waiting list for accessible units:**

Not applicable (public housing is the jurisdiction of the St. Louis County Housing Authority).

**Most immediate needs of residents of Public Housing and Housing Choice voucher holders**

Not applicable (public housing is the jurisdiction of the St. Louis County Housing Authority).

**How do these needs compare to the housing needs of the population at large**

Not applicable (public housing is the jurisdiction of the St. Louis County Housing Authority).

**Discussion**

Not applicable (public housing is the jurisdiction of the St. Louis County Housing Authority).

## **NA-40 Homeless Needs Assessment – 91.205(c)**

### **Introduction:**

The City of Florissant does not receive Emergency Shelter Grant funding to address homeless needs. Instead, the City of Florissant falls within the boundaries of the St. Louis County Continuum of Care. Saint Louis County residents, including Florissant residents, who are homeless or experiencing a housing crisis can seek assistance by calling the Emergency Shelter Hotline. The Hotline is a centralized intake and referral system that can be accessed by calling a single number (314-802-5444). The caller is interviewed by an intake specialist, and if in crisis, is referred to either emergency shelter or rent/mortgage/utility assistance.

Based on staff knowledge, there are an estimated one (1) homeless persons currently residing within the City of Florissant. The number of days these homeless persons have been experiencing homelessness is not known, as resources are provided through the St. Louis County Continuum of Care. City of Florissant staff has made an effort to connect this individual to services available through the Continuum.

**If data is not available for the categories "number of persons becoming and exiting homelessness each year," and "number of days that persons experience homelessness," describe these categories for each homeless population type (including chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth):**

Based on staff knowledge, there are an estimated one (1) homeless persons currently residing within the City of Florissant. The number of days these homeless persons have been experiencing homelessness is not known, as resources are provided through the St. Louis County Continuum of Care. City of Florissant staff has made an effort to connect this individual to services available through the Continuum



**Nature and Extent of Homelessness: (Optional)**

<b>Race:</b>	<b>Sheltered:</b>	<b>Unsheltered (optional)</b>
White	0	0
Black or African American	0	0
Asian	0	0
American Indian or Alaska Native	0	0
Pacific Islander	0	0
<b>Ethnicity:</b>	<b>Sheltered:</b>	<b>Unsheltered (optional)</b>
Hispanic	0	0
Not Hispanic	0	0

Data Source

Comments:

**Estimate the number and type of families in need of housing assistance for families with children and the families of veterans.**

Not applicable. The City of Florissant does not receive Emergency Shelter Grant funding to address homeless needs.

**Describe the Nature and Extent of Homelessness by Racial and Ethnic Group.**

Not applicable. The City of Florissant does not receive Emergency Shelter Grant funding to address homeless needs.

**Describe the Nature and Extent of Unsheltered and Sheltered Homelessness.**

Not applicable. The City of Florissant does not receive Emergency Shelter Grant funding to address homeless needs.

**Discussion:**

Not applicable. The City of Florissant does not receive Emergency Shelter Grant funding to address homeless needs.

## **NA-45 Non-Homeless Special Needs Assessment - 91.205 (b,d)**

### **Introduction:**

#### **Describe the characteristics of special needs populations in your community:**

According to 2014-2019 American Community Survey data on disability rates, 5,248 Florissant residents, or 10.3% of civilian, non-institutionalized persons under the age of 65, have a disability. For the purposes of the American Community Survey, residents who report having any one (or multiple) of six disability types (hearing difficulty, vision difficulty, cognitive difficulty, ambulatory difficulty, self-care difficulty, or independent living difficulty) are considered to have a disability. Additionally, according to the 2020 HUD Picture of Subsidized Households data, approximately 11% of persons utilizing the Housing Choice Voucher program, or an estimated 269 persons, have a disability.

#### **What are the housing and supportive service needs of these populations and how are these needs determined?**

The City of Florissant does not receive HOPWA funding to specifically address housing and supportive service needs of the population with HIV/AIDS.

#### **Discuss the size and characteristics of the population with HIV/AIDS and their families within the Eligible Metropolitan Statistical Area:**

The City of Florissant does not receive HOPWA funding to specifically address housing and supportive service needs of the population with HIV/AIDS.

#### **Discussion:**

The City of Florissant does not receive HOPWA funding to specifically address housing and supportive service needs of the population with HIV/AIDS.

## **NA-50 Non-Housing Community Development Needs – 91.215 (f)**

### **Describe the jurisdiction's need for Public Facilities:**

The City of Florissant does not intend to use its limited CDBG funding for public facilities within the next five years. Public facilities needs within the City of Florissant are determined by the Department of Public Works, which utilizes City funding and other competitive grants to complete high priority projects.

### **How were these needs determined?**

Public facilities needs within the City of Florissant are determined by the Department of Public Works, which utilizes City funding and other competitive grants to complete high priority projects.

### **Describe the jurisdiction's need for Public Improvements:**

The City of Florissant does not intend to use its limited CDBG funding for public improvements within the next five years. Public improvements needs within the City of Florissant are determined by the Department of Public Works, which utilizes City funding and other competitive grants to complete high priority projects.

### **How were these needs determined?**

Public improvements needs within the City of Florissant are determined by the Department of Public Works, which utilizes City funding and other competitive grants to complete high priority projects.

### **Describe the jurisdiction's need for Public Services:**

High priority public services needs were determined during the Consolidated Plan process through a needs assessment, market analysis, and discussions with community stakeholders via a public hearing and Citizens Participation Committee (CPC) meeting. High priority public service needs include services for persons with disabilities in Florissant (based on American Community Survey data, approximately 5,248 persons under the age of 65 in Florissant have a disability) and emergency mortgage, rental, and utility assistance (especially given that there are approximately 4,590 renter households who cannot benefit from the other home repair-focused programs conducted through the CDBG program). The emergency mortgage, rental, and utility assistance program has been provided by the City of Florissant in past years and proved to be a valuable public service to the community.

### **How were these needs determined?**

High priority public services needs were determined during the Consolidated Plan process through a needs assessment, market analysis, and discussions with community stakeholders via a public hearing and Citizens Participation Committee (CPC) meeting.

# Housing Market Analysis

## MA-05 Overview

### Housing Market Analysis Overview:

The City of Florissant remains an attractive and desirable place to live, with a relatively strong housing market despite the recent foreclosure crisis that affected much of North St. Louis County, the St. Louis region, and the nation as a whole. According to the 2019 American Community Survey 5-Year estimates, Florissant contains a total of 19,710 housing units, of which the majority are single-family detached units (78.4%). The homeownership rate was 65.2%. Vacancy rates in the City were roughly equivalent for ownership units (2.5%) than for rental units (2.8%). The vast majority of Florissant's housing stock was built between 1950 and 1979. The overall quality of housing in Florissant is good, which is attributable in part to the City's residential code enforcement efforts. The success of the City's occupancy permit process and code enforcement efforts means that many homes 30 to 50 years old are in good condition.

However, despite the strength of the City of Florissant's housing stock, housing markets are affected by a variety of large-scale trends. When the City of Florissant is viewed within a regional context, it is clear that maintaining the stability of the current housing market and property values will be just as important as providing affordable housing options over the next five years, which points to a strategy focused on maintaining and rehabilitating existing housing units.

## MA-10 Number of Housing Units – 91.210(a)&(b)(2)

### Introduction

#### All residential properties by number of units

Property Type	Number	%
1-unit detached structure	17,137	78.4%
1-unit, attached structure	923	4.2%
2-4 units	847	3.9%
5-19 units	2,252	10.3%
20 or more units	656	3%
Mobile Home, boat, RV, van, etc	46	0%
<b>Total</b>	<b>21,861</b>	<b>100%</b>

Table 26 – Residential Properties by Unit Number

Data Source: 2019 ACS

#### Unit Size by Tenure

	Owners		Renters	
	Number	%	Number	%
No bedroom	14	0%	13	0%
1 bedroom	162	1%	1,469	26%
2 bedrooms	2,631	16%	2,073	37%
3 or more bedrooms	13,221	82%	1,994	36%
<b>Total</b>	<b>16,028</b>	<b>99%</b>	<b>5,549</b>	<b>99%</b>

Table 27 – Unit Size by Tenure

Data Source: 2007-2011 ACS

#### Describe the number and targeting (income level/type of family served) of units assisted with federal, state, and local programs.

According to the 2020 HUD Picture of Subsidized Households data, the City of Florissant has an estimated 2,448 persons (754 households) utilizing Housing Choice Vouchers and 145 persons (142 households, primarily seniors) living in Section 8 housing. Additionally, according to HUD databases, there is one Low Income Housing Tax Credit (LIHTC) development within the City of Florissant, Charbonier Manor, which was placed in service in 2002 and has 71 low income two-bedroom units.

#### Provide an assessment of units expected to be lost from the affordable housing inventory for any reason, such as expiration of Section 8 contracts.

According to HUD databases, Charbonier Manor, referenced above, is the only LIHTC development within the City of Florissant and contains 71 low income two-bedroom units. It was placed in service in 2002, which means that its' initial 15-year compliance period has come to an end, prior to the time period covered by this Consolidated Plan. These 71 units could theoretically be lost from the affordable housing inventory. However, just because a unit (or units) is/are at risk of being lost from the affordable housing inventory, doesn't mean that the owner will choose to operate the unit(s) as a market rate property. Furthermore, and more importantly, HUD-mandated affordable rents do not always differ significantly from the maximum rents a property owner might be able to get on the open market.

The Missouri Housing Development Commission requires a 30-year period of affordability for LIHTC projects, starting the year the projects are placed in service. The 30-year affordability period is split into two portions: a 15-year compliance period and a 15-year extended affordability period that owners can technically "opt out" of. While MHDC currently strongly encourages owners to waive their "opt out" rights ahead of time when initially applying for tax credits, 15 years ago many owners did not pre-opt out.

At Year 14 of the initial 15-year compliance period, owners of LIHTC properties can apply to the Missouri Housing Development Commission (MHDC) to "opt out" of the extended 15-year affordability requirement. There is an extensive application process to opt out of the extended affordability requirement, and MHDC must market the property for one year to potential new owners who will agree to operate the property as affordable housing. If the property is not sold to a new owner (and it is unlikely that it will be, due to the formula MHDC uses to determine the required sale price of the LIHTC property), the original owner can then convert the property to market rate, although there is a 3-year period wherein the original owner cannot evict any of the existing low-income tenants. Despite being past the compliance period, the owner has not opted out of the LIHTC status.

The HUD Section 8 Contract database does not show any Section 8 contracts expiring from 2015 to 2019, the years covered by this Consolidated Plan. There are three Section 8 properties with addresses listed as "Florissant" addresses; however, when the location of these properties were verified, they were found to be outside the City of Florissant borders.

### **Does the availability of housing units meet the needs of the population?**

As a general rule, the housing units in Florissant meet the needs of the current population.

### **Describe the need for specific types of housing:**

The most critical needs are related to housing cost burden/affordability, continued home repair and maintenance, and accessibility improvements for existing structures.

### **Discussion**

## MA-15 Housing Market Analysis: Cost of Housing - 91.210(a)

### Introduction

### Cost of Housing

	Base Year: 2010	Most Recent Year: 2019	% Change
Median Home Value	115,000	97,600	-15%
Median Contract Rent	646	1,034	60%

Table 28 – Cost of Housing

Data Source: 2010 Census (Base Year), 2014-2019 ACS (Most Recent Year)

Rent Paid	Number	%
Less than \$500	231	3.5%
\$500-999	2,863	42.8%
\$1,000-1,499	2,857	42.7%
\$1,500-1,999	711	10.6%
\$2,000 or more	24	0.3%
<b>Total</b>	<b>6,686</b>	<b>100.0%</b>

Table 29 - Rent Paid

Data Source: 2019 ACS

### Housing Affordability

% Units affordable to Households earning	Renter	Owner
30% HAMFI	205	No Data
50% HAMFI	1,355	1,530
80% HAMFI	3,675	4,809
100% HAMFI	No Data	7,223
<b>Total</b>	<b>5,235</b>	<b>13,562</b>

Table 30 – Housing Affordability

Data Source: 2007-2011 CHAS

### Monthly Rent

Monthly Rent (\$)	Efficiency (no bedroom)	1 Bedroom	2 Bedroom	3 Bedroom	4 Bedroom
Fair Market Rent	671	731	938	1,224	1,440
High HOME Rent	671	731	938	1,224	1,440
Low HOME Rent	671	731	938	1,103	1,231

Table 31 – Monthly Rent

Data Source Comments:

### **Is there sufficient housing for households at all income levels?**

As is the case in many communities, there is not sufficient housing for renter households at the less than 30% AMI income level. There are 205 housing units affordable to renters making less than 30% AMI, but HUD data shows that there are 705 renter households in that income level. Renter households at this income level are incredibly difficult to house. It is estimated that a household making 30% of AMI can afford monthly rent of \$503, which is below the HOME rents for even an efficiency apartment.

Additionally, HUD data shows that there are 820 owner households making less than 30% AMI. Although very few – if any – homes would be affordable to these households were they to try and purchase a new home in Florissant, it is likely that many of these households have paid off their mortgage and own their home in full (senior citizens living alone are an example of who might fall into this category of home owners making less than 30% AMI). For these owner households making less than 30% AMI, home repair programs that allow them to perform needed maintenance are critical to ensuring there is sufficient housing available.

### **How is affordability of housing likely to change considering changes to home values and/or rents?**

While the Cost of Housing table above shows an increase in median contract rents and a decrease of median home values between 2011 and 2019, and thus suggests a decrease of affordability. The general population decrease of the city reduced the number of homeowners and renters alike but resulted in a larger net loss of homeowners. This trend will allow for new homeowners who might not have been able to afford property in the City ten years ago, the opportunity to buy and renovate older homes. When the City of Florissant is viewed within a regional context, it is clear that maintaining the stability of the current housing market and property values will be just as important as providing affordable housing options over the next five years.

### **How do HOME rents / Fair Market Rent compare to Area Median Rent? How might this impact your strategy to produce or preserve affordable housing?**

Fair Market Rent starts at \$671 for an efficiency apartment. Additionally, nearly all renter households in Florissant pay \$1,000 per month for rent. However, these households are likely renting units of varying sizes, including 3-bedroom units, and the Fair Market Rent for a 3-bedroom unit is \$1,224 per month, more than the majority of renter households are currently paying. Florissant's housing stock is mostly comprised of single detached units not 1- or 2-bedroom apartments, thus Florissant's median rent might seem high but the properties themselves are competitively priced.

In other words, as is the case in many communities within the St. Louis region, affordable housing rents are actually very similar to market rate rents. For this reason, and because the City of Florissant does not have a large enough CDBG allocation to effectively catalyze large-scale housing developments, City strategies will focus on the preservation and repair of existing housing stock.



## MA-20 Housing Market Analysis: Condition of Housing – 91.210(a)

### Introduction

### Definitions

The City of Florissant does not have a formal definition of substandard condition but the City of Florissant does employ inspectors to evaluate each structure before CDBG funds are allocated to ensure the building is suitable for rehabilitation.

### Condition of Units

Condition of Units	Owner-Occupied		Renter-Occupied	
	Number	%	Number	%
With one selected Condition	3,883	24%	2,442	44%
With two selected Conditions	117	1%	111	2%
With three selected Conditions	0	0%	0	0%
With four selected Conditions	0	0%	0	0%
No selected Conditions	12,028	75%	2,996	54%
<b>Total</b>	<b>16,028</b>	<b>100%</b>	<b>5,549</b>	<b>100%</b>

Table 32 - Condition of Units

Data Source: 2007-2011 ACS

### Year Unit Built

Year Unit Built	Owner-Occupied		Renter-Occupied	
	Number	%	Number	%
2000 or later	125	1%	0	0%
1980-1999	550	6%	725	16%
1960-1979	4,345	47%	2,285	50%
Before 1960	4,235	46%	1,575	34%
<b>Total</b>	<b>9,255</b>	<b>100%</b>	<b>4,590</b>	<b>100%</b>

Table 33 – Year Unit Built

Data Source: 2013-2017 CHAS

### Risk of Lead-Based Paint Hazard

Risk of Lead-Based Paint Hazard	Owner-Occupied		Renter-Occupied	
	Number	%	Number	%
Total Number of Units Built Before 1980	9,130	99%	3,865	84%
Housing Units built before 1980 with children present	1135	12%	740	20%

Table 34 – Risk of Lead-Based Paint

Data Source: 2013-2017 CHAS

## Vacant Units

	Suitable for Rehabilitation	Not Suitable for Rehabilitation	Total
Vacant Units	0	0	0
Abandoned Vacant Units	0	0	0
REO Properties	0	0	0
Abandoned REO Properties	0	0	0

**Table 35 - Vacant Units**

Data Source: 2005-2009 CHAS

## Need for Owner and Rental Rehabilitation

The overall quality of housing in Florissant is good, which is attributable in part to the City's residential code enforcement efforts. The success of the City's occupancy permit process and code enforcement efforts means that many homes 30 to 50 years old are in good condition. Each year, inspectors do a property maintenance drive around to identify homes in need of exterior repair. Homeowners are cited with violations and must fix the violations. The City will continue to administer the Home Improvement Program in an effort to assist low- to moderate-income families with rehabilitation projects.

Despite the fact that overall housing quality is good, there is still a significant need for owner rehabilitation of housing within the City of Florissant. 78.4% of housing units within the City are single unit, detached homes and 65.2% of housing units are owner-occupied. The vast majority of Florissant's housing stock was built between 1950 and 1979, and many homes have routine maintenance and rehabilitation needs that may not be affordable to the existing home owners.

## Estimated Number of Housing Units Occupied by Low or Moderate Income Families with LBP Hazards

HUD-provided CHAS data shows that there are 9,715 low- to moderate-income households living in Florissant. As the vast majority of Florissant's housing stock was built before 1980, it should be assumed that these low- to moderate-income households are at risk for lead based paint hazards unless their homes have already been tested and known to be clear of lead-based paint hazards.

## Discussion

## MA-25 Public and Assisted Housing – 91.210(b)

### Introduction

As described in NA-35, The City of Florissant does not have an independent public housing authority, but rather lies within the jurisdiction of the St. Louis County Housing Authority. The data in Table 36 below is for the entire St. Louis County Housing Authority and is included for the sole purpose of giving a sense of the number of public housing units and vouchers available for the entire County. The City of Florissant does not have any public housing within its boundaries. According to the 2020 HUD Picture of Subsidized Households data, the City of Florissant has an estimated 2,448 persons (765 households) utilizing Housing Choice Vouchers and 145 persons (145 households, primarily seniors) living in Section 8 housing.

### Totals Number of Units

Program Type									
Certificate	Mod-Rehab	Public Housing	Vouchers						
			Total	Project-based	Tenant-based	Special Purpose Voucher			
						Veterans Affairs Supportive Housing	Family Unification Program	Disabled *	
# of units vouchers available	0	67	370	6,401	0	6,401	0	1,643	872
# of accessible units									
*Includes Non-Elderly Disabled, Mainstream One-Year, Mainstream Five-year, and Nursing Home Transition									

Data Source: PIC (PIH Information Center)

Table 36 – Total Number of Units by Program Type

### Describe the supply of public housing developments:

Describe the number and physical condition of public housing units in the jurisdiction, including those that are participating in an approved Public Housing Agency Plan:

There are no public housing developments within the City of Florissant.

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**Public Housing Condition**

Public Housing Development	Average Inspection Score

Table 37 - Public Housing Condition

**Describe the restoration and revitalization needs of public housing units in the jurisdiction:**

There are no public housing developments within the City of Florissant.

**Describe the public housing agency's strategy for improving the living environment of low- and moderate-income families residing in public housing:**

Not Applicable.

**Discussion:**

## MA-30 Homeless Facilities and Services – 91.210(c)

### Introduction

The City of Florissant does not receive an Emergency Solutions Grant allocation for homeless facilities and services and there are not facilities or housing targeted to homeless households within Florissant. Instead, the City of Florissant falls within the boundaries of the St. Louis County Continuum of Care (CoC), which promotes a regional approach to addressing homelessness. Saint Louis County residents, including Florissant residents, who are homeless or experiencing a housing crisis can seek assistance by calling the Emergency Shelter Hotline. The Hotline is a centralized intake and referral system that can be accessed by calling a single number (314-802-5444). The caller is interviewed by an intake specialist, and if in crisis, is referred to either emergency shelter or rent/mortgage/utility assistance.

The facilities in the tables below are not located in the City of Florissant, but are part of the larger St. Louis County Continuum of Care. The data is current as of April 2021 and was reported to HUD by the CoC.

### Facilities and Housing Targeted to Homeless Households

	Emergency Shelter Beds		Transitional Housing Beds	Permanent Supportive Housing Beds	
	Year-Round Beds (Current & New)	Voucher / Seasonal / Overflow Beds		Current & New	Under Development
Households with Adult(s) and Child(ren)	133	87	46	205	0
Households with Only Adults	30	0	118	104	0
Chronically Homeless Households	34	0	0	0	0
Veterans	5	0	4	0	0
Unaccompanied Youth	14	0	21	0	0

Data Source Comments:

Table 38 - Facilities and Housing Targeted to Homeless Households

**Describe mainstream services, such as health, mental health, and employment services to the extent those services are used to complement services targeted to homeless persons**

A variety of regional and St. Louis County mainstream services are available to City of Florissant residents. City staff are in close contact with these service providers so that they can effectively refer residents to providers when needed. Examples of providers include the St. Louis County Career Center and the St. Louis County Mayfair Plaza WIC Nutrition Services Office, both located nearby the City of Florissant.

**List and describe services and facilities that meet the needs of homeless persons, particularly chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth. If the services and facilities are listed on screen SP-40 Institutional Delivery Structure or screen MA-35 Special Needs Facilities and Services, describe how these facilities and services specifically address the needs of these populations.**

St. Louis County Continuum of Care facilities (and the providers running those facilities) targeted to homeless households and represented in table 43 above include:

- Loaves & Fishes (Loaves & Fishes, Inc.)
- Room at the Inn (Providence Min. Corp)
- Weinman Shelter (St. Louis County)
- Family Haven (Salvation Army)
- Youth Emergency Services (Epworth Children & Family Services)
- Youth in Need Emergency Shelter (Youth in Need)
- Stratford Commons (Salvation Army)
- Epworth Transitional Housing (Epworth Children & Family Services)
- Humanitri (Humanitri)
- VADOM (VA Medical Center)
- Evangelical Children Transitional Housing (Evangelical Children & Family Services)
- Saint Vincent Home for Children (St. Vincent Home for Children)
- Queen of Peace (Department of Mental Health/Community Alternatives)
- Places for People (Department of Mental Health/Community Alternatives)
- St. Louis County Community Alternatives (Department of Mental Health/Community Alternatives)
- Project Homecoming (Employment Connection)
- Homes of Hope (Salvation Army)

## **MA-35 Special Needs Facilities and Services – 91.210(d)**

### **Introduction**

The City of Florissant does not receive ESG or HOPWA allocations to address special needs facilities and services. Instead, these services are covered by the St. Louis County Continuum of Care and its partner providers. The City of Florissant continues to develop relationships with the various service organizations serving the community. Staff works to enhance communication with the public and educate residents on services available both from the City and from other entities within the St. Louis County Continuum of Care.

In addition, because of the disability needs within the City of Florissant as outlined in Section NA-45, the City of Florissant plans to assist residents with disabilities using CDBG funding. The City will continue to provide Home Improvement Loans to assist residents in making ADA improvements to their homes and will continue to fund Project IMPACT program that provides wheelchair ramps to Florissant residents with disabilities. By allocating CDBG funds to these programs the City is able to address the needs of Florissant residents with disabilities that would otherwise go unmet.

**Including the elderly, frail elderly, persons with disabilities (mental, physical, developmental), persons with alcohol or other drug addictions, persons with HIV/AIDS and their families, public housing residents and any other categories the jurisdiction may specify, and describe their supportive housing needs**

The City of Florissant does not receive ESG or HOPWA allocations to address special needs facilities and services. Instead, these services are covered by the St. Louis County Continuum of Care and its partner providers.

**Describe programs for ensuring that persons returning from mental and physical health institutions receive appropriate supportive housing**

The City of Florissant does not receive ESG or HOPWA allocations to address special needs facilities and services. Instead, these services are covered by the St. Louis County Continuum of Care and its partner providers.

**Specify the activities that the jurisdiction plans to undertake during the next year to address the housing and supportive services needs identified in accordance with 91.215(e) with respect to persons who are not homeless but have other special needs. Link to one-year goals. 91.315(e)**

The City of Florissant does not receive ESG or HOPWA allocations to address special needs facilities and services. Instead, these services are covered by the St. Louis County Continuum of Care and its partner providers.

**For entitlement/consortia grantees: Specify the activities that the jurisdiction plans to undertake during the next year to address the housing and supportive services needs identified in accordance with 91.215(e) with respect to persons who are not homeless but have other special needs. Link to one-year goals. (91.220(2))**

The City of Florissant does not receive ESG or HOPWA allocations to address special needs facilities and services. Instead, these services are covered by the St. Louis County Continuum of Care and its partner providers.



## **MA-40 Barriers to Affordable Housing – 91.210(e)**

### **Negative Effects of Public Policies on Affordable Housing and Residential Investment**

The City of Florissant, along with the City of O’Fallon and St. Louis County, recently retained Mosaic to conduct a joint Analysis of Impediments to Fair Housing Choice, with specific recommendations for each of the three participating jurisdictions.

Many of the Impediments to Fair Housing identified by Mosaic as being applicable to the City of Florissant are also Barriers to Affordable Housing. These barriers are largely systemic and will require effort from both private sector and public sector actors across the region to correct. These include:

- 1) Low labor market engagement and limited incomes restrict housing choice and access to opportunity among protected classes
- 2) Lack of access to transportation services in some areas of the region limits housing choices and access to employment, services, and resources
- 3) Insufficient housing for people with disabilities
- 4) Limited access to quality schools disproportionately impacts residents of color
- 5) Lack of affordable housing supply prevents members of protected classes from living in areas of opportunity
- 6) Ongoing need for fair housing outreach, education, and enforcement.
- 7) Continued need for neighborhood investment and expanding opportunity in north St. Louis County.
- 8) NIMBYism and prejudice reduce housing choice for protected classes

While all of these barriers affect the City of Florissant, many are regional issues that the City of Florissant cannot address on its own. However, as described in sections SP-55 and AP-75, the City of Florissant will encourage broader access to affordable housing and fair housing to the extent possible within the larger context of St. Louis County and the St. Louis Region.

Additional background information and findings from the Florissant Executive Summary: Mosaic Analysis of Impediments to Fair Housing can be found in the Mosaic Analysis of Impediments.

## Additional Mosaic AI Findings

The Mosaic Analysis of Impediments to Fair Housing Choice found that:

- Racial diversity in Florissant increased substantially from 2012-2019, with the Black/African American population growing by 50%
- According to the 2019 ACS, Florissant has a population of 50,952, and is 52.1% White and 40.1% Black/African American, with no other minority group making up more than 4% of the population
- The City of Florissant is well served by highway access
- The graduation rates for local schools are in line with state graduation rates
- Opportunity levels in Florissant (areas with low poverty, high school proficiency, and high labor market engagement) tend to be above those of many areas in north St. Louis County, but behind those of the central and southern portions of the County
- Florissant land use and zoning policies were reviewed against a set of fair housing criteria and assigned a “risk score” to indicate their potential to result in housing discrimination. Florissant’s overall risk score was 1.7, indicating a moderate risk of its zoning and land use regulations impeding fair housing choice. Provisions with the greatest risk of restricting housing choice are those concerning the means by which people with disabilities may make modifications to their homes and provisions restricting the placement of alcohol and/or drug abuse treatment centers.
- Florissant is served by several local fair housing, affordable housing, and homeless services organizations (Equal Housing Opportunity Council, Legal Services of Eastern Missouri, Community Action Agency of St. Louis County, and Catholic Charities among them)
- 8 housing discrimination complaints were settled in St. Louis County between 2016-2020 (the time period for which the data was collected)

Mosaic used a statistical analysis – referred to as dissimilarity – to evaluate how residential patterns vary by race and ethnicity, and how these patterns have changed since 1990. The Dissimilarity Index (DI) indicates the degree to which two groups living in a region are similarly geographically distributed. Dissimilarity Index values range from 0 (complete integration) to 100 (complete segregation). HUD identifies a DI value below 40 as low segregation, a value between 40 and 54 as moderate segregation, and a value of 55 or higher as high segregation.

While demographic data indicate low but increasing levels of segregation within Florissant from 1990 to 2010, segregation at the level of the Consortium’s study area is high among Black and white populations. At the regional level, the DI value for the Black/white pairing increased slightly since 1990 to a value of 70.7 in 2010. The DI value of 25.2 calculated for the Hispanic/white pairing is an increase of about 10 points since 1990.

# MA-45 Non-Housing Community Development Assets – 91.215 (f) Introduction

## Economic Development Market Analysis

### Business Activity

Business by Sector	Number of Workers	Number of Jobs	Share of Workers %	Share of Jobs %	Jobs less Workers %
Agriculture, Mining, Oil & Gas Extraction	51	0	0.1	0	0
Arts, Entertainment, Accommodations	2,236	2,843	11.4	21.6	10.2
Construction	1,068	285	3.6	2.2	-1.4
Education and Health Care Services	6,142	4,158	25.4	31.7	6.2
Finance, Insurance, and Real Estate	1,749	433	5.4	2.3	-3.1
Information	638	132	2.5	1	-1.5
Manufacturing	3,450	54	7.9	14	-6.1
Other Services	1,549	424	2.9	3.2	0.3
Professional, Scientific, Management Services	2,380	322	7.4	2.5	-4.9
Public Administration	890	306	2.7	2.3	-0.4
Retail Trade	2,728	3,529	10.6	26.9	16.3
Transportation and Warehousing	1,571	320	4.9	2.4	-2.5
Wholesale Trade	569	109	5.1	0.8	-4.3
Total	25,021	13,141	--	--	--

**Table 39 - Business Activity**  
Data Source: 2019 ACS (Workers), 2018 Longitudinal Employer-Household Dynamics (Jobs)

## Labor Force

Total Population in the Civilian Labor Force	27,366
Civilian Employed Population 16 years and over	25,021
Unemployment Rate	8.6

**Table 40 - Labor Force**

Data Source: 2019 ACS

Occupations by Sector	Number of People
Management, business and financial	7,998
Service	4,830
Sales and office	6,165
Natural Resources, construction, and maintenance operations	1,765
Production, transportation and material moving	4,263

**Table 41 – Occupations by Sector**

Data Source: 2019 ACS

## Travel Time

Travel Time	Number	Percentage
< 30 Minutes	16,456	64%
30-59 Minutes	8,122	31%
60 or More Minutes	963	4%
<b>Total</b>	<b>25,541</b>	<b>100%</b>

**Table 42 - Travel Time**

Data Source: 2019 ACS

## Education:

### Educational Attainment by Employment Status (Population 16 and Older)

Educational Attainment	In Labor Force		Not in Labor Force
	Civilian Employed	Unemployed	
Less than high school graduate	1,170	61	461
High school graduate (includes equivalency)	6,061	602	1,297
Some college or Associate's degree	9,190	576	1,638
Bachelor's degree or higher	5,216	266	590

**Table 43 - Educational Attainment by Employment Status**

Data Source: 2007-2011 ACS

### Educational Attainment by Age

	Age				
	18–24 yrs	25–34 yrs	35–44 yrs	45–65 yrs	65+ yrs
Less than 9th grade	0	32	37	222	891
9th to 12th grade, no diploma	895	348	460	593	1,034
High school graduate, GED, or alternative	1,540	1,376	2,134	4,450	3,363
Some college, no degree	1,631	2,086	1,975	4,214	1,580
Associate's degree	498	930	1,044	1,194	286
Bachelor's degree	431	1,378	962	2,168	691
Graduate or professional degree	15	455	264	845	289

**Table 44 - Educational Attainment by Age**

Data Source: 2007-2011 ACS

### Educational Attainment – Median Earnings in the Past 12 Months

Educational Attainment	Median Earnings in the Past 12 Months
Less than high school graduate	22,218
High school graduate (includes equivalency)	31,929
Some college or Associate's degree	34,538
Bachelor's degree	41,634
Graduate or professional degree	49,476

**Table 45 – Median Earnings in the Past 12 Months**

Data Source: 2007-2011 ACS

**Based on the Business Activity table above, what are the major employment sectors within your jurisdiction?**

Major employment sectors include Arts, Entertainment, and Accommodations; Education and Health Care Services; and Retail Trade.

**Describe the workforce and infrastructure needs of the business community:**

While increased workforce development is always important, the City of Florissant adequately meets the needs of the business community. Florissant is well-located, with highway I-270, one of several interstate highways connecting the St. Louis region, passing through Florissant's southern edge. Metro public transit includes a fleet of busses, light rail and paratransit vehicles that serve Florissant and other parts of St. Louis County. Florissant is served by the Ferguson-Florissant and Hazelwood school districts, both of which had graduate rates in line with the state rate as of the 2018 school year.

**Describe any major changes that may have an economic impact, such as planned local or regional public or private sector investments or initiatives that have affected or may affect job and business growth opportunities during the planning period. Describe any needs for workforce development, business support or infrastructure these changes may create.**

One major initiative that may affect business growth within the region (and thus also, possibly, within Florissant) has been the formation of Greater St. Louis Inc. Greater St. Louis, Inc, a merger of 4 preexisting development agencies, brings together business and civic leaders to create jobs, expand inclusive economic growth and improve St. Louis' global competitiveness. The organization is dedicated to St. Louis' growth and prosperity as a global metropolitan region that expands economic opportunity for all.

**How do the skills and education of the current workforce correspond to employment opportunities in the jurisdiction?**

Workforce training initiatives are offered through the St. Louis County Department of Human Services Division of Workforce Development through Career Centers. The mission of the Career Centers is to serve as a partnership between Saint Louis County residents and businesses in supporting the Saint Louis Metropolitan area's economic development with a qualified workforce. While the services offered are designed to serve the entire population of St. Louis County, one of the two Career Centers is located very close to the City of Florissant and is easily accessible to residents. T Center is open Monday-Friday and located at 4040 Seven Hills Drive, Suite 166, St. Louis, MO, 63033-6770. The Career Center offers a broad range of services, including workshops on topics such as computer skills, budgeting, networking, resume writing, and career resources for Veterans.

**Describe any current workforce training initiatives, including those supported by Workforce Investment Boards, community colleges and other organizations. Describe how these efforts will support the jurisdiction's Consolidated Plan.**

Workforce training initiatives are offered through the St. Louis County Department of Human Services Division of Workforce Development through Career Centers. The mission of the Career Centers is to serve as a partnership between Saint Louis County residents and businesses in supporting the Saint Louis Metropolitan area's economic development with a qualified workforce. While the services offered are designed to serve the entire population of St. Louis County, one of the two Career Centers is located very close to the City of Florissant and is easily accessible to residents. T Center is open Monday-Friday and located at 4040 Seven Hills Drive, Suite 166, St. Louis, MO, 63033-6770. The Career Center offers a broad range of services, including workshops on topics such as computer skills, budgeting, networking, resume writing, and career resources for Veterans.

**Does your jurisdiction participate in a Comprehensive Economic Development Strategy (CEDS)?**

No

**If so, what economic development initiatives are you undertaking that may be coordinated with the Consolidated Plan? If not, describe other local/regional plans or initiatives that impact economic growth.**

Greater St. Louis Inc, referenced above, has a strategic plan. City of Florissant staff will keep up to date on the plan's progress and how it might connect to Consolidated Plan activities. Strategic Plan focus areas for Greater St. Louis Inc include:

1. Stewarding an inclusive economy.
2. Restoring the core of St. Louis
3. Investing in competitive industries
4. Becoming a talent engine & magnet
5. Building a world-class small business & entrepreneurial ecosystem

**Discussion**

## **MA-50 Needs and Market Analysis Discussion**

### **Are there areas where households with multiple housing problems are concentrated? (include a definition of "concentration")**

Housing needs are not highly concentrated geographically, but rather exist throughout the City of Florissant, as low- to moderate-income households are distributed throughout the City of Florissant.

### **Are there any areas in the jurisdiction where racial or ethnic minorities or low-income families are concentrated? (include a definition of "concentration")**

City of Florissant, but are especially concentrated in areas where rental housing options are available. Public services programs that meet the needs of renter households, such as emergency rental and/or utility assistance, are important to serving persons residing in the pockets of the City where renter-occupied units are more common. Public services spending, however, is limited and restricted to a maximum of 15% of a Participating Jurisdiction's CDBG allocation.

### **What are the characteristics of the market in these areas/neighborhoods?**

As shown in Section MA-05 of this document, the housing market conditions within the City of Florissant are relatively consistent, especially when compared to St. Louis County as a whole.

### **Are there any community assets in these areas/neighborhoods?**

As described above, there is no single area within Florissant where low- and moderate-income or minority populations are concentrated. Rather, needs exist throughout the jurisdiction. In terms of assets, the City of Florissant is a viable, prosperous community that offers its residents a variety of services and activities. Assets include the James J. Eagan and John F. Kennedy Recreation Centers, the James J. Eagan Center Ice Rink, the Florissant Civic Center Theatre, the Florissant Valley Branch of the St. Louis Public Library, and a multitude of businesses, services, and churches. In terms of opportunities, the City of Florissant does not receive a large enough CDBG allocation to catalyze large-scale housing development. Additionally, development of the City's land is now almost complete and the major issues facing the City are a mature housing stock, and aging population, and a changing economic environment.

### **Are there other strategic opportunities in any of these areas?**

As described above, there is no single area within Florissant where low- and moderate-income or minority populations are concentrated. Rather, needs exist throughout the jurisdiction. In terms of assets, the City of Florissant is a viable, prosperous community that offers its residents a variety of services and activities. Assets include the James J. Eagan and John F. Kennedy Recreation Centers, the James J. Eagan Center Ice Rink, the Florissant Civic Center Theatre, the Florissant Valley Branch of the St.



Louis Public Library, and a multitude of businesses, services, and churches. In terms of opportunities, the City of Florissant does not receive a large enough CDBG allocation to catalyze large-scale housing development. Additionally, development of the City's land is now almost complete and the major issues facing the City are a mature housing stock, and aging population, and a changing economic environment.

# Strategic Plan

## SP-05 Overview

### Strategic Plan Overview

This Strategic Plan portion of the Consolidated Plan identifies specific strategies and associated goals to address community needs over the next five years (FY2021-FY2021) that are consistent with the goals and requirements of the CDBG program.

Due to the limited dollar amount of funds available from the CDBG program, the City of Florissant has determined, through a needs assessment, market analysis, and public participation process, that it is in the best interest of the community to continue to concentrate limited CDBG funds in a few areas of primary concern over the next five years. Housing, Public Services, and the Removal of Architectural Barriers have been the focus in the past and will remain the focus over the next five years. There continues to be a need and concern regarding the preservation and maintenance of existing structures, homeownership, lead, and emergency repair throughout the City. The programs addressing these issues that the City currently funds have been very popular and have met a great need in the community. In addition, Public Services programs such as programs for persons with disabilities and emergency mortgage, rental, and utility assistance have been identified through the needs assessment and public participation process as important strategies for serving City residents.

## SP-10 Geographic Priorities – 91.215 (a)(1)

### Geographic Area

Table 46 - Geographic Priority Areas

1	Area Name:	City of Florissant
	Area Type:	Local Target area
	Other Target Area Description:	
	HUD Approval Date:	
	% of Low/ Mod:	
	Revital Type:	
	Other Revital Description:	
	Identify the neighborhood boundaries for this target area.	
	Include specific housing and commercial characteristics of this target area.	
	How did your consultation and citizen participation process help you to identify this neighborhood as a target area?	
	Identify the needs in this target area.	
	What are the opportunities for improvement in this target area?	
	Are there barriers to improvement in this target area?	

### General Allocation Priorities

Describe the basis for allocating investments geographically within the jurisdiction (or within the EMSA for HOPWA)

The City of Florissant will not be allocating CDBG funded programs based on geographic target areas. CDBG investments are made city-wide since low- to moderate-income persons are not concentrated in a single geographic area of the City. Instead, programs funds will be distributed based on need and eligibility. It is important to note that other City of Florissant programs not covered by this Consolidated Plan are geographically targeted. For example, the City of Florissant applied for and received a grant from the Neighborhood Stabilization Program (NSP) through the Department of Housing and Urban Development (HUD) Recovery Act funds. The City was awarded \$1.5 million dollars for the purchase, rehabilitation, and resale of foreclosed homes in order to stabilize neighborhoods and stem the decline of house values of neighboring homes. The City continues to administer this program through the original award amount and additional Program Income. No other local, state, or federal funds will be utilized for these projects. These NSP projects are geographically targeted to NSP-eligible areas within the City of Florissant.

## SP-25 Priority Needs - 91.215(a)(2)

### Priority Needs

Table 47 – Priority Needs Summary

1	<b>Priority Need Name</b>	Housing Repair and Improvement
	<b>Priority Level</b>	High
	<b>Population</b>	Low Moderate
	<b>Geographic Areas Affected</b>	City of Florissant
	<b>Associated Goals</b>	Home Improvement Program Home Improvement Program - Mechanical Administration
	<b>Description</b>	Housing Repair and Improvement for Low- to Moderate-Income Homeowners
	<b>Basis for Relative Priority</b>	Relative priorities were based on the needs and market analyses, as well as public input from the Citizens Participation Committee.
2	<b>Priority Need Name</b>	Housing Accessibility
	<b>Priority Level</b>	High
	<b>Population</b>	Low Moderate Elderly Frail Elderly Persons with Physical Disabilities
	<b>Geographic Areas Affected</b>	City of Florissant
	<b>Associated Goals</b>	Project I.M.P.A.C.T. Administration
	<b>Description</b>	Housing Accessibility for Low- to Moderate-Income Homeowners
	<b>Basis for Relative Priority</b>	Relative priorities were based on the needs and market analyses, as well as public input from the Citizens Participation Committee.
	<b>Basis for Relative Priority</b>	Relative priorities were based on the needs and market analyses, as well as public input from the Citizens Participation Committee.
3	<b>Priority Need Name</b>	Services for Persons with Disabilities
	<b>Priority Level</b>	High

	<b>Population</b>	Low Moderate Persons with Mental Disabilities Persons with Physical Disabilities Persons with Developmental Disabilities
	<b>Geographic Areas Affected</b>	City of Florissant
	<b>Associated Goals</b>	Project I.M.P.A.C.T. Administration
	<b>Description</b>	Services for low- to moderate-income persons with disabilities.
	<b>Basis for Relative Priority</b>	Relative priorities were based on the needs and market analyses, as well as public input from the Citizens Participation Committee.
4	<b>Priority Need Name</b>	Emergency Mortgage, Rental, and Utility Assistance
	<b>Priority Level</b>	High
	<b>Population</b>	Low Moderate
	<b>Geographic Areas Affected</b>	City of Florissant
	<b>Associated Goals</b>	Mortgage, Rental & Utility Assistance (MRU-Assist) Administration
	<b>Description</b>	Emergency mortgage, rental, and utility assistance for low- to moderate-income renters and homeowners.
	<b>Basis for Relative Priority</b>	Relative priorities were based on the needs and market analyses, as well as public input from the Citizens Participation Committee.

### Narrative (Optional)

## SP-30 Influence of Market Conditions – 91.215 (b)

### Influence of Market Conditions

Affordable Housing Type	Market Characteristics that will influence the use of funds available for housing type
Tenant Based Rental Assistance (TBRA)	Not applicable. The City of Florissant will be providing emergency mortgage, rental and utility assistance during FY2021-FY2025 using CDBG funding, but will not be providing long term Tenant Based Rental Assistance. Emergency assistance will be targeted based on need and income qualifications rather than market characteristics.
TBRA for Non-Homeless Special Needs	Not applicable. During the 2021-2025 Consolidated Plan period, the City of Florissant will be providing emergency mortgage, rental and utility assistance during FY2021-FY2025 using CDBG funding, but will not be providing long term Tenant Based Rental Assistance. Emergency assistance will be targeted based on need and income qualifications rather than market characteristics.
New Unit Production	Not applicable. The City of Florissant will not be subsidizing new unit production using CDBG funding during FY2021-FY2025.
Rehabilitation	While the City of Florissant will use CDBG funds for home repair/rehabilitation, the City will not be allocating CDBG funded programs based on market types or conditions. CDBG investments are made city-wide since low- to moderate-income persons are not concentrated in a single geographic area of the City. In addition, while differences in housing markets within the City of Florissant do exist, when viewed from a regional perspective, the housing markets of geographic areas within Florissant are similar to one another, and the significant differences are between housing markets in the City of Florissant vs. other areas of North St. Louis County vs. West St. Louis County (see MA-05 for a housing market overview). For these reasons, programs funds will be distributed based on need and eligibility rather than housing market conditions.
Acquisition, including preservation	Not applicable. The City of Florissant will not be acquiring properties using CDBG funding during FY2021-FY2025.

**Table 48 – Influence of Market Conditions**

## SP-35 Anticipated Resources - 91.215(a)(4), 91.220(c)(1,2)

### Introduction

The City of Florissant expects an allocation of \$262,402 in CDBG funding for FY2021. During the FY2016-FY2020 Consolidated Plan period, CDBG allocations varied between \$212,059 (lowest allocation) and 257,640 (highest allocation) with an average allocation of \$296,579. The chart below assumes that same average allocation of \$296,579 for each of the five years FY2021, FY2022, FY2023, FY2024 and FY2025.

### Anticipated Resources

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Reminder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	262,402	0	0	262,402	1,220,493	The City of Florissant expects a CDBG allocation of \$262,402 for FY2021 and the average allocation of \$296,579 for following years.

Table 49 - Anticipated Resources

**Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied**

While the City of Florissant has a small CDBG allocation, it is very highly leveraged through the Project I.M.P.A.C.T. program in order to provide home repairs and accessibility improvements to the maximum number of low- to moderate-income disabled Florissant residents. The Project I.M.P.A.C.T. program uses CDBG funding to purchase wheelchair ramps, materials and supplies for homes that are then rehabbed by qualified volunteers. The volunteer labor allows more households to be served with limited funding.

**If appropriate, describe publically owned land or property located within the jurisdiction that may be used to address the needs identified in the plan**

**Discussion**

Over the past decade The City of Florissant has become more effective at stretching CDBG dollars by creating new relationships with donors, volunteers, and other organizations to support the highly leveraged Project I.M.P.A.C.T. program.



**SP-40 Institutional Delivery Structure – 91.215(k)**

Explain the institutional structure through which the jurisdiction will carry out its consolidated plan including private industry, non-profit organizations, and public institutions.

Responsible Entity	Responsible Entity Type	Role	Geographic Area Served
FLORISSANT	Government	Economic Development Ownership Rental neighborhood improvements public facilities public services	Jurisdiction

**Table 50 - Institutional Delivery Structure**  
**Assess of Strengths and Gaps in the Institutional Delivery System**

The City of Florissant Department of Housing and Community Development administers the programs funded by the Community Development Block Grant. Private contractors do the actual work of rehabilitation services. The City staff is able to adequately monitor these contractors to assure that services are provided as promised.

The City administers the plans to all but one program funded with CDBG money. This allows staff to have a constant hand in the successfulness of the programs with regards to being responsive and the overall completion of paperwork and projects. Staff follows up with residents participating in the Home Improvement Program and receives top scores and feedback from those who participated. There are not any gaps in the Institutional Delivery System.

The City of Florissant does not administer ESG or HOPWA funding. Improvement of the Institutional Delivery System for homeless persons and persons with HIV falls under the purview of the St. Louis County Continuum of Care.

Availability of services targeted to homeless persons and persons with HIV and mainstream services

Homelessness Prevention Services	Available in the Community	Targeted to Homeless	Targeted to People with HIV
Homelessness Prevention Services			
Counseling/Advocacy			
Legal Assistance			
Mortgage Assistance			
Rental Assistance			
Utilities Assistance			
Street Outreach Services			
Law Enforcement			
Mobile Clinics			
Other Street Outreach Services			
Supportive Services			
Alcohol & Drug Abuse			
Child Care			
Education			
Employment and Employment Training			
Healthcare			
HIV/AIDS			
Life Skills			
Mental Health Counseling			
Transportation			
Other			

Table 51 - Homeless Prevention Services Summary

**Describe how the service delivery system including, but not limited to, the services listed above meet the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth)**

**Describe the strengths and gaps of the service delivery system for special needs population and persons experiencing homelessness, including, but not limited to, the services listed above**

**Provide a summary of the strategy for overcoming gaps in the institutional structure and service delivery system for carrying out a strategy to address priority needs**

The institutional structure to carry out the programs referenced in this Annual Action Plan is already strong. The City of Florissant Department of Housing and Community Development administers the programs funded by the Community Development Block Grant. Private contractors do the actual work of rehabilitation services. The City staff is able to adequately monitor these contractors to assure that services are provided as promised.

## SP-45 Goals Summary – 91.215(a)(4)

### Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Home Improvement Program	2021	2025	Affordable Housing	City of Florissant	Housing Repair and Improvement	CDBG: \$786,316	Homeowner Housing Rehabilitated: 110 Household Housing Unit
2	Home Improvement Program - Mechanical	2021	2025	Affordable Housing	City of Florissant	Housing Repair and Improvement	CDBG: \$300,000	Homeowner Housing Rehabilitated: 60 Household Housing Unit
3	Project I.M.P.A.C.T.	2021	2025	Affordable Housing	City of Florissant	Housing Accessibility Services for Persons with Disabilities	CDBG: \$50,000	Homeowner Housing Rehabilitated: 50 Household Housing Unit
4	Mortgage, Rental & Utility Assistance	2021	2025	Public Services	City of Florissant	Emergency Mortgage, Rental, and Utility Assistance	CDBG: \$50,000	Public service activities for Low/Moderate Income Housing Benefit: 45 Households Assisted
5	Administration	2021	2025	Administration	City of Florissant	Housing Repair and Improvement Housing Accessibility Services for Persons with Disabilities Emergency Mortgage, Rental, and Utility Assistance	CDBG: \$296,579	Other: 1 Other

Table 52 – Goals Summary

## Goal Descriptions

<b>1</b>	<b>Goal Name</b>	Home Improvement Program
	<b>Goal Description</b>	Designed to help low- to moderate-income homeowners with much needed home repairs that they otherwise would not be able to afford. The repairs will improve recipients' living environment and, in some cases, help the recipients stay in their homes. The program will provide a no-interest, \$5,000 five-year forgivable loan to qualifying households for the rehabilitation of owner-occupied single-family dwellings. The purpose of the loan will be to bring existing housing up to the City's minimum housing standards/codes and to address accessibility and safety issues. The household must qualify as low- to moderate-income. The program is available community-wide.
<b>2</b>	<b>Goal Name</b>	Home Improvement Program - Mechanical
	<b>Goal Description</b>	In recent years, the need for the replacement of heating and cooling units has been quite significant, especially in emergency situations. The Home Improvement Program - Mechanical will be offered as a grant to low- to moderate-income homeowners for the replacement of heating and/or cooling units and will be available on a first come first serve basis throughout the year until funding has been expended. The repairs will improve recipients' living environments and, in some cases, help the recipients to stay in their homes. The household must qualify as low- to moderate-income. The program is available community-wide.
<b>3</b>	<b>Goal Name</b>	Project I.M.P.A.C.T.
	<b>Goal Description</b>	Funds will be expended to provide materials for the construction of wheelchair ramps, purchase materials and supplies for homes being repaired by volunteer groups, and to help with dumpsters in situations where our residents have been temporarily displaced from their homes due to health and safety issues. The City of Florissant has been experiencing a shortage of experienced volunteer groups that are qualified to do the construction of ADA compliant wheelchair ramps. When the situation arises that no volunteer group is qualified and available to do this work, the program will allow up to \$3,000 of C.O.P.S. funds to be used towards the materials and construction of these ramps. These activities will improve recipients' living environments and, in some cases, help the recipients stay in their homes. The household must qualify as low- to moderate-income, disabled or indigent residents. The program is available community-wide.

<b>4</b>	<b>Goal Name</b>	Mortgage, Rental & Utility Assistance
	<b>Goal Description</b>	The City works with CAASTLC, a local service provider, to administer the mortgage, rental, and utility assistance program to serve low- to moderate-income households facing emergency or severe temporary economic hardship. This program is designed to help residents stay in their homes, whether they are home owners or renters.
<b>5</b>	<b>Goal Name</b>	Administration
	<b>Goal Description</b>	Funds will be used to pay costs associated with the administration of the CDBG program. Funds will pay for supplies, staff salaries, public notices, indirect costs and other costs associated with the grant.

**Estimate the number of extremely low-income, low-income, and moderate-income families to whom the jurisdiction will provide affordable housing as defined by HOME 91.315(b)(2)**

The City of Florissant does not have a large enough allocation to provide new affordable housing units. However, The City of Florissant anticipates serving 265 households with programs to maintain affordability through home repair and mortgage and rental assistance over a five-year period.

## **SP-50 Public Housing Accessibility and Involvement – 91.215(c)**

### **Need to Increase the Number of Accessible Units (if Required by a Section 504 Voluntary Compliance Agreement)**

Not applicable. The City of Florissant does not have an independent public housing authority, but rather lies within the jurisdiction of the St. Louis County Housing Authority. The St. Louis County Authority is responsible for public housing related strategic planning.

### **Activities to Increase Resident Involvements**

Not applicable.

### **Is the public housing agency designated as troubled under 24 CFR part 902?**

N/A

### **Plan to remove the ‘troubled’ designation**

Not applicable.

## **SP-55 Barriers to affordable housing – 91.215(h)**

### **Barriers to Affordable Housing**

The City of Florissant, along with the City of O’Fallon and St. Louis County, recently retained Mosaic to conduct a joint Analysis of Impediments to Fair Housing Choice, with specific recommendations for each of the participating jurisdictions.

Many of the Impediments to Fair Housing identified by Mosaic as being applicable to the City of Florissant are also Barriers to Affordable Housing. These barriers are largely systemic and will require effort from both private sector and public sector actors across the region to correct. These include:

- 1) Low labor market engagement and limited incomes restrict housing choice and access to opportunity among protected classes
- 2) Lack of access to transportation services in some areas of the region limits housing choices and access to employment, services, and resources
- 3) Insufficient housing for people with disabilities
- 4) Limited access to quality schools disproportionately impacts residents of color
- 5) Lack of affordable housing supply prevents members of protected classes from living in areas of opportunity
- 6) Ongoing need for fair housing outreach, education, and enforcement.
- 7) Continued need for neighborhood investment and expanding opportunity in north St. Louis County.
- 8) NIMBYism and prejudice reduce housing choice for protected classes

While all of these barriers affect the City of Florissant, many are regional issues that the City of Florissant cannot address on its own. However, as described in sections SP-55 and AP-75, the City of Florissant will encourage broader access to affordable housing and fair housing to the extent possible within the larger context of St. Louis County and the St. Louis Region.

### **Strategy to Remove or Ameliorate the Barriers to Affordable Housing**

The City of Florissant will strive to undertake the following strategies recommended in the Analysis of Impediments to Fair Housing to remove or ameliorate the barriers to fair/affordable housing. For any of these strategies to move forward, the City of Florissant will need to collaborate with St. Louis County and/or other local jurisdictions, agencies, and private entities. Therefore, specific action items are



dependent on further community engagement, planning, and coordination. However, these proposed strategies give a rough idea of where the City of Florissant might focus its efforts. More detailed explanations of all the barriers and proposed strategies can be found in the Analysis of Impediments to Fair Housing.

Barrier: Low labor market engagement and limited incomes restrict housing choice and access to opportunity among protected classes

Strategies:

- Increase access to workforce development and employment opportunities

Barrier: Lack of access to transportation services in some areas of the region limits housing choices and access to employment, services, and resources

Strategies:

- Expand transportation services and connections to other areas of the region.
- Increase access to employment, education, training, and other opportunities and resources

Barrier: Insufficient housing for people with disabilities

Strategies:

- Consider opportunities to encourage or incentivize the construction of new accessible housing units for people with disabilities. (Ongoing, 2021)
- Identify ways to incentivize universal design, including reducing development fees or zoning requirements for projects with both affordable and accessible units. (2022)

Barrier: Limited access to quality schools disproportionately impacts residents of color

Strategies:

- Partner with school districts, youth- and community development-focused organizations (e.g., Beyond Housing), community institutions, businesses, and residents to identify youth education, mentoring, recreation, and family support needs, particularly in north St. Louis County school districts
- Provide CDBG or other funding for youth education, mentoring, recreation, and family support activities and early childhood programs and services to support school readiness and other aspects of child growth and development

Barrier: Lack of affordable housing supply prevents members of protected classes from living in areas of opportunity

Strategies:

- Develop and deliver community education around the need for affordable housing and its cultural and economic value to the community.
- Promote and incentivize the siting of LIHTC developments in areas of opportunity.

Barrier: Ongoing need for fair housing outreach, education, and enforcement.

Strategies:

- continued education regarding their fair housing rights, recognizing discrimination, and how and where to file a housing discrimination complaint for residents.
- continued education regarding their fair housing obligations and strategies for recognizing and dismantling implicit biases for housing industry professionals.
- Continue funding commitment to Fair Housing enforcement measures.

Barrier: Continued need for neighborhood investment and expanding opportunity in north St. Louis County.

Strategies:

- Fund projects that develop, expand, or improve community centers and programming, healthcare facilities and services, and other public facilities, infrastructure, and services in low- and moderate-income census tracts.
- Fund projects that increase access to fresh food in low- and moderate-income census tracts with low levels of access.
- Fund projects that increase access to healthcare in low- and moderate-income census tracts with low levels of access.

Barrier: NIMBYism and prejudice reduce housing choice for protected classes

Strategies:

- Develop and deliver community education around the need for affordable housing and its cultural and economic value to the community.
- Explore and promote community events and programming such as cultural celebrations and food fairs that celebrate the region's diversity and encourage interaction among diverse participants in neighborhoods throughout the region.

## **SP-60 Homelessness Strategy – 91.215(d)**

### **Reaching out to homeless persons (especially unsheltered persons) and assessing their individual needs**

Not applicable. Outreach is handled through St. Louis County Continuum of Care agencies.

With the limited CDBG funds that the City of Florissant receives, there are no planned allocations to address the small homeless population (estimated to be four persons) in the community. The City of Florissant does not receive an ESG allocation for homeless facilities and services and there are not facilities or housing targeted to homeless households within Florissant. Instead, the City of Florissant falls within the boundaries of the St. Louis County Continuum of Care (CoC), which promotes a regional approach to addressing homelessness.

The City of Florissant will continue to participate in the St. Louis County Continuum of Care and support their efforts to end homelessness in St. Louis County.

### **Addressing the emergency and transitional housing needs of homeless persons**

Not applicable. Emergency and transitional housing needs are handled through St. Louis County Continuum of Care agencies.

**Helping homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living, including shortening the period of time that individuals and families experience homelessness, facilitating access for homeless individuals and families to affordable housing units, and preventing individuals and families who were recently homeless from becoming homeless again.**

Not applicable. The needs around the transition from homelessness to permanent housing are handled through St. Louis County Continuum of Care agencies.

**Help low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families who are likely to become homeless after being discharged from a publicly funded institution or system of care, or who are receiving assistance from public and private agencies that address housing, health, social services, employment, education or youth needs**

Homelessness prevention is handled through St. Louis County Continuum of Care agencies. However, the City of Florissant plans to continue to provide emergency mortgage, rental, and utility assistance in FY2021, which is in part designed to prevent extremely low-income individuals and families from becoming homeless due to temporary hardships.

## **SP-65 Lead based paint Hazards – 91.215(i)**

### **Actions to address LBP hazards and increase access to housing without LBP hazards**

The City of Florissant continues to pursue an active role in eliminating the hazards of the lead-based paint in its housing stock. Staff successfully completed HUD's Office of Lead Hazard Control's Visual Assessment course pursuant to 24 CFR Part 35. All homeowners in the Home Improvement Program Loan Program with houses built before 1978 are given the "Protect Your Family from Lead In Your Home" Pamphlet, the Lead Renovation Guide and must sign a "Confirmation of Receipt" for documentation purposes. In addition, the homes must undergo Lead Based Paint Testing on the areas of the home where a visual inspection is made for flaking and peeling paint does not pass. Bid packages containing work specifications will be bid out to pre-approved licensed lead abatement contractors. Dust and soil clearance tests will be performed after the work has been completed.

The City will continue to work with the St. Louis County Lead Surveillance Program to screen and evaluate children for lead absorption, and initiate treatment when needed. The Community Development Office will continue to be responsible for networking with appropriate City and County departments and other service providers in this area. In addition, the Community Development Office will maintain its close contact with the St. Louis Office of Community Development's Home Improvement staff and the designated lead coordinator, in order to comply with the lead-based paint regulations that went into effect in September 2000.

### **How are the actions listed above related to the extent of lead poisoning and hazards?**

HUD-provided CHAS data shows that there are 9,715 low- to moderate-income households living in Florissant. As the vast majority of Florissant's housing stock was built before 1980, it should be assumed that these low- to moderate-income households are at risk for lead based paint hazards unless their homes have already been tested and known to be clear of lead-based paint hazards. Therefore, the actions described above were created to address potential lead-based paint hazards as part of the City's existing community development activities.

### **How are the actions listed above integrated into housing policies and procedures?**

Staff successfully completed HUD's Office of Lead Hazard Control's Visual Assessment course pursuant to 24 CFR Part 35. All homeowners in the Home Improvement Program Loan Program with houses built before 1978 are given the "Protect Your Family from Lead In Your Home" Pamphlet, the Lead Renovation Guide and must sign a "Confirmation of Receipt" for documentation purposes. In addition the homes must undergo Lead Based Paint Testing on the areas of the home where a visual inspection is made for flaking and peeling paint does not pass. Bid packages containing work specifications will be bid out to pre-approved licensed lead abatement contractors. Dust and soil clearance tests will be performed after the work has been completed.

## **SP-70 Anti-Poverty Strategy – 91.215(j)**

### **Jurisdiction Goals, Programs and Policies for reducing the number of Poverty-Level Families**

While poverty is a complex issue and not solvable with CDBG funding alone, the City of Florissant has designed existing CDBG programs and policies with the goal of contributing to the reduction of the number of poverty-level families in the jurisdiction. The City of Florissant housing rehabilitation programs (the Home Improvement Program, Home Improvement Program – Mechanical, and the Project I.M.P.A.C.T. Program) provides a way for low income persons to maintain their existing homes without investing their own resources into repairs and rehabilitation. The emergency mortgage, rental, and utility assistance program provides a similar safety net for both owner and renter households.

### **How are the Jurisdiction poverty reducing goals, programs, and policies coordinated with this affordable housing plan**

A great deal of national research has been done on the importance of “housing as a platform” to improve quality of life. Access to safe, stable, and affordable housing has been linked to higher educational achievement for children, better economic prospects for parents, and improved health and well-being. Given that the City of Florissant’s Analysis of Impediments to Fair Housing identifies Florissant as an area of high opportunity (low poverty, high school proficiency, and high labor market engagement) relative to many areas in north St. Louis County, safe, stable, and affordable housing options within the City of Florissant are especially likely to contribute to positive outcomes for individuals and families and ultimately reduce poverty. Therefore, City of Florissant CDBG programs around housing repair and assistance are important tools for long term poverty reduction.

### **SP-80 Monitoring – 91.230**

**Describe the standards and procedures that the jurisdiction will use to monitor activities carried out in furtherance of the plan and will use to ensure long-term compliance with requirements of the programs involved, including minority business outreach and the comprehensive planning requirements**

## Expected Resources

### AP-15 Expected Resources – 91.220(c)(1,2)

#### Introduction

The City of Florissant expects an allocation of \$217,568 in CDBG funding for FY2015. During the FY2010-FY2014 Consolidated Plan period, CDBG allocations varied between \$200,837 (lowest allocation) and 241,879 (highest allocation) with an average allocation of \$219,724. The chart below assumes that same average allocation of \$219,724 for each of the four years FY2016, FY2017, FY2018, and FY2019.

#### Anticipated Resources

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 1				Expected Amount Available Reminder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$		
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	262,402	0	0	262,402	1,186,316	The City of Florissant expects a CDBG allocation of \$262,402 for FY2021 and the average allocation of \$296,579 for following years.

Table 53 - Expected Resources – Priority Table

**Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied**

While the City of Florissant has a small CDBG allocation, it is very highly leveraged through the Project I.M.P.A.C.T. and Hazardous Tree programs in order to provide home repairs and accessibility improvements to the maximum number of low- to moderate-income disabled Florissant residents. The Project I.M.P.A.C.T. program uses CDBG funding to purchase wheelchair ramps, materials and supplies for homes that are then rehabbed by qualified volunteers. The volunteer labor allows more households to be served with limited funding.



**If appropriate, describe publically owned land or property located within the jurisdiction that may be used to address the needs identified in the plan**

### **Discussion**

Over the past decade The City of Florissant has become more effective at stretching CDBG dollars by creating new relationships with donors, volunteers, and other organizations to support the highly leveraged Project I.M.P.A.C.T. and Hazardous Tree programs.

## Annual Goals and Objectives

### AP-20 Annual Goals and Objectives

#### Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Home Improvement Program	2021	2025	Affordable Housing	City of Florissant	Housing Repair and Improvement	CDBG: \$157,263	Homeowner Housing Rehabilitated: 22 Household Housing Unit
2	Home Improvement Program - Mechanical	2021	2025	Affordable Housing	City of Florissant	Housing Repair and Improvement	CDBG: \$60,000	Homeowner Housing Rehabilitated: 10 Household Housing Unit
3	Project I.M.P.A.C.T.	2021	2025	Affordable Housing	City of Florissant	Housing Accessibility Services for Persons with Disabilities	CDBG: \$10,000	Homeowner Housing Rehabilitated: 10 Household Housing Unit
4	Mortgage, Rental & Utility Assistance (MRU-Assist)	2021	2025	Public Services	City of Florissant	Emergency Mortgage, Rental, and Utility Assistance	CDBG: \$10,000	Public service activities for Low/Moderate Income Housing Benefit: 10 Households Assisted
5	Administration	2021	2025	Administration			CDBG: \$59,315	Other: 1 Other

Table 54 – Goals Summary

## Goal Descriptions

1	<table border="1"> <tr> <td data-bbox="1214 235 1263 472"><b>Goal Name</b></td><td data-bbox="1214 472 1263 1883">Home Improvement Program</td></tr> <tr> <td data-bbox="966 235 1214 472"><b>Goal Description</b></td><td data-bbox="966 472 1214 1883">Designed to help low- to moderate-income homeowners with much needed home repairs that they otherwise would not be able to afford. The repairs will improve recipients' living environment and, in some cases, help the recipients stay in their homes. The program will provide a no-interest, \$5,000 five-year forgivable loan to qualifying households for the rehabilitation of owner-occupied single-family dwellings. The purpose of the loan will be to bring existing housing up to the City's minimum housing standards/codes and to address accessibility and safety issues. The household must qualify as low- to moderate-income. The program is available community-wide.</td></tr> </table>	<b>Goal Name</b>	Home Improvement Program	<b>Goal Description</b>	Designed to help low- to moderate-income homeowners with much needed home repairs that they otherwise would not be able to afford. The repairs will improve recipients' living environment and, in some cases, help the recipients stay in their homes. The program will provide a no-interest, \$5,000 five-year forgivable loan to qualifying households for the rehabilitation of owner-occupied single-family dwellings. The purpose of the loan will be to bring existing housing up to the City's minimum housing standards/codes and to address accessibility and safety issues. The household must qualify as low- to moderate-income. The program is available community-wide.
<b>Goal Name</b>	Home Improvement Program				
<b>Goal Description</b>	Designed to help low- to moderate-income homeowners with much needed home repairs that they otherwise would not be able to afford. The repairs will improve recipients' living environment and, in some cases, help the recipients stay in their homes. The program will provide a no-interest, \$5,000 five-year forgivable loan to qualifying households for the rehabilitation of owner-occupied single-family dwellings. The purpose of the loan will be to bring existing housing up to the City's minimum housing standards/codes and to address accessibility and safety issues. The household must qualify as low- to moderate-income. The program is available community-wide.				
2	<table border="1"> <tr> <td data-bbox="901 235 950 472"><b>Goal Name</b></td><td data-bbox="901 472 950 1883">Home Improvement Program - Mechanical</td></tr> <tr> <td data-bbox="652 235 901 472"><b>Goal Description</b></td><td data-bbox="652 472 901 1883">In recent years, the need for the replacement of heating and cooling units has been quite significant, especially in emergency situations. The Home Improvement Program - Mechanical will be offered as a grant to low- to moderate-income homeowners for the repair/replacement of heating, cooling units and/or water heaters and will be available on a first come first serve basis throughout the year until funding has been expended. The repairs will improve recipients' living environments and, in some cases, help the recipients to stay in their homes. The household must qualify as low- to moderate-income. The program is available community-wide.</td></tr> </table>	<b>Goal Name</b>	Home Improvement Program - Mechanical	<b>Goal Description</b>	In recent years, the need for the replacement of heating and cooling units has been quite significant, especially in emergency situations. The Home Improvement Program - Mechanical will be offered as a grant to low- to moderate-income homeowners for the repair/replacement of heating, cooling units and/or water heaters and will be available on a first come first serve basis throughout the year until funding has been expended. The repairs will improve recipients' living environments and, in some cases, help the recipients to stay in their homes. The household must qualify as low- to moderate-income. The program is available community-wide.
<b>Goal Name</b>	Home Improvement Program - Mechanical				
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3	<table border="1"> <tr> <td data-bbox="587 235 636 472"><b>Goal Name</b></td><td data-bbox="587 472 636 1883">Project I.M.P.A.C.T.</td></tr> <tr> <td data-bbox="230 235 587 472"><b>Goal Description</b></td><td data-bbox="230 472 587 1883">Funds will be expended to provide materials for the construction of wheelchair ramps, purchase materials and supplies for homes being repaired by volunteer groups, and to help with dumpsters in situations where our residents have been temporarily displaced from their homes due to health and safety issues. The City of Florissant has been experiencing a shortage of experienced volunteer groups that are qualified to do the construction of ADA compliant wheelchair ramps. When the situation arises that no volunteer group is qualified and available to do this work, the program will allow up to \$3,000 of Project I.M.P.A.C.T. funds to be used towards the materials and construction of these ramps. These activities will improve recipients' living environments and, in some cases, help the recipients stay in their homes. The household must qualify as low- to moderate-income, disabled or indigent residents. The program is available community-wide.</td></tr> </table>	<b>Goal Name</b>	Project I.M.P.A.C.T.	<b>Goal Description</b>	Funds will be expended to provide materials for the construction of wheelchair ramps, purchase materials and supplies for homes being repaired by volunteer groups, and to help with dumpsters in situations where our residents have been temporarily displaced from their homes due to health and safety issues. The City of Florissant has been experiencing a shortage of experienced volunteer groups that are qualified to do the construction of ADA compliant wheelchair ramps. When the situation arises that no volunteer group is qualified and available to do this work, the program will allow up to \$3,000 of Project I.M.P.A.C.T. funds to be used towards the materials and construction of these ramps. These activities will improve recipients' living environments and, in some cases, help the recipients stay in their homes. The household must qualify as low- to moderate-income, disabled or indigent residents. The program is available community-wide.
<b>Goal Name</b>	Project I.M.P.A.C.T.				
<b>Goal Description</b>	Funds will be expended to provide materials for the construction of wheelchair ramps, purchase materials and supplies for homes being repaired by volunteer groups, and to help with dumpsters in situations where our residents have been temporarily displaced from their homes due to health and safety issues. The City of Florissant has been experiencing a shortage of experienced volunteer groups that are qualified to do the construction of ADA compliant wheelchair ramps. When the situation arises that no volunteer group is qualified and available to do this work, the program will allow up to \$3,000 of Project I.M.P.A.C.T. funds to be used towards the materials and construction of these ramps. These activities will improve recipients' living environments and, in some cases, help the recipients stay in their homes. The household must qualify as low- to moderate-income, disabled or indigent residents. The program is available community-wide.				

<b>4</b>	<b>Goal Name</b>	Mortgage, Rental & Utility Assistance (MRU Assist)
	<b>Goal Description</b>	The City works with CAASTLC a local service provider to administer the mortgage, rental, and utility assistance program to serve low- to moderate-income households facing emergency or severe temporary economic hardship. This program is designed to help residents stay in their homes, whether they are home owners or renters.
<b>5</b>	<b>Goal Name</b>	Administration
	<b>Goal Description</b>	Funds will be used to pay costs associated with the administration of the CDBG program. Funds will pay for supplies, staff salaries, public notices, indirect costs and other costs associated with the grant.

## Projects

### AP-35 Projects – 91.220(d)

#### Introduction

The table below lists the five (5) projects – three (3) housing programs, one (1) public service program, and administration – that the City of Florissant will undertake in FY2021 in order to address the needs identified through this Consolidated Plan Process

#### Projects

#	Project Name
1	Home Improvement Program-General
2	Home Improvement Program - Mechanical
3	Project I.M.P.A.C.T.
4	Mortgage, Rental & Utility Assistance
5	General Administration

Table 55 – Project Information

**Describe the reasons for allocation priorities and any obstacles to addressing underserved needs**

## AP-38 Project Summary

### Project Summary Information

1	<b>Project Name</b>	Home Improvement Program-General
	<b>Target Area</b>	City of Florissant
	<b>Goals Supported</b>	Home Improvement Program
	<b>Needs Addressed</b>	Housing Repair and Improvement
	<b>Funding</b>	CDBG: \$157,263
	<b>Description</b>	Designed to help low- to moderate-income homeowners with much needed home repairs that they otherwise would not be able to afford. The repairs will improve recipients' living environment and, in some cases, help the recipients stay in their homes. The program will provide a no-interest, \$5,000 five-year forgivable loan to qualifying households for the rehabilitation of owner-occupied single-family dwellings. The purpose of the loan will be to bring existing housing up to the City's minimum housing standards/codes and to address accessibility and safety issues. The household must qualify as low- to moderate-income. The program is available community-wide.
	<b>Target Date</b>	12/31/2021
	<b>Estimate the number and type of families that will benefit from the proposed activities</b>	22 low- to moderate-income households
	<b>Location Description</b>	City of Florissant
	<b>Planned Activities</b>	
2	<b>Project Name</b>	Home Improvement Program - Mechanical
	<b>Target Area</b>	City of Florissant
	<b>Goals Supported</b>	Home Improvement Program - Mechanical
	<b>Needs Addressed</b>	Housing Repair and Improvement
	<b>Funding</b>	CDBG: \$60,000

	<b>Description</b>	In recent years, the need for the replacement of heating and cooling units has been quite significant, especially in emergency situations. The Home Improvement Program - Mechanical will be offered as a grant to low- to moderate-income homeowners for the replacement of heating and/or cooling units and will be available on a first come first serve basis throughout the year until funding has been expended. The repairs will improve recipients living environments and, in some cases, help the recipients to stay in their homes. The household must qualify as low- to moderate-income. The program is available community-wide.
	<b>Target Date</b>	12/31/2021
	<b>Estimate the number and type of families that will benefit from the proposed activities</b>	10 low- to moderate-income homeowners
	<b>Location Description</b>	City of Florissant
	<b>Planned Activities</b>	
3	<b>Project Name</b>	Project I.M.P.A.C.T.
	<b>Target Area</b>	City of Florissant
	<b>Goals Supported</b>	Project I.M.P.A.C.T.
	<b>Needs Addressed</b>	Housing Accessibility Services for Persons with Disabilities
	<b>Funding</b>	CDBG: \$10,000
	<b>Description</b>	Funds will be expended to provide materials for the construction of wheelchair ramps, purchase materials and supplies for homes being repaired by volunteer groups, and to help with dumpsters in situations where our residents have been temporarily displaced from their homes due to health and safety issues. The City of Florissant has been experiencing a shortage of experienced volunteer groups that are qualified to do the construction of ADA compliant wheelchair ramps. When the situation arises that no volunteer group is qualified and available to do this work, the program will allow up to \$3,000 of Project I.M.P.A.C.T. funds to be used towards the materials and construction of these ramps. These activities will improve recipients living environments and, in some cases, help the recipients stay in their homes. The household must qualify as low- to moderate-income, disabled or indigent residents. The program is available community-wide.

	<b>Target Date</b>	12/31/2021
	<b>Estimate the number and type of families that will benefit from the proposed activities</b>	10 low- to moderate-income homeowners
	<b>Location Description</b>	City of Florissant
	<b>Planned Activities</b>	
4	<b>Project Name</b>	Mortgage, Rental & Utility Assistance (MRU-Assist)
	<b>Target Area</b>	City of Florissant
	<b>Goals Supported</b>	Mortgage, Rental & Utility Assistance
	<b>Needs Addressed</b>	Emergency Mortgage, Rental, and Utility Assistance
	<b>Funding</b>	CDBG: \$10,000
	<b>Description</b>	The City works with CAASTLC, a local service provider, who administers the mortgage, rental, and utility assistance program to serve low- to moderate-income households facing emergency or severe temporary economic hardship. This program is designed to help residents stay in their homes, whether they are home owners or renters.
	<b>Target Date</b>	12/31/2021
	<b>Estimate the number and type of families that will benefit from the proposed activities</b>	10 low- to moderate-income renters and homeowners
	<b>Location Description</b>	City of Florissant
	<b>Planned Activities</b>	
5	<b>Project Name</b>	General Administration
	<b>Target Area</b>	City of Florissant
	<b>Goals Supported</b>	Home Improvement Program Home Improvement Program - Mechanical Project I.M.P.A.C.T. Mortgage, Rental & Utility Assistance
	<b>Needs Addressed</b>	Housing Repair and Improvement Housing Accessibility Services for Persons with Disabilities Emergency Mortgage, Rental, and Utility Assistance



<b>Funding</b>	CDBG: \$59,315
<b>Description</b>	Funds will be used to pay costs associated with the administration of the CDBG program. Funds will pay for supplies, staff salaries, public notices, indirect costs and other costs associated with the grant.
<b>Target Date</b>	12/31/2021
<b>Estimate the number and type of families that will benefit from the proposed activities</b>	
<b>Location Description</b>	City of Florissant
<b>Planned Activities</b>	Funds will be used to pay costs associated with the administration of the CDBG program. Funds will pay for supplies, staff salaries, public notices, indirect costs and other costs associated with the grant.

## **AP-50 Geographic Distribution – 91.220(f)**

### **Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed**

The City of Florissant will not be allocating CDBG funded programs based on geographic target areas. CDBG investments are made city-wide since low- to moderate-income persons are not concentrated in a single geographic area of the City. Instead, programs funds will be distributed based on need and eligibility. Please reference section SP-10 of this document for additional detail, including maps of where low- to moderate-income persons live within the City of Florissant.

Future Annual Action Plans will allow the City of Florissant to reevaluate community conditions and determine whether geographic targeting for one or more CDBG funded programs is appropriate.

### **Geographic Distribution**

<b>Target Area</b>	<b>Percentage of Funds</b>
City of Florissant	100

**Table 56 - Geographic Distribution**

### **Rationale for the priorities for allocating investments geographically**

The City of Florissant will not be allocating CDBG funded programs based on geographic target areas. CDBG investments are made city-wide since low- to moderate-income persons are not concentrated in a single geographic area of the City. Instead, programs funds will be distributed based on need and eligibility. Please reference section SP-10 of this document for additional detail, including maps of where low- to moderate-income persons live within the City of Florissant.

### **Discussion**

Future Annual Action Plans will allow the City of Florissant to reevaluate community conditions and determine whether geographic targeting for one or more CDBG funded programs is appropriate. It is important to note that other City of Florissant programs not covered by this Consolidated Plan are geographically targeted. For example, the City of Florissant applied for and received a grant from the Neighborhood Stabilization Program (NSP) through the Department of Housing and Urban Development (HUD) Recovery Act funds. The City was awarded \$1.5 million dollars for the purchase, rehabilitation, and resale of foreclosed homes in order to stabilize neighborhoods and stem the decline of house values of neighboring homes. The City continues to administer this program through the original award amount and additional Program Income. No other local, state, or federal funds will be utilized for these projects. These NSP projects are geographically targeted to NSP-eligible areas within the City of Florissant.

## Affordable Housing

### AP-55 Affordable Housing – 91.220(g)

#### Introduction

One Year Goals for the Number of Households to be Supported	
Homeless	0
Non-Homeless	52
Special-Needs	0
Total	52

Table 57 - One Year Goals for Affordable Housing by Support Requirement

One Year Goals for the Number of Households Supported Through	
Rental Assistance	10
The Production of New Units	0
Rehab of Existing Units	42
Acquisition of Existing Units	0
Total	52

Table 58 - One Year Goals for Affordable Housing by Support Type

#### Discussion

## **AP-60 Public Housing – 91.220(h)**

### **Introduction**

The City of Florissant does not have an independent public housing authority, but rather lies within the jurisdiction of the St. Louis County Housing Authority. The St. Louis County Authority is responsible for public housing related action planning.

### **Actions planned during the next year to address the needs to public housing**

Not applicable.

### **Actions to encourage public housing residents to become more involved in management and participate in homeownership**

Not applicable.

### **If the PHA is designated as troubled, describe the manner in which financial assistance will be provided or other assistance**

Not applicable.

### **Discussion**

Not applicable.

## **AP-65 Homeless and Other Special Needs Activities – 91.220(i)**

### **Introduction**

The City of Florissant does not receive an Emergency Solutions Grant allocation for homeless facilities and services and there are not facilities or housing targeted to homeless households within Florissant. Instead, the City of Florissant falls within the boundaries of the St. Louis County Continuum of Care (CoC), which promotes a regional approach to addressing homelessness. Saint Louis County residents, including Florissant residents, who are homeless or experiencing a housing crisis can seek assistance by calling the Emergency Shelter Hotline. The Hotline is a centralized intake and referral system that can be accessed by calling a single number (314-802-5444). The caller is interviewed by an intake specialist, and if in crisis, is referred to either emergency shelter or rent/mortgage/utility assistance.

With the limited CDBG funds that the City of Florissant receives, there are no planned allocations to address the small homeless population (estimated to be one persons) in the community. There are numerous social service agencies who work with homeless individuals in the community. The City of Florissant will continue to build good working relationships and participate in the St. Louis County Continuum of Care meetings and support their efforts to end homelessness in St. Louis County.

### **Describe the jurisdictions one-year goals and actions for reducing and ending homelessness including**

#### **Reaching out to homeless persons (especially unsheltered persons) and assessing their individual needs**

Not applicable.

#### **Addressing the emergency shelter and transitional housing needs of homeless persons**

Not applicable.

**Helping homeless persons (especially chronically homeless individuals and families, families with children, veterans and their families, and unaccompanied youth) make the transition to permanent housing and independent living, including shortening the period of time that individuals and families experience homelessness, facilitating access for homeless individuals and families to affordable housing units, and preventing individuals and families who were**

**recently homeless from becoming homeless again**

Not applicable.

**Helping low-income individuals and families avoid becoming homeless, especially extremely low-income individuals and families and those who are: being discharged from publicly funded institutions and systems of care (such as health care facilities, mental health facilities, foster care and other youth facilities, and corrections programs and institutions); or, receiving assistance from public or private agencies that address housing, health, social services, employment, education, or youth needs**

Not applicable.

#### **Discussion**

## **AP-75 Barriers to affordable housing – 91.220(j)**

### **Introduction:**

**Actions it planned to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment**

The City of Florissant will strive to undertake the following strategies recommended in the Analysis of Impediments to Fair Housing to remove or ameliorate the barriers to fair/affordable housing. For any of these strategies to move forward, the City of Florissant will need to collaborate with St. Louis County and/or other local jurisdictions, agencies, and private entities. Therefore, specific action items are dependent on further community engagement, planning, and coordination. However, these proposed strategies give a rough idea of where the City of Florissant might focus its efforts. More detailed explanations of all the barriers and proposed strategies can be found in the Analysis of Impediments to Fair Housing.

Barrier: Low labor market engagement and limited incomes restrict housing choice and access to opportunity among protected classes

### Strategies:

- Increase access to workforce development and employment opportunities

Barrier: Lack of access to transportation services in some areas of the region limits housing choices and access to employment, services, and resources

### Strategies:

- Expand transportation services and connections to other areas of the region.
- Increase access to employment, education, training, and other opportunities and resources

Barrier: Insufficient housing for people with disabilities

### Strategies:

- Consider opportunities to encourage or incentivize the construction of new accessible housing units for people with disabilities. (Ongoing, 2021)
- Identify ways to incentivize universal design, including reducing development fees or zoning requirements for projects with both affordable and accessible units. (2022)

Barrier: Limited access to quality schools disproportionately impacts residents of color

Strategies:

- Partner with school districts, youth- and community development-focused organizations (e.g., Beyond Housing), community institutions, businesses, and residents to identify youth education, mentoring, recreation, and family support needs, particularly in north St. Louis County school districts
- Provide CDBG or other funding for youth education, mentoring, recreation, and family support activities and early childhood programs and services to support school readiness and other aspects of child growth and development

Barrier: Lack of affordable housing supply prevents members of protected classes from living in areas of opportunity

Strategies:

- Develop and deliver community education around the need for affordable housing and its cultural and economic value to the community.
- Promote and incentivize the siting of LIHTC developments in areas of opportunity.

Barrier: Ongoing need for fair housing outreach, education, and enforcement.

Strategies:

- continued education regarding their fair housing rights, recognizing discrimination, and how and where to file a housing discrimination complaint for residents.
- continued education regarding their fair housing obligations and strategies for recognizing and dismantling implicit biases for housing industry professionals.
- Continue funding commitment to Fair Housing enforcement measures.

Barrier: Continued need for neighborhood investment and expanding opportunity in north St. Louis County.

Strategies:

- Fund projects that develop, expand, or improve community centers and programming, healthcare facilities and services, and other public facilities, infrastructure, and services in low- and moderate-income census tracts.
- Fund projects that increase access to fresh food in low- and moderate-income census tracts with low levels of access.
- Fund projects that increase access to healthcare in low- and moderate-income census tracts with low levels of access.



Barrier: NIMBYism and prejudice reduce housing choice for protected classes

Strategies:

- Develop and deliver community education around the need for affordable housing and its cultural and economic value to the community.
- Explore and promote community events and programming such as cultural celebrations and food fairs that celebrate the region's diversity and encourage interaction among diverse participants in neighborhoods throughout the region.

**Discussion:**

## **AP-85 Other Actions – 91.220(k)**

### **Introduction:**

#### **Actions planned to address obstacles to meeting underserved needs**

The City of Florissant has a record of strong performance in meeting underserved needs through the CDBG program. The largest obstacle to meeting underserved needs is funding. City staff will investigate creative leveraging strategies, such as the leveraging of volunteers in the existing Project I.M.P.A.C.T. program, to continue to make a larger community impact with limited resources.

#### **Actions planned to foster and maintain affordable housing**

The City of Florissant will strive to undertake the following strategies recommended in the Analysis of Impediments to Fair Housing to remove or ameliorate the barriers to fair/affordable housing. For any of these strategies to move forward, the City of Florissant will need to collaborate with St. Louis County and/or other local jurisdictions, agencies, and private entities. Therefore, specific action items are dependent on further community engagement, planning, and coordination. However, these proposed strategies give a rough idea of where the City of Florissant might focus its efforts. More detailed explanations of all the barriers and proposed strategies can be found in the Analysis of Impediments to Fair Housing.

Barrier: Low labor market engagement and limited incomes restrict housing choice and access to opportunity among protected classes

#### Strategies:

- Increase access to workforce development and employment opportunities

Barrier: Lack of access to transportation services in some areas of the region limits housing choices and access to employment, services, and resources

#### Strategies:

- Expand transportation services and connections to other areas of the region.
- Increase access to employment, education, training, and other opportunities and resources

Barrier: Insufficient housing for people with disabilities

#### Strategies:

- Consider opportunities to encourage or incentivize the construction of new accessible housing

units for people with disabilities. (Ongoing, 2021)

- Identify ways to incentivize universal design, including reducing development fees or zoning requirements for projects with both affordable and accessible units. (2022)

Barrier: Limited access to quality schools disproportionately impacts residents of color

Strategies:

- Partner with school districts, youth- and community development-focused organizations (e.g., Beyond Housing), community institutions, businesses, and residents to identify youth education, mentoring, recreation, and family support needs, particularly in north St. Louis County school districts
- Provide CDBG or other funding for youth education, mentoring, recreation, and family support activities and early childhood programs and services to support school readiness and other aspects of child growth and development

Barrier: Lack of affordable housing supply prevents members of protected classes from living in areas of opportunity

Strategies:

- Develop and deliver community education around the need for affordable housing and its cultural and economic value to the community.
- Promote and incentivize the siting of LIHTC developments in areas of opportunity.

Barrier: Ongoing need for fair housing outreach, education, and enforcement.

Strategies:

- continued education regarding their fair housing rights, recognizing discrimination, and how and where to file a housing discrimination complaint for residents.
- continued education regarding their fair housing obligations and strategies for recognizing and dismantling implicit biases for housing industry professionals.
- Continue funding commitment to Fair Housing enforcement measures.

Barrier: Continued need for neighborhood investment and expanding opportunity in north St. Louis County.

Strategies:

- Fund projects that develop, expand, or improve community centers and programming, healthcare facilities and services, and other public facilities, infrastructure, and services in low- and moderate-income census tracts.

- Fund projects that increase access to fresh food in low- and moderate-income census tracts with low levels of access.
- Fund projects that increase access to healthcare in low- and moderate-income census tracts with low levels of access.

Barrier: NIMBYism and prejudice reduce housing choice for protected classes

Strategies:

- Develop and deliver community education around the need for affordable housing and its cultural and economic value to the community.
- Explore and promote community events and programming such as cultural celebrations and food fairs that celebrate the region's diversity and encourage interaction among diverse participants in neighborhoods throughout the region.

### **Actions planned to reduce lead-based paint hazards**

The City of Florissant continues to pursue an active role in eliminating the hazards of the lead-based paint in its housing stock. Staff successfully completed HUD's Office of Lead Hazard Control's Visual Assessment course pursuant to 24 CFR Part 35. All homeowners in the Home Improvement Program Loan Program with houses built before 1978 are given the "Protect Your Family from Lead In Your Home" Pamphlet and the Lead Renovation Guide and must sign a "Confirmation of Receipt" for documentation purposes. In addition the homes must undergo Lead Based Paint Testing on the areas of the home where a visual inspection is made for flaking and peeling paint does not pass. Bid packages containing work specifications will be bid out to pre-approved licensed lead abatement contractors. Dust and soil clearance tests will be performed after the work has been completed.

The City will continue to work with the St. Louis County Lead Surveillance Program to screen and evaluate children for lead absorption, and initiate treatment when needed. The Community Development Office will continue to be responsible for networking with appropriate City and County departments and other service providers in this area. In addition, the Community Development Office will maintain its close contact with the St. Louis Office of Community Development's Home Improvement staff and the designated lead coordinator, in order to comply with the lead-based paint regulations that went into effect in September 2000.

### **Actions planned to reduce the number of poverty-level families**

While poverty is a complex issue and not solvable with CDBG funding alone, the City of Florissant has designed existing CDBG programs and policies with the goal of contributing to the reduction of the number of poverty-level families in the jurisdiction. The City of Florissant housing rehabilitation programs (the Home Improvement Program, Home Improvement Program – Mechanical, and the Project I.M.P.A.C.T. Program) provides a way for low income persons to maintain their existing homes

without investing their own resources into repairs and rehabilitation. The emergency mortgage, rental, and utility assistance program provides a similar safety net for both owner and renter households.

A great deal of national research has been done on the importance of “housing as a platform” to improve quality of life. Access to safe, stable, and affordable housing has been linked to higher educational achievement for children, better economic prospects for parents, and improved health and well-being. Given that the City of Florissant’s Analysis of Impediments to Fair Housing identifies Florissant as an area of high opportunity (low poverty, high school proficiency, and high labor market engagement) relative to many areas in north St. Louis County, safe, stable, and affordable housing options within the City of Florissant are especially likely to contribute to positive outcomes for individuals and families and ultimately reduce poverty. Therefore, City of Florissant CDBG programs around housing repair and assistance are important tools for long term poverty reduction.

### **Actions planned to develop institutional structure**

The institutional structure to carry out the programs referenced in this Annual Action Plan is already strong. The City of Florissant Department of Housing and Community Development administers the programs funded by the Community Development Block Grant. Private contractors do the actual work of rehabilitation services. The City staff is able to adequately monitor these contractors to assure that services are provided as promised.

### **Actions planned to enhance coordination between public and private housing and social service agencies**

City staff will continue to attend meetings involving a wide spectrum of agencies and groups involved in issues such as housing, homelessness, foreclosures, community services, AIDS, persons with disabilities, and environmental concerns. City staff will also continue to coordinate with the St. Louis County Continuum of Care.

### **Discussion:**

## **Program Specific Requirements**

### **AP-90 Program Specific Requirements – 91.220(l)(1,2,4)**

#### **Introduction:**

#### **Community Development Block Grant Program (CDBG)**

##### **Reference 24 CFR 91.220(l)(1)**

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed
2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan
3. The amount of surplus funds from urban renewal settlements
4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan.
5. The amount of income from float-funded activities

Total Program Income

#### **Other CDBG Requirements**

1. The amount of urgent need activities

#### **Discussion:**

## Appendix - Alternate/Local Data Sources

1	<b>Data Source Name</b> Census 2010, 2019 ACS, 2018 Longitudinal Employer-Household Dynamics (Jobs)
	<b>List the name of the organization or individual who originated the data set.</b> U.S. Census Bureau
	<b>Provide a brief summary of the data set.</b> Population demographic including race and housing tenure.
	<b>What was the purpose for developing this data set?</b> Federal needs
	<b>How comprehensive is the coverage of this administrative data? Is data collection concentrated in one geographic area or among a certain population?</b> 100 percent count of population
	<b>What time period (provide the year, and optionally month, or month and day) is covered by this data set?</b> 2010
	<b>What is the status of the data set (complete, in progress, or planned)?</b> complete

# **CITY OF FLORISSANT**

## **Public Hearing**



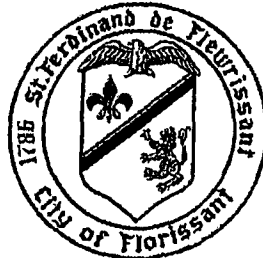
**In accordance with Chapter 405.310 of the Florissant Zoning Code, a Public Hearing will be held by the City Council of Florissant, MO. virtually via the Zoom platform, on Monday, May 10, 2021 at 7:00 P.M. on the following proposition:**

**To amend Special Use permit no. 7321 to allow for expansion of Clement Olympic Motors at 1760, 1780, and 1790 N Hwy 67. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**



**SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works  
314-839-7648

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

**PLANNING & ZONING ACTION  
RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN**

Council Ward 6 Zoning 'B-3'

Initial Date Petitioner Filed \_\_\_\_\_  
Building Commissioner to complete  
ward, zone & date filed

**SIGN.**

**DATE:**

SPECIAL PERMIT FOR \_\_\_\_\_  
For operation of a pre-owned dealership located at  
1645 N. New Florissant Road, Florissant, MO 63033

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- 7321 TO ALLOW FOR \_\_\_\_\_  
ordinance # \_\_\_\_\_  
For expansion of the dealership at  
1760, 1780 and 1790 N. Hwy 67  
Statement of what the amendment is for.

LOCATION 1645 N. New Florissant Road, Florissant, MO 63033  
Address of property. (Located adjacent to the existing dealership known  
as Olympic Motor Company)

1) Comes Now A. 1790 N Hwy 67 Holdings LLC / Penuel Ray Clement  
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

B. Olympic Motor Company L.L.C / Penuel Ray Clement  
and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in  
the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) A. Fee Simple Owner / B. Operator  
State legal interest in the property. (i.e., owner of property, lease).  
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for vacant /  
former dental office and that the deed restrictions for the property do not prohibit the use which  
would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or  
existing development showing location and use of all structures, off-street parking, and all other information  
required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5) The petitioner (s) further represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:  
(If more space is needed, separate sheets may be attached)

Penuei Baj Clerent / penueic@gmail.com - 314-504-2181  
PRINT NAME SIGNATURE email and phone

FOR A. 1790 N Hwy 67 Holdings LLC / B. Olympic Motor Company L.L.C.  
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

- ☒ 1. I (we) have a legal interest in the herein above described property as fee simple owner of the property and as operator of the business  
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE [Signature]

ADDRESS 1790 N, Hwy 67 Florissant Missouri 63033  
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL [Business] / penueic@gmail.com

Michael J. Baalman, RA - Baalman Architects

I (we) the petitioner (s) do hereby appoint Charles E. Dufour - Attorney as

my (our) duly authorized agent to represent me (us) in regard to this petition.

[Signature]  
Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:

Individual \_\_\_\_\_ Partnership \_\_\_\_\_ Corporation X Limited Liability Company

(a) If an individual:

- (1) Name and Address \_\_\_\_\_
- (2) Telephone Number \_\_\_\_\_
- (3) Business Address \_\_\_\_\_
- (4) Date started in business \_\_\_\_\_
- (5) Name in which business is operated if different from (1) \_\_\_\_\_
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners Penuel Raj Clement
- (2) Telephone numbers 314-504-2181
- (3) Business address 1790 N. Hwy 67, Florissant, MO 63033
- (4) State of Incorporation & a photocopy of incorporation papers A. 1790 N Hwy Holdings LLC  
Missouri - Charter No. LC1719983
- (5) Date of Incorporation 7/27/2020 B. Olympic Motor Company L.L.C.  
Missouri - Charter No. LC0754939
- (6) Missouri Corporate Number A. LC1719983 / B. LC0754939
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. Olympic Motor Company
- (8) Name in which business is operated Olympic Motor Company
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.



**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS  
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

**Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.**

Lot 3 of North Florissant Road Subdivision, a subdivision of Saint Louis County, Missouri, according to the plat thereof recorded in Plat Book 206 page 71 of the Saint Louis County Records.

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

**Provide a drawing of a location map showing the nearest major intersection.**

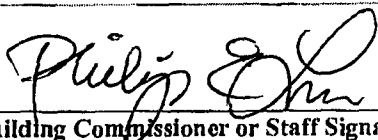
See attached Site Plan

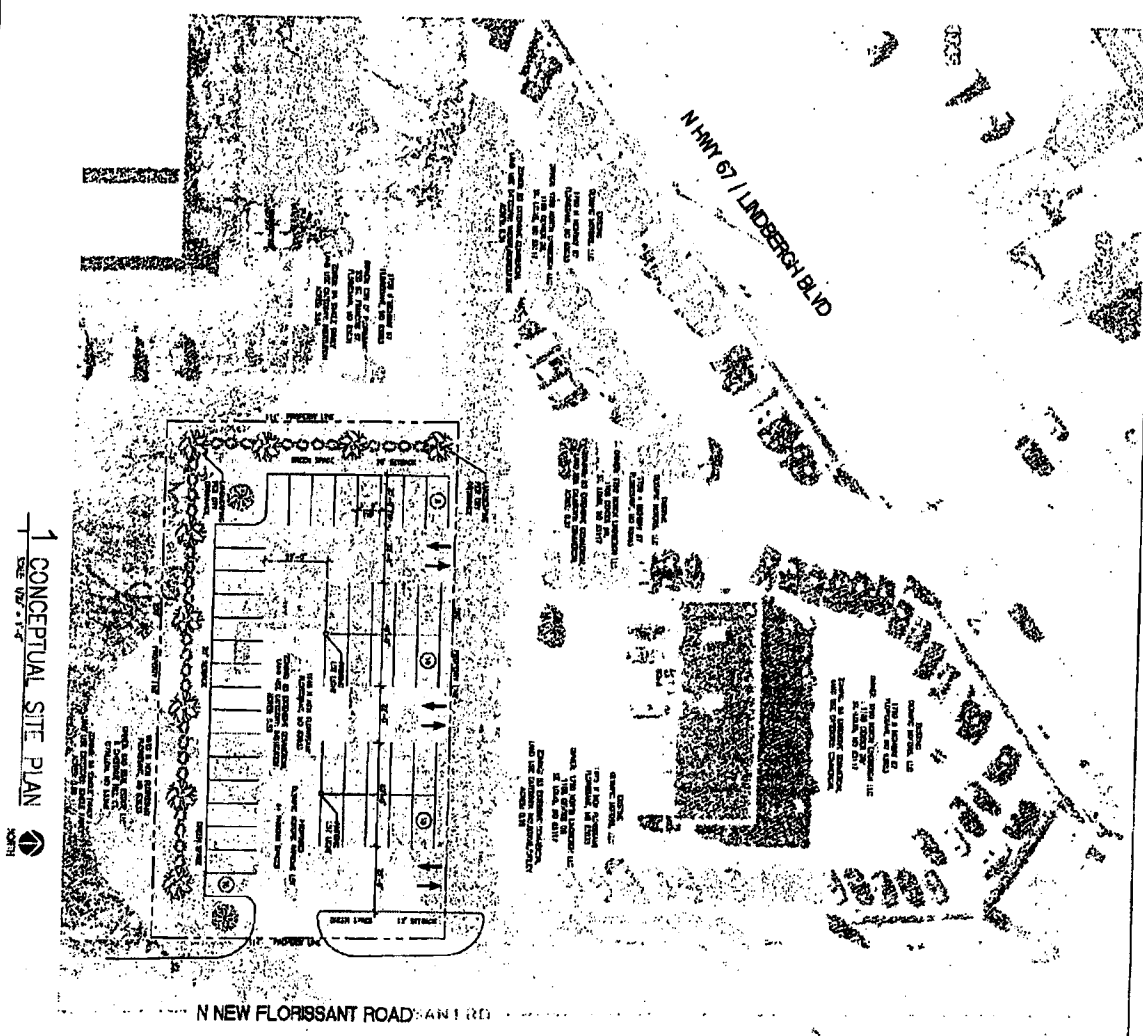
---

**OFFICE USE ONLY**

Date Application reviewed \_\_\_\_\_

STAFF REMARKS: See Staff report

  
\_\_\_\_\_  
Building Commissioner or Staff Signature



1 CONCEPTUAL SITE PLAN  
 DATE: 02-14-14  
 NORTH

**SITE PLAN EXHIBIT  
 FOR A  
 SPECIAL USE PERMIT**

1645 N NEW FLORISSANT  
 FLORISSANT, MO 63033  
 NORTH FLORISSANT ROAD SUBDIVISION  
 LOCAL DESCRIPTION: LOT 13 BOLDSPRING S 22 81  
 LOT DIMENSIONS: 0114 / 0114 - 0200 / 0200  
 OWNER: 1790 N HWY 67 HOLDINGS  
 1108 CENTER DR.  
 ST. LOUIS, MO 63117  
 ZONING: R3 EXTENSIVE COUNTRY  
 LAND USE CATEGORY: RECREATION  
 ACRES: 0.53

NOTE:  
 SITE PLAN INFORMATION OBTAINED FROM  
 ST. LOUIS COUNTY GIS SERVICES CENTER  
 AND LAND INFORMATION PROJECT  
 INFORMATION DATABASE

<p><b>BALDMAN ARCHITECTS</b>          1645 N. NEW FLORISSANT          ST. LOUIS, MO 63033          TEL: 314.433.1111          FAX: 314.433.1112          WWW.BALDMANARCHITECTS.COM</p>	<p>DATE: 02/14/14</p> <p>PROJECT: CONCEPTUAL SITE PLAN</p> <p>DESIGNER: [ ]</p> <p>CHECKED: [ ]</p> <p>DATE: [ ]</p>	<p>New Conceptual Site Plan for:  <b>Olympic Motor          Company LLC</b>          1645 N. New Florissant Road          Florissant, Missouri 63033</p>	<p>PROJECT NUMBER:          1645 N. NEW FLORISSANT          02/14/14</p>
	<p>DATE: 02/14/14</p> <p>PROJECT: CONCEPTUAL SITE PLAN</p> <p>DESIGNER: [ ]</p> <p>CHECKED: [ ]</p> <p>DATE: [ ]</p>	<p>PROJECT NUMBER:          1645 N. NEW FLORISSANT          02/14/14</p>	<p>DATE: 02/14/14</p> <p>PROJECT: CONCEPTUAL SITE PLAN</p> <p>DESIGNER: [ ]</p> <p>CHECKED: [ ]</p> <p>DATE: [ ]</p>

# STATE OF MISSOURI



John R. Ashcroft  
Secretary of State

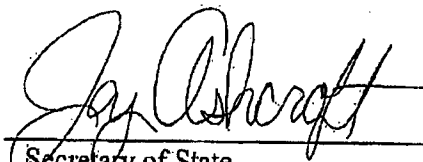
## CERTIFICATE OF GOOD STANDING

I, John R. Ashcroft, Secretary of State of the STATE OF MISSOURI, do hereby certify that the records in my office and in my care and custody reveal that

1790 N HWY 67 Holdings, LLC  
LC1719983

A Missouri entity was created under the laws of this State on 7/27/2020, and is Active, having fully complied with all the requirements of this office.

IN TESTIMONY WHEREOF, I hereunto set my hand and  
cause to be affixed the GREAT SEAL of the State of Missouri.  
Done at the City of Jefferson, the 22nd day of January, 2021.

  
Secretary of State

Certification Number: CERT-IN52557



# STATE OF MISSOURI



**John R. Ashcroft**  
**Secretary of State**

## CERTIFICATE OF ORGANIZATION

WHEREAS,

**1790 N HWY 67 Holdings, LLC**

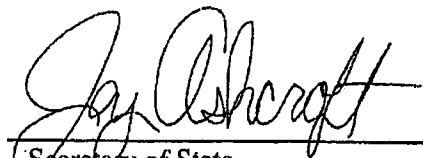
**LC1719983**

filed its Articles of Organization with this office on the 27th day of July, 2020, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, John R. Ashcroft, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on 27th day of July, 2020, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

Effective Date: July 27, 2020

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, the 27th day of July, 2020.

  
Secretary of State







**State of Missouri**

**John R. Ashcroft Secretary of State**

Corporations Division  
PO Box 778 / 600 W. Main St., Rm. 322  
Jefferson City, MO 65102

LC1719983  
Date Filed: 07/27/2020  
John R. Ashcroft  
Missouri Secretary of State

## Articles of Organization

**Reference Number** SR71571

**Receipt Number** TR205475

**1. The name of the limited liability company is:** 1790 N HWY 67 Holdings, LLC

**2. The purpose(s) for which the limited liability company is organized:**

The transaction of any lawful business for which a limited liability company may be organized under the Missouri Limited Liability Company Act, Chapter 347RSMo.

**3. The name and address of the limited liability company's registered agent in Missouri is:**

**Name** Don R. Sherman

**Address** 7701 Clayton Road, St. Louis, Missouri, 63117, United States

**4. The address of its principal place of business is:**

1790 N Lindbergh, Florissant, Missouri, 63033, United States

**5. The management of the limited liability company is vested in:**

Member

**6. The effective date of this document is the date it is filed by the Secretary of State of Missouri unless a future date is otherwise indicated:**

7/27/2020

**7. The events, if any, on which the limited liability company is to dissolve or the number of years the limited liability company is to continue, which may be any number or perpetual:**

Perpetual

**8. The name(s) and street address(es) of each organizer:**

**Name** Don R. Sherman

**Address** 7701 Clayton Road, St Louis, Missouri, 63117, United States

### **In Affirmation thereof, the facts stated above are true and correct:**

The undersigned believes the statements presented in this filing are true and correct to the best of their knowledge and belief, they are subject to the penalties provided under section 575.040 RSMo. for making a false declaration under Section 575.060 RSMo

The undersigned agrees and represents that he/she is authorized to execute this document

**Name** Don R. Sherman

**Title** Organizer

**Date** 07/27/2020

# STATE OF MISSOURI



John R. Ashcroft  
Secretary of State

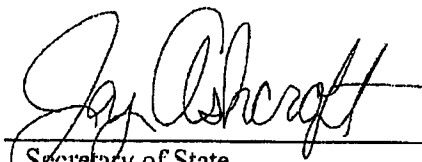
## CERTIFICATE OF GOOD STANDING

I, John R. Ashcroft, Secretary of State of the STATE OF MISSOURI, do hereby certify that the records in my office and in my care and custody reveal that

**Olympic Motor Company, L.L.C.**  
**LC0754939**

A Missouri entity was created under the laws of this State on 8/1/2006, and is Active, having fully complied with all the requirements of this office.

IN TESTIMONY WHEREOF, I hereunto set my hand and  
cause to be affixed the GREAT SEAL of the State of Missouri.  
Done at the City of Jefferson, the 22nd day of March, 2021.

  
Secretary of State

Certification Number: CERT-IN68880



# State of Missouri



Robin Carnahan  
Secretary of State

## CERTIFICATE OF ORGANIZATION

WHEREAS,

*Olympic Motor Company, L.L.C.*  
*LC0754939*

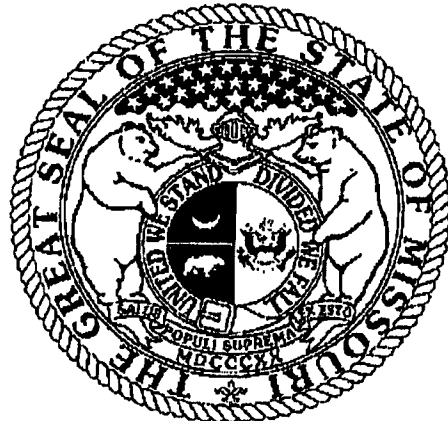
filed its Articles of Organization with this office on the 1st day of August, 2006, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, ROBIN CARNAHAN, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 1st day of August, 2006, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, this 1st day of August, 2006.

*Robin Carnahan*

Secretary of State





State of Missouri  
Robin Carnahan, Secretary of State

File Number: 200621390254  
LC0754939  
Date Filed: 08/01/2006  
Robin Carnahan  
Secretary of State

## Articles of Organization

1. The name of the limited liability company is:

Olympic Motor Company, L.L.C.

2. The purpose(s) for which the limited liability company is organized:

To sell, market and lease new and used automobiles; to repair and service automobiles; and to sell accessories, tires, gasoline and oil and other goods and services incidental to the selling of new and used automobiles.

The transaction of any lawful business for which a limited liability company may be organized under the Missouri Limited Liability Company Act, Chapter 347 RSMo.

3. The name and address of the limited liability company's registered agent in Missouri is:

Sherman, Don R  
Name

7701 CLAYTON ROAD, St. Louis MO 63117  
Address

4. The management of the limited liability company is: ☒ Manager ☐ Member

5. The duration (period of existence) for this limited liability company is:

12/31/2056

6. The name(s) and street address(es) of each organizer:

Mark D. Sadow, 7701 Clayton Rd., St. Louis MO 63117

**In Affirmation thereof, the facts stated above are true and correct:**

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

Mark Sadow  
(Organizer Name)



**State of Missouri**

**John R. Ashcroft Secretary of State**

Corporations Division  
PO Box 778 / 600 W. Main St., Rm. 322  
Jefferson City, MO 65102

X01421318  
Date Filed: 09/29/2020  
Expire Date: 09/29/2025  
John R. Ashcroft  
Missouri Secretary of State

## Registration of Fictitious Name

This information is for the use of the public and gives no protection to the name being registered. There is no provision in this Chapter to keep another person or business entity from adopting and using the same name. The fictitious name registration expires 5 years from the filing date. (Chapter 417, RSMo)

Reference Number SR135862

Receipt Number TR382959

**The undersigned is doing business under the following name and at the following address:**

**Business name to be registered:** Clement Olympic Motors

**Business Address:** 1790 N Highway 67

**City, State and Zip Code:** Florissant, Missouri, 63033

### Owner Information:

If a business entity is an owner, indicate business name and percentage owned. If all parties are jointly and severally liable, percentage of ownership need not be listed. Please attach a separate page for more than three owners. The parties having an interest in the business, and the percentage they own are:

Charter #	Name of Owners, Individual or Business Entity	Address	If Listed, Percentage of Ownership Must Equal 100%
LC0754939	Olympic Motor Company, L.L.C.	7701 CLAYTON ROAD, St. Louis, Missouri, 63117, United States	100

### In Affirmation thereof, the facts stated above are true and correct:

The undersigned believes the statements presented in this filing are true and correct to the best of their knowledge and belief, they are subject to the penalties provided under section 575.040 RSMo. for making a false declaration under Section 575.060 RSMo

The undersigned agrees and represents that he/she is authorized to execute this document

**Name** Penuel R Clement **On Behalf of** Olympic Motor Company, L.L.C.

**Title** Owner

**Date** 09/29/2020

1  
2  
3  
**MEMORANDUM**



4  
5  
6  
7  
8  
**CITY OF FLORISSANT- Building Division**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

9 To: Planning and Zoning Commissioners Date: March 31, 2021  
10 Revised 4/13/21

11  
12 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,  
13 Director Public Works  
14 Deputy City Clerk  
15 Applicant  
16 File

17  
18 Subject: 1790 N Highway 67/1645 N New Florissant Rd (Clement Olympic  
19 Motors) Request Recommended Approval to expand a Special Use in a  
20 'B-3' Extensive Business District.  
21

22  
23  
24  
**STAFF REPORT**  
**CASE NUMBER PZ-040521-3**

25 **I. PROJECT DESCRIPTION:**

26 This is a request to expand a Special Use in a 'B-3' Extensive Business District.  
27

28 **II. EXISTING SITE CONDITIONS:**

29 The existing property adjacent to 1645 N New Florissant Rd recently was approved to  
30 operate under Ordinance No. 8542 for a Child Day Care Center, however the property  
31 was sold to the Car Sales establishment next door.  
32

33 The subject property at 1645 N New Florissant Rd is approximately 0.53 acres built in  
34 1952 per County record. Added to the existing car sales property of 1.45 acres, the entire  
35 site would approach 2 acres.  
36

37 **III. SURROUNDING PROPERTIES:**

38 The properties to the North of 1645 N New Florissant, the car sales includes 1675 N  
39 New Florissant, 1760, 1780 and 1790 N Highway 67, all within the 'B-3' Extensive

40 Business District. The property to the South, 1615 N New Florissant Rd and the property  
41 to the West, the Police Station, are within the 'R-4' Single Family Dwelling District.  
42  
43  
44

45 **IV. STAFF ANALYSIS:**

46 Plan A-1 dated revised April 12, 2021 by Ballman Architects received from the  
47 applicant includes paving the lot with spaces for cars for sale. **Compliant parking must**  
48 **be met on the property, so the petitioner has sent photos of the existing customer**  
49 **parking areas.** 1790 N Highway 67 has a building of 2460 s.f. per County Records,  
50 therefore, parking for the establishment is 3/1000 s.f. of sales and showroom area,  
51 therefore, assuming that the sales offices are 2000 s.f. of the existing building, a total of 6  
52 parking for customers must be located on the property, including one van accessible  
53 space.  
54

55 Multiple lots exist as they do elsewhere on commercial properties. As long as the lots are  
56 contiguously used, it is possible to continue the use of multiple lots treated as 1 property.  
57 Complications could arise if a property is sold or altered or affects an adjacent property  
58 per the zoning code.  
59

60 Staff contacted the architects about showing compliant landscape plan or any site  
61 lighting. ~~The architect response was that no new lighting is planned.~~  
62

63 The architect was questioned if the site plan included a new curb cut. No new curb cut is  
64 planned, see email attached dated 3/23/21.  
65

66 **VI. STAFF RECOMMENDATIONS:**

67 **Suggested Motion:**

68 I move for **Recommended Approval** to expand a Special Use in a 'B-3' Extensive  
69 Business District as shown on attached Site Plan A-1 by Ballmann Architects, dated  
70 **April 12, 2021** with the following revisions as part of the record:

71 **Site Development Plan shall indicate:**

- 72 1. A compliant landscape plan shall be submitted for approval by the Building  
73 Commissioner.
- 74 2. **Any lighting on the site shall be directed down and within the property lines**  
75 **so as to avoid causing glare. and meet County regulations.**
- 76 3. **A compliant ADA van space, customer, staff and sales parking shall be**  
77 **striped and receive appropriate signage.**
- 78
- 79 4. A Land Disturbance Permit shall be obtained **as regulated and approved by the**  
80 **City Engineer, Tom Goldkamp, PE.**
- 81 5. The approval of this Special Use **amendment** vacates Ordinance No. 8542 for a  
82 Child Day Care Center.  
83

84 (End of report and suggested motion)



SITE PLAN EXHIBIT  
FOR A  
SPECIAL USE PERMIT

1645 N NEW FLORISSANT  
FLORISSANT, MO 63033

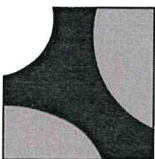
NORTH FLORISSANT ROAD SUBDIVISION  
LEGAL DESCRIPTION: LOT3 08J540592 5 22 81

LOT DIMENSIONS: 0114 /0114 - 0200 / 0200

OWNER: 1790 N HWY 67 HOLDINGS  
1108 CENTER DR.  
ST. LOUIS, MO 63117

ZONING: B3 EXTENSIVE COMMERCIAL  
LAND USE CATEGORY: INSTITUTION  
ACRES: 0.53

NOTE:  
SITE PLAN INFORMATION OBTAINED FROM  
SAINT LOUIS COUNTY GIS SERVICES CENTER  
AND SAINT LOUIS COUNTY PROPERTY  
INFORMATION DATABASE



BAALMAN  
ARCHITECTS

#2 Daniel Drive  
O'Fallon, MO 63366  
ph: 636.294.9811

New Conceptual Site Plan for:  
**Olympic Motor  
Company LLC**  
1645 N. New Florissant Road  
Florissant, Missouri 63033

DATE	ISSUE	R#
3-18-2021	CONCEPTUAL SITE PLAN	
4-9-2021	CONCEPTUAL SITE PLAN	
4-12-2021	CONCEPTUAL SITE PLAN	

Michael J. Baalman  
ARCHITECT

PROJECT MANAGER: MJB  
DRAWN BY: JKL

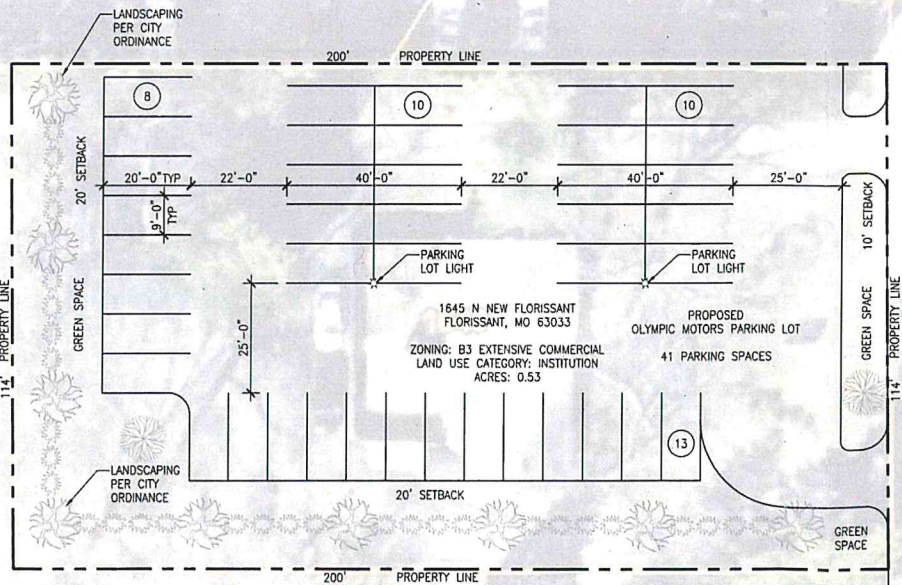
PROJECT NUMBER  
21-021  
DATE  
April 12, 2021

SHEET  
**A-1**  
CONCEPTUAL  
SITE PLAN  
EXHIBIT

N HWY 67 / LINDBERGH BLVD

EXISTING  
OLYMPIC MOTORS, LLC  
1760 N HIGHWAY 67  
FLORISSANT, MO 63033  
OWNER: 1790 NORTH LINDBERGH LLC  
1108 CENTER DR.  
ST. LOUIS, MO 63117  
ZONED: B3 EXTENSIVE COMMERCIAL  
LAND USE CATEGORY: VACANT/AGRICULTURE  
ACRES: 0.24

1700 N HIGHWAY 67  
FLORISSANT, MO 63033  
OWNER: CITY OF FLORISSANT  
955 ST. FRANCOIS ST.  
FLORISSANT, MO 63031  
ZONED: R4 SINGLE FAMILY  
LAND USE CATEGORY: INSTITUTION  
ACRES: 3.54



N NEW FLORISSANT ROAD

RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGN.

DATE:

1 CONCEPTUAL SITE PLAN  
SCALE: 1/20" = 1'-0"





## PLANNING &amp; ZONING: 5/19/2021



1075 NORTH HIGHWAY 67  
FLORISSANT, MO 63031



500 S EWING AVE, SUITE G | STL, MO 63103

314.421.5933 | [www.lkeeley.com](http://www.lkeeley.com)



Architecture • Interiors • Space Planning

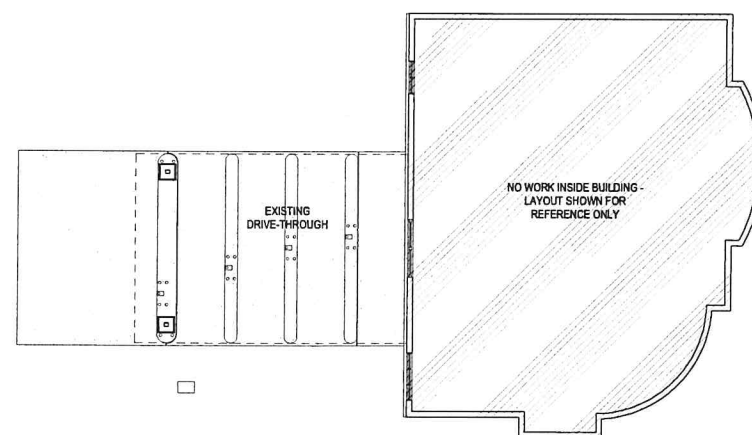
7372 MARIETTA AVENUE, MAPLEWOOD, MISSOURI 63143  
314.405.8008 | [www.grubbsandassociates.com](http://www.grubbsandassociates.com)



ENGINEERING CORPORATION

**DYNAMIC PROCESSES ♦ SUSTAINABLE RESULTS**  
138 WELDON PARKWAY ST. LOUIS, MO 63043  
(314) 469-3737

WWW.GANDWENGINEERING.COM



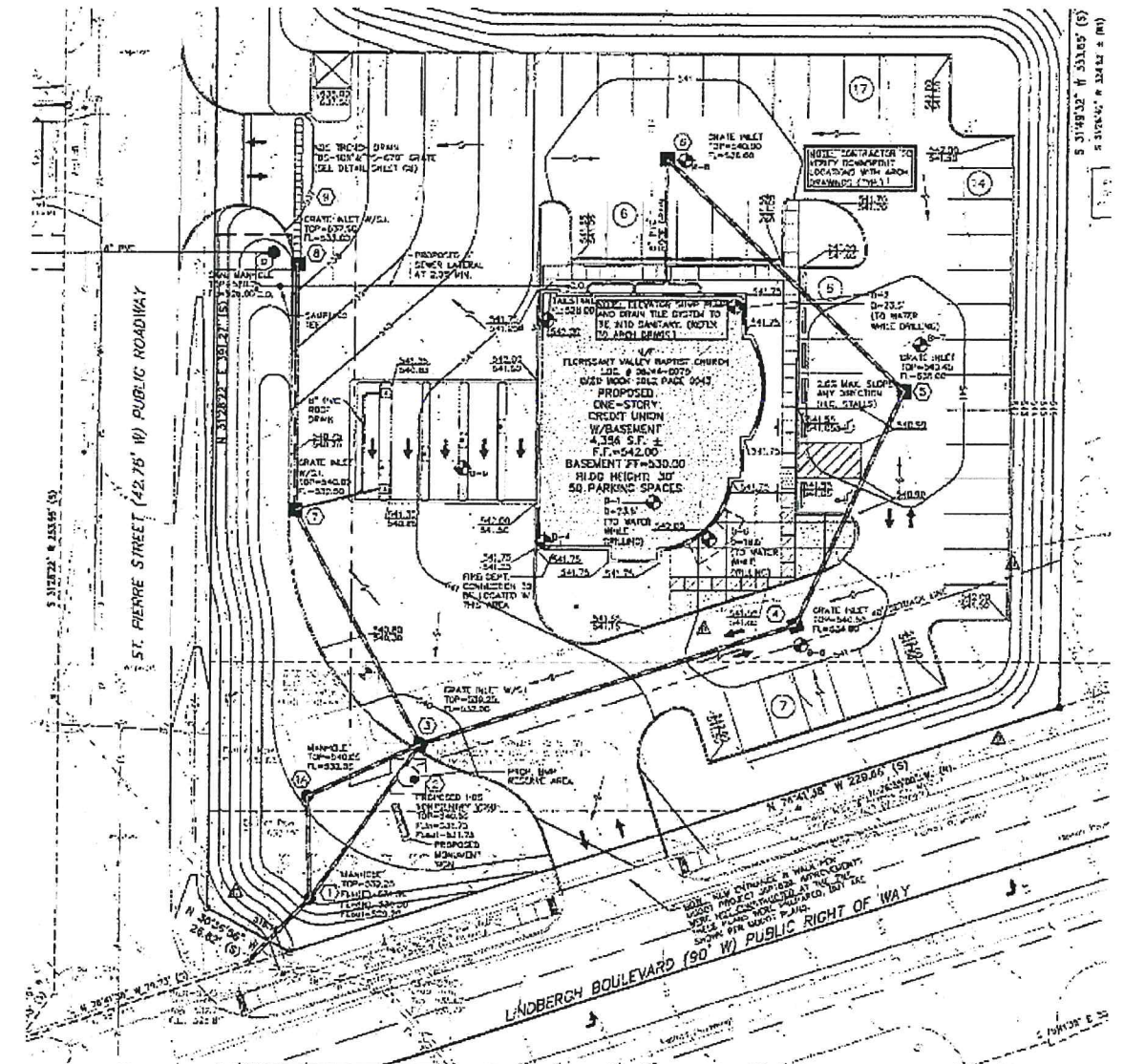
INDEX OF DRAWINGS		
NUMBER	SHEET TITLE	DATE
T-1	TITLE SHEET	XX/XX/XX
D-1	DEMOLITION PLANS	XX/XX/XX
A-1	FLOOR PLANS / DETAILS	XX/XX/XX

CODE INFORMATION	
CODE	2018 IBC
USE GROUP	B-BUSINESS (NO CHANGE)
CONSTRUCTION TYPE	EXISTING - NO CHANGE
OCCUPANT LOAD	48
ACTUAL BUILDING AREA	EXISTING - NO CHANGE
ACTUAL BUILDING HEIGHT	EXISTING - NO CHANGE
NUMBER OF EXITS	2
AUTOMATIC FIRE SUPPRESSION SYSTEM	EXISTING - NO CHANGE

RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGN.

DATE:



1		EXISTING BUILDING FOOTPRINT
T-1	T-1	SCALE: 1/16" = 1'-0"



**SITE PLAN**  
**NOT TO SCALE**



- FLOOR PLAN KEYED NOTES**
- D.01 SAWCUT & REMOVE PAVEMENT TO EXTENTS SHOWN.
  - D.02 REMOVE CUSTOMER BANKING EQUIPMENT - CUT OFF PNEUMATIC TUBING ABOVE CEILING & CAP.
  - D.03 REMOVE BOLLARDS.
  - D.04 EXISTING CEILING TO REMAIN.
  - D.23 EXISTING PAVEMENT TO REMAIN.
  - D.25 REMOVE CONCRETE ISLAND.
  - D.27 EXISTING CONCRETE CURB/ISLAND TO REMAIN.

**GRUBBS & ASSOCIATES**  
ARCHITECTURE • INTERIORS • SCENE DESIGN  
7372 Marietta Avenue, Maryland, MO 63143 • 314.405.8908  
www.grubbsandassociates.com

GRUBBS & ASSOCIATES, LLC  
MO CERTIFICATE OF AUTHORITY  
LICENSE NUMBER A-2016042499

**L-KEELEY**  
500 S Ewing Ave, Suite G | STL, MO 63103

DRIVE-THROUGH RECONFIGURATION

**Together**  
CREDIT UNION  
1075 N. HIGHWAY 67 - FLORISSANT, MO 63031

PRELIMINARY  
NOT FOR CONSTRUCTION

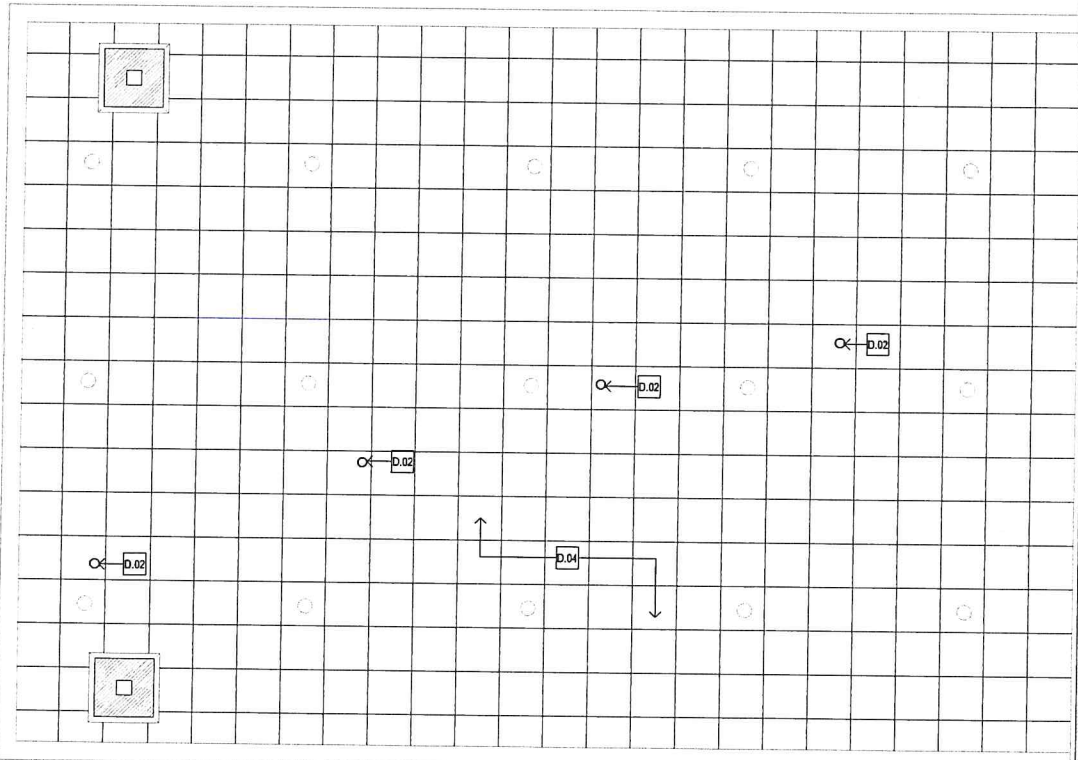
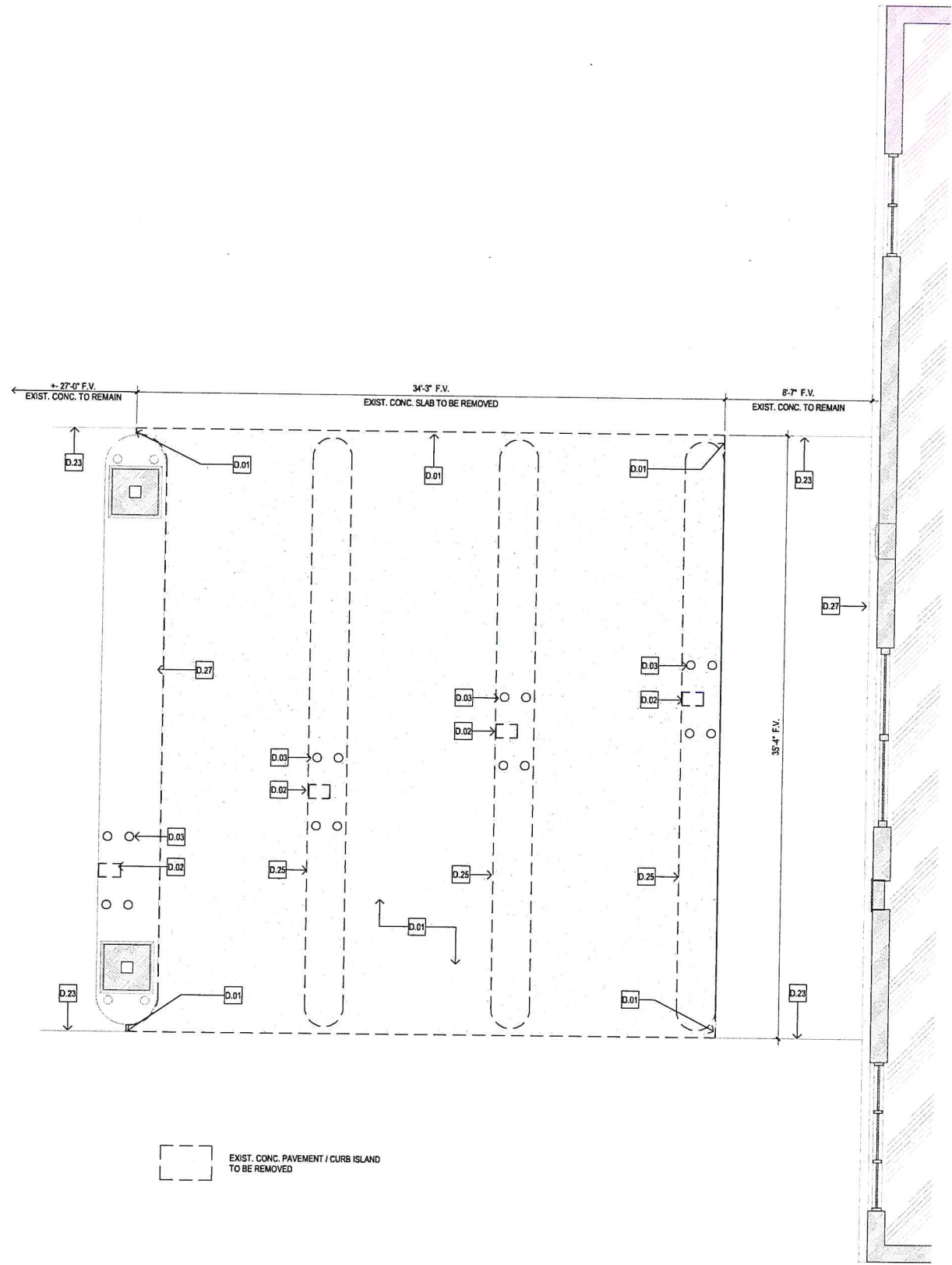
DAVID L. GRUBBS - ARCHITECT  
MISSOURI A-3947

5/19/2021 - Together Credit Union Floorplan (202121)  
5/19/2021 - PLANNING & ZONING

DEMOLITION PLANS

2121

D-1

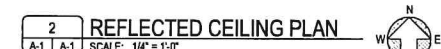






- GRUBBS  
& ASSOCIATES**  
Architecture • Interiors • Space Planning
- 7372 Marietta Avenue, Maplewood, MO 63143 • 314.405.8008  
[www.grubbsandassociates.com](http://www.grubbsandassociates.com)
- GRUBBS & ASSOCIATES, LLC  
MO CERTIFICATE OF AUTHORITY  
LICENSE NUMBER A-2016024459

- L. KEELEY**  
500 S EWING AVE, SUITE G | STL, MO 63103



**Together**  
CREDIT UNION

PRELIMINARY  
NOT FOR CONSTRUCTION

DAVID L. GRUBBS - ARCHITECT  
MISSOURI A-3947

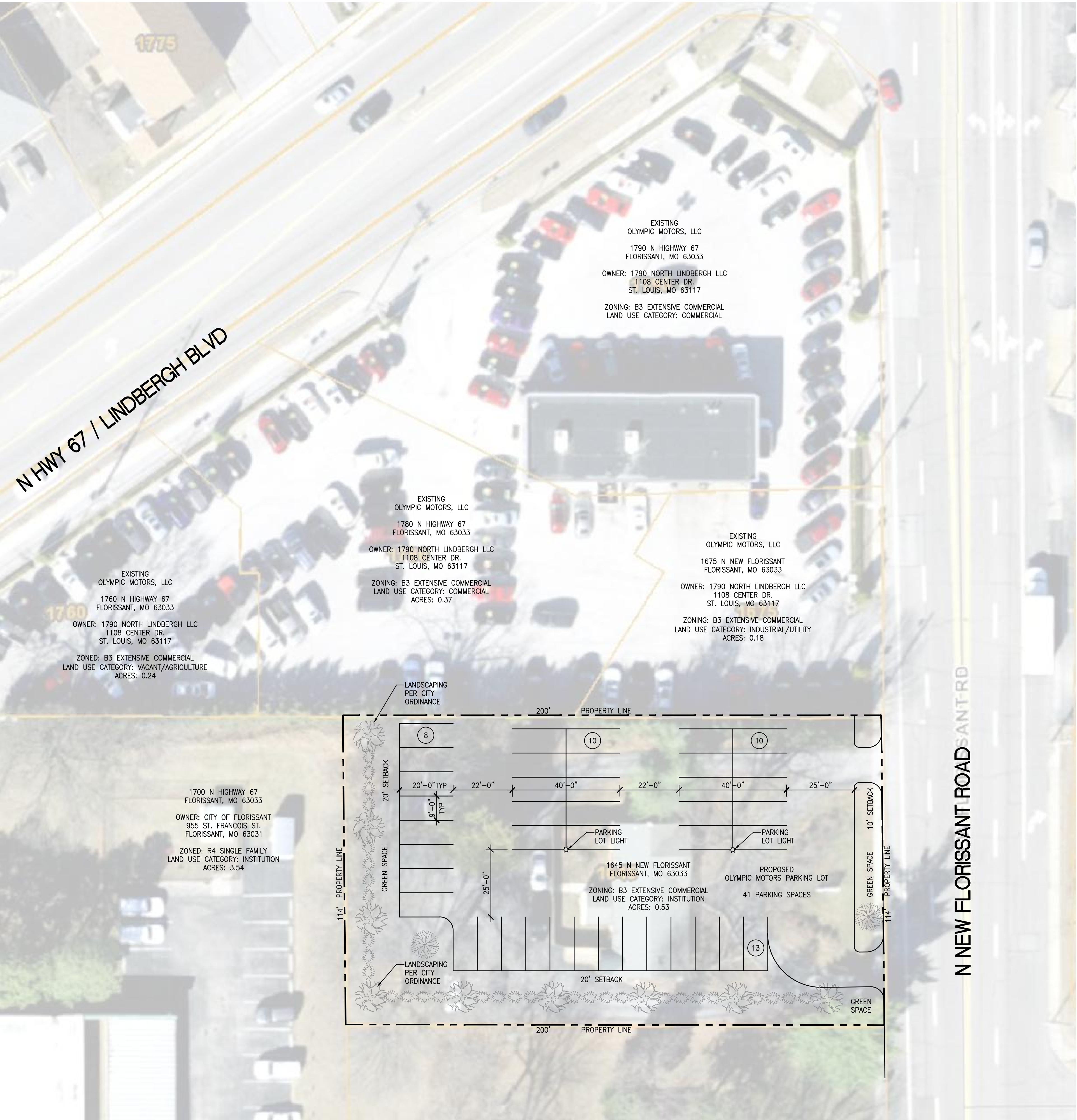
6/2021 - PLANNING & ZONING

FLOOR PLANS / DETAILS

21

A-1





SITE PLAN EXHIBIT  
FOR A  
SPECIAL USE PERMIT

1645 N NEW FLORISSANT  
FLORISSANT, MO 63033

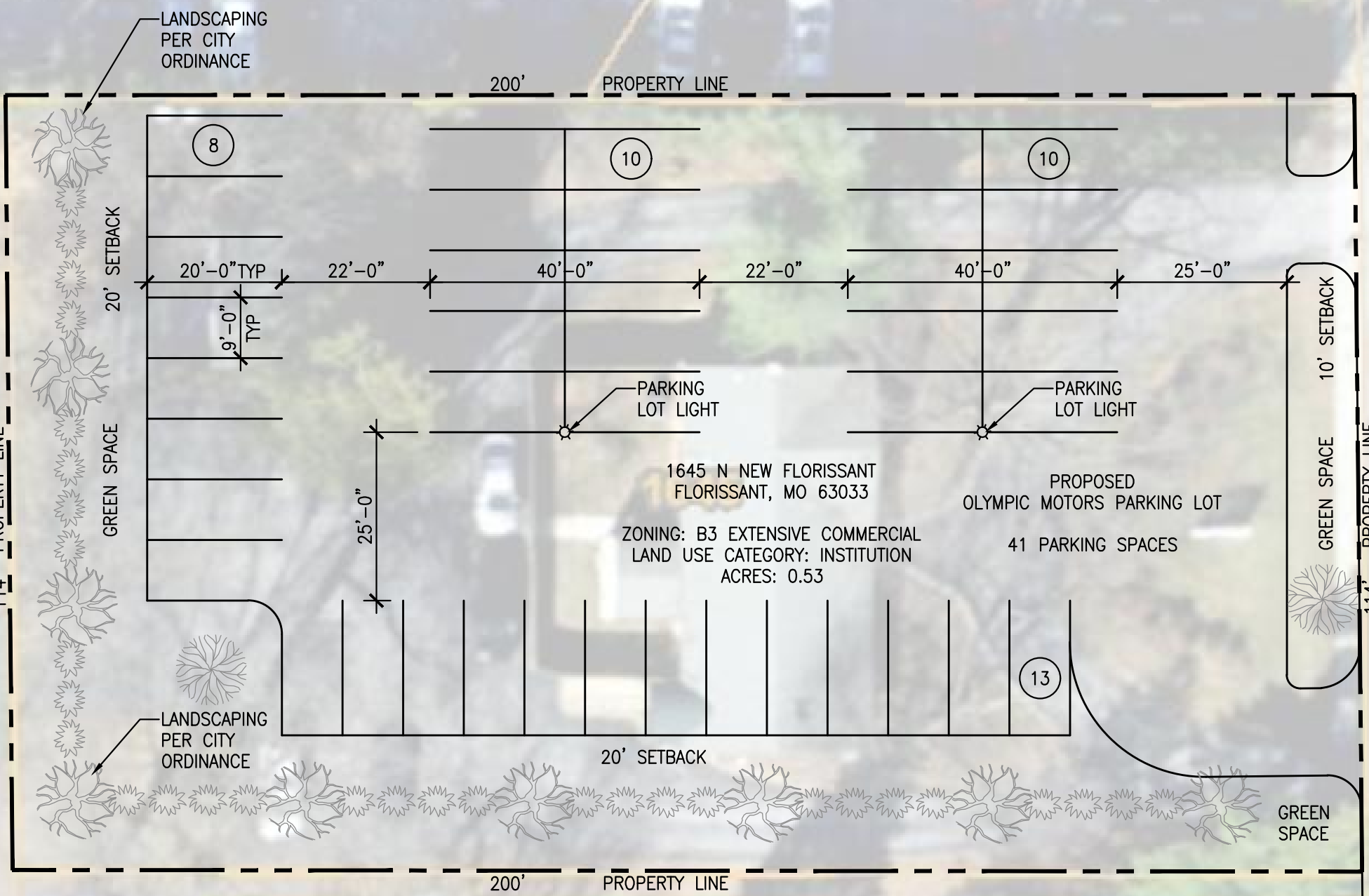
NORTH FLORISSANT ROAD SUBDIVISION  
LEGAL DESCRIPTION: LOT3 08J540592 5 22 81

LOT DIMENSIONS: 0114 /0114 – 0200 / 0200

OWNER: 1790 N HWY 67 HOLDINGS  
1108 CENTER DR.  
ST. LOUIS, MO 63117

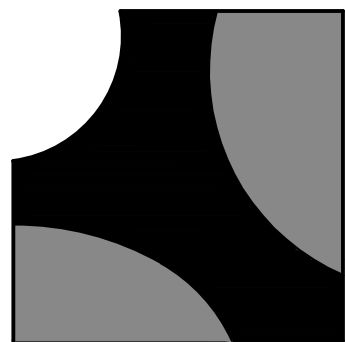
ZONING: B3 EXTENSIVE COMMERCIAL  
LAND USE CATEGORY: INSTITUTION  
ACRES: 0.53

NOTE:  
SITE PLAN INFORMATION OBTAINED FROM  
SAINT LOUIS COUNTY GIS SERVICES CENTER  
AND SAINT LOUIS COUNTY PROPERTY  
INFORMATION DATABASE



1 CONCEPTUAL SITE PLAN

SCALE: 1/20" = 1'-0"

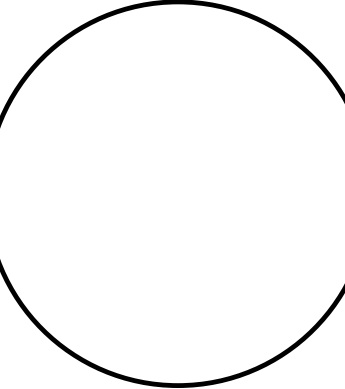


BAALMAN  
ARCHITECTS

#2 Daniel Drive  
O'Fallon, MO 63366  
ph: 636.294.9811

New Conceptual Site Plan for:  
**Olympic Motor  
Company LLC**  
1645 N. New Florissant Road  
Florissant, Missouri 63033

DATE	ISSUE	R#
3-18-2021	CONCEPTUAL SITE PLAN	
4-9-2021	CONCEPTUAL SITE PLAN	
4-12-2021	CONCEPTUAL SITE PLAN	



Michael J. Baalman  
ARCHITECT

PROJECT MANAGER: MJB  
DRAWN BY: JKL

PROJECT NUMBER  
21-021  
DATE  
April 12, 2021

SHEET  
**A-1**  
CONCEPTUAL  
SITE PLAN  
EXHIBIT

1 INTRODUCED BY COUNCILMAN HERNANDEZ  
2 JULY 24, 2006  
3  
4

5 BILL NO. 8234

ORDINANCE NO. 7321

6  
7 **AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO ELLIS**  
8 **DENOS D/B/A THE OLYMPIC FOR THE OPERATION OF A PRE-**  
9 **OWNED CAR DEALERSHIP LOCATED AT 1760, 1780 & 1790 N.**  
10 **HIGHWAY 67.**  
11

12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the operation of a pre-  
14 owned car dealership; and

15 WHEREAS, an application has been filed by Ellis Denos d/b/a The Olympic. for the  
16 operation of a pre-owned car dealership located at 1760, 1780 an 1790 N. Highway 67; and

17 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their  
18 meeting of July 6<sup>th</sup>, 2006 has recommended that the said Special Use Permit be granted with  
19 certain conditions; and

20 WHEREAS, due notice of a public hearing on said application to be held on the 24<sup>th</sup> of  
21 July, 2006 at 8:00 P.M. by the Council of the City of Florissant was duly published, held and  
22 concluded; and

23 WHEREAS, the Council, following said public hearing, and after due and careful  
24 consideration, has concluded that the granting of the Special Use Permit as hereinafter provided  
25 would be in the best interest of the City of Florissant.

26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
27 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:  
28

29 Section 1: A Special Use Permit is hereby granted to Ellis Denos d/d/a The Olympic with  
30 the following stipulations:

- 31 a. Trash enclosures shall be constructed of vinyl fencing with a solid re-  
32 enforced metal gate.  
33 b. Site lighting as per plans submitted.  
34 c. Landscaping shall be in accordance with the submitted site plan.  
35 d. Car washing area would take place with an approved drain to a sanitary  
36 sewer system.

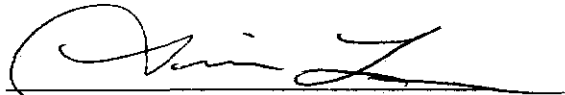
e. All signage shall meet Cit code or otherwise be approved by the amendment to the Special Use Permit.

Section 2: Said Permit herein authorized shall remain in full force and effect and subject to all of the ordinances of the City of Florissant.

Section 3: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

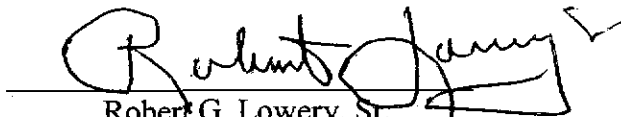
Section 4: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this 14 day of August, 2006.



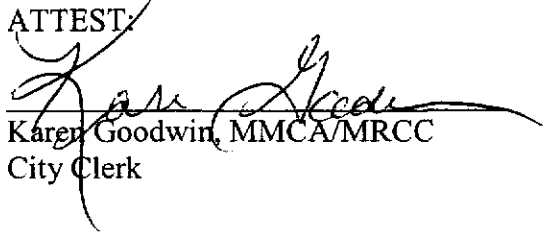
Tim Lee  
President of the Council  
City of Florissant

Approved this 16 day of August, 2006.

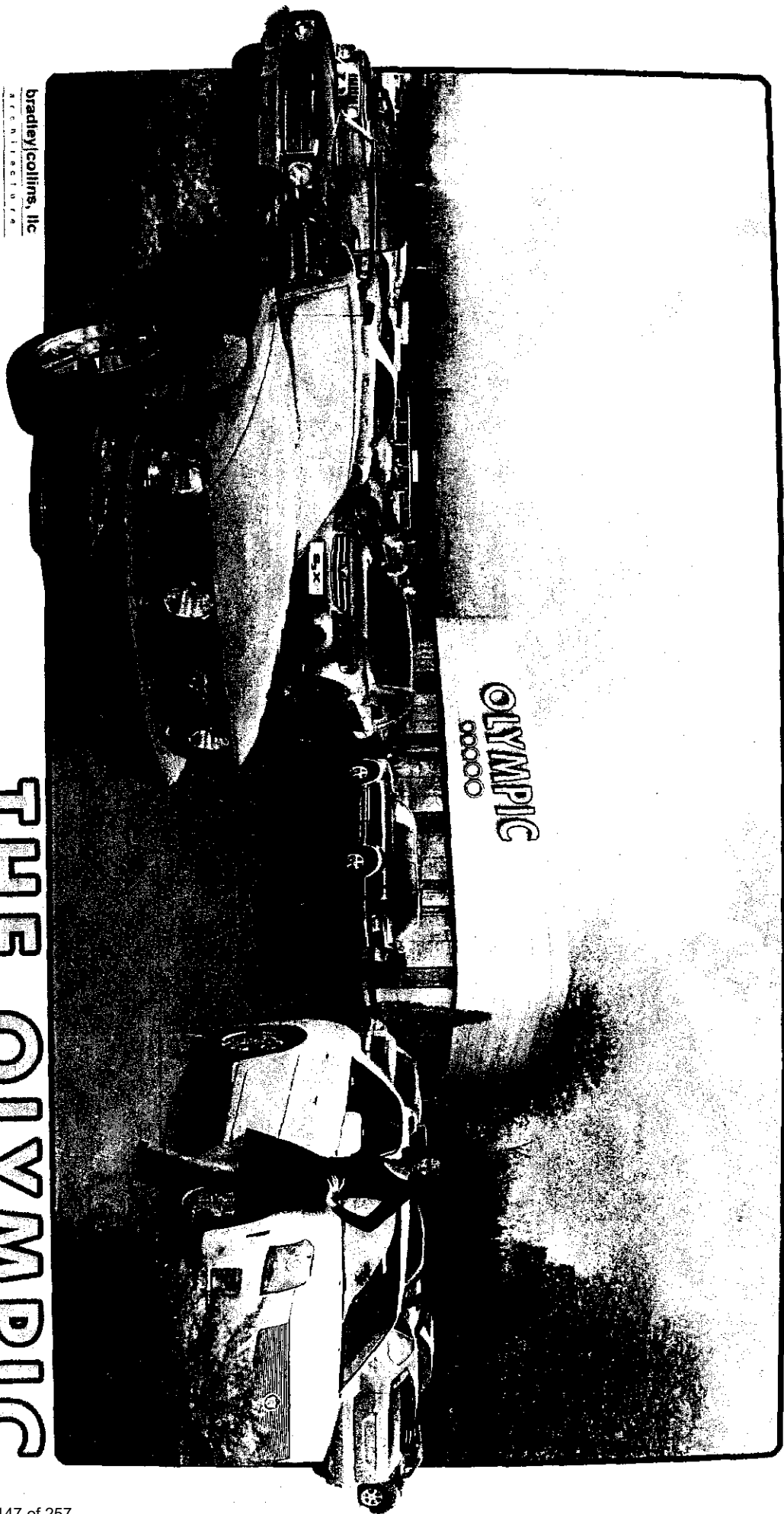


Robert G. Lowery, Sr.  
Mayor, City of Florissant

ATTEST:



Karen Goodwin, MMCA/MRCC  
City Clerk



bradley/collins, llc  
architects  
1300 Olive Street  
St. Louis, MO 63101  
phone 314.968.2800

**THE OLYMPIC**  
1790 North Highway 67 Florissant, Missouri 63303



# PARKING AREAS

## SITE PLAN

54,512 S.F. / 1.2 ACRES

BOXWOOD SHEDS  
W/ HIDDEN POLLARDS

SPRICE TREES - NBB 29' 00" 397.38'

LINDBERGH BOULEVARD  
N56 14' 00" 440.19'

PRIMARY ENTRY  
/ SECURITY GATE  
W/ POSITS

DISPLAY

CUSTOMER

SERVICE

EXIST. BLDG.  
TO REMAIN

WASH

SERVICE

500 56' 00" W 218.74'

FLORISSANT ROAD

bradley/collins, llc  
ARCHITECTS

131 east glendale avenue  
St. Louis, MO 63103  
PHONE 314.988.2800

RECOMMENDED APPROVAL  
PLANNING & ZONING

CHAIRMAN

1790 North Highway 67 Flourissant, Missouri 63033

# THE OLYMPIC

SIGN *Shirley H. Gray* DATE: 7/6/06

7/6/06



RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGN: *Michael J. Grogan* DATE: *7/6/06*

12'-0"

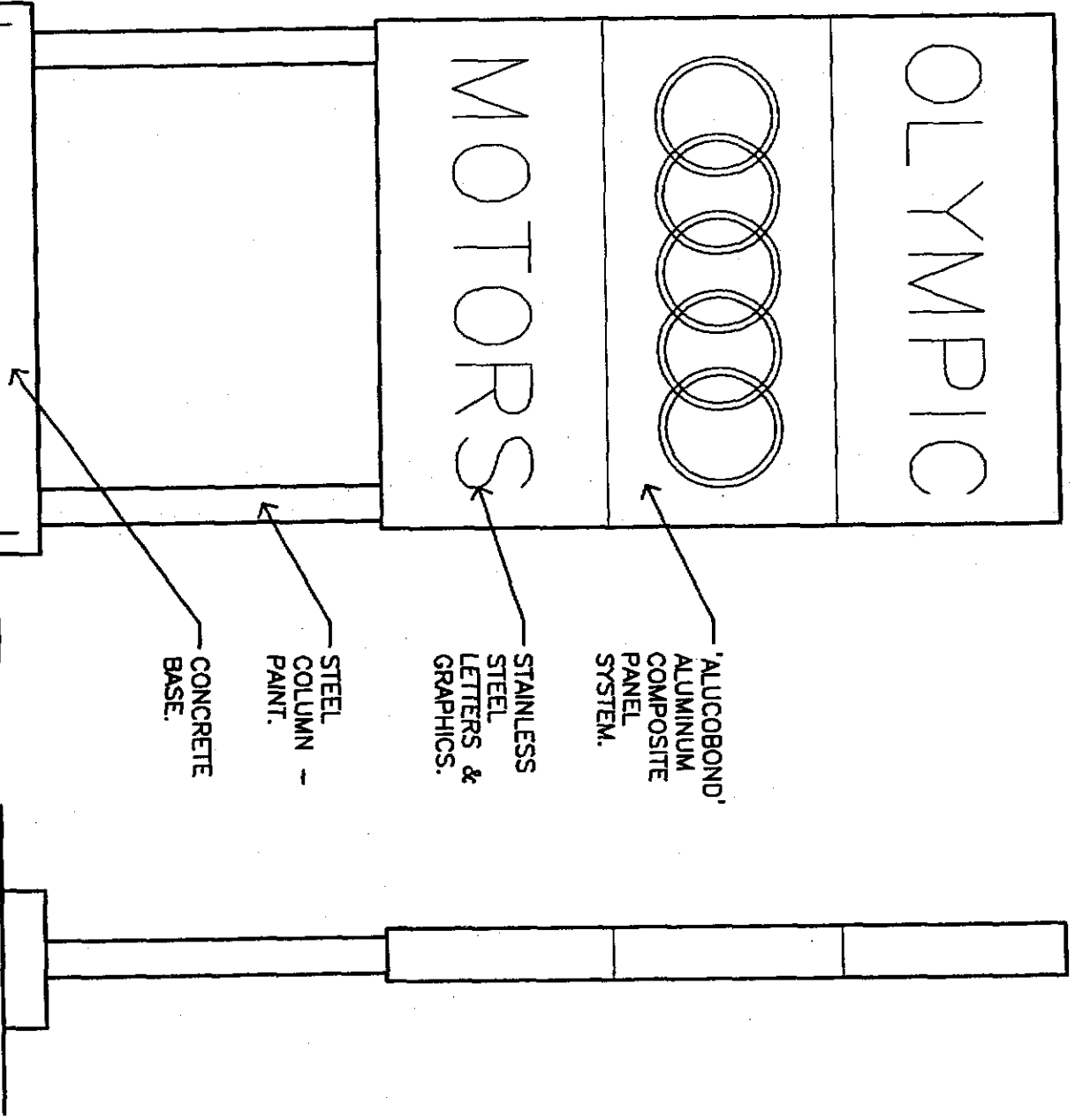
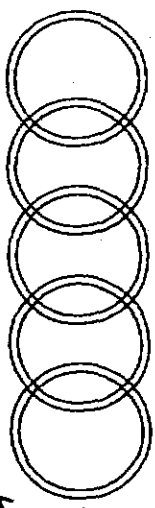
GRADE.

25'-0"  
9'-0" 16'-0"

'ALUCOBOND'  
ALUMINUM  
COMPOSITE  
PANEL  
SYSTEM.  
STAINLESS  
STEEL  
LETTERS &  
GRAPHICS.  
STEEL  
COLUMN -  
PAINT.  
CONCRETE  
BASE.

MOTORS

OLYMPIC





1 INTRODUCED BY COUNCILMAN SIAM  
2 APRIL 26, 2021

3  
4 BILL NO. 9673

ORDINANCE NO.

5  
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO B-5 ORDINANCE**  
7 **NO. 5733 AS AMENDED, TO ALLOW THE REMOVAL OF SIDING**  
8 **LOCATED AT 2341 N. HIGHWAY 67.**  
9

10  
11 WHEREAS, ordinance no. 5733 was passed in June of 1995 approving changes to the  
12 Gramex Development plan to allow for a retail establishment with restrictions; and

13 WHEREAS, ordinance no. 5733 was amended by ordinance no. 8387 in February of  
14 2018 to allow for remodeling of a retail establishment (Target); and

15 WHEREAS, the Planning and Zoning Commission of the City of Florissant has  
16 recommended to the City Council at their meeting of April 5, 2021 that an amendment to B-5  
17 ordinance no. 5733, as amended, to allow the removal of siding located at 2341 N. Highway 67.

18 WHEREAS, due and lawful notice of a public hearing no. 21-04-007 on said proposed  
19 change was duly published, held and concluded on 12<sup>th</sup> day of April, 2021 by the Council of the  
20 City of Florissant; and

21 WHEREAS, the Council, following said public hearing, and after due and careful  
22 deliberation, has concluded that that an amendment to B-5 ordinance no. 5733, as amended, to  
23 allow the removal of siding located at 2341 N. Highway 67 is in the best interest of the public  
24 health, safety and welfare of the City of Florissant; and

25  
26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
27 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:  
28

29 Section 1: B-5 ordinance no. 5733, as amended by ordinance nos. 5896, 7401 and  
30 8387, as depicted on documents prepared by Kimley-Horn, shown on elevation drawing T1101  
31 dated February 8, 2021, is hereby further amended, to allow the removal of siding located at  
32 2341 N. Highway 67 with the following stipulations:  
33

34 1.GENERAL DEVELOPMENT CONDITIONS

35 a.Unless and except to the extent otherwise specifically provided in ordinance no.  
36 5733, as amended, development shall be affected only in accordance with all  
37 ordinances of the City of Florissant.

38 b.Amend page 10, paragraph i), (4) to remove the following:

“The Planning & Zoning Commission may permit the use of phenolic siding over existing masonry as depicted by November 13, 2017 exterior elevations prepared by Kimley-Horn”

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Keith Schildroth  
President of the Council

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Timothy J. Lowery  
Mayor, City of Florissant

ATTEST:

\_\_\_\_\_  
Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

# **CITY OF FLORISSANT**

## **Public Hearing**

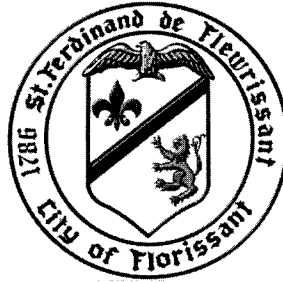


**In accordance with Chapter 405.135 of the Florissant Zoning Code, a Public Hearing will be held by the City Council of Florissant, MO. virtually via the Zoom platform, on Monday, April 26, 2021 at 7:00 P.M. on the following proposition:**

**To amend a 'B-5' to remove siding as amended by Ordinance No. 8387 to remove simulated wood siding located at 2341 N Highway 67 (Target). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**

Application to the City of Florissant Planning & Zoning Commission (P&Z) to  
Establish a 'B-5' Planned Commercial District (Re-Zoning) or to Amend the  
Provisions of an Existing 'B-5' Ordinance



PLANNING & ZONING ACTION:

RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGN.

DATE:

4-11-21

Address of Property:

2341 N Hwy 67, Florissant, MO 63033

Council Ward

9

Zoning

'B-5'

Initial Date Petitioner Filed

(Staff to complete Ward, Zoning & Date filed)

PETITION TO REZONE OR AMEND CONDITIONS OF A 'B-5' PLANNED COMMERCIAL DISTRICT  
ORDINANCE #

Enter ordinance number or number(s) if requesting to amend.

1) Comes Now Ashley Astor with Kimley-Horn on behalf of Target Corp.

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal  
interest in the tract of land located in the City of Florissant, State of Missouri, described in this petition.

Legal interest in the Property Target Corporation

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of  
authorization from owner to sponsor such a bill.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which  
the Permit is petitioned, by giving bearings & distances (metes and bounds). Not required if legal description  
is found identical on requirements of "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn  
to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street  
intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and  
distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which 'B-5' is proposed 10.10
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in  
a 'B-5' District and is presently being used as Commercial Retail/Department Store: Target

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify this 'B-5' petition: To allow for (material) for the exterior building to

replace for faux wood removal.

List reason for this request, i.e. "to allow for..."

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S REPRESENTATIVE Ashley Astor ashley.astor@kimley-horn.com  
Print Name Email address

PETITIONER(S) SIGNATURE (S) Ashley Astor  
Digitally signed by Ashley Astor  
DN: cn=US, email=ashley.astor@kimley-horn.com, o=Kimley-Horn, ou=Development Services, cn=Ashley Astor  
Reason: I have reviewed this document  
Date: 2021.03.02 08:42:11 -0600

FOR Target Corporation

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):  
( ) I (we) have a legal interest in the herein above described property.  
( ) I am (we are) the duly appointed agent(s) of the petitioner (s), and  
that all information given here is true and a statement of fact.

Petitioner may assign an agent to present this petition to the Planning & Zoning Commission and Council. The agent must be approved by the owner to present the petition in this section, and provide address and telephone number

NAME Name of Petitioner(s) Authorized Agent, Firm Name

ADDRESS STREET CITY STATE ZIP CODE

PHONE BUSINESS

I (we) the petitioner (s) do hereby appoint Print name of agent. Email address as  
my (our) duly authorized agent to represent me (us) in regard to this petition.

Ashley Astor

Signature of Petitioner(s) or Authorized Agent

**NOTE:** Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporation registration.

1) Type of Operation: Individual: ☐ Partnership: ☐ Corporation: ☒

(a) If an individual:

- (1) Name and Address \_\_\_\_\_
- (2) Phone Number \_\_\_\_\_ Email \_\_\_\_\_
- (3) Business Address \_\_\_\_\_
- (4) Date started in business \_\_\_\_\_
- (5) Name in which business is operated if different from (1) \_\_\_\_\_
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Phone Number \_\_\_\_\_ Email \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners Eames Gilmore on behalf of Target Corporation
- (2) Phone Number 612-761-1585 Email Eames.Gilmore@target.com
- (3) Business address 50 S 10th Street Minneapolis MN 55403
- (4) State of Incorporation & a photocopy of incorporation papers See Attached
- (5) Date of Incorporation February 16, 2000
- (6) Missouri Corporate Number F00175426
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.
- (8) Name in which business is operated Target Corporation
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.



Please fill in applicable information requested.

Name Ashley Astor with Kimley-Horn on behalf of Target Corp.  
Address 767 Eustis St, Suite 100, St Paul, MN 55114  
Property Owner Target Corporation  
Location of property 2341 N Hwy 67, Florissant, MO 63033  
Dimensions of property 10.10 Acres  
Property is presently zoned B-5 per ordinance # 7671  
Current & Proposed Use of Property Commercial Retail/Department Store: Target  
Type of Sign Removing and Reinstalling existing signs in existing locations Height 132 ft  
Type of Construction Installment of Amherst Gray Paint over the existing brick Number Of Stories. 1  
Square Footage of Building +/- 126,250 Number of Curb Cuts  
Number of Parking Spaces Sidewalk Length  
Landscaping: No. of Trees Diameter  
No. of Shrubs Size  
Fence: Type Length Height

**PLEASE SUBMIT NINE (10) FOLDED COPIES OF THE FOLLOWING:**

Please provide one letter sized copy of all documents submitted for the overhead projector, presentation boards discouraged.

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing, to scale, showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS  
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

**Provide a legal description of the property. If part of a shopping center list the address and state that it is part of the shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.**

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

**Provide a drawing of a location map showing the nearest major intersection or include on plans.**

**STAFF CHECK LIST / REVIEW SHEET**

ADDRESS OF PROPERTY \_\_\_\_\_ CURRENT ZONING \_\_\_\_\_

PROPERTY OWNER OF RECORD \_\_\_\_\_ PHONE NO. \_\_\_\_\_

AUTHORIZED AGENT \_\_\_\_\_ PHONE NO. \_\_\_\_\_

PROPOSAL \_\_\_\_\_

1) a. Uses - Are uses stipulated \_\_\_\_\_ Yes / No

b. What current District would this proposal be a permitted use: \_\_\_\_\_

c. Proposed uses for out lots: \_\_\_\_\_

2) Performance Standards:

a) Vibration: Are there any foreseen vibration problems at the property line? \_\_\_\_\_ Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? \_\_\_\_\_ Yes / No

c) Odors: Is there any foreseen problem with odor? \_\_\_\_\_ Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? \_\_\_\_\_ Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? \_\_\_\_\_ Yes / No

f) Is there foreseen emissions of dirt, dust, fly ash, and other forms of particle matter? \_\_\_\_\_ Yes / No

g) Is there any dangerous amount of radiation produced from the operation? \_\_\_\_\_ Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? \_\_\_\_\_ Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc., shown? \_\_\_\_\_ Yes / No

j) Is building(s) screened from adjoining residential? \_\_\_\_\_ Yes / No

3) Is the height of structures shown? \_\_\_\_\_ Yes / No

4) Are all setbacks shown? \_\_\_\_\_ Yes / No

5) Are building square footages shown? \_\_\_\_\_ Yes / No

6) What are the exterior construction materials on the building(s)? \_\_\_\_\_

7) Is off street loading shown? \_\_\_\_\_ Yes / No

8) Parking:

a) Does parking shown meet the ordinance? \_\_\_\_\_ Yes / No

b) Is a variance required in accordance with the ordinance? \_\_\_\_\_ Yes / No

c) Ratio shown \_\_\_\_\_ to \_\_\_\_\_

d) Total Number \_\_\_\_\_

e) Will cross access and cross parking agreements be required? \_\_\_\_\_ Yes / No

f) Is the parking lot adequately landscaped? \_\_\_\_\_ Yes / No

9) Are there any signs? \_\_\_\_\_ Yes / No

Number of signs shown \_\_\_\_\_

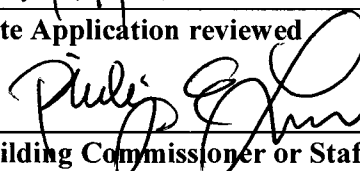
Type of Signs \_\_\_\_\_

Are sizes, heights, details, and setbacks shown? \_\_\_\_\_ Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? \_\_\_\_\_ Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? \_\_\_\_\_ Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No  
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No  
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start \_\_\_\_\_ Finish \_\_\_\_\_
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient accessibility on the site plan shown? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No  
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_
- 25) Staff Comments: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

3/31/21  
Date Application reviewed  
  
Building Commissioner or Staff Signature

## MEMORANDUM



### **CITY OF FLORISSANT- Building Division**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

To: Planning and Zoning Commissioners

Date: March 31, 2021

From: Philip E. Lum, AIA-Building Commissioner c:

Todd Hughes, P.E.,  
Director Public Works  
Deputy City Clerk  
Applicant  
File

Subject: **2341 N Highway 67 (Target)** Request **Recommended Approval** to amend a 'B-5' Ord. No. 5733 as amended by Ord. No. 8387 to remove simulated wood siding.

## **STAFF REPORT** **CASE NUMBER PZ-040521-4**

### **I. PROJECT DESCRIPTION:**

This request for recommended approval to amend a 'B-5' Ord. No. 5733 as amended by ords. nos. 5896, 7401 to allow for a remodeling of a retail **establishment (Target)** to amend a 'B-5' Ord. No. 5733 as amended by Ord. No. 8387 to remove simulated wood siding at

**2341 N Highway 67** in an existing 'B-5' Zoning District.

### **II. EXISTING SITE CONDITIONS:**

The existing address at **2341 N. Highway 67 (Target)** has been occupied for many years.

The Final Development Plan for this 'B-5' was affected by dying landscape and Parking Lot maintenance.

The property per public record was built in 1997 and contains 121,945 s.f. and 575 parking spaces, 348 required.

40 III. SURROUNDING PROPERTIES:

41 The property is bounded by residential properties in County to the North and  
42 residentially zoned properties to the west, There are several properties in a 'B-5' District  
43 adjacent to the site. The properties to the South are outlots such as Applebee's at 2309N  
44 Highway 67 and 2317 N Highway 67 is Longhorn Steakhouse. The retail center to the  
45 East is also in a 'B-5' District.

46  
47 IV. STAFF ANALYSIS:

48 The application is accompanied by professionally prepared documents that include:  
49 A request to vary from the masonry ordinance, Plan dated February 8,  
50 2021 Exterior Elevations.

51  
52 Staff comments:

53 Petitioner requests removal of simulated wood on certain areas of the south, west  
54 and east elevations, predominantly on the entry tower/canopy and pilasters.

55  
56 The material to be removed is solid phenolic. The test procedure is for this  
57 material and an assemblage of other materials including insulation layer and fire resistant  
58 sheathing, identifies Fire Propagation Characteristics of Exterior Non-Load-Bearing Wall  
59 Assemblies Containing Combustible Components. The assemblage in the product test is  
60 on a stud backup wall, compared with this application which is over masonry.

61  
62 No area of covered brick was identified to be exposed.  
Existing Signs are to be re-installed.

63  
64 The existing building is split faced block on the north elevation (non-masonry per  
65 ordinance).

66  
67 See the following suggested motion:

68 V. STAFF RECOMMENDATION AND SUGGESTED MOTION:

69  
70 I move to recommend approval to amend Ord. No. 5733 as amended by ords. nos.  
71 5896 and 7401, as presented and depicted by documents prepared by Kimley-  
72 Horn, shown on elevation drawing T1101 dated February 8, 2021. These  
alterations  
73 depict changes to the development plan. Approval is subject to the regulations of  
74 this 'B-5' Planned Commercial District, and the following additional  
75 requirements:

76  
77 1. GENERAL DEVELOPMENT CONDITIONS.

78  
79 Unless, and except to the extent, otherwise specifically provided in  
80 Ordinance no. 5733, as amended by ords. Nos. 5896 and 7401.  
81 Development shall be effected only in accordance with all ordinances of  
82 the City of Florissant.

83  
84 2. Amend page 10, paragraph i), (4) to remove the following:

1       86                   “The Planning & Zoning Commission may permit the use of  
2       phenolic  
3       87                   siding over existing masonry as depicted by November 13, 2017  
4                   exterior  
5       elevations prepared by Kimley-Horn.”  
6  
7                   (End of report and suggested motion)







1 INTRODUCED BY COUNCILMAN SCHILDROTH  
2 APRIL 26, 2021

3  
4 BILL NO. 9674

ORDINANCE NO.

5  
6  
7 **ORDINANCE AUTHORIZING AN AMENDMENT TO SPECIAL USE**  
8 **ORDINANCE NO. 8068, AS TRANSFERRED, TO ALLOW FOR THE**  
9 **ADDITION OF A DETACHED WALK-IN COOLER AND BUS PARKING**  
10 **LOCATED AT 300 ST. FERDINAND.**

11  
12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a  
14 restaurant; and

15 WHEREAS, the Florissant City Council initially granted Special Use permit no. 8068 to  
16 Phat Boys BBQ LLC to allow for the operation of a restaurant in August of 2014; and

17 WHEREAS ordinance no. 8068 was transferred by ordinance no. 8206 to Sho-Mo BBQ,  
18 LLC; and

19 WHEREAS ordinance no. 8489 transferred ordinance no 8206 to Mann Meats; and

20 WHEREAS, an application has been filed by Mann Meats to amend Special Use Permit  
21 no. 8068 as transferred to allow for adding a walk-in cooler and bus parking; and

22 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their  
23 meeting of April 5, 2021 has recommended that the Special Use Permit amendment for the  
24 additional use; and

25 WHEREAS, due notice of public hearing no. 21-04-008 on said application to be held on  
26 the 26th day of April, 2021 at 7:00 P.M. by the Council of the City of Florissant was duly  
27 published, held and concluded; and

28 WHEREAS, the Council, following said public hearing, and after due and careful  
29 consideration, has concluded that the granting of an amendment to the Special Use Permit  
30 authorized by Ordinance No. 8068, as hereinafter provided, would be in the best interest of the  
31 City of Florissant and will not adversely affect the health, safety, morals and general welfare of  
32 the City.

33 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
34 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:  
35

1        Section 1: Special Use Permit No. 8068 as transferred by ordinance nos. 8206 and 8489,  
2 is hereby amended by adding bus parking and a detached walk-in freezer according to the plans  
3 attached hereto.

4        Section 2: When the named permittee discontinues the operation of said business, the  
5 Special Use Permit herein granted shall no longer be in force and effect.

6        Section 3: This ordinance shall become in force and effect immediately upon its passage  
7 and approval.

8        Adopted this \_\_\_\_ day of \_\_\_\_\_, 2021.  
9

10  
11 \_\_\_\_\_  
12 Keith Schildroth  
13 President of the Council  
14 City of Florissant

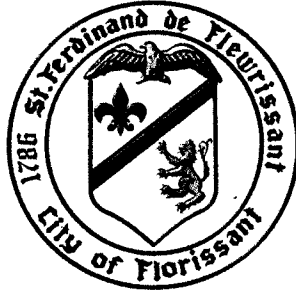
15        Approved this \_\_\_\_ day of \_\_\_\_\_, 2021.  
16

17  
18 \_\_\_\_\_  
19 Timothy J. Lowery  
20 Mayor, City of Florissant

21 ATTEST:  
22

23  
24 \_\_\_\_\_  
25 Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

**SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works  
314-839-7648

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

**PLANNING & ZONING ACTION**

**RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN**

Council Ward 5 Zoning 'B-2'

Initial Date Petitioner Filed \_\_\_\_\_  
Building Commissioner to complete  
ward, zone & date filed

SIGN. [Signature] DATE: 4.11.21

SPECIAL PERMIT FOR Install Walk-In Cooler / special Parking for Bus on lot  
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- \_\_\_\_\_ TO ALLOW FOR Walk in cooler / Bus Parking  
ordinance # \_\_\_\_\_ Statement of what the amendment is for.

LOCATION 300 St. Ferdinand  
Address of property.

1) Comes Now Bob Mannecke D.B.A. Mann Meats Inc.  
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Lease  
State legal interest in the property. (i.e., owner of property, lease).  
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for BBQ carry-out restaurant and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:  
(If more space is needed, separate sheets maybe attached)

Bob Mannecke [Signature] / Bobmannecke@mannmeats.com  
PRINT NAME SIGNATURE email and phone

FOR Mann Meats Inc.  
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE \_\_\_\_\_

ADDRESS \_\_\_\_\_  
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL \_\_\_\_\_ / \_\_\_\_\_  
BUSINESS

I (we) the petitioner (s) do hereby appoint \_\_\_\_\_ as  
Print name of agent.  
my (our) duly authorized agent to represent me (us) in regard to this petition.

\_\_\_\_\_  
Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:  
Individual \_\_\_\_\_ Partnership \_\_\_\_\_ Corporation X

(a) If an individual:

- (1) Name and Address Bob Mannecke
- (2) Telephone Number 314-852-5296 / 314-942-7000
- (3) Business Address 300 St. Ferdinand
- (4) Date started in business 12-28-17
- (5) Name in which business is operated if different from (1) Mann Meats
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) State of Incorporation & a photocopy of incorporation papers \_\_\_\_\_
- (5) Date of Incorporation \_\_\_\_\_
- (6) Missouri Corporate Number \_\_\_\_\_
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_
- (8) Name in which business is operated \_\_\_\_\_
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

**Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.**

Name \_\_\_\_\_

Address \_\_\_\_\_

Property Owner \_\_\_\_\_

Location of property \_\_\_\_\_

Dimensions of property \_\_\_\_\_

Property is presently zoned \_\_\_\_\_ Requests Rezoning To \_\_\_\_\_

Proposed Use of Property \_\_\_\_\_

Type of Sign \_\_\_\_\_ Height \_\_\_\_\_

Type of Construction \_\_\_\_\_ Number Of Stories \_\_\_\_\_

Square Footage of Building \_\_\_\_\_ Number of Curb Cuts \_\_\_\_\_

Number of Parking Spaces \_\_\_\_\_ Sidewalk Length \_\_\_\_\_

Landscaping: No. of Trees \_\_\_\_\_ Diameter \_\_\_\_\_

No. of Shrubs \_\_\_\_\_ Size \_\_\_\_\_

Fence: Type \_\_\_\_\_ Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS  
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

**Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.**

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

**Provide a drawing of a location map showing the nearest major intersection.**

---

---

**OFFICE USE ONLY**

Date Application reviewed \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
**Building Commissioner or Staff Signature**



## **CITY OF FLORISSANT**

### **PUBLIC HEARING NOTICE**

**Notice is hereby given in accordance with Chapter 410.310 of the Florissant Code of Ordinances, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, virtually via the Zoom platform, on Monday, April 26, 2021 at 7:00 p.m. on the following proposition:**

**To amend Special use, Ordinance No. 5733 to add a detached, walk-in cooler located at 300 St. Ferdinand (Mann Meats). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC, City Clerk.**



1  
2  
3  
**MEMORANDUM**



4  
5  
6  
7  
8  
**CITY OF FLORISSANT- Building Division**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

9 To: Planning and Zoning Commissioners Date: March 31, 2021  
10  
11 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,  
12 Director Public Works  
13 Deputy City Clerk  
14 Applicant  
15 File  
16

17 Subject: **300 St Ferdinand (Mann Meats) Request Recommended Approval to**  
18 **expand a Special Use in a 'B-2' Central Business District.**  
19

20  
21  
22  
**STAFF REPORT**  
**CASE NUMBER PZ-040521-5**

23 **I. PROJECT DESCRIPTION:**

24 This is a request to expand a Special Use in a 'B-3' Extensive Business District.  
25

26 **II. EXISTING SITE CONDITIONS:**

27 The existing property adjacent to **300 St Ferdinand** was approved to operate under  
28 transfer of a Special Use for a BBQ Restaurant.  
29

30 The subject property is approximately 0.3 acres and 834 s.f. built in 1968 per County  
31 record. This site is quite unique for several reasons:

- 32 • The 'B-2' District has a zero front setback, therefore, the setback lines are zero on
- 33 the South, West and North sides.
- 34 • The 'B-2' District abuts the adjacent
- 35

36 **III. SURROUNDING PROPERTIES:**

37 This site is quite unique for several reasons:

- 38 • The 'B-2' District has a zero front setback, therefore, the setback lines are zero on
- 39 the South, West and North sides.

- The 'B-2' District abuts the adjacent property at 278 Washington owned by Ameren.
  - The Ameren properties throughout the Historic District appear to be given a cross parking agreement.
  - The Ameren property is located in 3 different Zoning Districts.
  - Technically, the abutment of this property to the Ameren site would require a screen, which could be waived under a Special Use Permit.
  - The property to the north is Helpers 380 Rue St Ferdinand. Its parking lot is located in the same 'B-2' Zoning District, but the Helpers store itself is located in the 'HB' Historic Business District.

The properties to the North is 380 Rue St Ferdinand, the property to the East is 278 Washington, within the 'R-4' Single Family Dwelling District.

#### IV. STAFF ANALYSIS:

This proposal is for a thriving existing business. The Site Plan attached shows the car parking on site and notes that 27 spaces exist on the Ameren property used by both Helpers and Mann Meats. It appears that only 6 of these additional spaces are directly behind the site, however, the Ameren site stretches from Harrison St to Washington St and the parking access may have been granted long ago without proper documentation.

Parking for restaurants under 1500 s.f. are calculated at 4.5/1000 s.f., therefore the business is required to have only 3 required parking spaces. The site as proposed has 21 provided, so it more than complies.

The applicant has a vehicle that is an integral part of the business shown with a location to park. This vehicle is used for local community fund raisers and deliveries, but is highly unique and unusual in itself. It represents a part of the owner's story that will play an ongoing role in the business' future. The vehicle will need to be shown on an approved site plan. The vehicle is proposed to be a temporary location should the owner decide to go ahead with expansion and/or removal of the existing business.

The walk-in cooler represents an expansion of the business since storage of refrigerated goods is where some of the work occurs to produce a final product. A matching 6 foot vinyl screen fence is proposed to surround the cooler, which is proposed approximately the same size as the existing concrete slab on the parking lot.

#### VI. STAFF RECOMMENDATIONS:

##### **Suggested Motion:**

I move for **Recommended Approval** to expand a Special Use in a 'B-2' Central Business District as shown on attached Site Plan.

(End of report and suggested motion)

ST. FERDINAND 300

DRIVE ACCESS TO  
380 RUE ST  
FRANCOIS

ACCESS  
AGREEMENT  
TO 27 SHARED  
PARKING FOR  
300 AND 380  
RUE ST  
FERDINAND

EXISTING  
ASPHALT PARKING LOT

EXISTING  
ASPHALT PARKING LOT

EXISTING BLDG.

823 SF

NEW  
WALK-IN COOLER

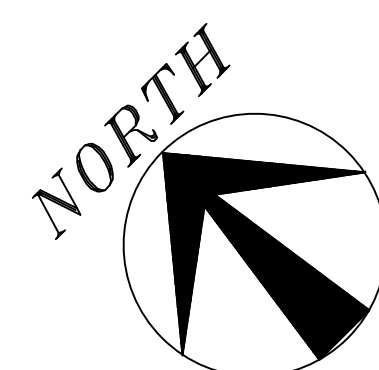
EXISTING CONCRETE SLAB

NEW SEMI-PRIVATE WHITE VINYL FENCE  
TO MATCH EXISTING FENCE

29'-0"  
CONCRETE ACESSES

29'-0"  
CONCRETE ACESSES

HARRISON STREET



## *SITE PLAN*

SCALE: 1/8" = 1'-0

MANN-MEATS  
BAR-B-Q STORE  
300 ST. FERDINAND  
FLORISSANT, MO. 63031  
PHONE: 314-942-7000  
ATTN: BOB MANNECKE

1 INTRODUCED BY COUNCILMAN EAGAN  
2 APRIL 26, 2021

3  
4 BILL NO. 9675

ORDINANCE NO.

5  
6 **ORDINANCE AUTHORIZING A SPECIAL USE PERMIT TO BANK OF**  
7 **AMERICA TO ALLOW FOR AN ATM IN THE PARKING LOT**  
8 **LOCATED AT 428 HOWDERSHELL.**  
9

10 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
11 Florissant, by Special Permit, after public hearing thereon, to permit the location and  
12 maintenance of ATM Machines in the City of Florissant; and

13 WHEREAS, an application has been filed by Bank of America for the installation of a an  
14 ATM Machine located at 428 Howdershell; and

15 WHEREAS, the Planning and Zoning Commission at their meeting on April 5, 2021,  
16 recommended that a Special Permit be granted; and

17 WHEREAS, due notice of public hearing no. 21-04-009 on said application to be held on  
18 the 26th of April, 2021 at 7:00 P.M. by the Council of the City of Florissant was duly published,  
19 held and concluded; and

20 WHEREAS, the Council, following said public hearing, and after due and careful  
21 consideration, has concluded that the issuance of a Special Permit for an ATM Machine would  
22 be in the best interest of the City of Florissant.

23  
24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:  
26

27 Section 1: Special use Permit to Bank of America to allow for an ATM in the parking lot  
28 located at 428 Howdershell in accordance with attached plans by Nelson Architecture Inc.  
29 labeled C0.0 and C1.0 dated and sealed 3/19/21.  
30

31 Section 2: This ordinance shall become in force and effect immediately upon its passage  
32 and approval.

33 Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2021.  
34  
35

36 \_\_\_\_\_  
37 Keith Schildroth  
38 President of the Council

39 Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2021.  
40

41 \_\_\_\_\_  
42 Timothy J. Lowery  
43 Mayor, City of Florissant

44 ATTEST:

45 \_\_\_\_\_  
46 Karen Goodwin, MPPA/MMC/MRCC  
City Clerk



## **CITY OF FLORISSANT**

### **PUBLIC HEARING NOTICE**

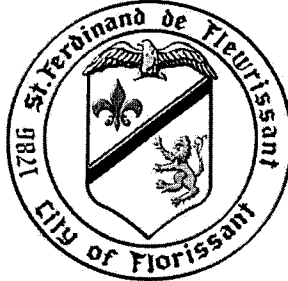
**Notice is hereby given in accordance with Chapter 410.310 of the Florissant Code of Ordinances, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, virtually via the Zoom platform, on Monday, April 26, 2021 at 7:00 p.m. on the following proposition:**

**To approve a Special Use to add an ATM in the parking lot located at 428 Howdershell (Bank of America). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC, City Clerk.**

**SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION**

*Paid  
3.11.21  
Receipt 6584  
JF*



**City Of Florissant – Public Works  
314-839-7648**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

**PLANNING & ZONING ACTION**

**RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN**

Council Ward 3 Zoning \_\_\_\_\_

Initial Date Petitioner Filed \_\_\_\_\_  
**Building Commissioner to complete  
ward, zone & date filed**

SIGN.

DATE:

SPECIAL PERMIT FOR special permit for Drive Up ATM

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- \_\_\_\_\_ TO ALLOW FOR \_\_\_\_\_  
ordinance # Statement of what the amendment is for.

LOCATION 428 Howdershell Road, Florissant, MO

Address of property.

1) Comes Now Jones Lang Lasalle DBA Bank of America

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Bank of America

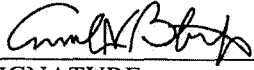
State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for parking lot and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:  
(If more space is needed, separate sheets maybe attached)

Amber Bloomfield  / Amber.Bloomfield@am.jll.com, 312-919-5211  
 PRINT NAME SIGNATURE email and phone

FOR Jones Lang Lasalle DBA Bank of America  
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
  1. I (we) have a legal interest in the herein above described property.
  2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE kelly stedman Digitally signed by kelly stedman  
DN: CN=US, E=kelly.stedman@woolpert.com, O=Woolpert, OU=DE, CN=kelly stedman  
Reason: I am the author of this document  
Date: 2021.02.25 19:39:04-06'00'

ADDRESS 343 Fountains Pkwy Fariview Heights, IL 62208

STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 618.632.6094 / kelly.stedman@woolpert.com  
 BUSINESS

I (we) the petitioner (s) do hereby appoint Kelly Stedman, Woolpert as  
 my (our) duly authorized agent to represent me (us) in regard to this petition.  
 Print name of agent.

  
 Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Villa Del Crista  
Address 428 Howdershell  
Property Owner \_\_\_\_\_  
Location of property southwest quadrant of parking lot  
Dimensions of property \_\_\_\_\_  
Property is presently zoned C3 Requests Rezoning To \_\_\_\_\_  
Proposed Use of Property Strip retail center/parking  
Type of Sign NA Height NA  
Type of Construction NA Number Of Stories NA  
Square Footage of Building NA Number of Curb Cuts 0  
Number of Parking Spaces 159 Sidewalk Length NA  
Landscaping: No. of Trees NA Diameter \_\_\_\_\_  
No. of Shrubs NA Size \_\_\_\_\_  
Fence: Type NA Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.



**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS  
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

**Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.**

428 Howdershell, Part of Villa Del Cresta Retail Plaza, Lot 1A

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

**Provide a drawing of a location map showing the nearest major intersection.**

---

---

**OFFICE USE ONLY**

Date Application reviewed \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
**Building Commissioner or Staff Signature**

## **MEMORANDUM**



## **CITY OF FLORISSANT**

To: Planning and Zoning Commissioners

Date: March 31, 2020

From: Philip E. Lum, AIA-Building Commissioner

c: Todd Hughes, P.E.,  
Director Public Works  
Deputy City Clerk  
Applicant  
File

Subject: Request Recommended Approval of a Special Use at a shopping center to allow for an ATM installation at **428 Howdershell (Bank of America)** in a 'B-3' Extensive Business District.

### **STAFF REPORT** **CASE NUMBER PZ-040521-6**

#### **I. PROJECT DESCRIPTION:**

This is a request for 'recommended approval' of a Special Use at the new "Boardwalk Shopping Center" (formerly Villa De Chresta) to allow for an ATM installation at **428 Howdershell (Bank of America)** in a 'B-3' Extensive Business District.

#### **II. EXISTING SITE CONDITIONS:**

A new business Use precipitates a need for a Special Use Permit to comply with the City Zoning Ordinance.

There are 169 parking spaces off street parking in front of the shopping center, with a parking ratio of 4 spaces per 1000 s.f., the parking requirement to be in compliance to code is  $35,580/1000 \times 4 = 142$  required. The plan indicates 141 required and 153 provided, therefore, the number of parking is compliant should fewer than 12 spaces be removed.

#### **III. SURROUNDING PROPERTIES:**

The properties to the East are residences in an 'R-4' District, it is also bounded by the street to the South and North also in a 'B-3' District along Howdershell. The property across Howdershell is in a 'B-3' District.

#### **III. STAFF ANALYSIS:**

Permitted Uses in the 'B-3' District include a bank. Although a bank is a permitted use in this district, staff cannot deem an ATM a bank because it does not provide all the services of a bank. Additionally, an ATM causes changes to traffic flow in the parking lot and a change to the development plan of record.

The application is accompanied by Nelson Architecture Inc plans C0.0 and C1.0 of the ATM. Comments on plans submitted are as follows:

**C0.0 Comments:**

This drawing shows general site plan, indicating the location within the Shopping Using County GIS, the ATM is situated approximately 20-22 feet from the property line. The setback line is 40 feet for this frontage. The distance to the curblin of Flordawn is about 34 feet.

The only other location where an ATM was permitted was across the street at 555 Howdershell where there was only slight variation from the 40 foot setback.

**VI. STAFF RECOMMENDATIONS:**

If the Commission recommends approval, staff recommends the attached suggested motion:

**Suggested Motion for a Special Use at 428 Howdershell**

I move to Recommend Approval of a Special Use at Boardwalk Shopping Center to allow for an ATM installation at **428 Howdershell (Bank of America)** in a 'B-3' Extensive Business District.as follows:

ATM shall be in accordance with attached plans by Nelson Architecture Inc plans C0.0 and C1.0 dated sealed 3/19/21.

(end of Suggested Motion and Memo)



## Project Management

Client Representative:  
Jones Lang LaSalle  
Tayler Bybee  
Tel: 773.502.0553  
Tayler.Bybee@am.jll.com

## Architect

**NELSON**

Nelco Architecture, Inc.

a licensed affiliate of Nelson Worldwide, LLC

Project Contact: Donna Ross  
Tel: 216.830.1508  
Email: DRoss@nelsonww.com

Architect of Record: Vince Duet  
Tel: 215.825.6620  
Email: vduet@nelsonww.com



## Civil

Woolpert  
Attn: Kelly Stedman, PE  
Tel: 618.632.7004  
E-mail: kelly.stedman@woolpert.com

THESE DRAWINGS DO NOT REFLECT THE  
GUIDELINES SET FORTH BY THE WORLD HEALTH  
ORGANIZATION AND CENTER FOR DISEASE  
CONTROL OR OTHER GOVERNMENTAL AGENCY  
GUIDELINES RELATED TO COVID-19

Villa Del Crista - RATM

Issue for Client Review

Issue for Permit & Construction

10/19/2020

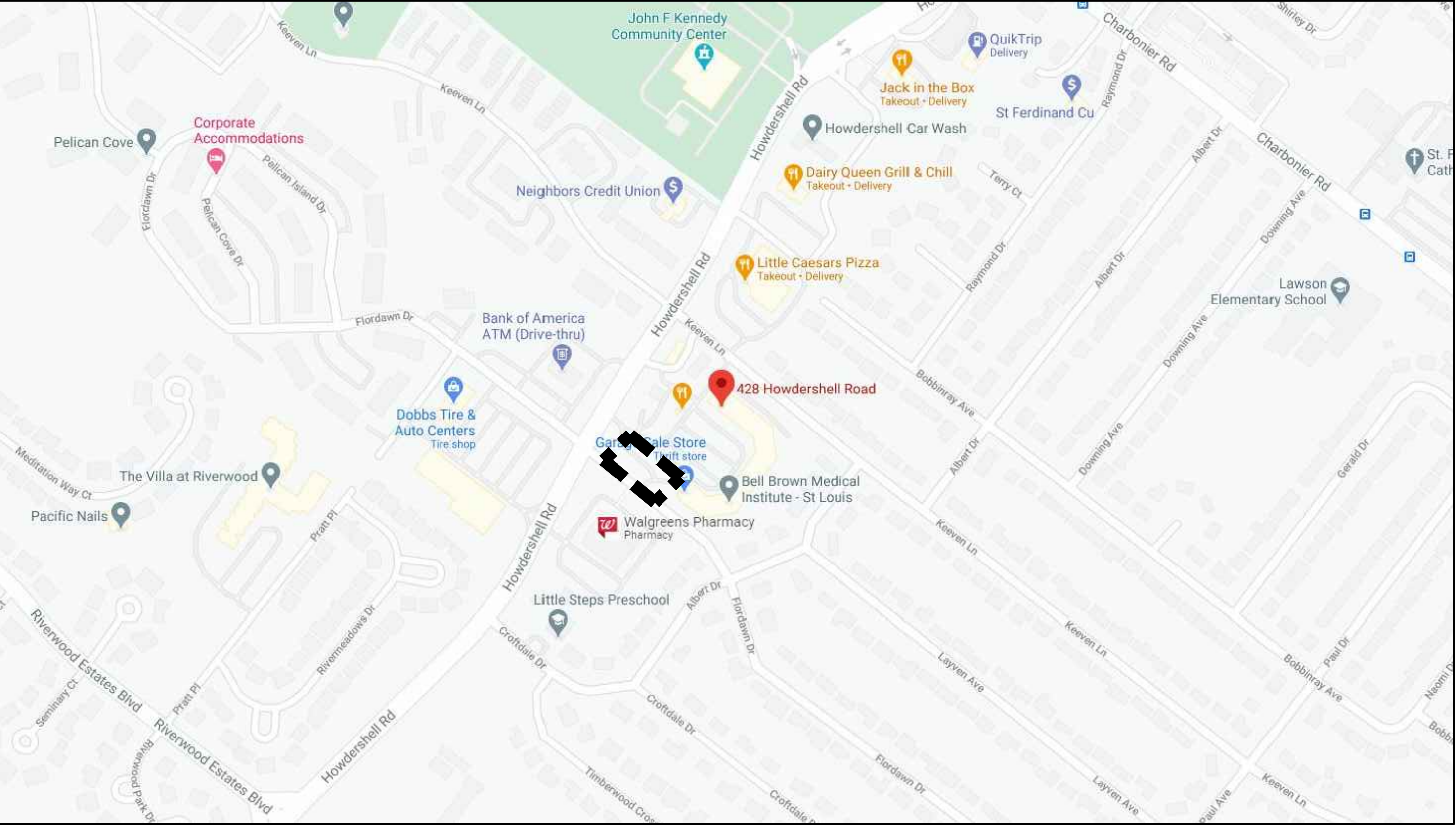
11/17/2020

428 Howdershell Rd.  
Florissant, MO. 63031

Architect Project #: 20.0003086.000




LOCATION MAP



N

VICINITY MAP



N

DRAWING INDEX

-----  
A00.00  
CIVIL  
C0.0  
C1.0  
C2.0  
C7.0  
ARCHITECTURAL  
A12.01  
A12.02  
LIGHTING DESIGN (FOR REFERENCE ONLY)  
-----  
LU-1  
LU-2  
LU-3  
LU-4  
LU-5  
LU-6  
LU-7  
LU-8

COVER SHEET  
DRAWING INDEX, PROJECT INFORMATION, CITY CODE & MAPS  
  
EXISTING CONDITIONS  
DEMOLITION & SITE PLAN  
GRADING PLAN  
SITE DETAILS AND NOTES  
  
ENLARGED PLAN, ELEVATIONS, DETAILS & MATRIX  
CLEARANCE BAR DETAILS  
  
COVER SHEET  
GENERAL NOTES  
LUMINAIRE SCHEDULE  
OVERALL SITE PLAN  
FULL SITE PHOTOMETRIC PLAN AT GRADE  
FIXTURE REMOVAL PLAN  
DIMENSIONING PLAN  
LANDSCAPING PLAN  
ATM COMPLIANCE AREA PHOTOMETRICS PLAN

30 West Monroe Street  
Suite 200  
Chicago, IL 60603-2409  
Phone: (312) 263-6605  
Fax: (312) 276-4340

Client Representative:

Jones Lang LaSalle  
Tayler Bybee  
Tel: 773.502.00553  
Email: Tayler.Bybee@am.jll.com

Architect:

**NELSON**  
Nelco Architecture Inc  
Attn: Donna Ross  
Tel: 216.830.1508  
Email: DRoss@nelsononwnw.com

Architect of Record: Vince Duet  
Tel: 215.825.6620  
Email: vduet@nelsononwnw.com

Civil Engineer:

Woolpert  
Attn: Kelly Stedman, PE  
Tel: 618.632.7004  
E-mail: kelly.stedman@woolpert.com

Description:  
Issue for Client Review  
Issue for Permit & Construction

Date:  
10/19/2020  
11/17/2020

PROJECT INFORMATION

PROJECT ADDRESS: 428 HOWDERSHELL RD.  
FLORISSANT, MO. 63031

PROJECT NAME: BANK OF AMERICA - RATM

PROJECT SIZE & TYPE: 100 SQ. FT.

PROJECT DESCRIPTION: REMOTE DRIVE-UP ATM INSTALLATION

PROJECT OCCUPANCY: BUSINESS, GROUP-B (BANKING SERVICES)

CONSTRUCTION TYPE: IIB

CITY CODE (FLORISSANT, MO)

2018 INTERNATIONAL BUILDING CODE  
2018 INTERNATIONAL MECHANICAL CODE  
2017 NATIONAL ELECTRIC CODE  
2018 INTERNATIONAL PLUMBING CODE  
2018 INTERNATIONAL FIRE CODE  
2018 INTERNATIONAL FUEL GAS CODE  
2018 ENERGY CONSERVATION CODE

THESE DRAWINGS DO NOT REFLECT THE  
GUIDELINES SET FORTH BY THE WORLD HEALTH  
ORGANIZATION AND CENTER FOR DISEASE  
CONTROL OR OTHER GOVERNMENTAL AGENCY  
GUIDELINES RELATED TO COVID-19


BANK OF AMERICA

VILLA DEL CRISTA  
RATM  
428 HOWDERSHELL RD.  
FLORISSANT, MO. 63031

PROPERTY ID: MOW-354  
NSRP VERSION: 2.0  
BULLETIN: 3-2020

DRAWING INDEX,  
PROJECT INFORMATION,  
CITY CODE AND MAPS

STATE OF MISSOURI  
VINCENT P. DUET  
NUMBER  
201900043  
ARCHITECT



Proj. No: 20.0003086.000 Reviewed By: VPD

A00.00

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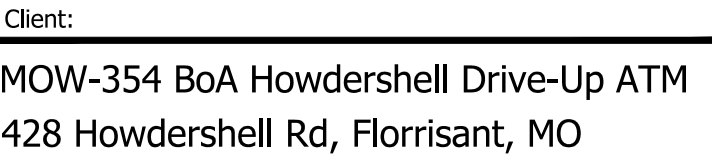
**CIVIL ENGINEERING**  
Woolpert  
Kelly Stedman  
343 Fountains Parkway, Suite 100  
Fairview Heights, IL 62208  
T: (618) 632-6094 E: Kelly.Stedman@Woolpert.com

PARCEL NUMBER: 07L340784

PARCEL AREA: 3.72 ACRES

ZONING: B3 EXTENSIVE COMMERCIAL

EXISTING PARKING REQUIRED:	141 SPACES
EXISTING PARKING PROVIDED:	153 SPACES
PROPOSED PARKING REQUIRED:	141 SPACES
PROPOSED PARKING PROVIDED:	143 SPACES

[illegible]

Sheet Title: EXISTING CONDITIONS



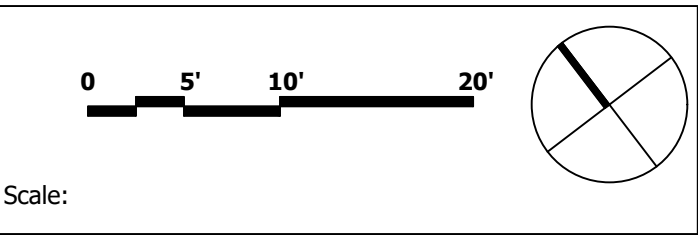
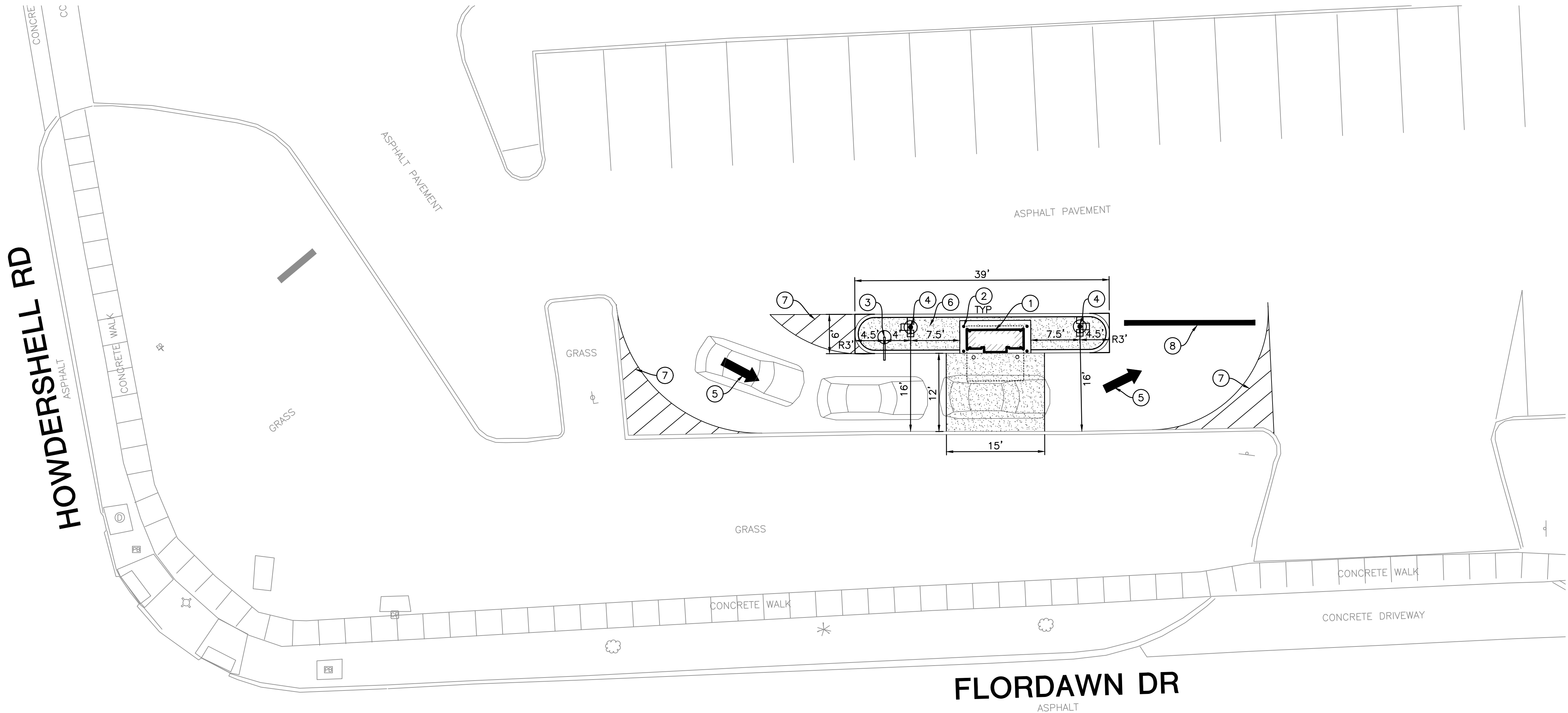
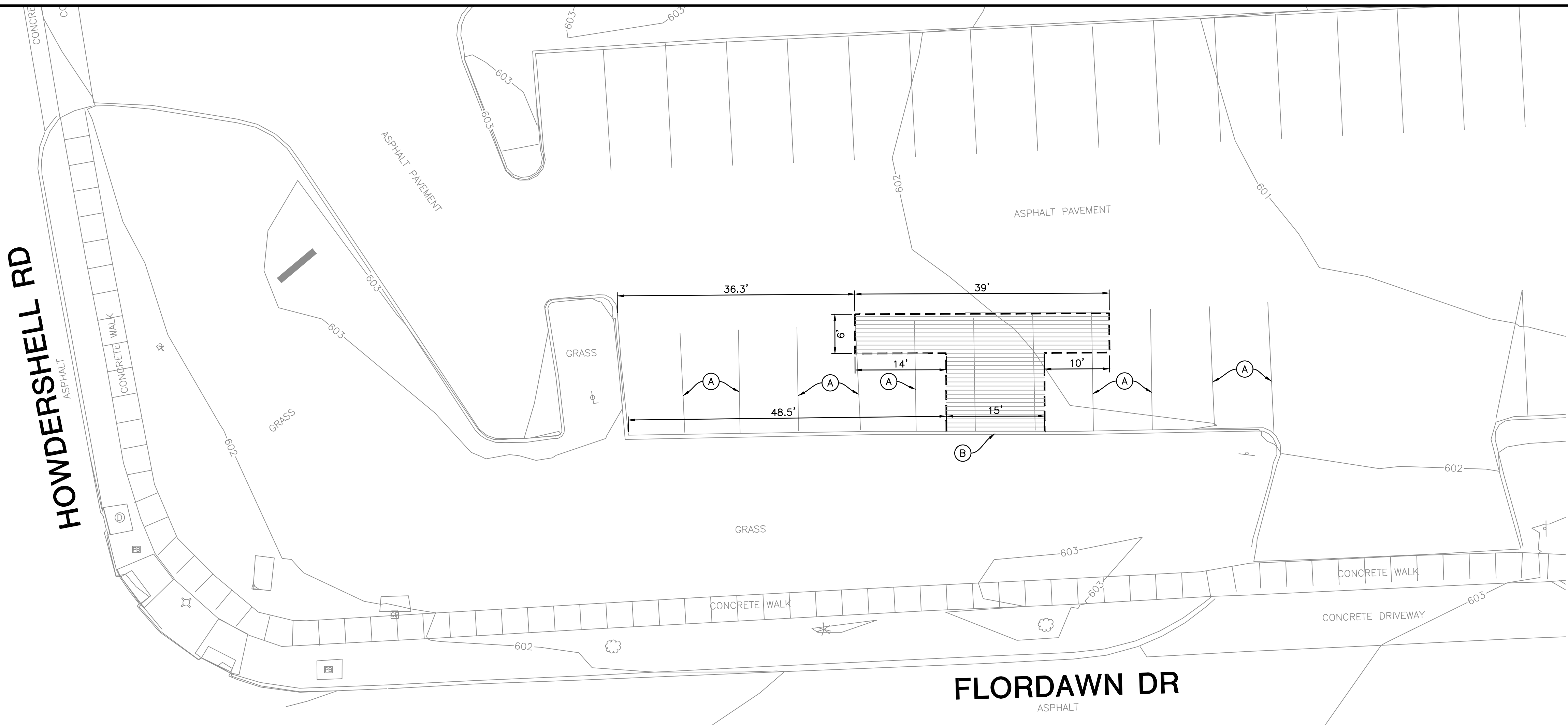
Seal:	
Proj. No:	Designer: KLS
Drawn By: SNT	Reviewed By:
Project Manager:	Approved By:

ALL DIMENSIONS AND CONDITIONS MUST BE CHECKED AND VERIFIED  
ON SITE BY THE CONTRACTOR AND SUB-CONTRACTORS PRIOR TO  
PERFORMING THE WORK. THE PROJECT MANAGER SHALL BE NOTIFIED IN  
WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

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[illegible]

① MATCH EXISTING PAVEMENT GRADES.

TC 100.00	TOP BACK OF CURB
BC 99.50	BOTTOM-FACE OF CURB
99.50	SPOT SHOT
99.50 (EX)	EXISTING SPOT ELEVATION

30 West Monroe Street - Suite 200  
Chicago, IL 60603-2409  
Phone: (312) 263-6605  
(312) 276-4340

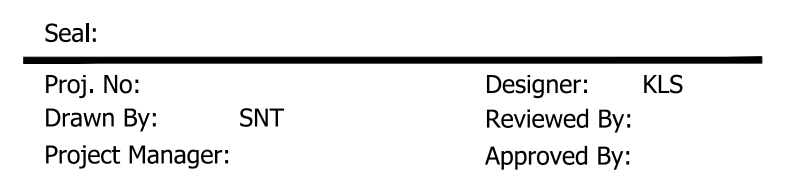
Woolpert  
Kelly Stedman  
343 Fountains Parkway, Suite 100  
Fairview Heights, IL 62208  
T: (618) 632-6094 E: Kelly.Stedman@Woolpert.com

[illegible]

Client: \_\_\_\_\_  
MOW-354 BoA Howdershell Drive-Up ATM  
428 Howdershell Rd, Florrisant, MO

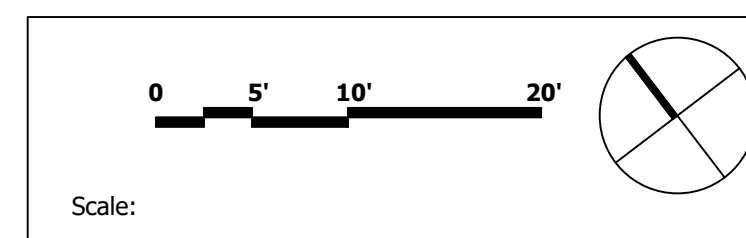
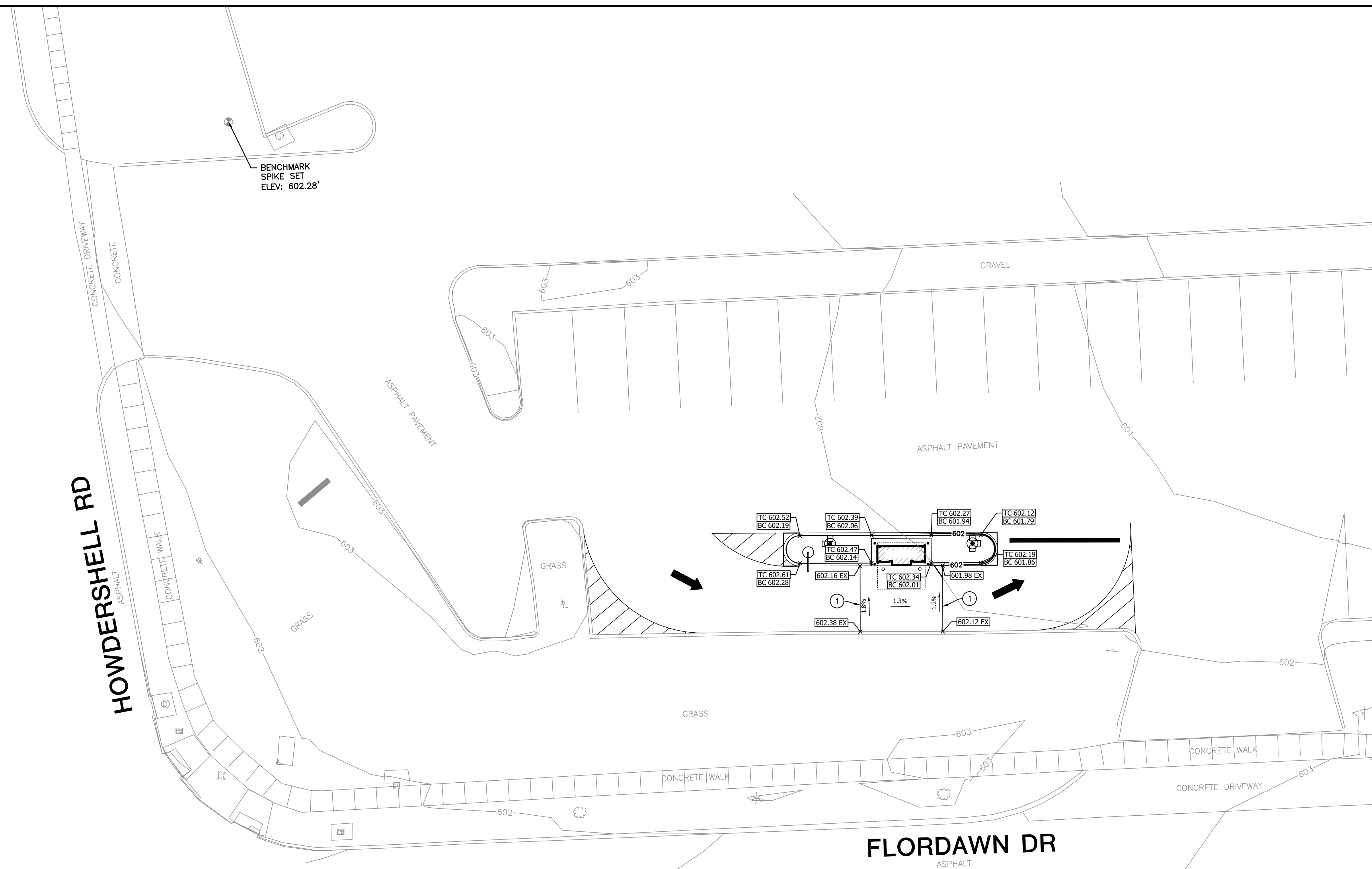
# C2.0

Sheet Title: GRADING PLAN



ALL DIMENSIONS AND CONDITIONS MUST BE CHECKED AND VERIFIED  
ON SITE BY THE CONTRACTOR AND SUB-CONTRACTORS PRIOR TO  
PERFORMING THE WORK. THE PROJECT MANAGER SHALL BE NOTIFIED IN  
WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

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- 1  
C7.0

NOT TO SCALE



- 2  
C7.0

NOT TO SCALE



NOT TO SCALE



NOT TO SCALE

ALL WORK PERFORMED ON THIS PROJECT SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAA), TO THE LATEST EDITIONS AND ALL APPLICABLE SECTIONS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, TO ALL APPLICABLE REQUIREMENTS/CODES OF THE CITY, COUNTY, AND STATE WHERE THIS PROJECT IS LOCATED, TO PROJECT SPECIFIC SPECIFICATIONS, AND TO BANK OF AMERICA STANDARDS AND SPECIFICATIONS.

PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR SHALL VERIFY THE ENGINEER'S LINE AND GRADES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY THE DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTIONS, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS, IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED PRIOR TO OBTAINING FROM THE RESPECTIVE UTILITY COMPANIES THE DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

THE CONTRACTOR SHALL PROCEED AT HIS OWN RISK IN PERFORMING ANY WORK PRIOR TO VERIFYING OR RECEIVING ALL NECESSARY PERMITS FOR THE WORK TO BE DONE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES, AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION.

THE CONTRACTOR SHALL REMOVE FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER, ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR RETURNING ALL AREAS AFFECTED BY EQUIPMENT OR CONSTRUCTION TO EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL NEW WORK UNTIL COMPLETION OF THIS CONTRACT.

ALL PROPOSED ITEMS ARE INTENDED TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.

UTILITIES (BOTH PUBLIC AND PRIVATE) AND APPURTENANCES TO REMAIN IN THEIR PRESENT LOCATION SHALL BE ADJUSTED TO PROPOSED GRADE WHERE NECESSARY.

PROVIDE POSITIVE DRAINAGE IN ALL AREAS.

A SMOOTH TRANSITION SHALL BE PROVIDED FROM PROPOSED WORK IN THIS CONTRACT TO ALL ADJACENT EXISTING FEATURES.

CONTOURS AND SPOT GRADES SHOWN REPRESENT FINAL CONSTRUCTED SURFACE.  
PAVEMENT AND OTHER IMPROVEMENTS MUST BE TAKEN INTO ACCOUNT WHEN PERFORMING  
GRADING.

ALL AREAS DISTURBED BY CONSTRUCTION NOT COVERED WITH PAVEMENT, BUILDING OR SPECIFIC PLANTING SHALL BE SODDED TO LOCAL STATE AND/OR COUNTY STANDARDS AND SPECIFICATIONS.

ALL AREAS DISTURBED BY CONSTRUCTION NOT COVERED WITH PAVEMENT OR BUILDING SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL.

ALL PROPOSED OR DISTURBED/REPLACEMENT SHRUB AND GROUND COVER PLANTING AREAS SHALL BE COVERED WITH A FOUR INCH THICK LAYER OF SHREDDED HARDWOOD BARK MULCH (HW) OR LANDSCAPE ROCK TO MATCH EXISTING. PRIOR TO MULCHING ALL BEDS SHALL BE COVERED WITH FIBER MAT WEED BARRIER. BARK MULCH OR LANDSCAPE ROCK SHALL BE APPROVED BY THE OWNER AND SHALL BE UNIFORM IN TEXTURE AND COLOR. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS SHALL BE ALLOWED.

ALL LANDSCAPE PLANTINGS, INCLUDING TRANSPLANTS, SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY OWNER. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY OWNER SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE CONTRACTOR.

ALL LAWNS SHALL BE GUARANTEED TO HAVE A FULL UNIFORM STAND OF ACCEPTABLE GRASS AT END OF ONE (1) YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.

ALL IRRIGATION IN CONFLICT WITH PROPOSED WORK SHALL BE ADJUSTED OR RELOCATED AS REQUIRED.

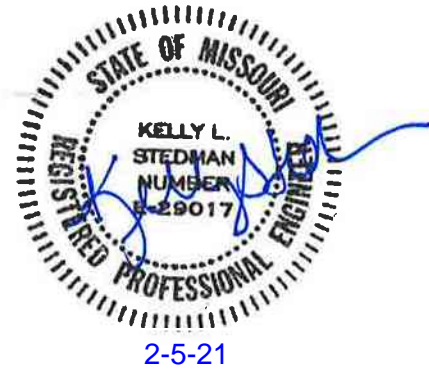
Client:

MOW-354 BoA Howdershell Drive-Up ATM  
428 Howdershell Rd, Florissant, MO

Project Title &amp; Address

## C7.0

Sheet Title: SITE DETAILS &amp; NOTES



Seal:	
Proj. No:	Designer: KLS
Drawn By: SNT	Reviewed By:
Project Manager:	Approved By:

ALL DIMENSIONS AND CONDITIONS MUST BE CHECKED AND VERIFIED  
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Packet Page 190 of 257

30 West Monroe Street  
Suite 200  
Chicago, IL 60603-2409  
Phone: (312) 263-6605  
Fax: (312) 276-4340

**Client Representative:**  
Jones Lang LaSalle  
Tayler Bybee  
Tel: 773.502.0053  
Email: Tayler.Bybee@am.jll.com

**Architect:**  
**NELSON**  
Nelco Architecture Inc  
Attn: Donna Ross  
Tel: 216.830.1508  
Email: DRoss@nelsonorww.com

Architect of Record: Vince Duet  
Tel: 215.825.6620  
Email: vduet@nelsonorww.com

**Civil Engineer:**  
Woolpert  
Attn: Kelly Stedman, PE  
Tel: 618.632.7004  
E-mail: kelly.stedman@woolpert.com

BASIS OF DESIGN COORDINATED WITH  
PIVOTING CLEARANCE BAR BY:  
COMPANION PART NO: FRAME-R-UB-DU-NG  
(MX 7800I CEN)\_3.0-EC-H7800IA

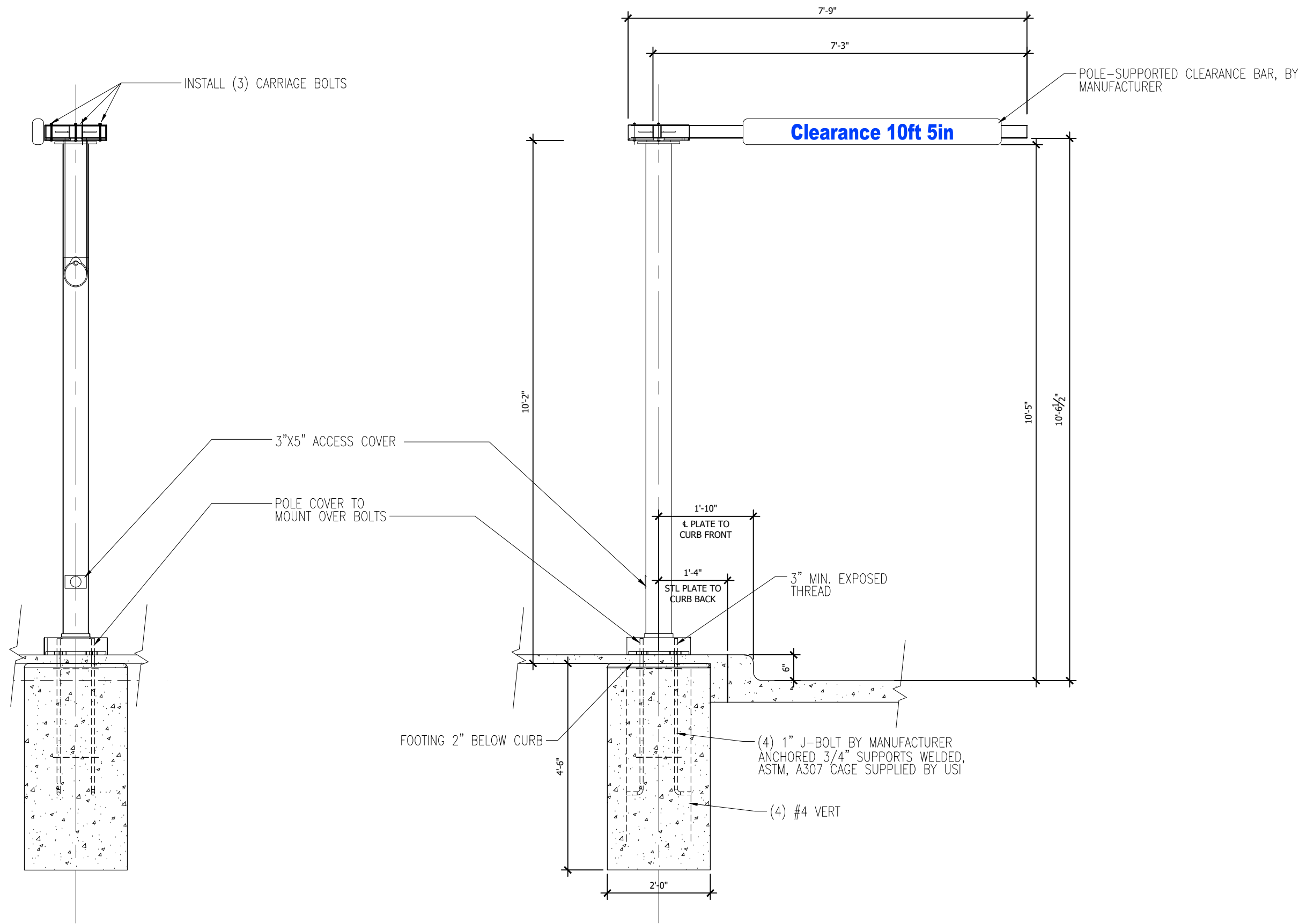
DESIGN CRITERIA:	
SNOW LOAD	50 PSF
WIND SPEED	150 MPH
SEISMIC COEFF.	1.5 W (WORST CASE)
MAX. IMPACT FORCE	650 LBS @ 3' ABOVE ANCHORS

- GENERAL NOTES:
- CONSTRUCTION TO FOLLOW ALL LOCAL AND BUILDING CODES
  - CONTRACTOR TO VERIFY IN FIELD ALL DIMENSIONS, QUANTITIES, CONDITIONS, PROPERTY LINES, SETBACK REQUIREMENTS, ETC.

- FOUNDATIONS:
- EXCAVATIONS TO BE CLEARED OF ALL DEBRIS. STANDING WATER TO BE REMOVED
  - FOUNDATIONS DESIGNED USING THE FOLLOWING VALUES FROM 2015 IBC TABLE 1806.2:
    - ALLOWABLE PRESSURE: 1500 PSF
    - PIER LATERAL BEARING: 100 PSF/2"=200 PSF/FT OF DEPTH

\*INCREASE ALLOWED PER 1806.3.4.

- CONCRETE & REINFORCING STEEL:
- CONCRETE CONSTRUCTION SHALL COMFORM TO ACI 318-08.
  - THE MIN 28 DAY STRENGTH & TYPE OF CONCRETE SHALL BE AS FOLLOWS:
    - FOUNDATIONS: 3000 PSI (150 PCF)



3  
A12.02  
ELEVATION: CLEARANCE BAR ROADSIDE  
SCALE: 1/2" = 1'-0"

2  
A12.02  
ELEVATION: CLEARANCE BAR APPROACH  
SCALE: 1/2" = 1'-0"

Description: Issue for Client Review  
Issue for Permit & Construction  
Date: 10/19/2020  
11/17/2020

THESE DRAWINGS DO NOT REFLECT THE  
GUIDELINES SET FORTH BY THE WORLD HEALTH  
ORGANIZATION AND CENTER FOR DISEASE  
CONTROL OR OTHER GOVERNMENTAL AGENCY  
GUIDELINES RELATED TO COVID-19

**BANK OF AMERICA**

VILLA DEL CRISTA  
RATM

428 HOWDERSHELL RD.  
FLORISSANT, MO. 63031

PROPERTY ID: MOW-354  
NSRP VERSION: 2.0  
BULLETIN: 3-2020

CLEARANCE BAR DETAILS



Proj. No: 20.0003086.000 Reviewed By: VPD

A12.02



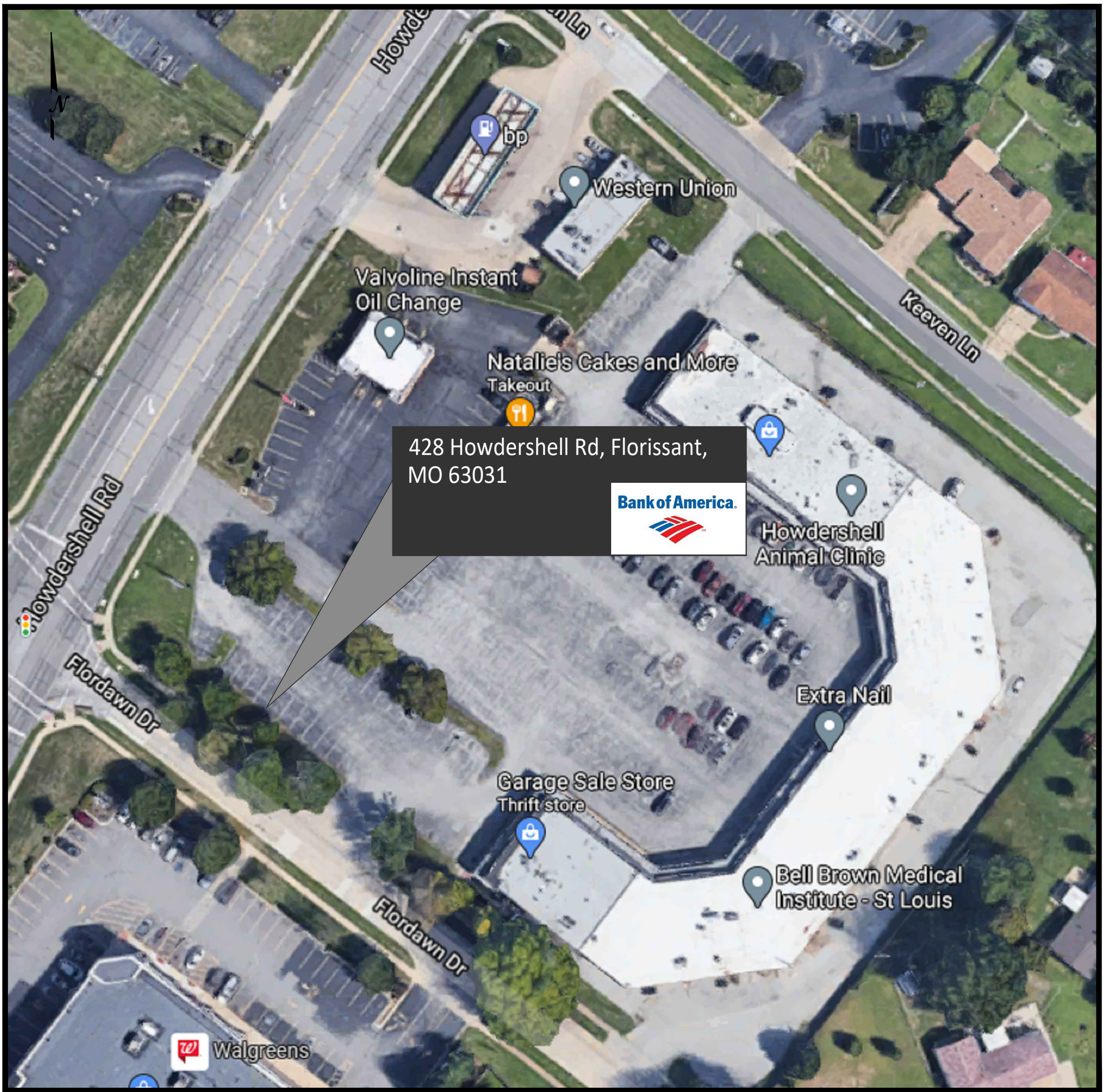


EXTERIOR LIGHTING DESIGN

MOW-364  
428 Howdershell Rd.  
Florissant, MO

DRAWING INDEX:

- COVER SHEET
- LU-1 GENERAL NOTES
- LU-2 LUMINAIRE SCHEDULE
- LU-3 OVERALL SITE PLAN
- LU-4 FULL SITE PHOTOMETRICS PLAN AT GRADE
- LU-5 FIXTURE REMOVAL PLAN
- LU-6 DIMENSIONING PLAN
- LU-7 LANDSCAPING PLAN
- LU-8 ATM COMPLIANCE AREA PHOTOMETRICS PLAN - FOR BANK USE ONLY



VICINITY MAP

v2 201116



1629 Smirl Drive, Suite 200, Heath, Texas 75032  
www.gmr1.com  
Office: (972) 771-6038



CONTRACTOR RESPONSIBILITY NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING, INCLUDING COORDINATION WITH THE LOCAL JURISDICTION AND ANY ASSOCIATED PERMIT FEES OR PROCESSING. CONTRACTOR SHALL NOTIFY GMR UPON RECEIPT OF PERMIT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING DOCUMENTS THAT ARE NOT INCLUDED IN THE LIGHTING DESIGN PACKAGE. THESE INCLUDE, BUT ARE NOT LIMITED TO, STAMPED ELECTRICAL DRAWINGS, STAMPED POLE BASE DRAWINGS, AND PROFESSIONAL SURVEYS.
3. SHOULD STAMPED PHOTOMETRIC DRAWINGS BE REQUIRED, CONTRACTOR SHALL ENGAGE LOCAL ENGINEER OR LIGHTING DESIGNER AS REQUIRED TO PROVIDE STAMP ON GMR PHOTOMETRIC DESIGN DOCUMENTS.
4. CONTRACTOR SHALL PROVIDE THE BANKING CENTER NOTIFICATION AT LEAST ONE WEEK IN ADVANCE OF VISITING SITES OR STARTING WORK.
5. CONTRACTOR SHALL VERIFY VOLTAGE REQUIREMENTS FOR FIXTURES PRIOR TO PLACEMENT OF FIXTURE ORDERS.
6. CONTRACTOR TO VERIFY LIGHTING CONTROLS PRIOR TO BEGINNING CONSTRUCTION. SEE LIGHTING CONTROL NOTES.
7. CONTRACTOR SHALL RECEIVE FORMAL APPROVAL FROM GMR ON ANY FIXTURE MODIFICATIONS OR VARIATIONS FROM THE LUMINAIRE SCHEDULE.
8. CONTRACTOR SHALL VERIFY EXISTING AND PROPOSED FIXTURE MOUNTING CONDITIONS IN FIELD. ANY SPECIAL MOUNTING HARDWARE NEEDED FOR PROPOSED FIXTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. CONTRACTOR SHALL SUPPLY ALL NEW LIGHT POLES. NEW LIGHT POLES SHALL MATCH EXISTING CONDITIONS ON SITE FOR POLE TYPE AND PAINT COLOR.
10. CONTRACTOR SHALL ORDER ALL FIXTURES FROM BORDER STATES IN ACCORDANCE WITH BANK OF AMERICA NATIONAL ACCOUNT. CONTACT NATIONAL ACCOUNT QUOTES DEPARTMENT AT BOA@BORDERSTATES.COM OR 704-372-3040.
11. CONTRACTOR SHALL PERFORM ALL NECESSARY PATCHING OR REPAINTING FOR ADDED, REMOVED, OR REPLACED FIXTURES.
12. CONTRACTOR SHALL REPAIR ANY DISTURBED AREAS BACK TO EXISTING CONDITION INCLUDING PAVED AREAS, LANDSCAPED AREAS, ETC.
13. CONTRACTOR SHALL VERIFY AND DOCUMENT COMPLETED WORK DURING NIGHT HOURS. ALL FIXTURES MUST BE FUNCTIONAL DURING NIGHT HOURS PRIOR TO SCHEDULING A FINAL SURVEY WITH GMR.
14. CONTRACTOR SHALL PROVIDE BEFORE AND AFTER NIGHT TIME PHOTOS OF THE SITE.
15. CONTRACTOR SHALL RECEIVE A PUNCHLIST FROM GMR UPON FINAL SURVEY FOR ANY REMAINING ITEMS TO BE COMPLETED.

CONTROLS & ADDITIONAL NOTES:

LIGHTING CONTROL NOTES:

THE CONTRACTOR SHALL VERIFY THE CONTROLS FOR ALL EXTERIOR LIGHTING AND ATM/AHD INTERIOR LOBBIES ON THE SITE (EXCLUDING SIGNAGE) AND ADJUST ACCORDING TO THE FOLLOWING:

- IC3 CONTROL

CONTRACTOR SHALL VERIFY THAT EXTERIOR LIGHTING CIRCUITS ARE CONTROLLED BY THE CORRECT IC3 CIRCUIT. WHERE EXTERIOR LIGHTING IS INCLUDED ON CONTROL CIRCUITS FOR INTERIOR SYSTEMS, INTERIOR LIGHTING, OR EXTERIOR SIGNAGE, CONTRACTOR SHALL ADJUST EXTERIOR LIGHTING TO THE CORRECT CONTROL CIRCUIT AS REQUIRED.
- PHOTOCELL CONTROL:

CONTRACTOR SHALL REPLACE EXISTING PHOTOCELLS WITH NEW AND INSTALL IN A LOCATION BEST SUITED TO PROVIDE APPROPRIATE LIGHT EXPOSURE SUCH THAT EXTERIOR LIGHTS ARE ON DURING DARKNESS.
- TIME CLOCK CONTROL:

CONTRACTOR SHALL VERIFY LOCATION OF TIME CLOCK. IF TIME CLOCK IS IN ELECTRICAL ROOM ALONG WITH IC3 CONTROLS, CONTRACTOR SHALL ADJUST CIRCUIT TO BE CONTROLLED BY IC3 EXTERIOR LIGHTING CONTROLS. IF TIME CLOCK IS IN A REMOTE LOCATION NOT IN CLOSE PROXIMITY TO THE IC3 CONTROLS, CONTRACTOR SHALL VERIFY TIME CLOCK IS SET PROPERLY AND LEAVE CIRCUIT ON TIME CLOCK CONTROL.
- MANUAL CONTROL:

CONTRACTOR SHALL VERIFY THAT NO EXTERIOR LIGHTING IS CONTROLLED MANUALLY. IF ANY EXTERIOR LIGHTING IS ON A MANUALLY CONTROLLED CIRCUIT, CONTRACTOR SHALL ADJUST TO BE CONTROLLED BY PHOTOCELL OR IC3, WHICHEVER IS MOST ECONOMICALLY ACCOMPLISHED.

ADDITIONAL CONTRACTOR NOTES:

CONSTRUCTION COMPLETION VERIFICATION

UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE VERIFICATION IN WRITING TO THE BANK OF AMERICA PJM THAT ALL WORK IS COMPLETE ACCORDING TO THE CONSTRUCTION DOCUMENTS, AND THAT ALL EXTERIOR LIGHTING IS FUNCTIONING DURING NIGHTTIME HOURS. COMPLETION PHOTOS, TAKEN AT NIGHT, SHALL BE PROVIDED IN THE FOLLOWING FORMAT:

PROVIDE A SINGLE DOCUMENT CONTAINING THE FOLLOWING:

- SITE PHOTOS FROM ALL SIDES OF BUILDING
- MINIMUM OF 3 PHOTOS OF EACH COMPLIANCE AREA (ATM(S), AFTER-HOUR DEPOSITORIES, ASSOCIATE ENTRY) FROM DIFFERENT ANGLES
- MINIMUM OF 2 PHOTOS OF ALL NON-COMPLIANCE AREAS FROM DIFFERENT ANGLES

FIXTURE CLARIFICATION NOTES:

1. OUT OF SCOPE - EXISTING FIXTURES TO REMAIN ON SITE WITHOUT MODIFICATION. NO ACTION REQUIRED UNLESS NOTED OTHERWISE.
2. REMOVE AND PATCH - EXISTING FIXTURES TO BE FULLY REMOVED AND ANY PAINTING, PATCHING OR ELECTRICAL WORK NEEDED IS TO BE ASSESSED AND PERFORMED BY CONTRACTOR.
3. REPLACE EXISTING FIXTURE - EXISTING FIXTURE TO BE FULLY REMOVED AND REPLACED IN THE SAME LOCATION WITH A NEW FIXTURE. CONTRACTOR TO VERIFY IF POLE AND/OR POLE BASE IS SUFFICIENT FOR THE NEW FIXTURES. ANY PAINTING, PATCHING OR ELECTRICAL WORK NEEDED IS TO BE ASSESSED AND PERFORMED BY CONTRACTOR.
4. ADD NEW FIXTURE - NEW FIXTURES TO BE ADDED. ANY PAINTING, PATCHING OR ELECTRICAL WORK NEEDED TO BE ASSESSED AND PERFORMED BY CONTRACTOR.
5. ADD NEW POLE & FIXTURE - A NEW POLE AND FIXTURE TO BE ADDED. CONTRACTOR TO SPECIFY POLE TO MATCH EXISTING STYLE AND COLOR AND, IF NOT PROVIDED, POLE BASE DATA FOR NEW POLE LOCATIONS. CONTRACTOR TO VERIFY IF POLE AND POLE BASE IS SUFFICIENT FOR THE HEIGHT, LOCATION AND FIXTURE SPECIFIED.
6. GMR DOES NOT SPECIFY MOUNTING HARDWARE FOR ANY SPECIFIED FIXTURES. CONTRACTOR IS TO WORK WITH DISTRIBUTOR AND/OR MANUFACTURER ON A CASE BY CASE BASIS TO IDENTIFY AND ORDER REQUIRED MOUNTING HARDWARE.
7. CONTRACTOR TO VERIFY WHETHER EXISTING WIRING LOCATIONS OR THE ADDITION OF WIRING FOR NEW FIXTURE LOCATIONS IS SUFFICIENT FOR THE DESIGNATED FIXTURE LOCATION.
8. CONTRACTOR TO SPECIFY POLE COLOR AND TYPE PRIOR TO ORDERING.
9. ALL FIXTURES ARE ASSUMED BRONZE IN COLOR UNLESS NOTED OTHERWISE IN THE LUMINAIRE SCHEDULE. CONTRACTOR TO CONFIRM PRIOR TO ORDERING.

GENERAL NOTES:

1. EXISTING CONDITIONS SHOWN ON THE DRAWINGS ARE BASED ON A LIMITED AMOUNT OF INFORMATION AVAILABLE TO THE ENGINEER. ALL SUCH CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING THE BID AND ADJUSTED IF NECESSARY. NO ADDITIONAL COMPENSATION SHALL BE GRANTED AFTER AWARDDING A BID FOR ANY EQUIPMENT, MATERIAL OR LABOR REQUIRED TO REWORK OR OTHERWISE MODIFY EXISTING CONDITIONS.
2. THIS LIGHTING DESIGN IS BASED ON A COMBINATION OF STATE STANDARDS, THE BANK'S CURRENT SECURITY POLICY FOR EXTERIOR ATM AND AFTER-HOUR DEPOSITORIES AND BANK GUIDELINES FOR NON-SECURITY COMPLIANCE ZONES.
3. TRIM ALL TREES/LANDSCAPING TO MINIMIZE IMPEDING LIGHT FROM ANY LIGHT FIXTURES THAT IMPACT THE 60' RADIUS AROUND ALL ATMS AND A RADIUS OF 50' AROUND ALL AFTER-HOUR DEPOSITORIES. CONSIDERATION MUST BE GIVEN TO TREES/LANDSCAPING IN A STATE OF FULL FOLIAGE/BLOOM AND FUTURE GROWTH. ALL LANDSCAPING WORK WILL BE PERFORMED BY OTHERS WITH A SEPARATE PERMIT (IF REQUIRED).
4. ALL MOUNTING HEIGHTS ARE INTENDED TO THE BOTTOM OF THE FIXTURE.
5. CONTRACTOR TO FIELD VERIFY FIXTURE PLACEMENT DIMENSIONS PRIOR TO CONSTRUCTION.
6. DIMENSIONING PROVIDED IS FOR PROPOSED FIXTURE LOCATIONS ONLY, UNLESS OTHERWISE NOTED ON THE DRAWING.
7. THE CONTRACTOR SHALL ATTEMPT TO ELIMINATE THE USE OF EXPOSED CONDUIT WHERE POSSIBLE. IF EXPOSED CONDUIT IS NECESSARY, THE CONTRACTOR SHALL VERIFY USE WITH PROJECT MANAGER.
8. ALL EXISTING LIGHTS WILL BE REPLACED WITH LED LIGHTS AND ALL PROPOSED LIGHTS WILL ALSO BE LED, UNLESS OTHERWISE NOTED.
9. ALL FIXTURES ARE TO BE MOUNTED ABOVE FINISH GRADE.
10. UNLESS OTHERWISE NOTED, MATCH EXISTING POLE BASES.

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Villa Del Cresta  
MOW-364  
428 Howdershell Rd.  
Florissant, MO

GENERAL NOTES




DESIGN BY:	CSB	DRAWN BY:	DMW
REVIEWED BY:	AWD	APPROVED BY:	KRM

SHEET NO. LU-1

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

SITE ABBREVIATIONS:

- PL = PROPERTY LINE
- AFG = ABOVE FINISHED GRADE
- Fc = FOOTCANDLE
- CBO = CONTROLLED BY OTHERS
- AHD = AFTER HOUR DEPOSITORY




LUMINAIRE SCHEDULE		**SEE FIXTURE CLARIFICATION NOTE #9			(NP) = NEW POLE    (CBO) CONTROLLED BY OTHERS		** CONTRACTOR TO VERIFY MOUNTING ACCESSORIES BEFORE ORDERING**			
SYMBOL	QTY	LABEL	FIXTURE ARRANGEMENT	TOTAL FIXTURE COUNT	NEW POLE COUNT	FIXTURE TYPE / MOUNTING / MANUFACTURER	BUG RATING	MOUNTING HEIGHT	MOUNTING ACCESSORIES	NOTES
	2	UU1 (NEW POLE)	TRIPLE (3@90°)	6	2	DSX1 LED-P4-40K-T5M-MVOLT-RPA-DNAXD / CREE / POLE FIXTURE	B4-U0-G2	26' AFG	AS3-5 390	ADD NEW POLE AND FIXTURE
	1	YA1	DOUBLE (2@90°)	2	-	EXISTING POLE FIXTURE	-	-	-	OUT OF SCOPE
	3	ZD1	SINGLE	3	-	BOA DRIVE UP ATM 8' FIXTURE (GEWH9640BAT)	-	-	-	OUT OF SCOPE

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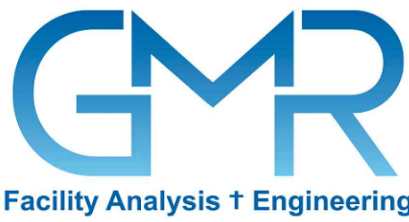


BLUE = NEW FIXTURE  
GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED  
ORANGE = EXISTING FIXTURE TO REMAIN  
TURQUOISE = FIXTURE TO BE REMOVED  
PINK = REPLACE WITH NEW POLE AT NEW HEIGHT

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Villa Del Cresta  
MOW-364  
428 Howdershell Rd.  
Florissant, MO

LUMINAIRE SCHEDULE

DESIGN BY:	CSB	DRAWN BY:	DMW
REVIEWED BY:	AWD	APPROVED BY:	KRM

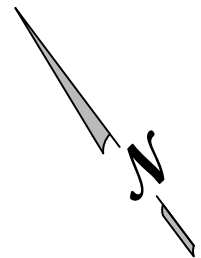
SHEET NO.	
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NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

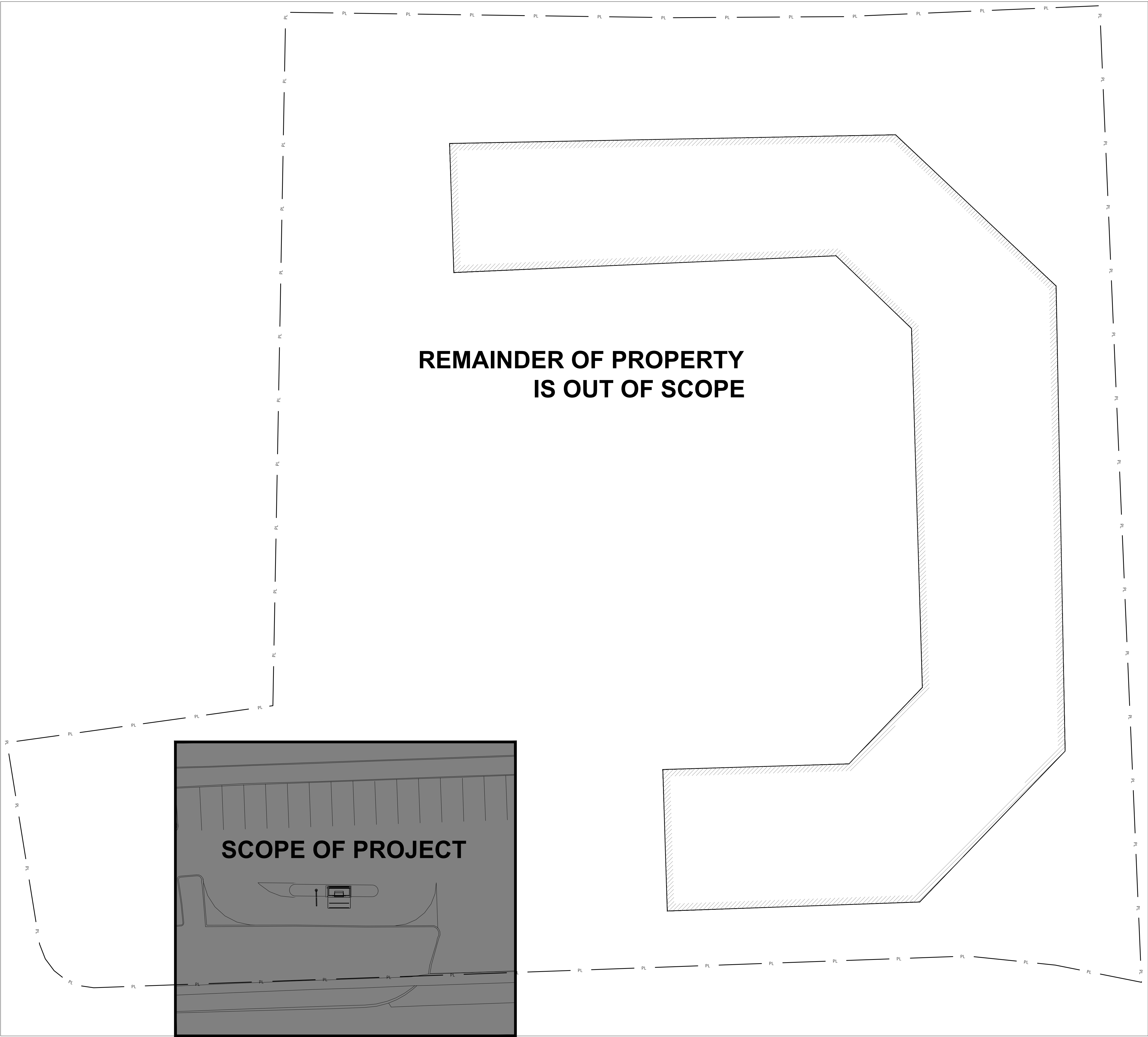
LU-2



P:\Bank of America\2020\Design\One-Off Design\MO\Florissant (MOW-364) - 428 Howdershell Rd\Final\CAD - MOW-364 - v2 - 201116 - DMW.dwg, 11/16/2020 4:34:04 PM, AutoCAD PDF (General Documentation).pdf



HOWDERSHELL RD.



KEEVEN LN.

REMAINDER OF PROPERTY  
IS OUT OF SCOPE

SCOPE OF PROJECT

FLORDAWN DR.

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

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ORANGE = EXISTING FIXTURE TO REMAIN  
TURQUOISE = FIXTURE TO BE REMOVED  
PINK = REPLACE WITH NEW POLE AT NEW HEIGHT  
— PL — = INDICATES NEW SECURITY FENCE  
— PL — = PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION

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1	REVISED XX	KRM

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Villa Del Cresta  
MOW-364  
428 Howdershell Rd.  
Florissant, MO

OVERALL SITE PLAN

DESIGN BY:	CSB	DRAWN BY:	DMW
REVIEWED BY:	AWD	APPROVED BY:	KRM

SHEET NO.

LU-3

QTY	LABEL	NOTES	MOUNTING HEIGHT
2	UU1 (NEW POLE)	ADD NEW POLE AND FIXTURE	26' AFG
1	YA1	OUT OF SCOPE	-
3	ZD1	OUT OF SCOPE	-

SITE NOTES:

-

EXISTING CONDITIONS:

1.

EXISTING POLES - ROUND TAPERED

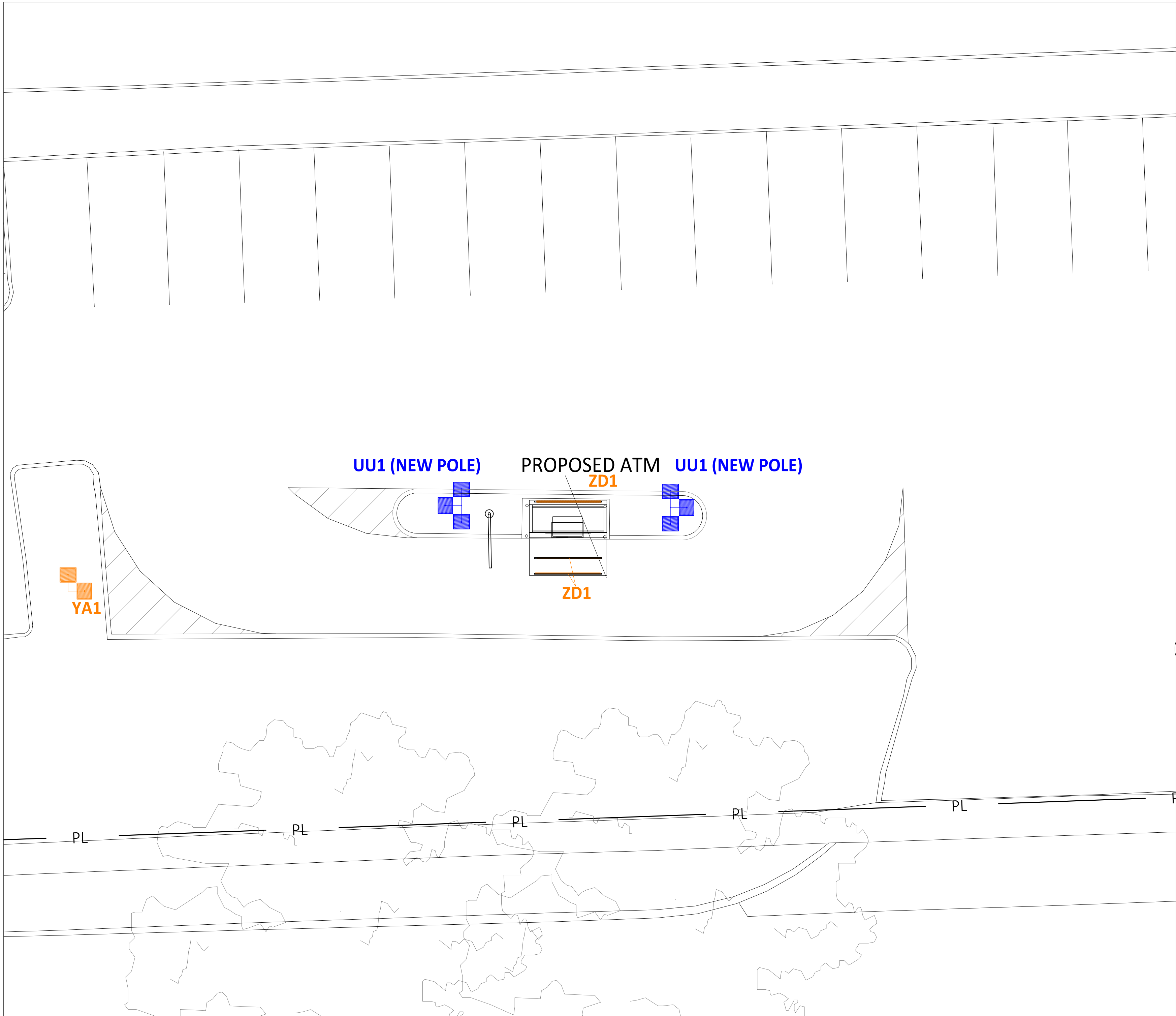
2.

EXISTING POLE BASES - 1' - 6"

3.

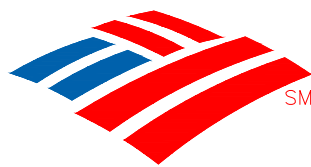
EXISTING DRIVE THRU CEILING - N/A

HOWDERSHELL RD.



FLORDAWN DR.

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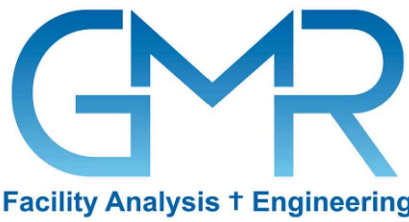


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- ORANGE = EXISTING FIXTURE TO REMAIN
- TURQUOISE = FIXTURE TO BE REMOVED
- PINK = REPLACE WITH NEW POLE AT NEW HEIGHT
- INDICATES NEW SECURITY FENCE
- PL = PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION

SCALE: 1 1/2" = 1'-0"

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Florissant, MO

SITE PLAN ENLARGEMENT

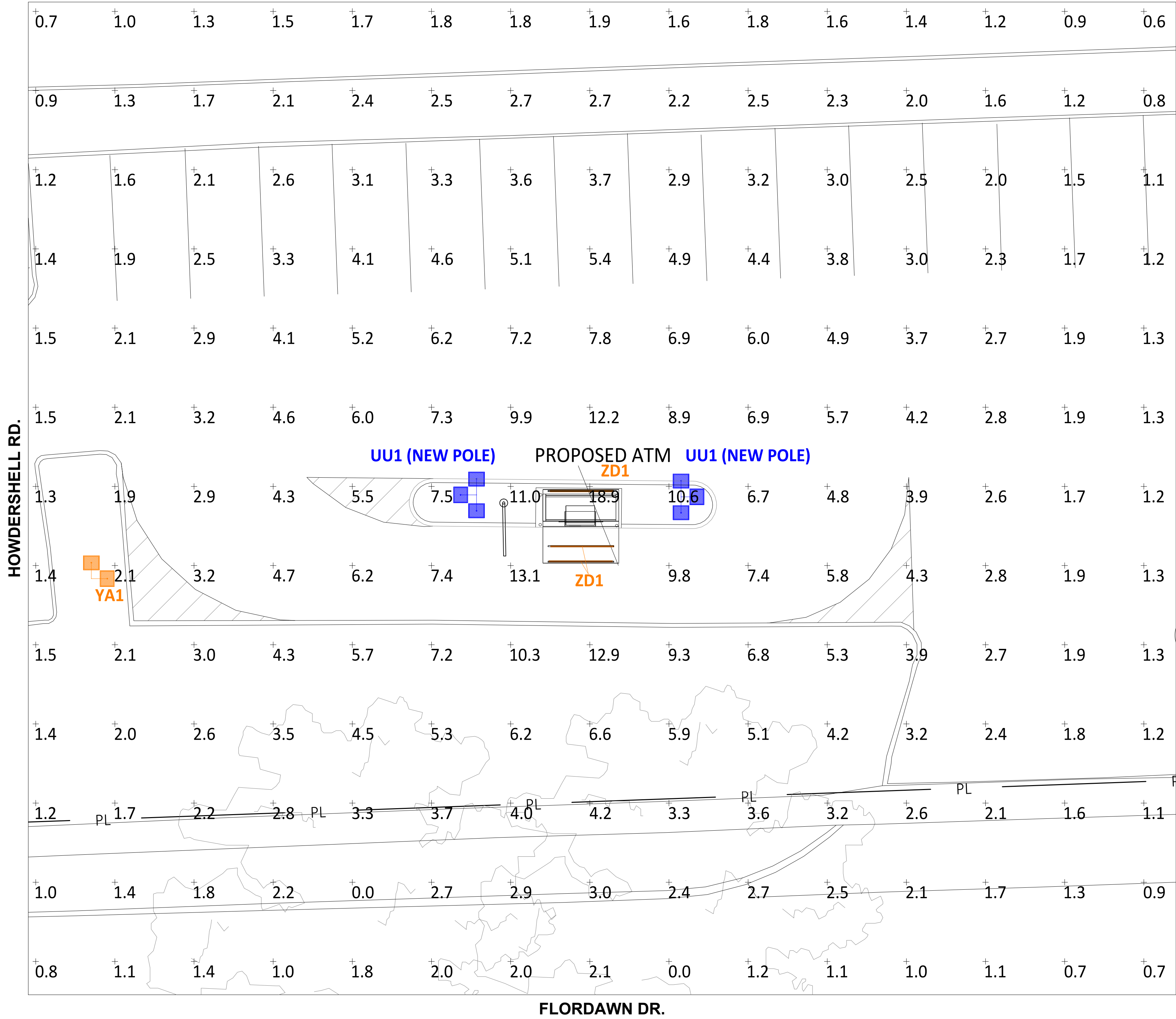
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REVIEWED BY:	AWD	APPROVED BY:	KRM

SHEET NO. LU-3a

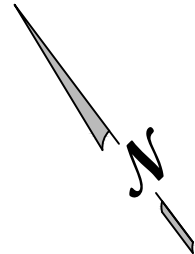
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- NOTES:
1. THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO EXTERIOR LIGHTING RENOVATIONS AS SHOWN ON THE PLANS.
  2. ALL PROPOSED LIGHTS WILL BE FULL CUTOFF LED LIGHT FIXTURES.
  3. ALL EXISTING LIGHTS WILL BE REPLACED WITH FULL CUT OFF LED LIGHT FIXTURES.
  4. REFERENCE THE LUMINAIRE SCHEDULE (SHEET LU-2) FOR ADDITIONAL LIGHT FIXTURE INFORMATION.

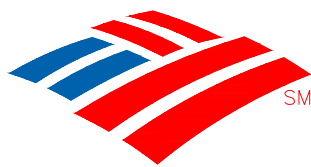


FULL SITE CALCS							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FULL SITE @ GRADE	Illuminance	Fc	3.39	18.9	0.0	N.A.	N.A.



NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

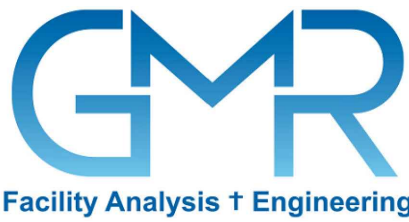
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- BLUE = NEW FIXTURE
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- ORANGE = EXISTING FIXTURE TO REMAIN
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- PINK = REPLACE WITH NEW POLE AT NEW HEIGHT
- INDICATES NEW SECURITY FENCE
- PL = PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION

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REVISION NO.	DESCRIPTION	REVISED BY



Villa Del Cresta  
MOW-364  
428 Howdershell Rd.  
Florissant, MO

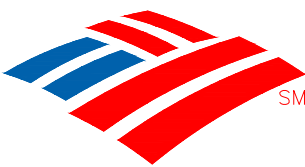
FULL SITE  
PHOTOMETRICS PLAN

DESIGN BY:	CSB	DRAWN BY:	DMW
REVIEWED BY:	AWD	APPROVED BY:	KRM

SHEET NO. LU-4

SHEET INTENTIONALLY LEFT BLANK

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Florissant, MO

FIXTURE REMOVAL PLAN

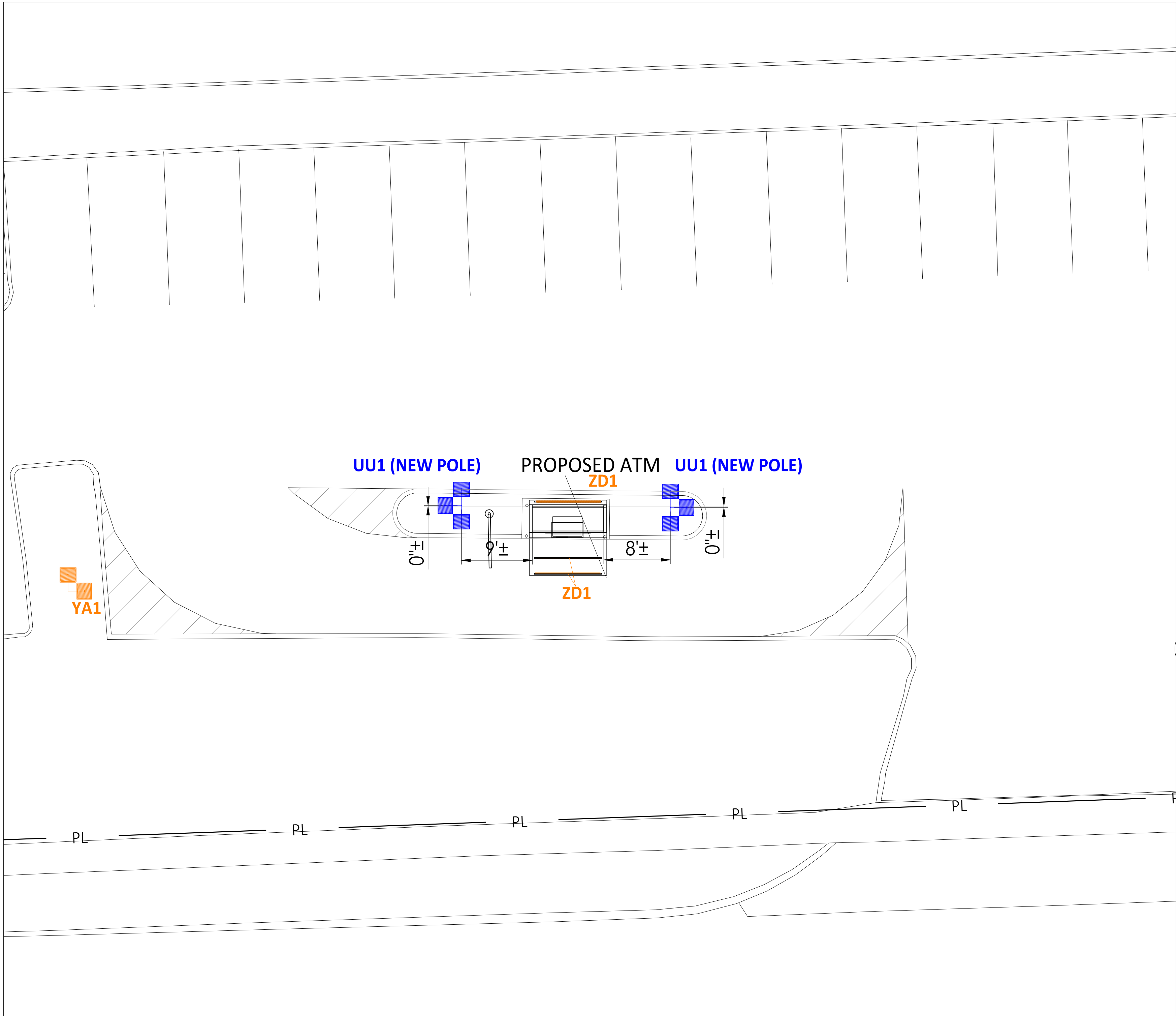
DESIGN BY:	CSB	DRAWN BY:	DMW
REVIEWED BY:	AWD	APPROVED BY:	KRM

SHEET NO.	LU-5
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QTY	LABEL	NOTES	MOUNTING HEIGHT
2	UU1 (NEW POLE)	ADD NEW POLE AND FIXTURE	26' AFG
1	YA1	OUT OF SCOPE	-
3	ZD1	OUT OF SCOPE	-

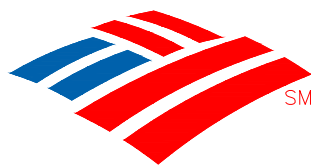
SITE NOTES:	
-	
EXISTING CONDITIONS:	
1. EXISTING POLES - ROUND TAPERED	
2. EXISTING POLE BASES - 1' - 6"	
3. EXISTING DRIVE THRU CEILING - N/A	

HOWDERSHELL RD.



FLORDAWN DR.

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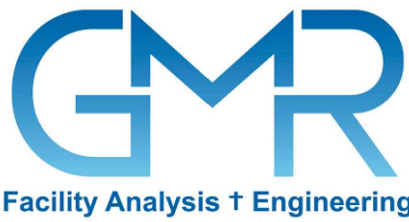


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SCALE: 1 1/2" = 1'-0"

v2 201116

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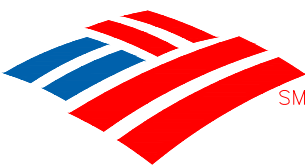
Villa Del Cresta  
MOW-364  
428 Howdershell Rd.  
Florissant, MO

DIMENSIONING PLAN

DESIGN BY:	CSB	DRAWN BY:	DMW
REVIEWED BY:	AWD	APPROVED BY:	KRM

SHEET NO. LU-6

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.



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HOWDERSHELL RD.



FLORDAWN DR.

SCALE: 1 1/2" = 1'-0"

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LANDSCAPING PLAN

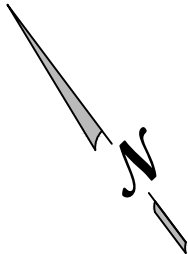
DESIGN BY:	CSB	DRAWN BY:	DMW
REVIEWED BY:	AWD	APPROVED BY:	KRM

SHEET NO.

LU-7

LANDSCAPE SCHEDULE    CM = CRAPE MYRTLE    UNK = UNKNOWN		
SYMBOL	QTY	NOTES
TR1	2	ONLY TRIM LIMBS THAT OVERHANG ONTO BANK PROPERTY UP TO 13' AND AWAY FROM LIGHT FIXTURE TO ENSURE THAT IT DOES NOT INTERFERE WITH INTENDED ILLUMINATION

GC TO VERIFY WITH LOCAL AUTHORITY HAVING JURISDICTION ON TREE TRIMMING AND/OR REMOVAL PRIOR TO COMMENCING WORK



NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.





1 INTRODUCED BY COUNCILMAN SIAM  
2 APRIL 26, 2021

3  
4 BILL NO. 9676

ORDINANCE NO.

5  
6 **ORDINANCE AUTHORIZING A SPECIAL USE PERMIT FOR SFP**  
7 **ENTERPRISES, INC. D/B/A BUSLOOP BURGERS TO THE OPERATION OF**  
8 **A CARRY-OUT RESTAURANT LOCATED AT 2632 N. HWY 67.**  
9

10 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
11 Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of a  
12 restaurant in the City of Florissant; and

13 WHEREAS, an application has been filed by BSFP Enterprises, Inc d/b/a Busloop Burgers to  
14 allow for the operation of a carry-out restaurant located at 2632 N. Hwy 67; and

15 WHEREAS, the Planning and Zoning Commission at their meeting on April 5, 2021,  
16 recommended that a Special Permit be granted; and

17 WHEREAS, due notice of public hearing no. 21-04-010 on said application to be held on the  
18 26th of April, 2021 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and  
19 concluded; and

20 WHEREAS, the Council, following said public hearing, and after due and careful consideration,  
21 has concluded that the issuance of a Special Permit for a carry-out restaurant would be in the best  
22 interest of the City of Florissant.

23  
24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

26  
27 Section 1: Special Use Permit for SFP Enterprises, Inc. d/b/a Busloop Burgers to the operation  
28 of a carry-out restaurant located at 2632 N. Hwy 67 is hereby authorized with the following  
29 stipulations:

- 30 1. The uses permitted shall be limited to a Carry-out Restaurant  
31 2. Plans shall be consistent with the plans dated 2/26/21 by Ramon Sarmiento and Deru  
32 and Associates and attached hereto.  
33

34 Section 2: This ordinance shall become in force and effect immediately upon its passage and  
35 approval.

36 Adopted this \_\_\_\_ day of \_\_\_\_\_, 2021.

37  
38 \_\_\_\_\_  
39 Keith Schildroth  
40 President of the Council

41 Approved this \_\_\_\_ day of \_\_\_\_\_, 2021.

42  
43 \_\_\_\_\_  
44 Timothy J. Lowery  
45 Mayor, City of Florissant

46 ATTEST: \_\_\_\_\_  
47 Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

# **CITY OF FLORISSANT**

## **Public Hearing**



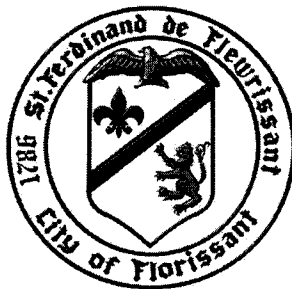
**In accordance with Chapter 405.310 of the Florissant Zoning Code, a Public Hearing will be held by the City Council of Florissant, MO. virtually via the Zoom platform, on Monday, April 26, 2021 at 7:00 P.M. on the following proposition:**

**To approve of a Special Use for a carryout restaurant in a 'B-3' Zoning District located at 2632 N Highway 67 (Busloop Burgers). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**



**SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works  
314-839-7648

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

**PLANNING & ZONING ACTION**

**RECOMMENDED APPROVAL**  
PLANNING & ZONING  
CHAIRMAN

Council Ward \_\_\_\_\_ Zoning \_\_\_\_\_

Initial Date Petitioner Filed \_\_\_\_\_  
**Building Commissioner to complete  
ward, zone & date filed**

SIGN [Signature] DATE: 4-11-21

SPECIAL PERMIT FOR

Restaurant

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT # \_\_\_\_\_

ordinance #

TO ALLOW FOR \_\_\_\_\_

Statement of what the amendment is for.

LOCATION

2632 N. Lindbergh Florissant Mo. 63033

Address of property.

1) Comes Now

S.F.P. Enterprises Inc dba Busloop Burgers

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property)

SUZETTA PORTER

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for retail and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:

Individual \_\_\_\_\_ Partnership \_\_\_\_\_ Corporation X

(a) If an individual:

(1) Name and Address \_\_\_\_\_

(2) Telephone Number \_\_\_\_\_

(3) Business Address \_\_\_\_\_

(4) Date started in business \_\_\_\_\_

(5) Name in which business is operated if different from (1) \_\_\_\_\_

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners \_\_\_\_\_

(2) Telephone numbers \_\_\_\_\_

(3) Business address \_\_\_\_\_

(4) Name under which business is operated \_\_\_\_\_

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners SUZETTA PORTER

(2) Telephone numbers 314. 479.8013

(3) Business address 2632 N. LINDBERGH Florissant Mo. 63033

(4) State of Incorporation & a photocopy of incorporation papers Missouri

(5) Date of Incorporation Dec 14 - 2015

(6) Missouri Corporate Number 001367808

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. BUSLOOP BURGERS

(8) Name in which business is operated S.F.P. Enterprises Inc.

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information. 1,20059FT

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name \_\_\_\_\_  
Address \_\_\_\_\_  
Property Owner Hoffman, Tom  
Location of property 2632 N. Lindbergh Florissant Mo. 63033  
Dimensions of property \_\_\_\_\_  
Property is presently zoned \_\_\_\_\_ Requests Rezoning To \_\_\_\_\_  
Proposed Use of Property Restaurant (take out)  
Type of Sign Channel Lettering Height 2ft  
Type of Construction \_\_\_\_\_ Number Of Stories 1  
Square Footage of Building 1200 Number of Curb Cuts \_\_\_\_\_  
Number of Parking Spaces \_\_\_\_\_ Sidewalk Length \_\_\_\_\_  
Landscaping: No. of Trees NONE Diameter NONE  
No. of Shrubs NONE Size \_\_\_\_\_  
Fence: Type NONE Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:

(If more space is needed, separate sheets may be attached)

SUZETTA Porter Suzetta Porter 1 suzzettaporterf@gmail.com  
PRINT NAME SIGNATURE email and phone 314-479-8013

FOR SFP Enterprises INC.

(company, corporation, partnership)

**Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.**

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.

2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

**Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:**

PRESENTOR SIGNATURE Suzetta Porter

ADDRESS 9231 Argyle Ave. St Louis Mo. 63114  
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314 479-8013 1 suzzettaporterf@gmail.com  
BUSINESS

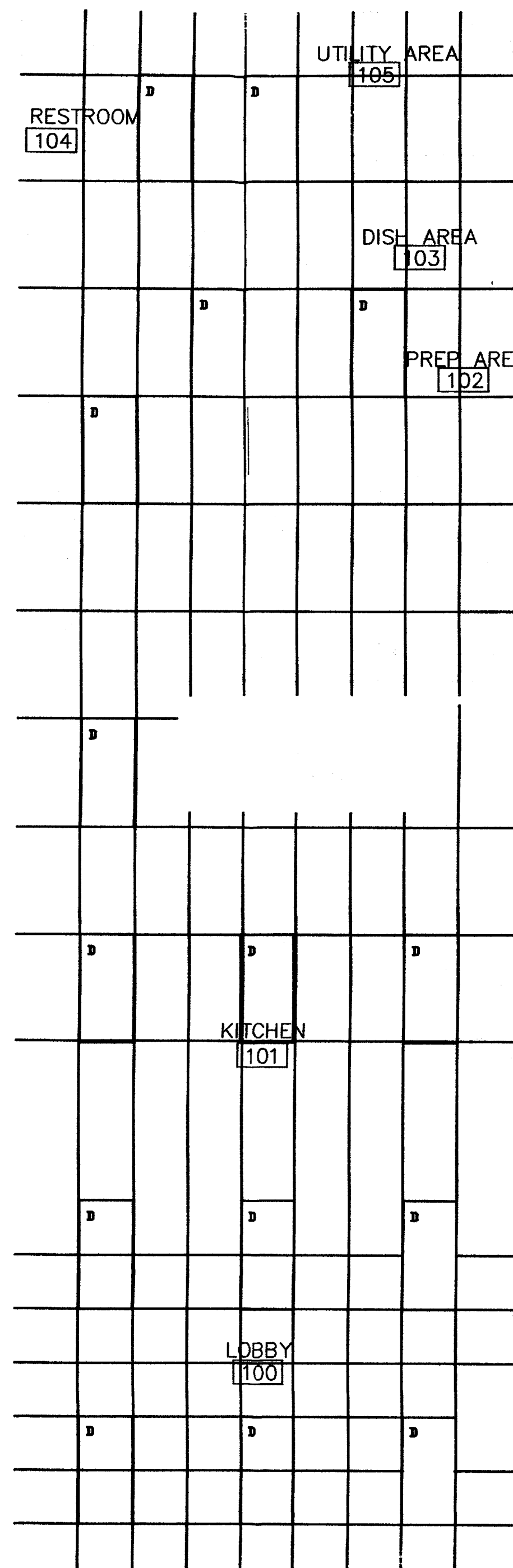
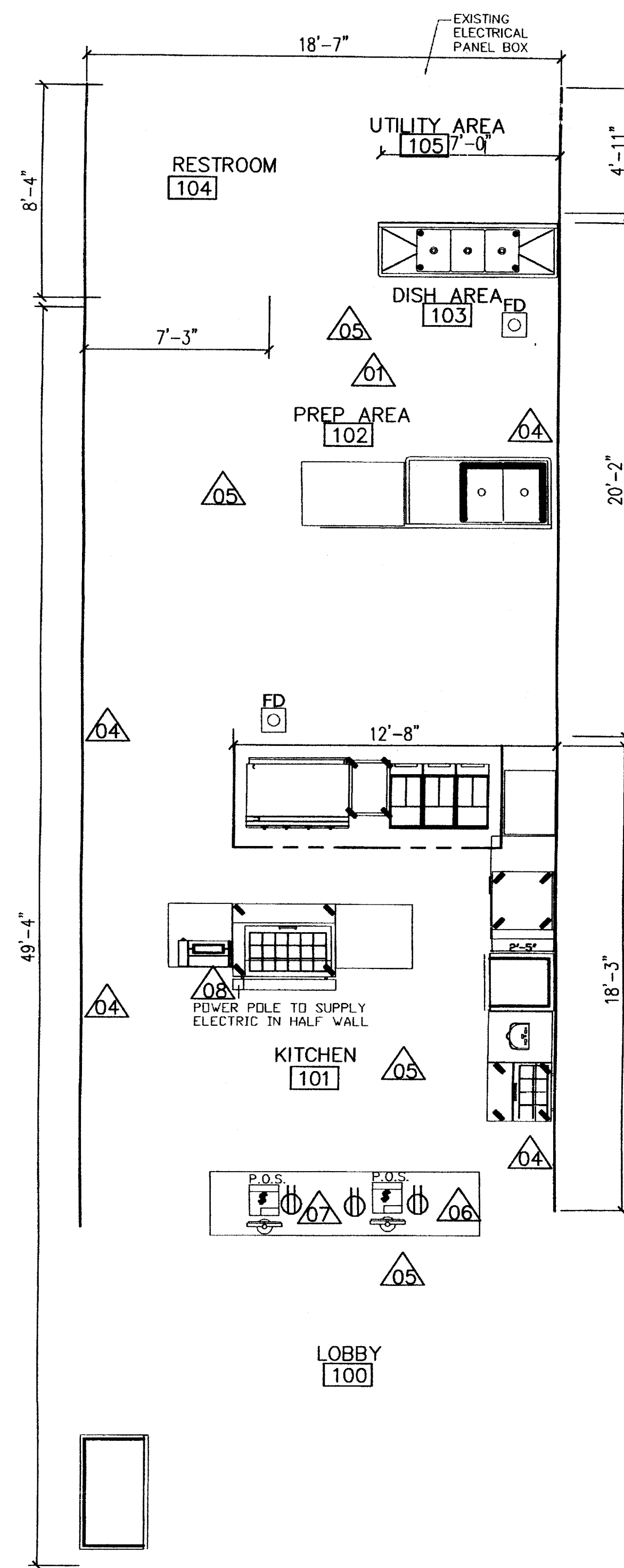
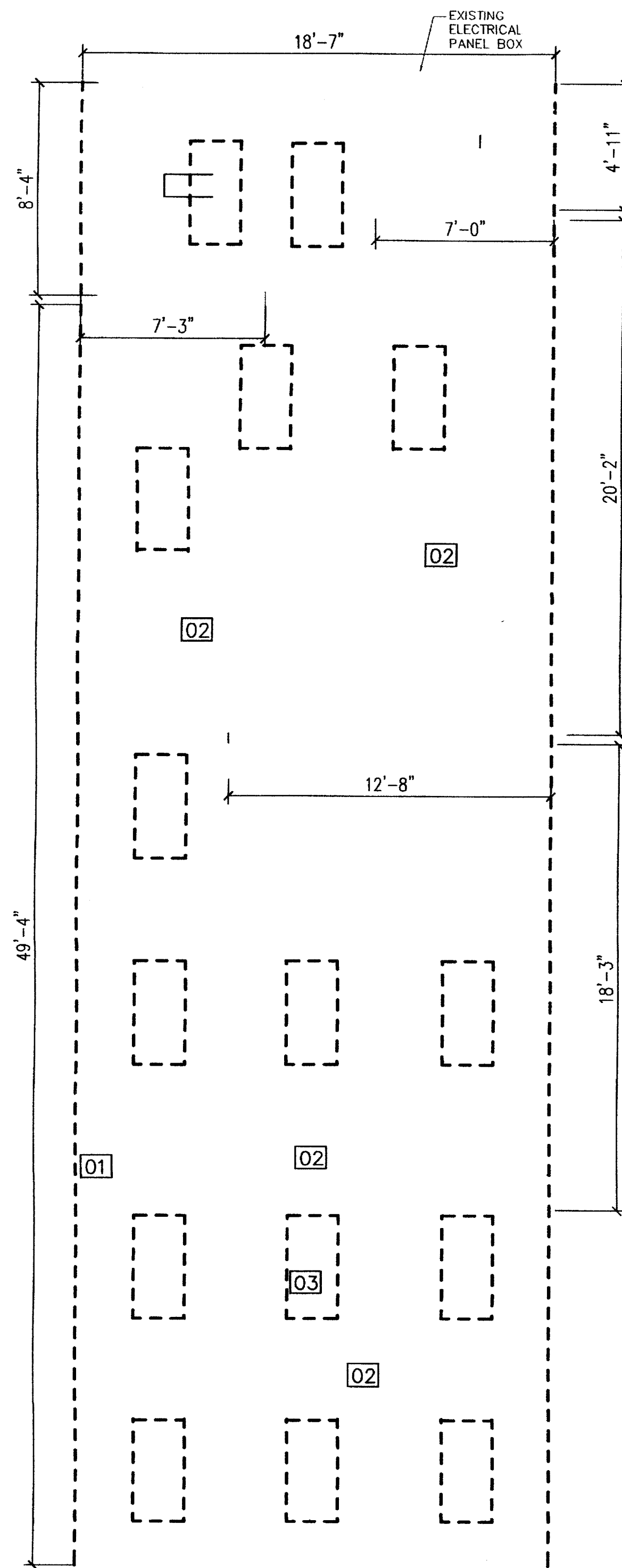
I (we) the petitioner (s) do hereby appoint SUZETTA Porter as  
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

Suzetta Porter  
Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.



## General Requirements:

Work installed shall be in strict compliance with applicable 2018 IBC other state and local codes, governing codes and regulations. Contractors shall visit the site prior to bidding. Bids shall serve as evidence of knowledge of existing conditions. Field verify all existing equipment and working conditions.

Furnish all labor, materials, equipment, and tools to perform carpentry work shown, noted or scheduled for a complete and finished installation.

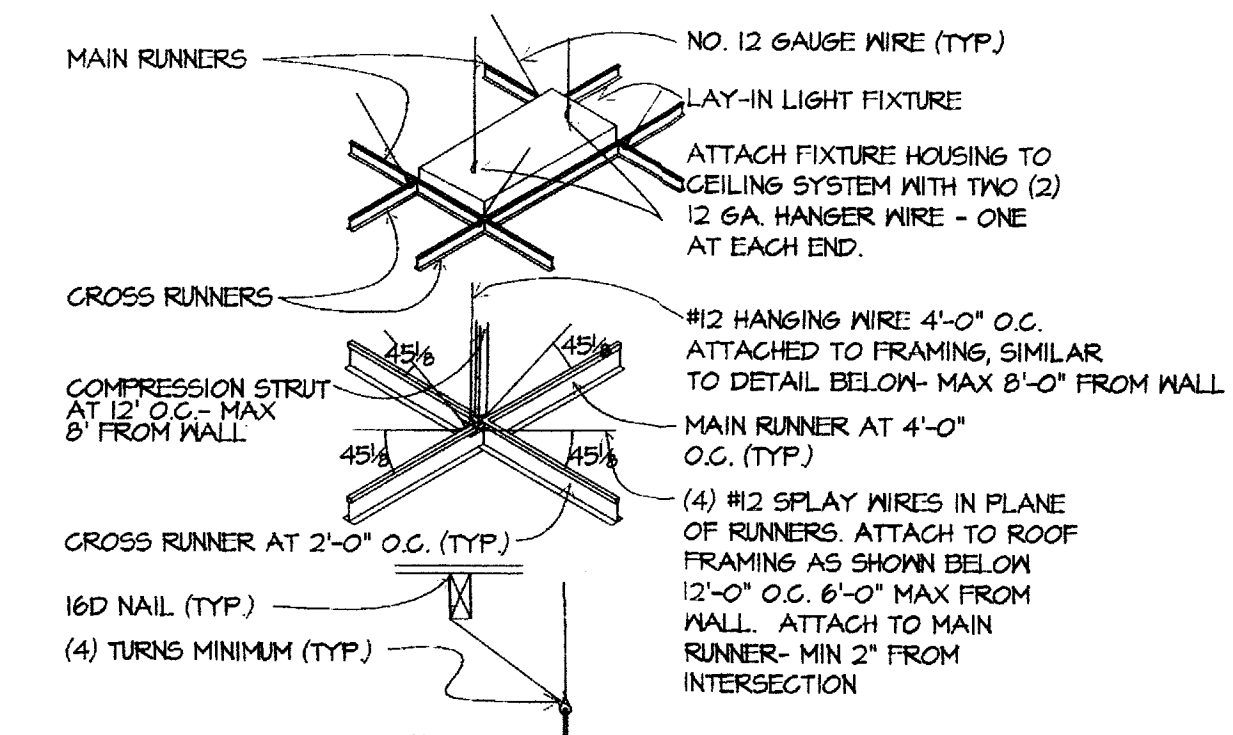
All materials and equipment shall be commercial grade and shall carry a U.L. label.

Materials, products and equipment, including components thereof shall be new and such as appears on the Underwriter's Laboratory list of approved items and shall meet the requirements of recognized standards.

Secure and pay for all required permits and inspection certificates.

## POWER & LIGHTING LEGEND:

	EXISTING ELECTRICAL PANEL		EXISTING EXHAUST FAN
	SWITCH - SINGLE POLE		EXISTING EMERGENCY LIGHT WITH BATTERY BACKUP
	SWITCH - THREE POLE		EXISTING EXIT SIGN WITH BATTERY BACKUP
	RECEPTACLE		EXISTING 2X4 DROP IN LIGHT FIXTURE
	RECEPTACLE - GFI		



1. LATERAL BRACING FOR SUSPENDED CEILING MUST BE PROVIDED PER CODE REQUIREMENTS WHERE CEILING LOADS ARE LESS THAN 5# PER FT. AND NOT SUPPORTING INTERIOR PARTITIONS. CEILING BRACING SHALL BE PROVIDED BY FOUR NO. 12 GAUGE WIRES SECURED TO THE MAIN RUNNER WITHIN 2" OF THE CROSS RUNNER INTERSECTION AND SPACED 40% FROM THE PLANE OF THE CEILING. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED AT 12'-0" O.C. IN BOTH DIRECTIONS, WITH THE FIRST POINT WITHIN 4'-0" FROM EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE ABOVE SHALL BE ADEQUATE FOR THE LOAD IMPOSED.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR REQUIRED TO SECURE THE WIRE HANGERS TO THE STRUCTURE ABOVE. THE METHOD USED MAY VARY DEPENDING UPON THE TYPE OF STRUCTURE. THE CONTRACTOR SHALL PROVIDE A DETAILED SHOP DRAWING WHICH CLEARLY INDICATES THE TYPE OF FASTENERS TO BE USED. THIS DRAWING SHALL BE SUBMITTED TO THE LOCAL BUILDING INSPECTOR FOR APPROVAL PRIOR TO FABRICATION OF THE SYSTEM.
3. SUSPENDED CEILING SHALL COMPLY WITH HEAVY DUTY SYSTEM CLASSIFICATION. CONTRACTOR SHALL SUBMIT SHOP DRAWING TO THE BUILDING DEPARTMENT PRIOR TO INSTALLATION.
4. PROVIDE 2" WALL ANGLE AT PERIMETER. SECURE ONE END OF GRID TO WALL. ANGLE EACH DIRECTION- OPPOSITE END TO BE 3/4" FROM WALL. AND LEFT LOOSE. TIE MAIN AND CROSS RUNNERS TOGETHER TO PREVENT TWISTING.
5. SEE LIGHT FIXTURE ATTACHMENT DETAIL ABOVE FOR MECHANICAL AIR TERMINAL ATTACHMENT. LESS THAN 20#- SECURE TO GRID. 20# TO 56#- ATTACH WITH WIRE AS DETAILED ABOVE. MORE THAN 56#- SECURE TO STRUCTURE ABOVE.
6. CEILINGS EXCEEDING 1,000 SF SHALL HAVE SPLAY WIRES AND COMPRESSION STRUTS AS INDICATED IN DETAIL ABOVE.
7. CEILINGS EXCEEDING 2,500 SF SHALL HAVE A FULL HEIGHT WALL OR SEPARATION JOINT.

## LAY-IN CEILING GRID DETAILS

N.T.S.

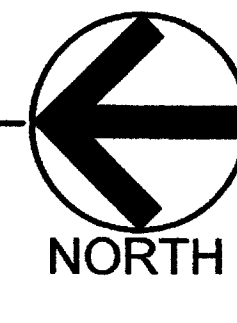
## EXISTING FLOOR PLAN

3/16"=1'



## NEW FLOOR PLAN

3/16"=1'



## LIGHTING PLAN

3/16"=1'



### DEMOLITION GENERAL NOTES

1. EXISTING CEILING MOUNTED EXHAUST FAN TO REMAIN.
2. EXISTING ROOFTOP UNIT TO REMAIN.
3. EXISTING ELECTRICAL PANEL TO REMAIN.
4. EXISTING CEILING MOUNTED LIGHTING TO REMAIN.
5. EXISTING FLOORING TO REMAIN.

### DEMOLITION KEYED NOTES

1. REMOVE EXISTING FRP FROM EXISTING WALLS.
2. REMOVE EXISTING CEILING GRID.
3. REMOVE EXISTING CEILING LIGHTING.

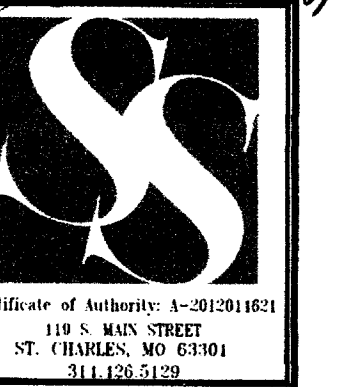
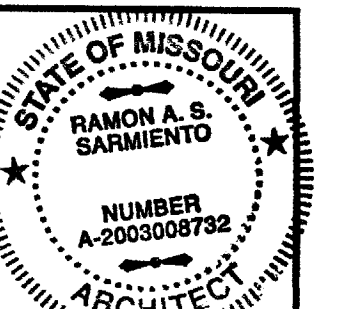
### FLOOR PLAN KEYED NOTES

- 01 SAW CUT FLOOR TO INSTALL UNDERGROUND PLUMBING ROUGH-IN FOR NEW THREE COMPARTMENT AND TWO COMPARTMENT SINK
- 02 FRAME UP NEW FRONT COUNTER.
- 03 INSTALL NEW 8" DRYWALL ON FRONT AND SIDES OF COUNTER.
- 04 INSTALL NEW FRP IN KITCHEN AREA.
- 05 INSTALL NEW CEILING GRID AND TILE. FOOD GRADE TILE IN KITCHEN AND STANDARD TILES IN LOBBY
- 06 INSTALL NEW NON-ABSORBENT COUNTER TOP THAT IS WASHABLE
- 07 INSTALL NEW RECEPTACLES AT SERVICE COUNTER.
- 08 INSTALL NEW POWER POLE AT EMPLOYEE WORK STATION

### GENERAL NOTES

1. INSTALL NEW CEILING GRID.
2. INSTALL NEW CEILING TILE AS REQUIRED
3. INSTALL NEW GRID MOUNTED LIGHTING.

PERMIT SET  
FOR CONSTRUCTION



CONSULTANT  
DERU & ASSOCIATES, LLC  
1155 N HWY 67  
FLORISSANT, MO 63033  
CONTACT: JEROME LOGAN  
(314) 574-5770 CELL  
jlogan@deruassociates.com

PROJECT

COMMERCIAL RENOVATION PROJECT  
2632 N HWY 67  
FLORISSANT, MO 63033

FOR

BUS LOOP BURGERS  
2632 N HWY 67  
FLORISSANT, MO 63033

REVISION

DATE

FEBRUARY 23, 2021

JOB NUMBER

DERU-0024

DRAWING TITLE

DRAWN BY/ CHECKED BY

DRAWING NUMBER

A1.0

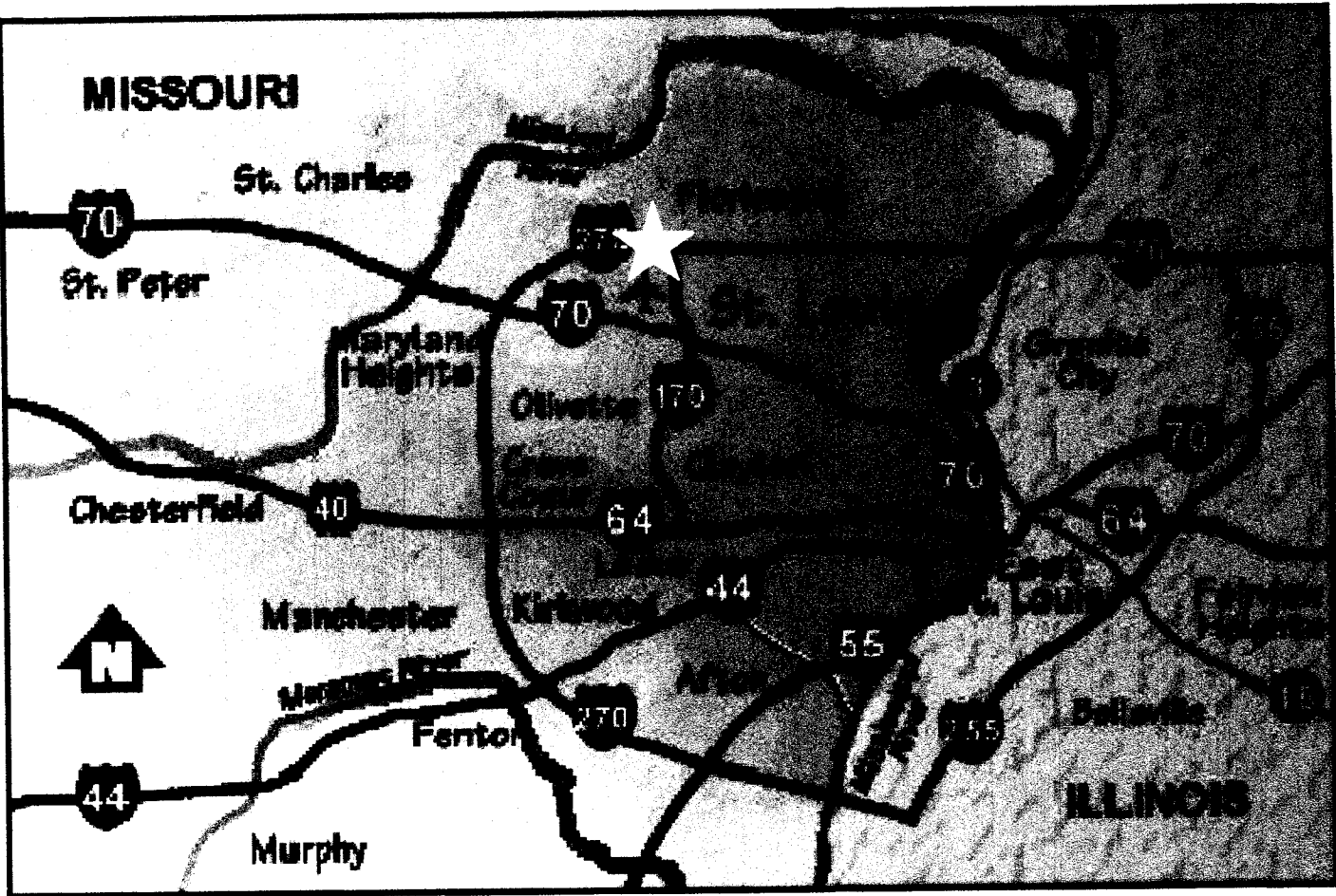
COMMENTS

FOR BUILDING PERMIT APPLICATION

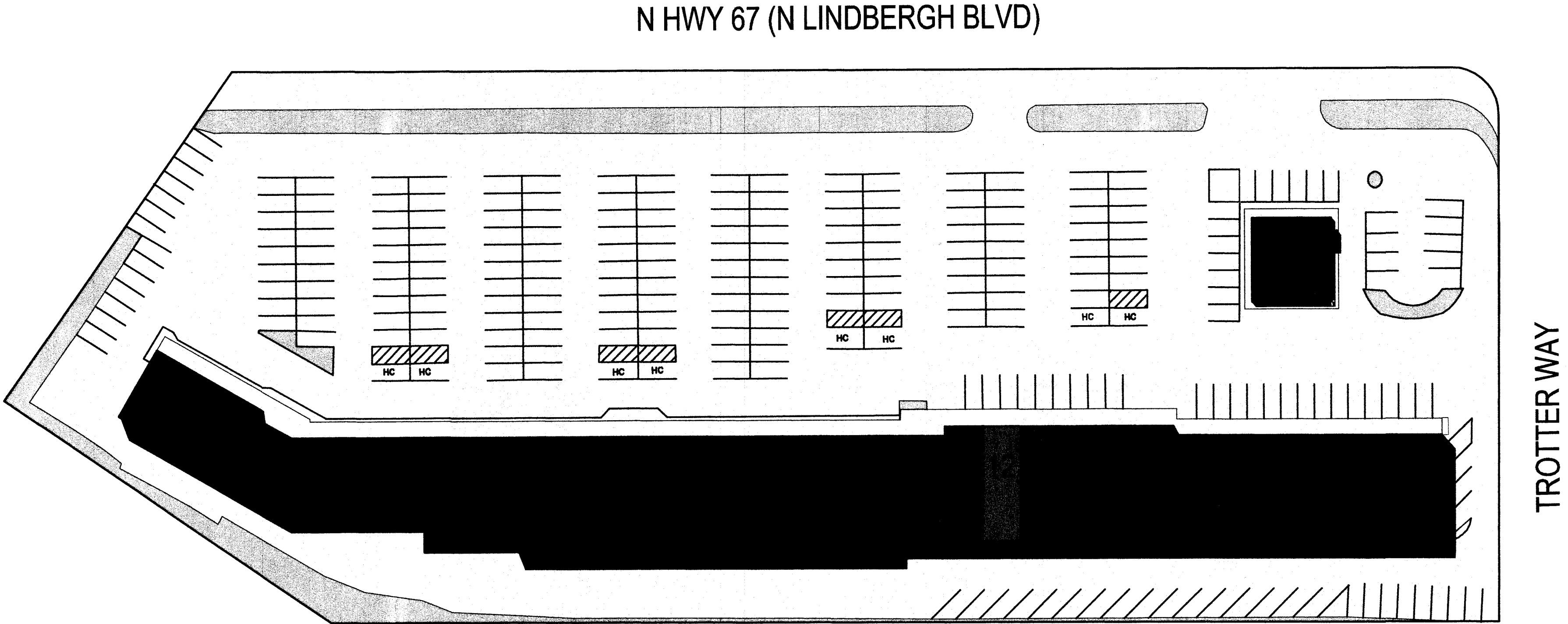
© 2013



No.	Address	Tenant	Area (sf)
1	2520	Slim 4 Life	1618
2	2528	American Family Insurance	802
3	2532	Staten Island Cleaners	1,080
4	2536-40	ATN Nails	1,600
5	2544	Subway	1,200
6	2548-76	Family Dollar	9,000
7	2580-84	Cosmo Prof.	2,400
8	2588	Hair Suite	1,200
9	2592-96	Cabinets & Granite	2,400
10	2620	Boost Mobile	1,306
11	2632	Little Caesars	1,200
12	2636	Vacant	1,200
13	2640	Dr. McClain	1,200
14	2644	Wild Birds	2,400
15	2660	Planet Cash	1,246
16	2666-70	H&R Block	2,220
17	2674	La Patisserie	1,110
18	2678	Dairy Queen	1,848
19	2682	Heart Filled Creations	1,100
20	2686	Fast Track Urgent Care	3,300



copyright 2012 CORE10 Architecture, Inc.



HOFFMAN DEVELOPMENT CO.

727 Craig Road, Suite 100  
St. Louis, Missouri 63141  
(314) 567-9944

# SURREY PLAZA I

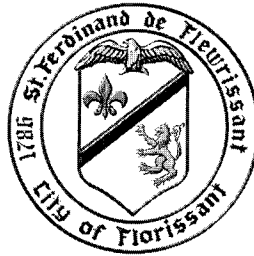
2520-2686 N Hwy 67, Florissant, MO



ST. LOUIS COMMERCIAL REALTY

727 Craig Road, Suite 100, St. Louis, MO 63141  
(314) 567-9944 F (314) 567-9945

## MEMORANDUM



### CITY OF FLORISSANT

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

To: Planning and Zoning Commissioners      Date: March 31, 2021

From: Philip E. Lum, AIA-Building Commissioner c:      Todd Hughes, P.E.,  
Director Public Works  
Deputy City Clerk  
Applicant  
File

Subject: Request approval of a Special Use Permit for the for the operation of a carry-out restaurant, at **2632 N Highway 67 (Busloop Burgers)** in a B-3 Zoning District.

## **STAFF REPORT** **CASE NUMBER PZ-040421-7**

### **I. PROJECT DESCRIPTION:**

This is a request for approval of a special use permit to allow for the operation of a carry-out restaurant at 2632 N Highway 67, currently zoned B-3.

### **II. EXISTING SITE CONDITIONS:**

The existing property at 2632 N Hwy 67 has been vacant for approximately 1.5 years. The site is a tenant space within Surrey Plaza 1 Shopping Center and has multiple tenants. The site is predominantly paved except for a grassy area along N. Highway 67. There is a restaurant out-parcel at 2678 N Hwy 67.

The subject building on the property contains 1200 square feet and has a separation wall between it and other tenants. The front facing (North) wall of the building is aluminum and glass storefront with stucco plaster canopy, painted. The tenants are allowed canopy mounted signage areas on the building fascia.



There are ample parking spaces in front of this tenant space with off street parking in front of Surrey Plaza 1 sized for occupancy at capacity, approximately 225 spaces.

### **III. SURROUNDING PROPERTIES:**

The property to the west is a B-3 District, it is also bounded by Trotterway to the East with Advance Auto and the property to the south is a residential R-4 District. The property across N Highway 67 are also B-2 properties. Dairy Queen is located in the out-parcel at 2678 N Hwy 67.

### **IV. STAFF ANALYSIS:**

The application is accompanied by professionally completed architectural plans for conversion of a carryout restaurant (Little Caesar's) with a kitchen remodel for a burger restaurant. There are no tables in the customer area.

The current zoning allows for a restaurant if a Special Use is granted by City Council and since the current special use has expired, a new Special Use is required.

### **VI. STAFF RECOMMENDATIONS:**

If the Special Use Permit is approved, staff recommends that the applicant submit plans compliant with the 2018 International Building Code and obtain the necessary permits for remodeling and signage.

#### **Suggested Motion 2632 N Highway 67- Busloop Burgers:**

I move to recommend approval for a Special Use Permit to allow for a carry-out restaurant, subject to the conditions set forth below with these conditions being part of the record.

1. The uses permitted shall be limited to a Carryout Restaurant.
2. Plans shall be consistent with plan dated 2/26/21 by Ramon Sarmiento and Deru and Associates.

(end report and suggested motion)

INTRODUCED BY COUNCILMAN SIAM  
APRIL 26, 2021

BILL NO. 9677

ORDINANCE NO.

**ORDINANCE AUTHORIZING A SPECIAL USE PERMIT FOR JORDAN & JOHNSON ENTERPRISE LLC, D/B/A CREATIONS SMOOTHIES LOCATED AT 147 FLOWER VALLEY SHOPPING CENTER TO ALLOW FOR THE OPERATION OF A SIT-DOWN, CARRY-OUT RESTAURANT.**

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of a restaurant in the City of Florissant; and

WHEREAS, an application has been filed by Jordan & Johnson Enterprise LLC, d/b/a Creations Smoothies to allow for the operation of a sit-down, carry-out restaurant located at 147 Flower Valley Shopping Center; and

WHEREAS, the Planning and Zoning Commission at their meeting on April 5, 2021, recommended that a Special Permit be granted; and

WHEREAS, due notice of public hearing no. 21-04-011 on said application to be held on the 26th of April, 2021 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a sit-down, carry-out restaurant would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Special Use Permit for Jordan & Johnson Enterprise LLC, d/b/a Creations Smoothies located at 147 Flower Valley Shopping Center to allow for the operation of a sit-down, carry-out restaurant. is hereby authorized with the following stipulations:

1. The project shall be as shown on G-1 and A-1 plans dated 3/20/21 by Philip A. Gomez Architect as attached hereto.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Keith Schildroth  
President of the Council

Approved this \_\_\_\_ day of \_\_\_\_\_, 2021.

\_\_\_\_\_  
Timothy J. Lowery  
Mayor, City of Florissant

ATTEST: \_\_\_\_\_  
Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

# **CITY OF FLORISSANT**

## **Public Hearing**

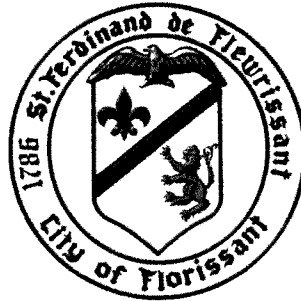


**In accordance with Chapter 405.310 of the Florissant Zoning Code, a Public Hearing will be held by the City Council of Florissant, MO. virtually via the Zoom platform, on Monday, April 26, 2021 at 7:00 P.M. on the following proposition:**

**To approve of a Special Use for a carryout restaurant in a 'B-3' Zoning District located at 147 Flower Valley SC (Creations Smoothies). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**

**SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works  
314-839-7648

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

**PLANNING & ZONING ACTION**

Council Ward 9 Zoning B3

**RECOMMENDED APPROVAL**  
PLANNING & ZONING  
CHAIRMAN

Initial Date Petitioner Filed \_\_\_\_\_  
**Building Commissioner to complete  
ward, zone & date filed**

SIGN. [Signature] DATE: 4-11-21

SPECIAL PERMIT FOR Operation of a new restaurant  
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT # \_\_\_\_\_ TO ALLOW FOR \_\_\_\_\_  
ordinance # \_\_\_\_\_ Statement of what the amendment is for.

LOCATION 147 Flower Valley Shopping Center Florissant, MO 63033  
Address of property.

1) Comes Now Jordan & Johnson Enterprise LLC/DBA Creations Smoothies  
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Leasing  
State legal interest in the property. (i.e., owner of property, lease).  
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for n/a  
Restaurant and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:

(If more space is needed, separate sheets maybe attached)

Kendall Johnson Kendall Johnson creationsflorissant@gmail.com 314-265-3986  
 PRINT NAME SIGNATURE email and phone

FOR Creations Smoothies - company  
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
1. I (we) have a legal interest in the herein above described property.
  2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Kendall Johnson  
 ADDRESS 147 Flower Valley Shopping Center Florissant, MO, 63033  
 STREET CITY STATE ZIP CODE  
 TELEPHONE / EMAIL 314-265-3986 creationsflorissant@gmail.com  
 BUSINESS

I (we) the petitioner (s) do hereby appoint Kendall Johnson as  
 Print name of agent.  
 my (our) duly authorized agent to represent me (us) in regard to this petition.

Kendall Johnson  
 Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:  
Individual \_\_\_\_\_ Partnership X Corporation \_\_\_\_\_

(a) If an individual:

- (1) Name and Address \_\_\_\_\_
- (2) Telephone Number \_\_\_\_\_
- (3) Business Address \_\_\_\_\_
- (4) Date started in business \_\_\_\_\_
- (5) Name in which business is operated if different from (1) \_\_\_\_\_
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners Kendall Johnson/Jordan Hrobowski
- (2) Telephone numbers 314-265-3986/314-297-9816
- (3) Business address 147 Flower Valley Shopping Center
- (4) Name under which business is operated Creations Smoothie
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) State of Incorporation & a photocopy of incorporation papers \_\_\_\_\_
- (5) Date of Incorporation \_\_\_\_\_
- (6) Missouri Corporate Number \_\_\_\_\_
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_
- (8) Name in which business is operated \_\_\_\_\_
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Kendall Johnson  
Address 147 Flower Valley Shopping Center Florissant, MO, 63033  
Property Owner Bill Yu  
Location of property Florissant, MO  
Dimensions of property 1815 sq ft  
Property is presently zoned office Requests Rezoning To restaurant  
Proposed Use of Property Smoothie & Juice ~~Bar~~ Bar  
Type of Sign logo of company Height 75 in x 96 in  
Type of Construction \_\_\_\_\_ Number Of Stories \_\_\_\_\_  
Square Footage of Building \_\_\_\_\_ Number of Curb Cuts \_\_\_\_\_  
Number of Parking Spaces \_\_\_\_\_ Sidewalk Length \_\_\_\_\_  
Landscaping: No. of Trees \_\_\_\_\_ Diameter \_\_\_\_\_  
No. of Shrubs \_\_\_\_\_ Size \_\_\_\_\_  
Fence: Type \_\_\_\_\_ Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.



**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS  
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

**Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.**

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

**Provide a drawing of a location map showing the nearest major intersection.**

---

**OFFICE USE ONLY**

Date Application reviewed \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
**Building Commissioner or Staff Signature**

# STATE OF MISSOURI



**John R. Ashcroft**  
**Secretary of State**

## CERTIFICATE OF ORGANIZATION

WHEREAS,

**Jordan&Johnson enterprise LLC**

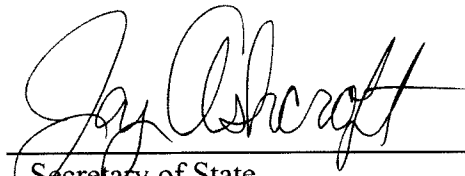
**LC1724182**

filed its Articles of Organization with this office on the 11th day of August, 2020, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, John R. Ashcroft, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on 11th day of August, 2020, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

Effective Date: August 11, 2020

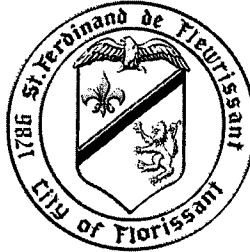
IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, the 11th day of August, 2020.

  
Secretary of State



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**MEMORANDUM**



**CITY OF FLORISSANT**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant;  
while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

To: Planning and Zoning Commissioners                      Date: March 31, 2021

From: Philip E. Lum, AIA-Building Commissioner c:      Todd Hughes, P.E.,  
Director Public Works  
Deputy City Clerk  
Applicant  
File

Subject:              Request **recommended approval of a Special Use** for a Sit-down, carry-out restaurant at **147 Flower Valley Shopping Center (Creations Smoothies)** in a 'B-3' Extensive Business District.

**STAFF REPORT**  
**CASE NUMBER PZ-040521-8**

**I. PROJECT DESCRIPTION:**

This is a request for recommended approval of a Sit-down, carry-out restaurant at **147 Flower Valley Shopping Center (Creations Smoothies)** in a 'B-3' Extensive Business District.

Refer to Plans submitted drawing G-1 and A-1 dated 3/20/21 by Philip A Gomez, Architect, attached. The drawings include a site location map.

**II. SITE CONDITIONS:**

The existing property at 147 Flower Valley formerly housed a health offices space. The original property was 20'x 60'. The site contains 474 parking spaces.

The design is proposed to be remodeled to incorporate 45 customers plus staff.

40 **III. SURROUNDING PROPERTIES:**

41  
42 The properties adjacent are 1 Flower Valley formerly Kmart, 175 Flower Valley (Planet  
43 Fitness and 3175 N Highway 67, Chick Fil A. All surrounding properties are in a B-3  
44 Extensive Business District except the District to the north is a Residentially Zoned  
45 Unincorporated area.  
46

47  
48 **IV. STAFF ANALYSIS:**

49  
50 A-1.0 submitted includes a customer seating area with a total customer count of 45 max  
51 persons. The plan does not show a furnishings plan with chairs, however, the number of  
52 patrons max is identified.  
53

54 The new plan does not include allowances for employees, although the exact number of  
55 employees may not affect total parking since the shopping center has residual parking.  
56

57 **VI. STAFF RECOMMENDATIONS:**

58  
59 **Suggested Motion for Recommended Approval** for a Special Use to allow for a sit  
60 down, carry out restaurant at **147 Flower Valley** in a 'B-3' Zoning District.  
61

62 I move to **Recommended Approval** for a Special Use Permit to allow for a sit-down,  
63 carry-out restaurant in a 'B-3' Zoning District, subject to the following stipulations:  
64

- 65 1. The project shall be as shown on G-1 and A-1 dated 3/20/21 by Philip A Gomez,  
66 Architect, attached.  
67  
68  
69  
70

71 (end of Suggested Motion and report)

# 147 Flower Valley Shopping Center

## GENERAL PROJECT NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING WORK.
2. DO NOT SCALE DRAWINGS.
3. "+/-" (PLUS-MINUS) DIMENSIONS INDICATE APPROXIMATE EXISTING CONDITIONS FOR REFERENCE ONLY, AND ARE NOT TO BE USED FOR LAYOUT OF NEW CONSTRUCTION.
4. ALL WALL DIMENSIONS ARE TO OUTSIDE EDGE OF FINISHED GYP. BD. U.N.O.
5. ALL NEW INTERIOR PARTITIONS TO BE MTL STUDS WITH 5/8" GYP. BD. B.S. U.N.O.
6. PROVIDE ALL TRIM, ACCESSORIES AND JOINT FINISHING AS REQUIRED FOR GYP. BD. ASSEMBLIES. PROVIDE CORNER BEADS AT ALL EXPOSED HORIZONTAL AND VERTICAL CORNERS. CAULK ALL UNTAPED JOINTS AT PERIMETER.
7. USE APPROVED WATER-RESISTANT GYP. BD. OR CEMENT BD. IN AREAS TO BE EXPOSED TO MOISTURE.
8. ALL DOORS 7'-0" HIGH U.N.O.
9. GLAZING IN ALL DOORS TO BE FULLY TEMPERED, LAMINATED SAFETY, OR APPROVED SHATTER RESISTANT PLASTIC.
10. INTERIOR FINISHES SHALL HAVE A FLAME SPREAD RATING OF 200 OR LESS.
11. ALL TOILET ROOMS TO HAVE MIN. 50 CFM EXHAUST FANS, VENTED TO THE EXTERIOR.
12. LEAD FREE SOLDER IS REQUIRED ON ALL COPPER WATER SUPPLY PIPING.
13. ALL ELECTRICAL WORK SHALL CONFORM TO THE NEC AND LOCAL REGULATIONS.
14. ALL WORK SHALL MEET OR EXCEED ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS.

## VERIFICATION OF EXISTING CONDITIONS:

INASMUCH AS THE REMODELING AND/OR REHABILITAION OF THE EXISTING FACILITY REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE PRIOR TO CONSTRUCTION OR WITHOUT SIGNIFICANT COSTLY AND/OR DAMAGING INVESTIGATIONS, THE OWNER AGREES TO HOLD THE ARCHITECT HARMLESS AGAINST ALL DAMAGES, LIABILITIES OR COSTS ASSOCIATED WITH UNKNOWN CONDITIONS.

## LIMITATION OF LIABILITY:

THE OWNER AGREES TO LIMIT THE ARCHITECT'S LIABILITY FOR ANY DAMAGES RELATING TO THIS PROJECT TO THE ARCHITECT'S FEE. THIS LIMITATION SHALL APPLY REGARDLESS OF THE CAUSE OF ACTION.

## BUILDING CODE INFORMATION:

Municipality: City of Florissant, MO

Project Description: New smoothie shop build-out in an existing strip mall shopping center.

Code: 2018 International Building Code  
2018 International Exist. Building Code

Use Group: B (less than 50 occupants)  
Construction Type: II-A

Sprinkler System: None

## OCCUPANCY






CUSTOMER SEATING ALLOWED:  
675 SF / 15 SF PER OCCUPANT  
= MAX. 45 OCC's  
KITCHEN: 2 OCC's  
RECEPTION: 1 OCC  
TOTAL = 48 OCCUPANTS

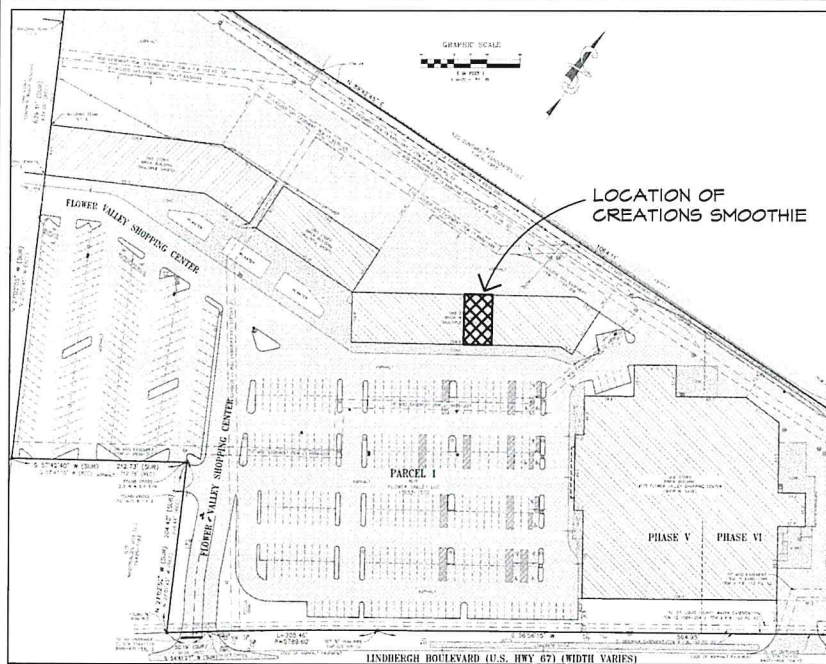
## EGRESS WIDTH REQUIRED

48 OCC's x .2"/OCC. = 9.6"  
# OF EXITS REQUIRED = 2  
EGRESS WIDTH PROVIDED = 158" (4 EXITS)

TOTAL BUILDING AREA = 1815 SF

## LEGEND

-  DETAIL NUMBER  
DRAWING SHOWN ON
-  PORTION OF EXIST. WALL OR  
PARTITION TO BE REMOVED
-  NEW PARTITION, FURRING, OR INFILL
-  EXISTING DOOR TO REMAIN
-  NEW DOOR



LOCATION MAP (NOT TO SCALE)

## DRAWING LIST

- G-1 COVER SHEET/PROJECT NOTES  
A-1 FLOOR PLAN

PHILIP A. GOMEZ  
ARCHITECT #A-6390

314-504-7559

© 2021 Philip A. Gomez, Architect  
These drawings, including all associated and referenced electronic data, are the sole property of the architect, and may not be altered in any way except by specific direction of the architect.

Client:

Kendall Johnson

11335 Latonka Trail  
Florissant, MO 63033  
314-265-3986  
creationsflorissant@gmail.com

Project:

Creations Smoothie  
and Juice Bar  
Store Build-out

147 Flower Valley Shopping Center  
Florissant, MO

Prj #:

Date: 3-20-21

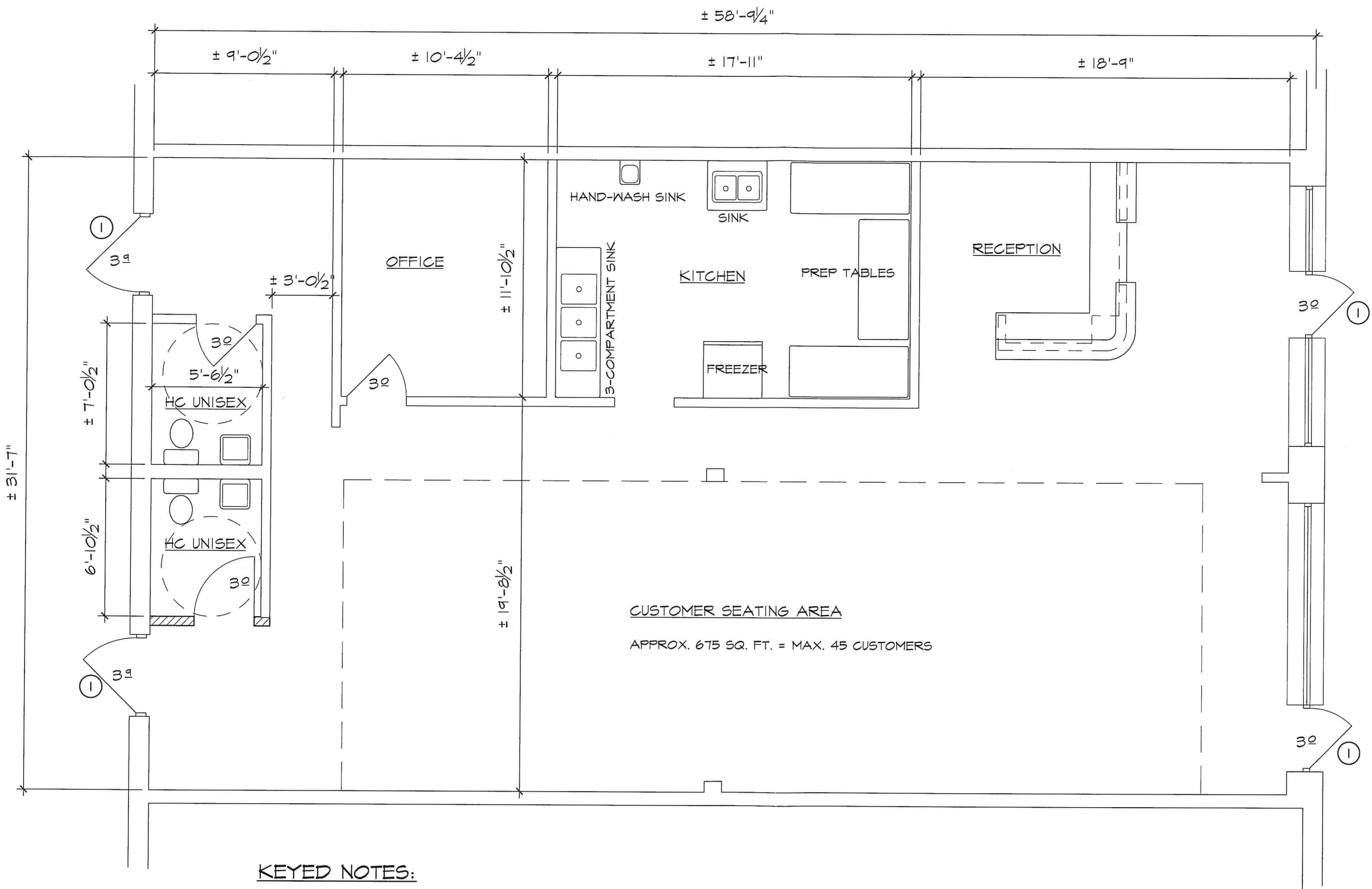
Sheet Contents:

Project Notes

Sheet No.:

G-1





**KEYED NOTES:**

- ① EXISTING EXIT DOOR
- ② ELECTRICAL PANEL CABINET

**FLOOR PLAN**  
3/16" = 1'-0"



**PHILIP A. GOMEZ**  
ARCHITECT #A-6390

314-504-7559

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creationsflorissant@gmail.com

Project:

**Creations Smoothie  
and Juice Bar  
Store Build-out**

147 Flower Valley Shopping Center  
Florissant, MO

Prj #:

Date: **3-20-21**

Sheet Contents:

**Floor Plan**

Sheet No.:

**A-1**

1 INTRODUCED BY COUNCILMAN SCHILDROTH  
2 APRIL 26, 2021

3  
4 BILL NO. 9678

ORDINANCE NO.

5  
6  
7 **ORDINANCE AUTHORIZING AN AMENDMENT TO SECTION 520.050**  
8 **“GROUND SIGNS” SUBSECTION H “TEMPORARY SIGNS” SECTION 2**  
9 **TO ALLOW FOR TEMPORARY SIGNAGE DURING ROAD PROJECTS.**

10  
11 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS  
12 COUNTY, MISSOURI, AS FOLLOWS:

13  
14 Section 1: Section 520.050 “Ground Signs” subsection H “Temporary  
15 Signs” section 2 (k) is hereby deleted in it’s entirety and replaced with the following to  
16 read:

- 17  
18 k. Upon substantial completion of the road project, all temporary signs  
19 granted under Section 520.050(H)(2) shall be removed and shall become  
20 null and void  
21

22  
23 Section 2: This ordinance shall become in force and effect immediately upon its  
24 passage and approval.

25  
26 Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

27  
28  
29  
30 \_\_\_\_\_  
31 Keith Schildroth  
32 President of the Council  
33 City of Florissant

34  
35 Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

36  
37  
38  
39 \_\_\_\_\_  
40 Timothy J. Lowery  
41 Mayor, City of Florissant

42 ATTEST:

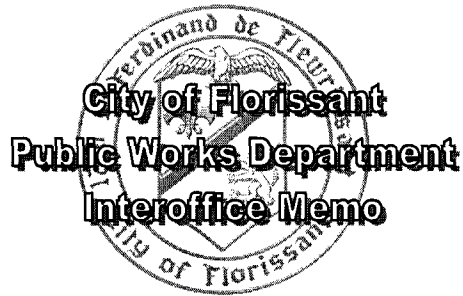
43  
44 \_\_\_\_\_  
45 Karen Goodwin, MPPA/MMC/MRCC  
46 City Clerk



# FLORISSANT CITY COUNCIL

## AGENDA REQUEST FORM

4/20/2021		<b>Mayor's Approval</b>	
Agenda Date Requested:		4/26/2021	
Description of request:		Amend Section 520.050 (H) (2) (k)	
Transfer of Funds from			
(See Attached Memo)			
Department: Public Works			
Recommending Board or Commission: N/A			
Type of request:	<b>Ordinances</b>	<b>X</b>	<b>Other</b>
	Appropriation		Liquor License
	Transfer		Hotel License
	Zoning Amendment		Special Presentations
	Amendment	<b>x</b>	Resolution
	Special Use Transfer		Proclamation
	Special Use		Subdivision
	Budget Amendment	X	
		Y/N	Y/N
Public Hearing needed: Yes / No		<b>N</b>	3 readings? : Yes / No
<b>Back up materials attached:</b>		<b>Back up materials needed:</b>	
Minutes		Minutes	
Maps		Maps	
Memo	<b>X</b>	Memo	
Draft Ord.		Draft Ord.	
<b>Note:</b> Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.		For City Clerk Use Only:  Introduced by: _____  PH Speaker: _____	



Memo To: City Council

Date: April 20, 2021

Thru: Mayor Timothy J. Lowery

From: Todd M. Hughes, P.E.  
Director of Public Works and Health

Subject: Amendment of Code section 520.050 (H) (2) (k)

Due to road construction I would like to delete Section 520.050 (H) (2) (k) and replace it with the following:

Upon substantial completion of the road project, all temporary signs granted under Section **520.050(H)(2)** shall be removed and shall become null and void

**Therefore, I respectfully request this code amendment.**

Thank you in advance.

Respectfully submitted,

---

Todd M Hughes, P.E.

1 INTRODUCED BY COUNCILMAN MULCAHY  
2 APRIL 26, 2021

3  
4 BILL NO. 9680

ORDINANCE NO.

5  
6 **ORDINANCE AMENDING TITLE III OF THE FLORISSANT CITY CODE,**  
7 **SCHEDULE III TABLE III-B “TWO WAY STOPS” BY ADDING “ST.**  
8 **MICHAEL AT AUBUCHON”**  
9

10  
11 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS  
12 COUNTY, MISSOURI, AS FOLLOWS:

13  
14 Section 1: Title IV-A “Yield Intersections” is hereby amended by  
15 removing the yield signs at St. Michael at Aubuchon.  
16

17 Section 2: Title III of the Florissant City Code, Schedule III, Table III-  
18 B “Two Way Stops” is hereby amended by adding the following  
19

20 *St. Michael at Aubuchon*  
21

22 Section 3: This ordinance shall become in force and effect immediately upon its  
23 passage and approval.

24  
25 Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2021.  
26

27  
28 \_\_\_\_\_  
29 Keith Schildroth  
30 President of the Council  
31 City of Florissant  
32

33  
34 Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2021.  
35

36  
37 \_\_\_\_\_  
38 Timothy J. Lowery  
39 Mayor, City of Florissant  
40

41 ATTEST:

42  
43 \_\_\_\_\_  
44 Karen Goodwin, MPPA/MMC/MRCC  
45 City Clerk

# FLORISSANT CITY COUNCIL

## AGENDA REQUEST FORM

4/19/2021

Mayor's Approval:

Agenda Date Requested: 4/26/21

Description of request: Request to replace yield signs with stop signs on St. Michael at Aubuchon

Department: Street

Recommending Board or Commission: Traffic Commission

Type of request:

Ordinances	X	Other	
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N
Public Hearing needed: Yes / No	No	3 readings? : Yes / No	Yes

Back up materials attached:

Minutes	X
Maps	
Memo	
Draft Ord.	

Back up materials needed:

Minutes	
Maps	
Memo	
Draft Ord.	

**Note:** Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: \_\_\_\_\_

PH Speaker: \_\_\_\_\_

**CITY OF FLORISSANT**

**MEMO**

TO: Councilman Patrick Mulcahy

DATE: April 19, 2021

THRU: Mayor Timothy Lowery

THRU: Todd Hughes  
Director of Public Works

FROM: Jason Timme  
Street Superintendent



SUBJECT: Request to Replace Yield Signs with Stop Signs on  
St. Michael at Aubuchon

The Traffic Commission has reviewed the request to replace the yield signs with stop signs on St. Michael at Aubuchon at the April 13, 2021 meeting. The Traffic Commission made a recommendation to replace the yield signs with stop signs on St. Michael (see attached Minutes, Item 04/21).

**04/21          REQUEST TO REPLACE YIELD SIGNS WITH STOP SIGNS ON ST. MICHAEL  
AT AUBUCHON  
Approved  
Ward 6**

Request was made to replace yield signs with stop signs on St. Michael at Aubuchon.

Zach Schneider said there is an email packet from Councilman Mulchahy. He said there was a resident who requested stop signs at St. Michael at the intersection with Aubuchon. He said there are currently yield signs there. The resident noticed the yield signs at St. Denis and Aubuchon have recently been replaced with stop signs and wanted to see if the same could be done at the St. Michael and Aubuchon intersection. Zach Schneider said he drove past there and checked it out. He drove all the way down from St. Marie to Parker. He said that is the only intersection that does not have a stop sign at the intersection. The only thing there is a yield sign. He said based on one of our previous meetings when Officer Kiefer was present, he had mentioned that yield signs were almost a thing of the past. People don't pay attention to them. It was stated that we've talked about this before, and all agreed that as the requests come in we would just go ahead and make a recommendation to change the yield signs to stop signs. It was stated that this item was brought to the Traffic Commission once before. The man who was requesting this wanted the stop signs there because kids play in the street. The Traffic Commission denied the request at that time because it didn't meet any of the criteria for the stop sign warrant. Pete Fischer said he thinks we set the precedent the last time when we switched it at the other intersection.

Motion was made by Don Adams to make a recommendation to replace the yield signs with stop signs on St. Michael at Aubuchon. Motion was seconded by Pete Fischer. On the roll call the commission voted: Donna Smith-Pupillo – yes, Don Adams – yes, Greg Keil – yes,

Pete Fischer – yes, Zach Schneider – yes, and Dave Clasby – yes. Motion carried. Item 04/21 was dropped from the Agenda.

**MISCELLANEOUS:**

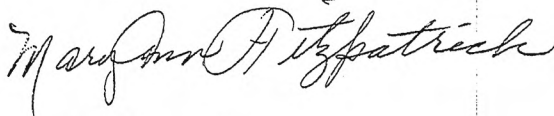
Zach Schneider said he wanted to ask Officer Topcagic about a rumor that Officer Kiefer retired. Officer Topcagic said that Officer Kiefer is a fireman now. He said he is not a policeman anymore. Zack Schneider said we would like to congratulate him on his transition.

Next Traffic Commission meeting is scheduled for May 11, 2021.

**ADJOURNMENT**

No other items were brought before the Commission this evening. The meeting was adjourned.

For the Chairman  
Mayor's Advisory Traffic Commission

A handwritten signature in cursive script, reading "MaryAnn Fitzpatrick".

MaryAnn Fitzpatrick  
Recording Clerk



**From:** Kathy Blasingame  
**Sent:** Friday, March 12, 2021 10:10 AM  
**To:** MaryAnn Fitzpatrick  
**Subject:** FW: Request - St. Michael & Aubuchon Stop Signs

FYI

-----Original Message-----

**From:** Cheryl Entwistle  
**Sent:** Friday, March 12, 2021 9:36 AM  
**To:** Kathy Blasingame <kblasingame@florissantmo.com>; Todd Hughes <THughes@florissantmo.com>  
**Subject:** FW: Request - St. Michael & Aubuchon Stop Signs

Hi  
See email request below.  
Thanks  
Cheryl

-----Original Message-----

**From:** Karen Goodwin  
**Sent:** Friday, March 12, 2021 9:30 AM  
**To:** Cheryl Entwistle <centwistle@florissantmo.com>  
**Subject:** FW: Request - St. Michael & Aubuchon Stop Signs

-----Original Message-----

**From:** Ward 6  
**Sent:** Wednesday, March 10, 2021 11:24 AM  
**To:** Karen Goodwin <kgoodwin@florissantmo.com>  
**Subject:** Request - St. Michael & Aubuchon Stop Signs

I had a resident request stop signs on St. Michael at the intersection with Aubuchon, there are currently yield signs there. The resident noticed the yield signs at St. Denis/Aubuchon had recently been replaced with stop signs and wanted to see if the same could be done here.

If the Traffic Commission could review this request it would be appreciated.

Thank you,

Patrick Mulcahy  
Councilman, Ward 6

1 INTRODUCED BY COUNCILMAN MULCAHY  
2 MAY 10, 2021

3  
4 BILL NO. 9683

ORDINANCE NO.

5  
6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**  
7 **PERMIT NO. 8025 FROM MONRO MUFFLER, INC D/B/A AUTO TIRE**  
8 **TO RNR OF MISSOURI, LLC D/B/A RNR TIRE EXPRESS FOR THE**  
9 **OPERATION OF AN AUTOMOTIVE SERVICE GARAGE LOCATED**  
10 **AT 530 N. HWY 67.**  
11

12 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of  
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of an  
14 automotive service garage; and

15 WHEREAS, an application has been submitted by RNR of Missouri, LLC to transfer  
16 special use permit no. 8025 to its name; and

17 WHEREAS, the City Council of the City of Florissant determined at its meeting on May  
18 10, 2021 that the business would be operated in substantially identical fashion as set out herein;  
19 and

20 WHEREAS, RNR of Missouri, LLC has accepted the terms and conditions as they apply  
21 to special use permit no. 8025 for an automotive service garage.

22 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**  
23 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

24 Section 1: Special Use no. 8025, issued for a automotive service garage located at 530 N.  
25 Hwy 67 is hereby transferred Monro Muffler, Inc d/b/a Auto Tire to RNR of Missouri, LLC  
26 d/b/a RNR Tire Express.

27 Section 2: The Special Use Permit herein authorized shall terminate if the said business  
28 ceases operation for a period of more than ninety (90) days.

29 Section 3: This ordinance shall become in force and effect immediately upon its passage  
30 and approval.

31 Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

32 \_\_\_\_\_  
33 Keith Schildroth  
34 Council President

BILL NO.

ORDINANCE. NO.

35

36       Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

37

38

39

\_\_\_\_\_  
Timothy J. Lowery

40

Mayor, City of Florissant

41

42   ATTEST:

43

44

45   \_\_\_\_\_  
Karen Goodwin, MPPA/MMC/MRCC

46   City Clerk

1 INTRODUCED BY COUNCILMAN MULCAHY  
2 MAY 10, 2021

3  
4 BILL NO. 9682

ORDINANCE NO.

5  
6  
7 **ORDINANCE AUTHORIZING AN AMENDMENT TO SPECIAL USE**  
8 **PERMIT NO. 7321 TO ALLOW FOR THE EXPANSION OF CLEMENT**  
9 **OLYMPIC MOTORS LOCATED AT 1760, 1780 AND 1790 N HWY 67.**

10  
11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a pre-  
13 owned car dealership; and

14 WHEREAS, the Florissant City Council initially granted Special Use permit no. 7321 to  
15 Ellis Denos d/b/a The Olympic for the operation of a pre-owned car dealership; and

16 WHEREAS ordinance no. 7321 was transferred by ordinance no. 8671 to Panuel Raj  
17 Clement d/b/a The Olympic Motor Co. LLC; and

18 WHEREAS, an application has been filed by Panuel Raj Clement to amend ordinance no.  
19 7321 as transferred to allow for the expansion of Clement Olympic Motors located at 1760, 1780  
20 and 1790 N Hwy 67; and

21 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their  
22 meeting of April 19, 2021 has recommended that the Special Use Permit amendment for the  
23 expansion; and

24 WHEREAS, due notice of public hearing no. 21-05-012 on said application to be held on  
25 the 10<sup>th</sup> of May, 2021 at 7:00 P.M. by the Council of the City of Florissant was duly published,  
26 held and concluded; and

27 WHEREAS, the Council, following said public hearing, and after due and careful  
28 consideration, has concluded that the granting of an amendment to the Special Use Permit  
29 authorized by Ordinance No. 7321, as hereinafter provided, would be in the best interest of the  
30 City of Florissant and will not adversely affect the health, safety, morals and general welfare of  
31 the City.

32 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
33 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

34  
35 Section 1: Special Use Permit No. 7321 as transferred, is hereby amended to allow for  
36 the expansion of Clement Olympic Motors as shown on attached Site Plan A-1 by Ballmann  
37 Architects, dated April 12, 2021 with the following revisions as part of the record:

1. A compliant landscape plan shall be submitted for approval by the Building Commissioner.
2. Any lighting on the site shall be directed down and within the property lines so as to avoid causing glare and meet County regulations.
3. A compliant ADA van space, customer, staff and sales parking shall be striped and receive appropriate signage.
4. A land Disturbance permit shall be obtained as regulated and approved by the City Engineer.
5. The approval of this Special Use amendment vacates Ordinance No. 8542 for a child daycare center.

Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_ day of \_\_\_\_, 2021.

\_\_\_\_\_  
Keith Schildroth  
President of the Council  
City of Florissant

Approved this \_\_\_\_ day of \_\_\_\_, 2021.

\_\_\_\_\_  
Timothy J. Lowery  
Mayor, City of Florissant

ATTEST:

\_\_\_\_\_  
Karen Goodwin, MPPA/MMC/MRCC  
City Clerk



# City of Florissant

*Honorable Timothy J. Lowery, Mayor*

## **TRANSFER OF SPECIAL USE PERMIT PROCEDURE**

After receiving completed Transfer of Special Use Permit application, the City Clerk places the Transfer request on the next City Council Agenda for acceptance of the application and 1<sup>st</sup> reading of the new bill.

Applicant is encouraged to contact the Councilperson of the ward prior to the City Council Meeting.

At the following meeting the bill is read for a second and third time and voted upon. With a majority of affirmative votes the bill is assigned an Ordinance number.

**The application for a Transfer of a Special Use requires the following for a complete application:**

1. Completed application form  
(with the signature from current owner to authorize the transfer of the ordinance in their name)
2. Complete acknowledgement form  
(Acknowledging that the new owner has received a copy of the current ordinance and accepts responsibility for the Special Use Permit as it is written)
3. Copy of the LLC or Corporation papers.
4. Copy of a lease or bill of sale (to show an interest in the property)
5. Copy of the Fictitious name certificate (if applicable)

**Return completed application and documentation to the City Clerk's office no later than 5 pm on Wednesday prior to a scheduled City Council meeting (2<sup>nd</sup> and 4<sup>th</sup> Mondays of each month)**

Questions: Call the City Clerk at 314-839-7630 or 7631 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com)

## TRANSFER OF SPECIAL PERMIT

AUTHORIZED BY ORDINANCE NUMBER (S) \_\_\_\_\_

FROM \_\_\_\_\_

TO \_\_\_\_\_

FOR \_\_\_\_\_

ADDRESS \_\_\_\_\_


Ward \_\_\_\_\_ Zoning \_\_\_\_\_ Date Filed \_\_\_\_\_ Accepted By \_\_\_\_\_

### TRANSFER OF SPECIAL USE PERMIT PETITION

TO THE CITY COUNCIL OF THE CITY OF FLORISSANT:

1. Comes now \_\_\_\_\_ and states to the City Council that he (she) (they) has (have) the following legal interest in the property located at \_\_\_\_\_ in the City of Florissant, Missouri. Legal interest: ( ) Lease or ( ) Simple Title  
(Attach signed copy of lease or deed)
2. The petitioner(s) further state that he (she) (they) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly to any official, employee, or appointee of the City of Florissant, with respect to this petition.
3. The applicant will operate the business in the same manner and under the same conditions as set out in the original ordinance granting the special permit or any amendments thereto, except for any proposed change in sign face of an authorized sign.

PETITIONER SIGNATURE

  
\_\_\_\_\_  
Individual's Name

FOR:

\_\_\_\_\_  
Company, Corporation, Partnership



4. I (we) hereby certify that (indicate **one only**):

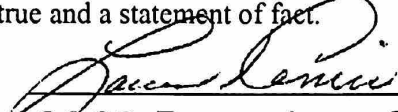


I (we) have a legal interest in the above described property.



I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE



ADDRESS

10929 Page Ave, St Louis, MO. 63132

Telephone No.

314.426.6363

Email address

lcarrico@shoprentone.com

I (we) the petitioner(s) do hereby appoint \_\_\_\_\_ as my  
(our) duly authorized agent to represent me (us) in regard to this petition.

\_\_\_\_\_  
PETITIONER SIGNATURE

**Note:** Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of (**current**) owner to Transfer the Special Use Permit.



\_\_\_\_\_  
SIGNATURE OF OWNER

**Information sheet to be attached to all requests for Transfer of Special Permit**

Type of Operation: (Select One)

Individual ☐

Partnership ☐

Corporation ☐

LLC ☐

**INDIVIDUAL:**

Name & address \_\_\_\_\_

Telephone number & email address \_\_\_\_\_

Business name/address/phone \_\_\_\_\_

Copy of fictitious name registration, if applicable \_\_\_\_\_

**PARTNERSHIP:**

Name & address of partner (s ) \_\_\_\_\_

\_\_\_\_\_

Telephone number(s) and email address (s) \_\_\_\_\_

Business name/ address /phone \_\_\_\_\_

Copy of fictitious name registration, if applicable \_\_\_\_\_

**CORPORATION OR LLC:**

Name & address of all corporate officers \_\_\_\_\_

\_\_\_\_\_

Telephone numbers & email addresses \_\_\_\_\_

Business name/address/phone \_\_\_\_\_

Photocopy of Corporation/LLC Articles and Certificate ATTACHED

Date of incorporation/LLC \_\_\_\_\_

Copy of fictitious name registration, if applicable ATTACHED

Copy of latest Missouri Anti-Trust affidavit (annual registration of corporate officers) N/A

**TRANSFER OF SPECIAL USE PERMIT**

The undersigned hereby acknowledges receipt of a copy of Ordinance  
Number \_\_\_\_\_ which previously authorized a Special Use Permit:

TO: \_\_\_\_\_

FOR: \_\_\_\_\_

Located at: \_\_\_\_\_

and agree to the terms and conditions listed in said ordinance and to any  
additional term and conditions that the City Council shall deem appropriate.

\_\_\_\_\_  
PRINT - NAME OF APPLICANT

  
\_\_\_\_\_  
SIGNATURE OF APPLICANT

# State of Missouri



Robin Carnahan  
Secretary of State

## CERTIFICATE OF ORGANIZATION

WHEREAS,

*RNR of Missouri, LLC*  
*LC0705514*

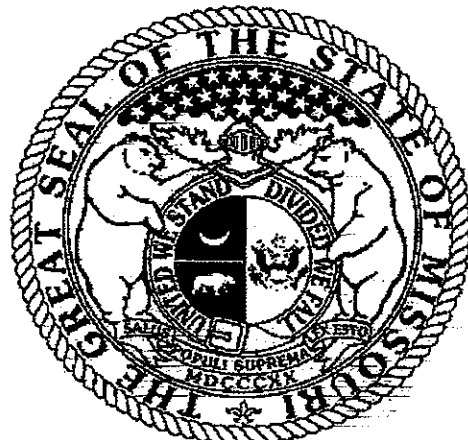
filed its Articles of Organization with this office on the December 28, 2005, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, ROBIN CARNAHAN, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the December 28, 2005, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I have set my hand and imprinted the GREAT SEAL of the State of Missouri, on this, the December 28, 2005.

*Robin Carnahan*

Secretary of State





State of Missouri  
Robin Carnahan, Secretary of State

File Number: 200536290010  
LC0705514  
Date Filed: 12/28/2005  
Robin Carnahan  
Secretary of State

## Articles of Organization

1. The name of the limited liability company is:

RNR of Missouri, LLC

2. The purpose(s) for which the limited liability company is organized:

The retail and rental of automobile products.

The transaction of any lawful business for which a limited liability company may be organized under the Missouri Limited Liability Company Act, Chapter 347 RSMo.

3. The name and address of the limited liability company's registered agent in Missouri is:

Lawrence D. Carrico

13611 Barret Office Dr., Ballwin MO 63021

*Name*

*Address*

4. The management of the limited liability company is: ☒ Manager ☐ Member

5. The duration (period of existence) for this limited liability company is:

Perpetual

6. The name(s) and street address(es) of each organizer:

Timothy E. Hayes, 231 S. Bemiston Ave., Ste. 950, St. Louis MO 63105

**In Affirmation thereof, the facts stated above are true and correct:**

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

Timothy Hayes

*(Organizer Name)*



# State of Missouri

Jason Kander, Secretary of State

Corporations Division

PO Box 778 / 600 W. Main St., Rm. 322

Jefferson City, MO 65102

**X001251235**  
**Date Filed: 5/13/2016**  
**Expiration Date: 5/13/2021**  
**Jason Kander**  
**Missouri Secretary of State**

## Registration of Fictitious Name

(Submit with filing fee of \$7.00)

(Must be typed or printed)

This information is for the use of the public and gives no protection to the name being registered. There is no provision in this Chapter to keep another person or business entity from adopting and using the same name. The fictitious name registration expires 5 years from the filing date. (Chapter 417, RSMo)

**Please check one box:**

☒ New Registration ☐ Renewal \_\_\_\_\_ ☐ Amendment \_\_\_\_\_ ☐ Correction \_\_\_\_\_  
Charter number Charter number Charter number

**The undersigned is doing business under the following name and at the following address:**

Business name to be registered: Rent-N-Roll

Business Address: 10929 Page Ave

(PO Box may only be used in addition to a physical street address)

City, State and Zip Code: St Louis, MO 63132

### Owner Information:

If a business entity is an owner, indicate business name and percentage owned. If all parties are jointly and severally liable, percentage of ownership need not be listed. Please attach a separate page for more than three owners. The parties having an interest in the business, and the percentage they own are:

Name of Owners, Individual or Business Entity	Charter # Required If Business Entity	Street and Number	City and State	Zip Code	If Listed, Percentage of Ownership Must Equal 100%
Carrico, Lawrence		10929 Page Ave	St Louis, MO	63132	100.00

**All owners must affirm by signing below**

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties of a false declaration under Section 575.060 RSMo)

Lawrence Carrico

Owner's Signature or Authorized Signature of Business Entity

LAWRENCE CARRICO

Printed Name

05/13/2016

Date

Name and address to return filed document:

Name: RNR of Missouri

Address: Email: felicia@imageryadv.com

City, State, and Zip Code: \_\_\_\_\_

1 INTRODUCED BY COUNCILMAN GRIB  
2 FEBRUARY 10, 2014

3  
4 BILL NO. 8973

ORDINANCE NO. 8025

5  
6  
7 **AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO MONRO**  
8 **MUFFLER, INC D/B/A AUTO TIRE TO ALLOW FOR THE OPERATION**  
9 **OF AN AUTOMOTIVE SERVICE GARAGE FOR THE PROPERTY**  
10 **LOCATED AT 530 N. HWY 67.**  
11

12  
13 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
14 Florissant, by Special Use Permit, after public hearing thereon, to permit the operation of an auto  
15 rservice business; and

16 WHEREAS, an application has been filed by Monroe Muffler Brake Inc. for the operation of  
17 an auto repair business located at #1 Flower Valley Shopping Center.

18 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting  
19 of January 22, 2014, has recommended that the said Special Use Permit be granted; and

20 WHEREAS, Ordinance no. 7948 was issued to Cars Stl. LLC in January of 2013 and was  
21 never developed; and

22 WHEREAS, Ordinance no. 7948 will be repealed and replaced with this ordinance; and

23 WHEREAS, due notice of public hearing no 14-02-005 on said application to be held on the  
24 10<sup>th</sup> day of February, 2014 at 7:00 P.M. by the Council of the City of Florissant was duly published,  
25 held and concluded; and

26 WHEREAS, the Council, following said public hearing, and after due and careful  
27 consideration, has concluded that the granting of the Special Use Permit as hereinafter provided  
28 would be in the best interest of the City of Florissant.

29  
30 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
31 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:  
32

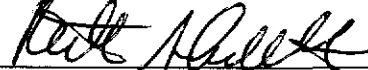
33  
34 Section 1: A Special Use Permit is hereby granted to Monroe Muffler Brake Inc. d/b/a Auto  
35 Tire for the operation of an auto service business located at 530 N. Hwy 67 as depicted by the  
36 attached drawings PH1, PH1.1, PH1/2, PH1/3, A1.0, A1.1, A3.1, A3.2, PH1.0TE, and A1/0TE by  
37 Adams Architectural Associates, all dated 12/20/13, subject to the regulations of the B-3 Zoning  
38 District.



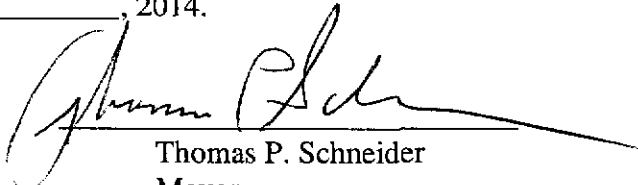
Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this 24 day of July, 2014.

  
Keith Schildroth  
President of the Council

Approved this 25 day of Feb, 2014.

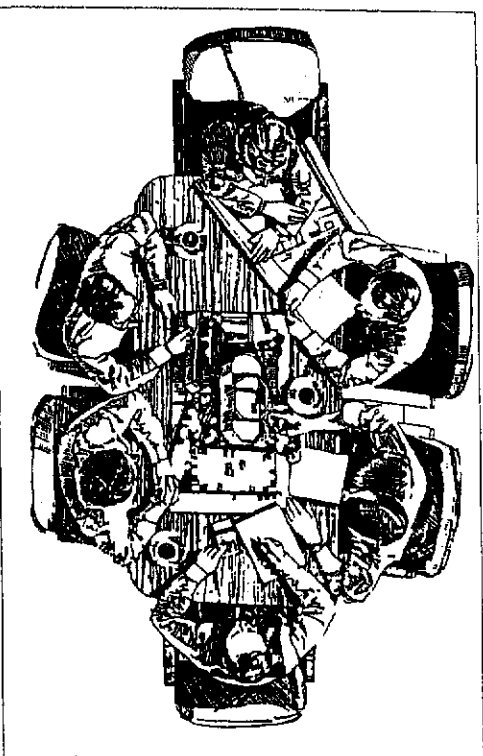
  
Thomas P. Schneider  
Mayor

ATTEST:

  
Karen Goodyin, MMC/MRCC  
City Clerk



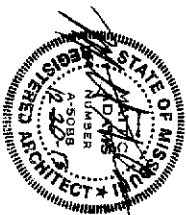
STORE LAYOUT FOR  
**AUTO TIRE**  
530 NORTH HIGHWAY 67  
FLORISSANT, MISSOURI 63031



Adams Architectural Associates  
P.O. BOX 230  
CHESTERFIELD, MO 63306-0230  
PHONE : (636) 537-6333  
FAX : (636) 537-1267

RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGNATURE DATE: 1/21/14

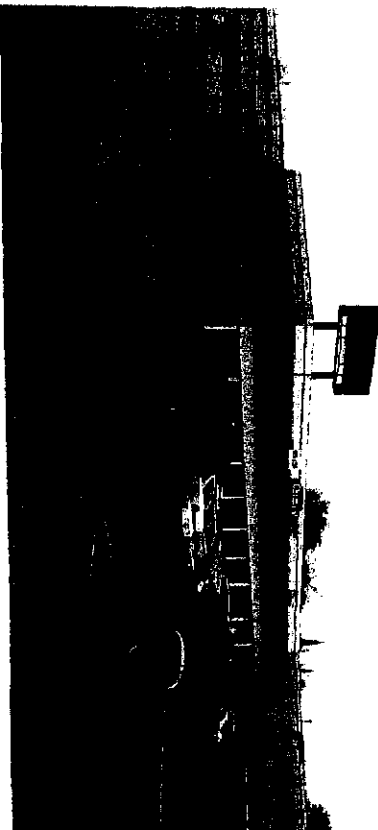


PLANNING & ZONING REVIEW

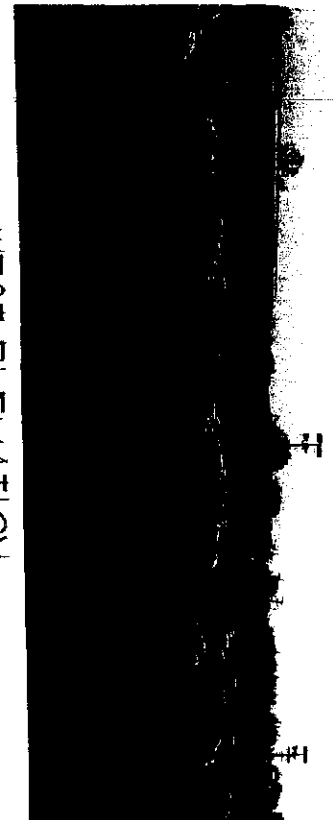
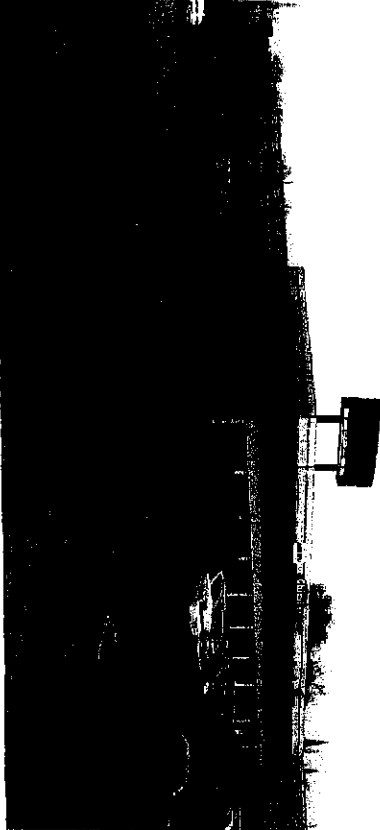
OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_  
ARCHITECT: *Mark Adams* DATE: 12.20.2013  
DECEMBER 20, 2013

PLANS & SPECS ARE THE PROPERTY OF THE (ARCHITECT) ADAMS ARCHITECTURAL ASSOCIATES. NO OTHER PERSONS OR ENTITIES SHALL USE OR COPY PLANS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE ARCHITECT.

FLORISSANT SQUARE  
SHOPPING CENTER



SOUTHWEST ELEVATION



WEST ELEVATION



<p>STOCK LAYOUT FOR <b>AUTO TIRE</b> 530 NORTH HIGHWAY 67 FLORISSANT, MISSOURI 63031</p>		<p><b>ADAMS ARCHITECTURAL ASSOCIATES</b> ARCHITECTS 1001 N. GARDEN AVENUE, SUITE 100 ST. LOUIS, MISSOURI 63102 TEL: (314) 433-1100 FAX: (314) 433-1101 WWW.AA-ARCHITECTS.COM</p>		<p><b>PHI.0</b> SHEET REV. 11/01/05</p>	
--	--	--	--	---	--



Google earth

feet  
meters

1000

500

Good Earth

SITE IN RELATION TO MAJOR STREETS  
AND ALL ADJOINING PROPERTIES.


NOTES

ALL ADJOINING PROPERTIES ARE ZONED COMMERCIAL.

STORE LAYOUT FOR

# AUTO TIRE

530 NORTH HIGHWAY 67  
FLORISSANT, MISSOURI 63031



**ADAMS ARCHITECTURAL ASSOCIATES**  
PHYSICIAN - ARCHITECTS - INTERIORS  
 1001 N. GARDEN ST. - SUITE 200  
 ST. LOUIS, MO. 63102  
 (314) 435-1234

DATE: \_\_\_\_\_

PH1.1

NO. OF SHEETS: \_\_\_\_\_

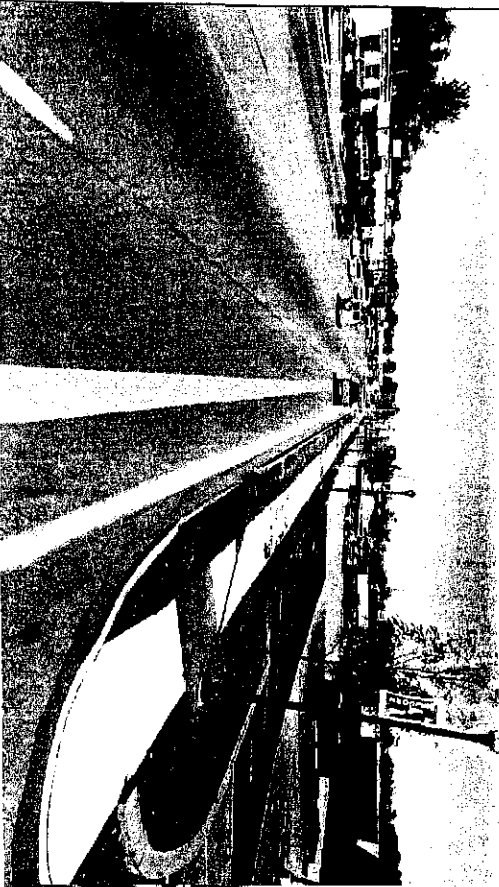
NO. OF SHEETS: \_\_\_\_\_



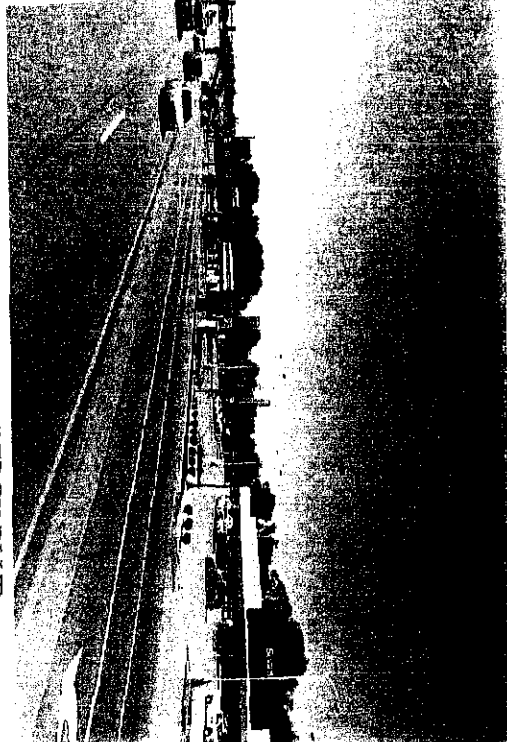
<p>STREET PH1.2</p>	<p>STORE LAYOUT FOR <b>AUTO TIRE</b> 330 NORTH HIGHWAY 67 FLOISSANT, MISSOURI 63031</p>		<p><b>ADAMS ARCHITECTURAL ASSOCIATES</b> 1001 N. GARDEN ST. / SUITE 100 ST. LOUIS, MO 63102 TEL: 314.433.1111 FAX: 314.433.1112 WWW.AAARCHITECTS.COM</p>	<p>DATE: 10/15/10 BY: [Signature] CHECKED: [Signature] APPROVED: [Signature]</p>	<p>SCALE: 1/8" = 1'-0"</p>
	<p>DATE: 10/15/10</p>	<p>BY: [Signature]</p>			



NORTHWEST ELEVATION OF ENTIRE SITE



NORTHWEST ELEVATION OF ENTIRE SHOPPING CENTER  
SHOWING EXISTING FIRESTONE SIGN TO BE REPLACED  
WITH A NEW AUTO TIRE SIGN (SEE SHEET A3.2)



SOUTHWEST VIEW OFF OF LINDBERGH BLVD.  
ADJACENT PROPERTY IS ZONED COMMERCIAL

SHEET  
PH1.3

PROJ. NO. 2010.105

STORE LAYOUT FOR  
**AUTO TIRE**

530 NORTH HIGHWAY 67  
FLORISSANT, MISSOURI 63031

DATE	12/2/09	BY	ADAM
REVISION			



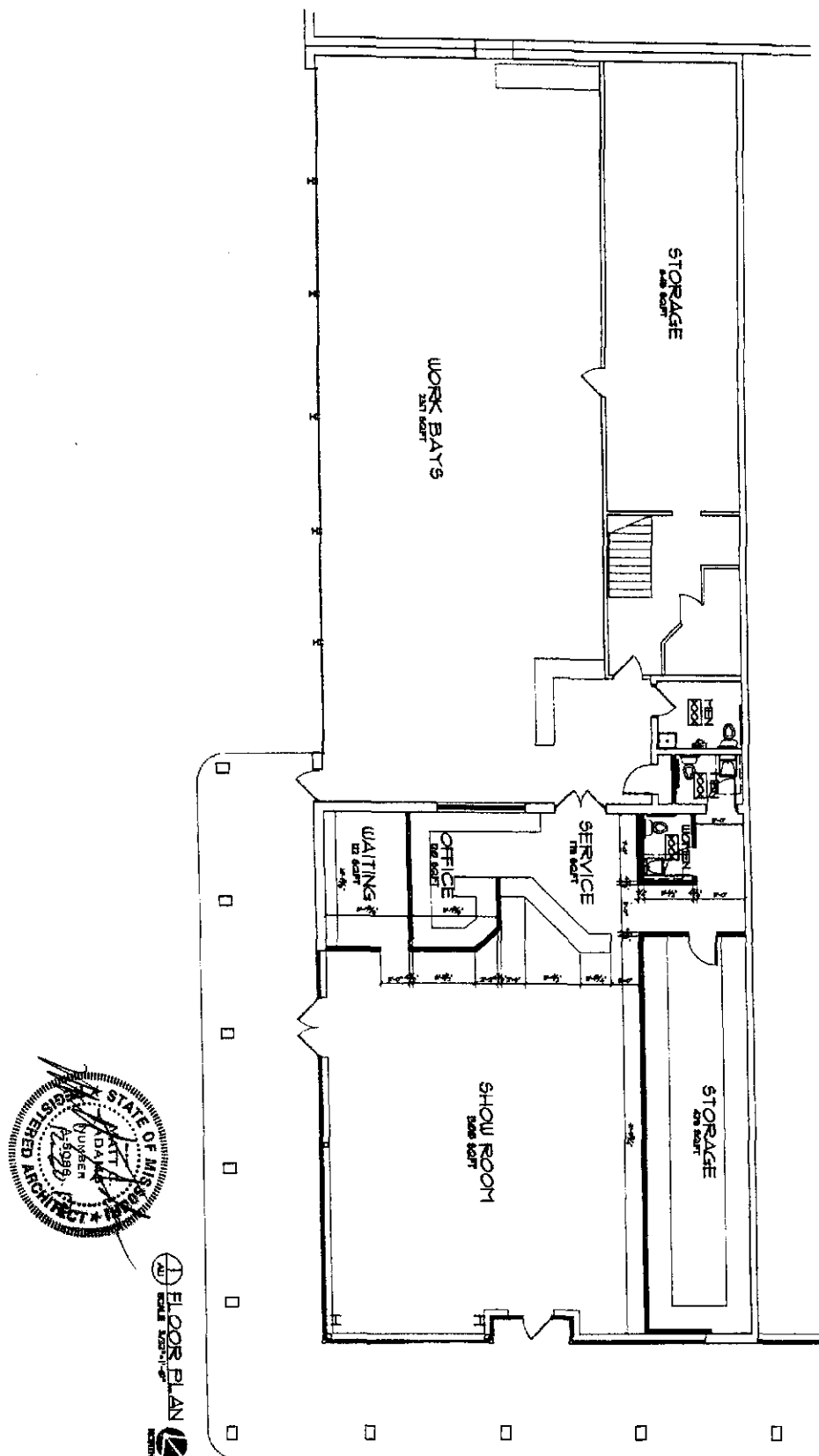
**ADAMB ARCHITECTURAL ASSOCIATES**

ARCHITECTS  
1000 N. GARDEN ST. SUITE 100  
ST. LOUIS, MO 63102  
TEL: 314.433.1000  
FAX: 314.433.1001  
WWW.ADAMBARCHITECTS.COM

NOTES:  
1. SEE SHEET PH1.1 FOR SITE PLAN  
2. SEE SHEET PH1.2 FOR ELEVATIONS  
3. SEE SHEET PH1.3 FOR SECTION  
4. SEE SHEET PH1.4 FOR DETAILS  
5. SEE SHEET PH1.5 FOR FINISHES  
6. SEE SHEET PH1.6 FOR SCHEDULE  
7. SEE SHEET PH1.7 FOR SPECIFICATIONS  
8. SEE SHEET PH1.8 FOR NOTES  
9. SEE SHEET PH1.9 FOR LEGEND  
10. SEE SHEET PH1.10 FOR INDEX

11. SEE SHEET PH1.11 FOR ELEVATIONS  
12. SEE SHEET PH1.12 FOR SECTION  
13. SEE SHEET PH1.13 FOR DETAILS  
14. SEE SHEET PH1.14 FOR FINISHES  
15. SEE SHEET PH1.15 FOR SCHEDULE  
16. SEE SHEET PH1.16 FOR SPECIFICATIONS  
17. SEE SHEET PH1.17 FOR NOTES  
18. SEE SHEET PH1.18 FOR LEGEND  
19. SEE SHEET PH1.19 FOR INDEX





PROJECT NO. 22031104


SHEET

A1.1

STORE LAYOUT FOR

# AUTO TIRE

530 NORTH HIGHWAY 67  
FLOESSANT, MISSOURI 63031



**ADAMS ARCHITECTURAL ASSOCIATES**  
WYATT C. ADAMS - ARCHITECT AIA / NCARB

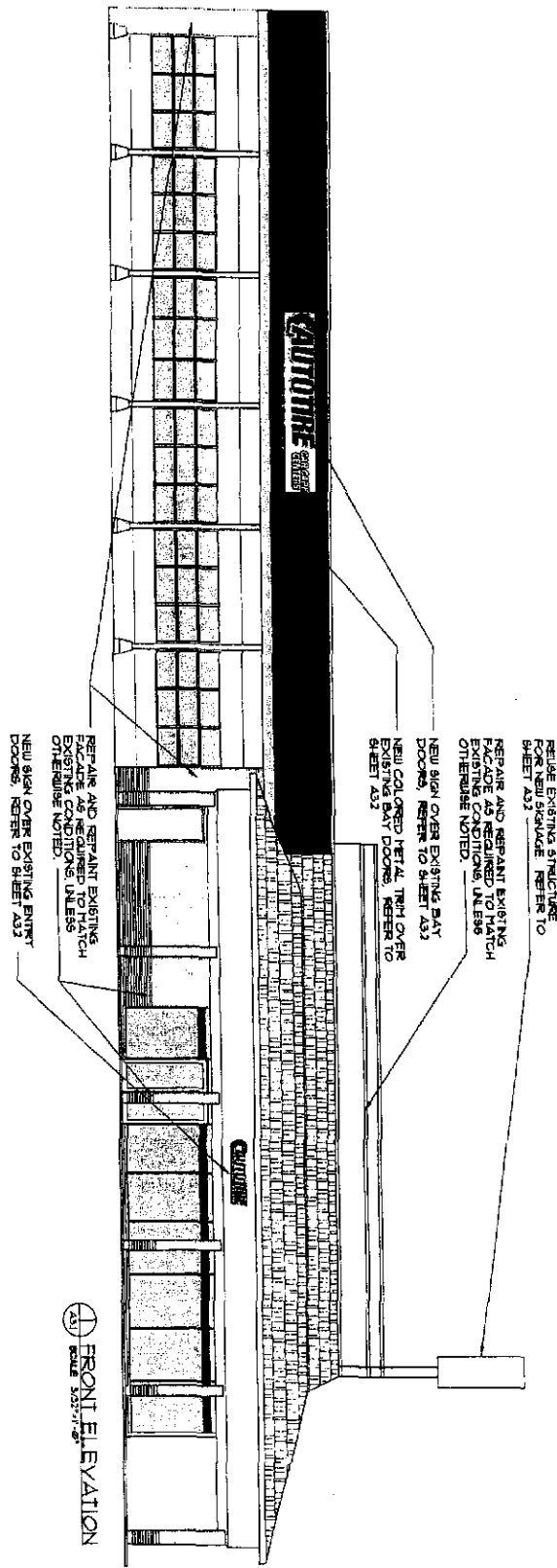
10000  
MISSOURI  
FLOESSANT  
FLOESSANT  
FLOESSANT

FO. BOX 280  
FLOESSANT, MO 63031-0280  
TEL. 636-271-1100  
FAX 636-271-1101

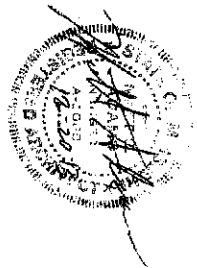
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DATE	DESIGNED	DRAWN	CHECKED
12/20/13	MA	RB	





FRONT ELEVATION



SEAL

THE PROFESSIONAL SEAL OF THE ARCHITECT  
MATT C. ADAMS  
STATE OF MISSOURI  
NO. 000000000  
DATE 12-20-13

ADAMS ARCHITECTURAL ASSOCIATES  
MATT C. ADAMS - ARCHITECT, AIA / NCARB  
ARCHITECTURAL SERVICES  
DESIGN  
CONSTRUCTION  
INTERIOR  
EXTERIOR  
P.O. BOX 210  
ST. LOUIS, MO 63101  
(314) 433-1111  
(314) 433-1112

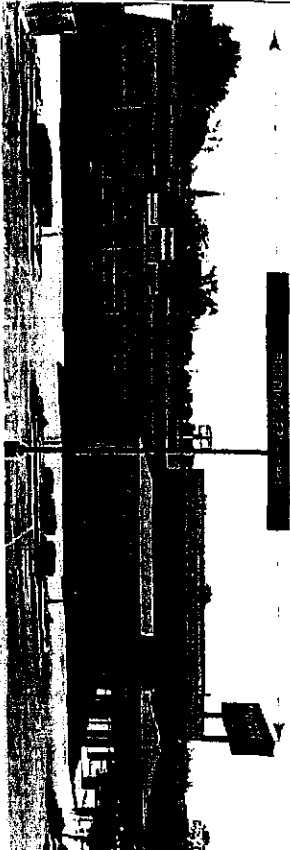
STORE LAYOUT FOR  
**AUTO TIRE**  
530 NORTH HIGHWAY 67  
FLORESSANT, MISSOURI 63031

DATE	DESIGNED	DRAWN	CHECKED
12/20/13	MA	RA	

SHEET  
**A3.1**

PROJECT NO. 2013.108

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QTY (2)  
ILLUM LETTERSET - 5IN DEEP  
21.5" X 80.5" (12SF)

REFACE EXISTING SIGN

NEW COLORED METAL TRIM  
OVER EXISTING BAY DOORS

QTY (1)  
ILLUM LETTERSET - 8IN DEEP  
EMBOSSED LEXAN FACE  
36" X 18" 6" (55.5SF)



FLORISSANT, MO - 530 N. HIGHWAY 67

SEAL

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(636) 335-1101  
(636) 335-1102

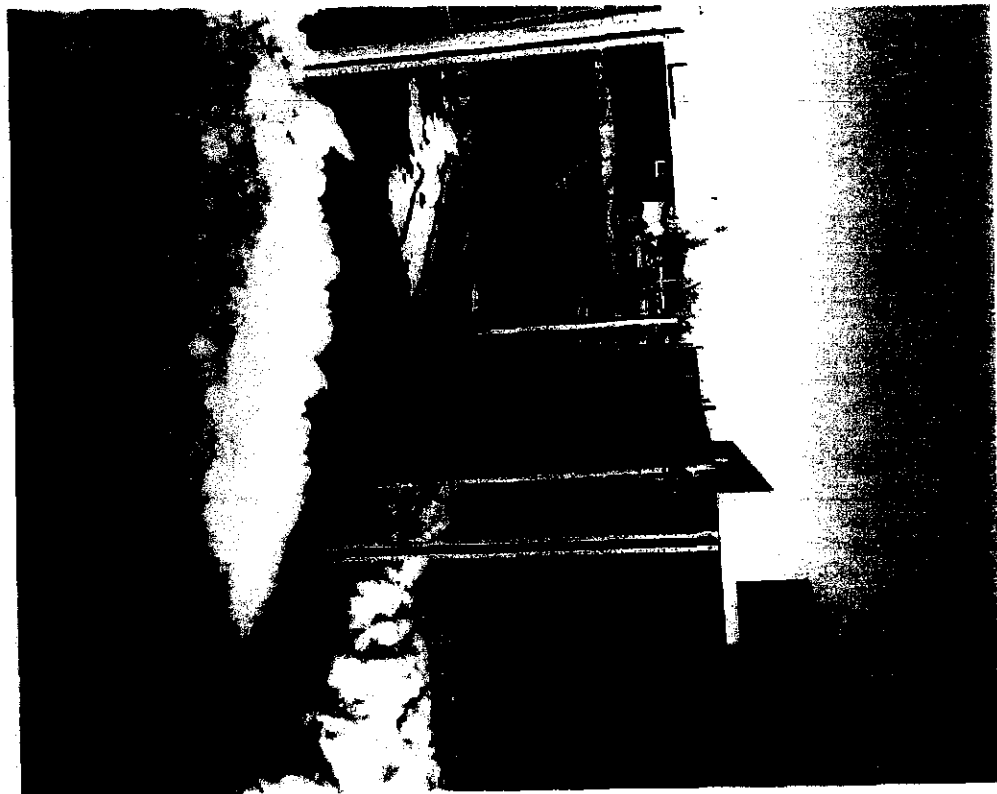
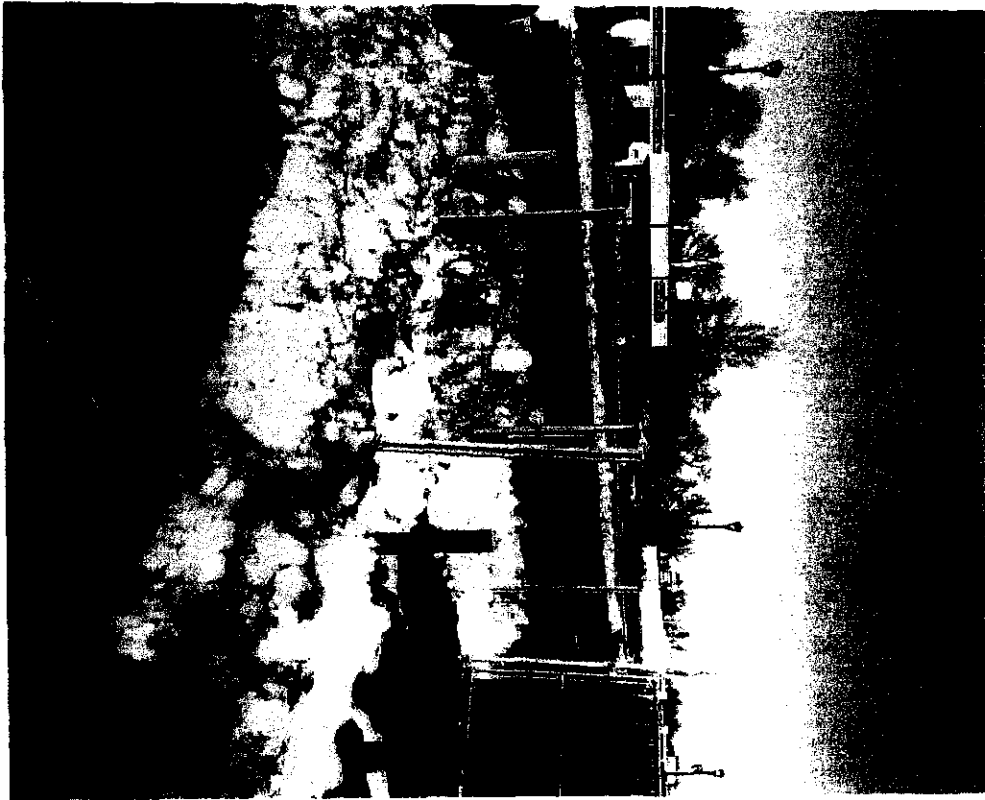
DATE 12/10/13  
DESIGNED MA  
DRAWN RA  
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PROJECT NO. 29.31101

SHEET  
A3.2

STORE LAYOUT FOR  
**AUTO TIRE**  
530 NORTH HIGHWAY 67  
FLORISSANT, MISSOURI 63031

EXISTING TRASH ENCLOSURE



SHEET PH1.0TE DRAWING NO. 21-100A	STORE LAYOUT FOR <b>AUTO TIRE</b> 330 NORTH HIGHWAY 67 FLOESSANT, MISSOURI 63031				 <b>ADAMS ARCHITECTURAL ASSOCIATES</b> 1001 N. W. 10th Ave. - Suite 100 Fort Lauderdale, Florida 33304 Phone: (305) 461-1111 Fax: (305) 461-1112	1/2" = 1' - 0" ALL RIGHTS RESERVED 1998	SEE 1/2" = 1' - 0" ALL RIGHTS RESERVED 1998
	DATE 12/20/98	DRAWN BY ME	CHECKED BY JOD	DESIGNED BY JOD			

