



FLORISSANT CITY COUNCIL AGENDA

City Hall

955 rue St. Francois

Monday September 28, 2020

7:30 PM

Karen Goodwin, MMC/MRCC



Due to COVID-19 pandemic and by Order of the Governor of the State of the Missouri and by Order of the St. Louis County Executive, the Council meeting will be conducted remotely with the City Council, Mayor, City Attorney, City Clerk, staff and residents being allowed to attend through a Zoom platform. The meeting will also be available to watch via live streaming on Facebook.

The public will be allowed to speak during “Hearing from Citizens” by attending via the Zoom link and typing your name and address in the “Chat” tab prior to or during that portion of the meeting. The public is also invited to submit written comments via email to kgoodwin@florissantmo.com prior to 3 pm on Monday September 28, 2020. Such public comments, provided they comply with the City’s guidelines found in section 110.090 of the Florissant City Code, will be read during the meeting and made a part of the official record of the meeting.

There are several Public Hearings scheduled during this meeting. The public is invited to provide comments on any Public Hearing in the following ways:

- Written comments sent prior to 3 pm on Monday September 28, 2020 to kgoodwin@florissantmo.com. Provided such comments comply with the City Code section 110.090, they will be read as a part of the public hearing for which the comment is addressed.
- Participate in the virtual meeting by offering comments when the public hearing is opened for that application. Participants will be prompted by the Council President after they submit their **name and address** in the “Chat” tab during that public hearing.

Residents are invited to attend the zoom meeting by the following methods:

As a matter of precaution, the Zoom meeting ID number and Password will be made available at Florissantmo.com, on the City of Florissant Facebook page at <https://www.facebook.com/Florissant.mo.us/>, and on the bulletin board in the Lobby at City hall, at 6pm on Monday September 28, 2020. If you need additional assistance please contact the City Clerk at kgoodwin@florissantmo.com.

Thank you for your patience and understanding regarding our meeting format change. It is extremely important that extra measures be taken to protect, employees, residents and elected officials during these challenging times.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- City Council Meeting minutes of September 14, 2020

IV. HEARING FROM CITIZENS

V. COMMUNICATIONS

VI. PUBLIC HEARINGS

20-09-027 (Ward 9) Application staff rpt Plans	Request to issue an amendment to B-5 Ordinance no. 7657, as amended, to allow for the redevelopment of a new banking facility for the property located at 2895 N. Hwy 67. (Planning and Zoning recommended approval on 9/7/2020)	Pamela Holmes
--	--	------------------

VII. OLD BUSINESS

A. BILLS FOR SECOND READING

9616	Ordinance to authorize an amendment to B-5 ordinance no. 6266, as amended, to allow for a new Tunnel Car Wash for the property located at 3180 N. Highway 67.	Siam
9617	Ordinance authorizing a Special Use permit for the expansion of a convenience store with liquor for the property located at 1763-1765 N. New Florissant Road.	Siam
9618	Ordinance authorizing an amendment to Title IV, "Land Use", Article IV, "District Regulations" Section's 405.035, 405.120 Subsection B, 405.115, Subsection B and 405.125, Subsection B, to allow state licensed Barber and Cosmetology Schools as a "Permitted Use" in B Zoning Districts.	Schildroth
S9619 Application	Ordinance authorizing a transfer of Special Use Permit no. 8607 from Hertz Corporation to Travers Auto Plaza for an auto sales and rental business for the property located at 1285 N Hwy 67.	Mulcahy

VIII. NEW BUSINESS

A. BOARD APPOINTMENTS

B. RESOLUTIONS

1018	A resolution endorsing the St. Louis Audubon Society's Bring Conservation Home Program.	Council as a Whole
------	---	--------------------

C. BILLS FOR FIRST READING

9623	Ordinance authorizing an amendment to B-5 Ordinance no. 7657, as amended, to allow for the redevelopment of a new banking facility for the property located at 2895 N. Hwy 67.	Siam
9624	Ordinance requesting that St. Louis County distribute \$47 million of Cares Act funds on a per capita basis to the municipalities within the county to be used for eligible expenses, authorizing the mayor of the City of Florissant, Missouri, to accept Cares Act funding and execute a municipality relief program funding agreement, and confirming agreement to indemnify and hold harmless St. Louis County from such distribution	Council as a whole
9625 Memo	Ordinance to amend Title II, Chapter 245 Section 254.030 "Park Hours" of the Florissant city code to allow for changes in park hours.	Schildroth
9626 Memo	Ordinance authorizing transfers within various Park Improvement Fund accounts for the parks department	Schildroth

IX. COUNCIL ANNOUNCEMENTS

X. MESSAGE FROM THE MAYOR

XI. ADJOURNMENT

THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON SEPTEMBER 25, 2020 AT 12:00 PM ON THE BULLETIN IN THE LOBBY AT CITY HALL. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, SEPTEMBER 28TH, 2020.

CITY OF FLORISSANT



COUNCIL MINUTES

September 14, 2020

Due to the Coronavirus (COVID-19) Pandemic, the Florissant City Council met in a virtual meeting through a Zoom platform on Monday, September 14, 2020 at 7:30 p.m. with Council President Schildroth presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Pagano, Parson, Siam, Harris, Manganelli, Caputa, Schildroth and Mulcahy. Councilman Eagan was excused. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

The City Attorney explained that the meeting was being conducted remotely because of the Coronavirus (COVID-19) Pandemic emergency. He stated that under the Sunshine Law, Section 610.015, when an emergency existed, the members of the City Council who are not physically present in the Council Chambers, can participate and vote remotely on all matters.

Councilman Siam moved to approve the City Council Minutes of August 24, 2020, seconded by Manganelli. Motion carried.

The next item on the Agenda was *A Special Presentation* from St. Louis Audubon's "Bring Conservation Home" Program. The use and incorporation of, and benefits to, implementing *Native Plant Landscaping* in yards and communities were presented. The Audubon Society will aid interested landowners or entities to integrate and apply best practices to the native plants implementation into their property.

The next item on the Agenda was *Proclamations*.

- Lt. Jeff Peters Retirement
- AAUW – American Association of University Woman

The next item on the Agenda was *Hearing from Citizens*.

The City Clerk read a letter from Martha Hessler, longtime resident, who advocates and supports the Audubon Society's *Native Plant Landscaping*. The program also provides a habitat for birds, butterflies, and bees.

The next item on the Agenda was *Communications* of which there were none.

36 The next item on the Agenda was *Public Hearings*.

37 The City Clerk reported that Public Hearing #20-09-024 to issue an amendment to B-5 Ord. No. 6266, as
38 amended, to allow for a new Tunnel Car Wash for the property located at 3180 N Highway 67 had been
39 advertised in substantially the same form as appears in the foregoing publication and by posting the property.
40 The Chair declared the Public Hearing to be open and invited those who wished to be heard to come forward.

41 Eric Kirchner, petitioner, stated that he hopes to build a fully automated car wash with 18 vacuum
42 spaces. The vacuums will be located on the Lindbergh side of the building. The proposed site is located on a
43 section of Lowe's property. There will be 4 parking spaces, 3 for employees and 1 will be ADA accessible.
44 There will be 25 stacking spaces available. The large trash enclosure will match the building and there will be
45 smaller receptacles at each bay. There will be no pole or pylon sign. The hours of operation are from 7-8
46 Monday thru Saturday and 8-8 on Sunday. They will be submitting a landscaping plan that will meet the city's
47 code. There will be no access to the carwash directly from Lindbergh. The only access will be through interior
48 lanes on the site.

49 In response to Councilman Siam's question, the petitioner replied that the car wash will be 60-70 feet off
50 of Lindbergh. The carwash is a tunnel car wash with no individual bays. The masonry requirements were
51 approved by the Planning & Zoning Commission and according to the requirements of the B-5 ordinance.

52 .Some grading will occur and a retaining wall with fencing will be installed. This will require
53 Metropolitan Sewer District (MSD) approval and permitting due to storm water run-off.

54 Being no citizens who wished to speak, Councilman Siam moved to close P.H. #20-09-024, seconded by
55 Pagano. Motion carried.

56 The City Clerk reported that Public Hearing #20-09-025 on a request to authorize a Special Use
57 Permit for the expansion of a convenience store with liquor for the property located at 1763-1765 N.
58 New Florissant Road had been advertised in substantially the same form as appears in the foregoing
59 publication and by posting the property. The Chair declared the Public Hearing to be open and invited
60 those who wished to be heard to come forward.

61 Mr. Patel, petitioner, stated that his current store was very narrow and small and needed room
62 to expand. The Council asked him to please keep the trash in the parking lot and the bushes picked up.

63 Being no citizens who wished to speak, Councilman Mulcahy moved to close P.H. #20-09-025,
64 seconded by Harris. Motion carried.

65 The City Clerk reported that Public Hearing #20-09-026 on a request to amend the Zoning Code
66 to allow state licensed Barber and Cosmetology Schools as "Permitted Uses" in B Zoning Districts had
67 been advertised in substantially the same form as appears in the foregoing publication and by posting

68 the same. The Chair declared the Public Hearing to be open and invited those who wished to be heard
69 to come forward.

70 Mr. Phil Lum, Building Commissioner, stated that staff recommended this zoning change
71 because historically, schools were not allowed in shopping centers. When the Council passed an
72 ordinance that prevented day cares and schools from opening in shopping centers, cosmetology and
73 barber schools also were absorbed into that ordinance as well. Cosmetology and barber schools are
74 attended by adults, not children, and are obviously different than day care centers. State licenses are
75 required. There is currently interest in this type of business by a potential applicant.

76 Being no citizens who wished to speak, Councilman Parson moved to close P.H. #20-09-026,
77 seconded by Schildroth. Motion carried.

78 The Chair stated that the next item on the agenda was Second Readings.

79 Councilman Schildroth moved that Bill No. 9614 an Ordinance authorizing supplemental re-
80 appropriations of Fiscal Year 2019 outstanding purchase orders in various funds be read for a second
81 time, seconded by Caputa. Motion carried and Bill No. 9614 was read for a second time. Councilman
82 Schildroth moved that Bill No. 9614 be read for a third time, seconded by Pagano. Motion carried and
83 Bill No. 9614 was read for a third and final time and placed upon its passage.

84 Before the final vote all interested persons were given an opportunity to be heard. Being no
85 citizens who wished to speak, on roll call the Council voted: Pagano yes, Parson yes, Siam yes, Harris
86 yes, Manganelli yes, Eagan absent, Caputa yes, Schildroth yes and Mulcahy yes. Whereupon the Chair
87 declared Bill No. 9614 to have passed and became Ordinance No. 8629.

88 Councilman Siam moved that Bill No. 9615 Ordinance authorizing a Special Use Permit to A &
89 C Happy Hour, LLC to allow for a Wine and Spirits establishment for the property located at 3425 N
90 Highway 67 be read for a second time, seconded by Parson. Motion carried and Bill No. 9615 was read
91 for a second time. Councilman Siam moved that Bill No. 9615 be read for a third time, seconded by
92 Schildroth. Motion carried and Bill No. 9615 was read for a third and final time and placed upon its
93 passage.

94 Before the final vote all interested persons were given an opportunity to be heard. Being no
95 citizens who wished to speak, on roll call the Council voted: Pagano yes, Parson yes, Siam yes, Harris
96 yes, Manganelli yes, Eagan absent, Caputa yes, Schildroth yes and Mulcahy yes. Whereupon the Chair
97 declared Bill No. 9615 to have passed and became Ordinance No. 8630.

98 The next item on the Agenda was Board Appointments.

99 Councilwoman Pagano moved to approve the Mayor's re-appointment of Fred Schaljo to the
100 Youth Advisory Commission as an adult member with an expiration date of 1/22/2023, seconded by
101 Caputa. Motion carried.

102 Councilman Siam moved to approve request for a Full Package Liquor License for A & C
103 Happy Hour, LLC, for the property located at located at 3425 N Highway 67, seconded by Schildroth.
104 On roll call the Council voted: Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan
105 absent, Caputa yes, Schildroth yes and Mulcahy yes. The liquor license was approved.

106 Councilman Mulcahy moved to accept the application for a transfer of Special Use Permit No.
107 8607 from Hertz Corporation to Travers Auto Plaza for the property located at 1285 N. Highway 67.
108 Councilman Mulcahy moved to hear from the petitioner, seconded by Caputa, motion carried.

109 Mr. Glen Travers appeared before the Council and enumerated all improvements that he has
110 made to the property including repaving the asphalt. Councilman Mulcahy noted that a substitute bill
111 would need to be introduced at the next meeting to include the sale of automobiles on the site.

112 On the motion to accept the application for the transfer, the motion was seconded by
113 Schildroth. Motion carried. The transfer was accepted.

114 Councilman Siam moved to accept the application for a transfer of Special Use Permit No. 6231
115 from Maureen Selzer to Rodrick Wanjala for Firehouse Subs Restaurant for the property located at
116 2312 N. Highway 67, seconded by Caputa, motion carried. The transfer was accepted.

117 The next item on the agenda was First Readings.

118 Councilman Schildroth introduced Bill No. 9616 an Ordinance authorizing an amendment to B-
119 5 Ord. No. 6266, as amended, to allow for a new Tunnel Car Wash for the property locat ed at 3180 N
120 Hwy. 67 and said Bill was read for the first time by title only.

121 Councilman Siam introduced Bill No. 9617 an Ordinance authorizing a Special Use Permit for
122 the expansion of a convenience store with liquor for the property located at 1763-1765 N New
123 Florissant Road and said Bill was read for the first time by title only.

124 Councilman Schildroth introduced Bill No. 9618 an Ordinance authorizing an amendment to
125 Title IV, "Land Use", Article IV, "District Regulations" Section's 405.035, 405.120 Subsection B,
126 405.115, Subsection B and 405.125, Subsection B, to allow state licensed Barber and Cosmetology
127 Schools as a "Permitted Use" in B Zoning Districts and said Bill was read for the first time by title only.

128 Councilman Siam introduced Bill No. 9619 an Ordinance authorizing a transfer of Special Use
129 Permit No. 8607 from Hertz Corporation to Travers Auto Plaza for the property located at 1285 N Hwy
130 67 and said Bill was read for the first time by title only.

131 Councilman Mulcahy introduced Bill No. 9620 an Ordinance authorizing a transfer of Special
132 Use Permit no. 8050 from CNMS, LLC d/b/a Firehouse Subs Restaurant to Wanjjala Capital II, LLC
133 for the property located at 2312 N. Highway 67 said Bill was read for the first time. Councilman
134 Schildroth moved that Bill No. 9620 be read for a second time, seconded by Pagano. Motion carried
135 and Bill No. 9620 was read for a second time. Councilman Schildroth moved that Bill No. 9620 be
136 read for a third time, seconded by Siam. On roll call the Council voted: Pagano yes, Parson yes, Siam
137 yes, Harris yes, Manganelli yes, Eagan absent, Caputa yes, Schildroth yes and Mulcahy yes. Having
138 received the unanimous vote of all members present Bill No. 9620 was read for a third and final time
139 and placed upon its passage. Before the final vote all interested persons were given an opportunity to be
140 heard.

141 Being no persons who wished to speak, on roll call the Council voted: Pagano yes, Parson yes,
142 Siam yes, Harris yes, Manganelli yes, Eagan absent, Caputa yes, Schildroth yes and Mulcahy yes.
143 Whereupon the Chair declared Bill No. 9620 to have passed and said Bill became Ordinance No. 8632.

144 Councilman Schildroth introduced Bill No. 9621 an Ordinance amending Title II of the
145 Florissant City Code, Section 210.720 relating to obstructing public places said Bill was read for the
146 first time. Councilman Caputa moved that Bill No. 9621 be read for a second time, seconded by
147 Pagano. Motion carried and Bill No. 9621 was read for a second time. Councilman Caputa moved that
148 Bill No. 9621 be read for a third time, seconded by Mulcahy. On roll call the Council voted: Pagano
149 yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan absent, Caputa yes, Schildroth yes and
150 Mulcahy yes. Having received the unanimous vote of all members present Bill No. 9621 was read for a
151 third and final time and placed upon its passage. Before the final vote all interested persons were given
152 an opportunity to be heard.

153 Mr. Baird stated he strongly supported this bill.

154 Ben Hammond asked for clarification and specifics of the ordinance and why it was being read
155 three times this evening. Mr. Hessel explained that there already existed an obstruction ordinance but
156 the current language was vague. This bill made the language more clear.

157 Being no other persons who wished to speak, on roll call the Council voted: Pagano yes, Parson
158 yes, Siam yes, Harris yes, Manganelli yes, Eagan absent, Caputa yes, Schildroth yes and Mulcahy yes.
159 Whereupon the Chair declared Bill No. 9621 to have passed and said Bill became Ordinance No. 8631.

160 Councilman Mulcahy introduced Bill No. 9622 an Ordinance amending Title III of the
161 Florissant City Code, Schedule XIII "Parking Prohibited at All Times on Certain Streets" by adding
162 thereto portions of Jefferson and St. Antoine said Bill was read for the first time. Councilman
163 Mulcahy moved that Bill No. 9622 be read for a second time for the purpose of discussion. He
164 informed the Council that after evaluating the decision of the Traffic Commission and the opinion of
165 nearby residents, he asked that the bill be voted down. On the motion for a second reading, the motion
166 failed.

167 The next item on the Agenda was Council Announcements.

168 Councilman Siam reminded everyone to continue to wear masks and socially distance even
169 though it is difficult for everyone. Unfortunately, COVID continues to spread. He informed everyone
170 that he has received many responses to his recent Ward 9 survey and he is now going through them all.

171 Councilman Caputa reminded everyone to secure their firearms and not leave guns in their
172 vehicles. He also stressed to residents to leave their porch lights on as a deterrent to crime. He stated
173 that water main work is also being done on Mullanphy and progress is being made. Please be patient.
174 He encouraged everyone to join the Neighborhood Watch.

175 Councilman Manganelli encouraged everyone to get to know their neighbors. It helps reduce
176 crime. October 13th is Taco Tuesday in Ward 2.

177 Councilwoman Pagano stated that now was a good time to become active in the local
178 Neighborhood Watch Program. Also, please contact her if interested in serving on one of the city's
179 Board or Commissions.

180 Councilman Parson announced that on September 19, Ward 8 will be hosting a Neighborhood
181 Watch Meeting at Dunegant Park from 10-2. St. Louis County COVID guidelines will be followed and
182 voter registration will be available.

183 Councilman Harris encouraged citizens to slow down when driving. There are many children
184 out in the neighborhoods and it is too dangerous. Be courteous.

185 Councilman Mulcahy stated that in regards to the Lafayette Street Project, it should be
186 completed approximately by the end of October. He thanked residents for their patience and added it
187 will be a big improvement to the area. He thanked all those involved with the city that procured the

188 grant for this project happen. He thanked all city employees for their hard word during this stressful
189 COVID time. He thanked the Mayor and Media Department for the 9-11 video that was recently aired.

190 Councilman Schildroth stated that the resurfacing project on Graham Road was progressing and
191 he asked residents to continue to be patient.

192 The next item was Mayor Announcements.

193 The Mayor announced the re-opening of City Hall, abiding by all St. Louis County pandemic
194 guidelines.

195 The Veterans Day Parade unfortunately has been cancelled this year due to COVID 19. The
196 police are seeing more cars left running, and, as a result are being stolen. This is unusual in the summer
197 months. Please remove your cars keys and lock your vehicles. He announced that City Clerk Karen
198 Goodwin will be receiving a public service award from NCI.

199 The Council President stated that the next regular City Council Meeting will be Monday,
200 September 28, 2020 at 7:30 pm.

201 Councilman Caputa moved to adjourn the meeting, seconded by Pagano. Motion carried. The
202 meeting was adjourned at 9:12 p.m.

203

204

205

206

207

208



Karen Goodwin, MPPA/MMC/MRCC
City Clerk

The following Bills were signed by the Mayor:

209	Bill No. 9614	Ord. 8629
210	Bill No. 9615	Ord. 8630
211	Bill No. 9621	Ord. 8631
212	Bill No. 9620	Ord. 8632

CITY OF FLORISSANT



PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, September 28, 2020 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 7657, as amended, to allow for the redevelopment of a new banking facility for the property located at 2895 North Highway 67 (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

1

MEMORANDUM



CITY OF FLORISSANT

2

3

4

5

6

7

8

9

10

11

12

13

14

To: Planning and Zoning Commissioners Date: August 14, 2020
Revised 9/2/20

From: Philip E. Lum, AIA-Building Commissioner cc: Todd Hughes, P.E.
 Director of Public Works
 Applicant
 Deputy City Clerk
 File

15

16

17

18

Subject: Request recommended approval for a 'B-5' Request **recommended approval** of a 'B-5' Planned Commercial District, to allow for redevelopment of a new bank located at **2895 N. Highway 67 (Chase Bank)** in a 'B-5' Zoning District.

19

STAFF REPORT
CASE NUMBER PZ-081720-2

20

21

22

23

24

I. PROJECT DESCRIPTION:

25

26

27

28

The request before the commission is for recommended approval for a 'B-5' Request **recommended approval** of a 'B-5' Planned Commercial District, to allow for redevelopment of a new bank located at **2895 N. Highway 67 (Chase Bank)** in a 'B-5' Zoning District.

29

30

31

32

Although the existing structure is not that old, a new 'B-5' Ordinance is recommended due to the fact that what is proposed is the demolition of the existing structure and a new facility with different Use. This type of work meets the definition of Re-Development.

33

34

35

36

37

38

39

40

Attached plans include **C1 and C7 dated rev 8/31/20, C6, C7, C8, C9, C13, C14, C15, and C16, dated 8/3/20 SUV-1, LP-1, LP-2, TP-1 TP-2, Proposed Exterior Elevations dated 7/20/20 by Core States Group and New Build Program by ICON pages 1-21 dated Rev 8/4/20.** Also submitted is an NFPA 285 Test Report No. H1152.01-121-24 to Arconic Architectural Products by Intertek Architectural Testing and warranty information for exterior materials, including Coronado Stone, Nichiha cement wall panels and Reynobond aluminum composite panels. The lab test submitted addresses fire resistance capacity of the Reynobond panels on a backup wall.

	41
BUILDING DESIGN:	42
	43
	44
The new bank building is proposed is 3564 square feet. The exterior of the building is	45
constructed of 50 year warranted cultured stone, Cement Panels which come in various	46
configurations of flat panels 5/8" lapped and wood look. Aluminum panels are used	47
surrounding a Southwest window element. Metal canopies, coping and storefront.	48
	49
The building is representative of a corporate prototype.	50
	51
PARKING AND DRIVEWAYS:	52
	53
There are 33 parking spaces proposed. The parking ordinance requires 13 spaces,	54
rounding down based upon s.f. The parking study presented shows justification for 38	55
spaces. Modifications that vary from the parking ordinance requires a parking study to	56
be submitted to P&Z and Council as part of the review process.	57
	58
WALKWAYS:	59
	60
Proposed is a walk way that is shown five feet wide or 7 feet wide around 3 sides of the	61
building.	62
	63
LANDSCAPING:	64
	65
SUV-1 shows the existing survey containing many existing trees over 6" in diameter.	66
The perimeter of the property contains deciduous trees with grass. There are three	67
landscaped islands in the main parking area. There are landscape beds around the	68
building perimeter containing a variety of shrubs, meeting the landscape ordinance for	69
building planting. Landscape calcs are shown in compliance on Sheet LP-1.	70
	71
TP-1 shows a chart of Tree disposition with one tree removal.	72
TP-2 indicates tree protection details for construction.	73
	74
STORMWATER AND SEWER CONCEPT:	75
	76
Concept grading and drainage plans are shown on sheets C8 and C9.	77
	78
	79
SITE LIGHTING:	80
	81
There are several sheets of drawings, C13-C16 devoted to lighting the site. The lights	82
will be 28 feet tall. The Photometric drawing indicates that the light levels will range	83
from a maximum of 4+ foot candles to a low of 0.5 foot candles. The highest intensity is	84
directly below the lights and disperses evenly over the lot.	85
	86

87
88 **SIGNAGE:**
89

90 The proposal includes areas for wall signs of 24 s.f. and there is a pole sign and a
91 directional sign . The 15 foot tall Post Sign is located 26.5' from the front property
92 line to the center of the sign in an island and the 3 foot tall directional sign is located
93 within the front setback. Therefore, all wall signs conform to the dimensions and
94 construction of a wall sign according to the Florissant Code, but the post sign and one
95 directional sign does not meet the code for location and therefore, must be
96 considered for recommendation and inclusion in the 'B-5' ordinance, as such special
97 locations are stated under city code section 520.090 and directional signs are
98 currently undifferentiated and deemed 'Ground Signs', under the sign code:
99

100
101 Section 520.050 Ground Signs.

102 [Code 1980 §23-5; CC 1990 §5-195; Ord. No. 6704, 6-10-2002]
103

104 *A. Material. All ground signs for which a permit is required under this Article shall have a surface or*
105 *facing of incombustible material, but combustible structural trim may be used thereon.*
106

107 *B. Letters, Figures, Etc. All letters, figures, characters or representations in cut-out, irregular form,*
108 *maintained in conjunction with, attached to or superimposed upon any sign, which shall be safely and*
109 *securely built or attached to the sign structure, shall comply with all the requirements of this Article.*
110

111 *C. Height. It shall be unlawful to erect any ground sign whose total height is greater than twenty-five*
112 *(25) feet above the level of the street upon which the sign faces or above the adjoining ground level if*
113 *such ground level is above the street level; however, such sign or signs may be erected and maintained to*
114 *a total height of forty (40) feet upon approval by a majority of the Planning and Zoning Commission,*
115 *subject to conditions and restrictions deemed appropriate by the Planning and Zoning Commission and*
116 *as otherwise required by this Article.*
117

118 *D. Location. No ground sign shall be nearer than two (2) feet to any other sign, building or structure.*
119 *No ground sign shall be nearer the street than the building line established by law. Ground signs are*
120 *prohibited in shopping centers and all existing ground signs in a shopping center shall be removed by*
121 *July 31, 1973; however, a special permit authorizing the location of a ground sign may be issued by the*
122 *Council if the Council finds that the issuance of such permit shall alleviate a hardship and is not simply*
123 *for the convenience of the applicant, that such proposed sign would be consistent with good planning*
124 *practices, can be maintained in a manner which is visually compatible with the use of the property in the*
125 *surrounding area and other sign structures within the surrounding area and is not located in the historic*
126 *district.*
127

128 520.090 Post Signs

129 [Code 1980 §23-9; CC 1990 §5-199]

130 *A. No post sign shall extend downward nearer than ten (10) feet to the ground or pavement unless such*
131 *sign is so located on the premises where there is no walk or drive-in traffic. Such excepted sign shall not*
132 *extend downward nearer than six (6) feet six (6) inches to the ground level. All post signs shall be*
133 *constructed of sheet metal or other non-combustible materials. Post signs shall be constructed and*
134 *braced to withstand a horizontal wind pressure of not less than thirty (30) pounds for every square foot*
135 *of surface exposed and shall be securely attached to the pole or post in an approved manner. No post*
136 *sign erected on private property shall extend more than four (4) feet six (6) inches from the building line,*
137 *including attachment irons and the like, unless the sign is less than four (4) feet six (6) inches in height,*
138 *in which case the maximum projection shall be six (6) feet six (6) inches from the building line. No post*
139 *sign shall exceed twenty-five (25) feet in height.*

140
141
142
143
144
145
146
147
148
149
150
151
152
153
154
155
156
157
158
159
160
161
162
163
164
165
166
167
168
169
170
171
172
173
174
175
176
177
178
179
180
181
182
183
184
185
186
187

B. Post signs are prohibited on shopping centers; but a special permit authorizing the location of a post sign may be issued by the Council if the Council finds that the issuance of such permit shall alleviate a hardship and is not simply for the convenience of the applicant, that such proposed sign would be consistent with good planning practices, can be maintained in a manner which is visually compatible with the use of the property in the surrounding area and other sign structures within the surrounding area and is not located in the historic district.

II. EXISTING SITE CONDITIONS:

The property is currently occupied by an existing building and parking for a restaurant, 54th Street Grill. The entire parking and restaurant is propose to be removed for this project.

III. SURROUNDING PROPERTIES:

The properties to the west are both in a B-3 District- 2855 N. Highway 67 toward the rear of the site is vacant Cleaners property and the AT&T building at 2875. The property to the North and East is currently in a B-5 District established for the Public Storage Facility at 14249 New Halls Ferry. The access drive for the Public Storage separates this site from the Denny's Restaurant at 2925 N. Highway 67.

IV. STAFF ANALYSIS:

The building as presented does not comply with the masonry ordinance. The trash enclosure must be constructed of compatible materials with concrete slab and 20' concrete approach. The height of the building is approximately twenty one foot six inches in height at the towers.
The parking spaces and number of spaces exceeds with the parking code. The drive aisles comply with width requirements for two way drives. There is one entrance drives from N. Highway 67 and the East entrance was originally designed to align with Denny's that would allow traffic onto the Public Storage access drive.
The site landscaping complies with the landscaping and screening ordinance. Because this property is over one acre, an irrigation system will be required per section 405.245 of the zoning code.

There is a walkway shown that wraps around three sides of the building to allow access to the entry.

The lot has some previous pavement for storm water. All storm water is shown to be directed to inlets and will be piped to the storm water system.

The lighting appears to be designed specifically for this type of development. There are several styles for area, parking and canopy applications. Given the location of the light standards, indication of manufacturer's cut-offs and the photometrics, indicates that glare toward North Highway 67 or the neighboring uses was considered and is limited.

188
189 The proposal includes areas for signs on 3 sides of the building and **one post sign and**
190 **one directional sign in the front setback. Other signs must meet the City Sign Code.**
191

192 **The petitioner is researching exterior materials records for information on Life**
193 **Cycle of materials proposed in lieu of compliance with the masonry ordinance.**
194

195
196 **VI. STAFF RECOMENDATIONS:**
197

198 **SUGGESTED MOTION**
199 **2895 NORTH HIGHWAY 67**
200

201 **1. PERMITTED USES**
202

203 The use permitted in this B-5 Planned Commercial District shall be
204 limited to a bank facility.
205

206 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**
207

- 208 a. The building shall be limited to a single story building with a total
209 square footage of approximately 3564 square feet. The main building shall
210 not exceed 22 feet in height. The building shall be constructed of as depicted
211 on the plans presented: **C1 and C7 dated rev 8/31/20, C6, C7, C8, C9, C13,**
212 **C14, C15, and C16, dated 8/3/20 ~~SUV-1~~, LP-1, LP-2, TP-1 TP-2, Proposed**
213 **Exterior Elevations dated 7/20/20 by Core States Group and New Build Program**
214 **by ICON pages 1-21 dated Rev 8/4/20.**
215

216 **3. PERFORMANCE STANDARDS**
217

218 Uses within this B-5 Planned Commercial District identified herein shall
219 conform to the most restrictive performance standards as set forth in Article
220 VII of the Florissant Zoning Code.
221

222
223 **5. FINAL SITE DEVELOPMENT PLAN GENERAL CRITERIA**
224

225 The above Final Site Development Plan shall include the following:
226

- 227 a. Location and size, including height of building, landscaping and general use
228 of the building.
229
230 b. Gross square footage of building.
231
232 c. Existing and proposed roadways, drives, and sidewalks on and adjacent to
233 the property in question.
234

d. Location and size of parking areas and internal drives.	235
e. Building and parking setbacks.	237
f. Curb cut locations.	239
g. Existing proposed contours at intervals of not more than two (2) feet.	241
h. Preliminary storm water and sanitary sewer facilities.	243
i. Identification of all applicable cross-access and cross-parking agreements.	245
6. FINAL SITE DEVELOPMENT PLAN CRITERIA	247
The above Final Site Development Plan shall adhere to the following specific design criteria:	250
a. Structure Setbacks.	252
(1) No building, excluding retaining walls and light standards shall be located within forty (40) feet of the right-of-way of North Highway 67.	255
(2) The setbacks shall be as approved by the Planning and Zoning Commission.	257
b. Parking, Loading and Internal Drives Setbacks.	259
(1) Parking, loading spaces, internal drives and roadways shall be located in accordance with the plans attached C7 dated rev 8/31/20 by Core States Group.	262
(2) All of the setbacks depicted on the Preliminary Development Plan are approved but may be modified with the approval of the Planning and Zoning Commission.	266
c. Minimum Parking/Loading Space Requirements.	268
(1) Parking regulations shall be as required by 405.225 of the Florissant Zoning Code, except as otherwise varied herein. There shall be a minimum of 33 parking spaces. Parking spaces shall comply with the Florissant parking requirements.	273
d. Road Improvements, Access and Sidewalks.	275
(1) The Director of Public Works, the Missouri Department of Transportation (MODOT) and St. Louis County Department of Highways shall approve any new work in the North Highway 67 right-of-way. The property owner shall comply with all requirements for	276
	277
	278
	279
	280

281 roadway improvements as specified by the Director of Public Works
282 and MODOT in approving new work.

283
284 e. Lighting Requirements.

285
286 Lighting of the property shall comply with the following standards and
287 requirements:

- 288
289 (1) All site lighting shall be as shown in accordance with the lighting plan
290 marked C13, C14, C15, C16, dated 8/3/20 by Core States Group..
291 (2) The maximum height of any lights, including base, light fixture and
292 light standard, shall be 28 feet above grade.
293 (3) All lot lighting shall be directed downward and inward to reduce glare
294 onto the adjacent properties and roads.
295

296 f. Sign Requirements.

- 297
298 (1) There shall be ~~one~~ ^{NOT} directional sign "E12" located as shown on
299 ICON New Build Program drawings 1-21 dated May 4, 2020.
300 (2) There shall be one Post Sign "E4" located as shown on ICON New
301 Build Program drawings 1-21 dated May 4, 2020.
302 (3) All other signage shall comply with the City of Florissant sign
303 ordinance.
304

305 g. Landscaping and Fencing.

- 306
307 (1) Landscaping shall be in accordance with the landscaping plan marked
308 LP-1, LP-2 dated 7/20/20 by Core States Group, except as amended
309 herein.
310 (2) The grass areas and landscaped areas shall have a fully operation
311 underground irrigation system.
312 (3) Any modifications to the landscaping plan shall be reviewed and
313 approved by the Planning and Zoning Commission.
314

315 h. Storm Water.

316
317 Storm Water and drainage facilities shall comply with the following
318 standards and requirements:

- 319
320 (1) Written approval of any required below ground storm water detention
321 by the Metropolitan St. Louis Sewer District shall be filed with the
322 Department of Public Works.
323
324 (2) The Director of Public Works shall review the storm water plans to
325 assure that storm water flow will have no adverse affect the
326 neighboring properties or roads.

	327
i. Miscellaneous Design Criteria.	328
	329
(1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.	330
	331
(2) The minimum yard requirements shall be as shown on the preliminary site plan marked C7 dated 7/20/20 by Core States Group.	332
	333
	334
	335
(3) All dumpsters shall be contained within a trash enclosure constructed of material to match the building with gates that are solid metal, metal reinforced vinyl or metal picket type with a maximum spacing of the pickets of 2 inches. The trash enclosure shall be located as shown on the preliminary site plan marked C7 dated 7/20/20 by Core States Group.	336
	337
	338
	339
	340
	341
(5) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.	342
	343
	344
	345
(6) All mechanical equipment shall be roof mounted and screened from view by the building parapet walls. All electrical equipment shall be properly screened with landscaping as required by section 405.245 of the Florissant Municipal Code.	346
	347
	348
	349
	350
	351
(7) Unless and except to the extent otherwise specifically provided herein, the Final Site Development Plan shall comply and be in accordance with all other ordinances of the City of Florissant.	352
	353
	354
	355
7. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:	356
Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner must make a determination as to the extent of the changes per the following procedure:	357
	358
	359
	360
1. The property owner or designate representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.	361
	362
	363
	364
	365
	366
2. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City Council.	367
	368
	369
	370
	371
	372

- 373
374
375
376
377
378
379
380
381
382
383
384
385
3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
 4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
 5. Determination of major changes: If the Building Commissioner determines that an amendment to the 'B-5' is not required but the changes are major in nature, then the owner shall submit an application for review and approval by the Planning and Zoning commission.

386
387
388
389
390

12. **VERIFICATION PRIOR TO OCCUPANCY PERMIT**

Submit Final Development Plan for approval prior to recording per City Code Section 405.135.

391
392
393
394
395
396
397
398
399
400

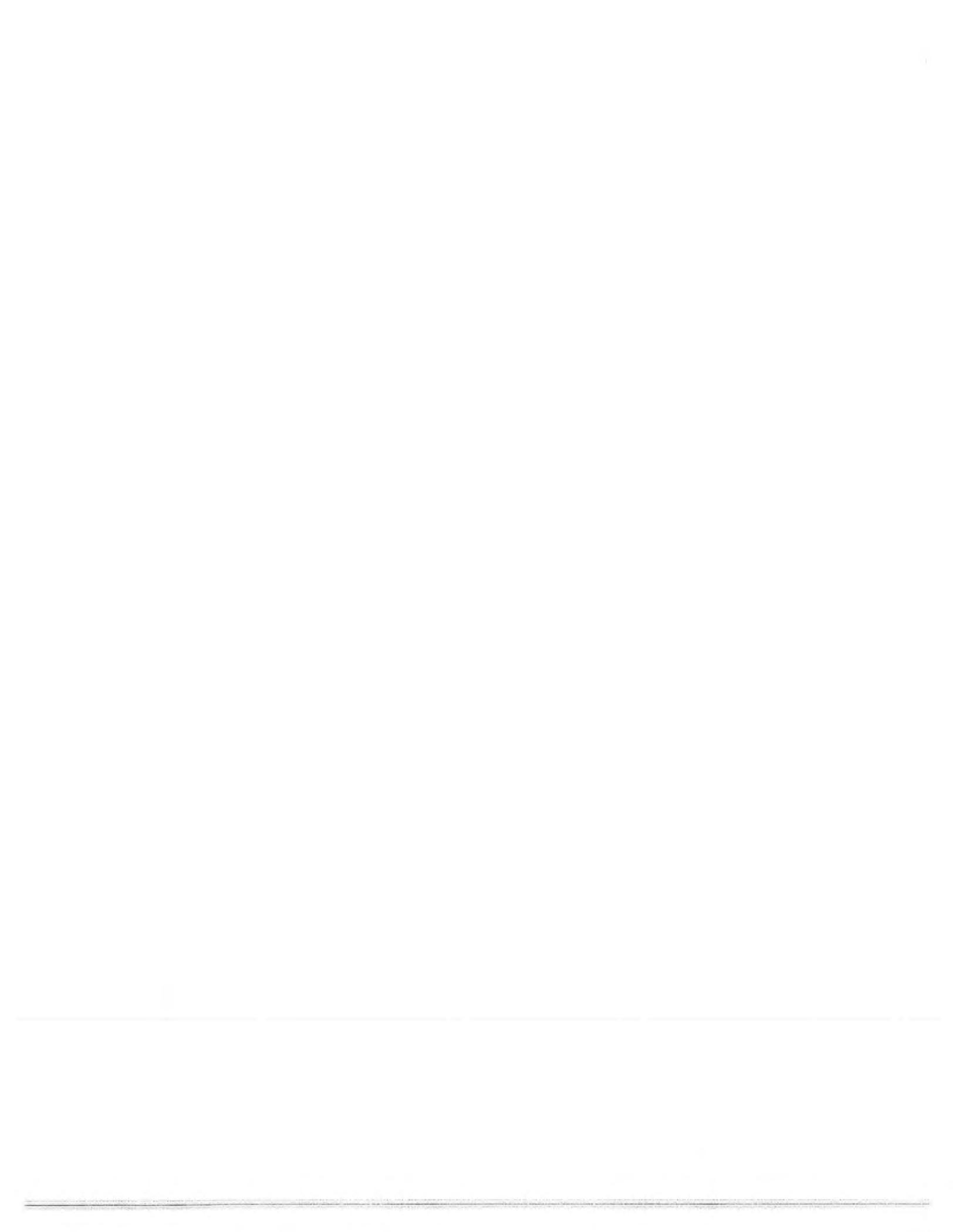
13. **GENERAL DEVELOPMENT CONDITIONS.**

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

401
402
403
404
405
406

7. **PROJECT COMPLETION.**

Construction shall start within 120 days of the issuance of building permits, and the development shall be completed in accordance of the final development plan within 540 days from start of construction.



**Application to the City of Florissant Planning & Zoning Commission (P&Z) to
Establish a 'B-5' Planned Commercial District (Re-Zoning) or to Amend the
Provisions of an Existing 'B-5' Ordinance**



PLANNING & ZONING ACTION:

**RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

Address of Property:

2895 N Highway 67 ST

Council Ward 9 Zoning B5-Planned Commercial

SIGN. 

DATE: 9.19.2020

Initial Date Petitioner Filed 07/20/2020
(Staff to complete Ward, Zoning & Date filed)

PETITION TO REZONE OR AMEND CONDITIONS OF A 'B-5' PLANNED COMMERCIAL DISTRICT
ORDINANCE # 7657 (Current Ord. #)

Enter ordinance number or number(s) if requesting to amend.

1) Comes Now JPMorgan Chase Bank, National Association
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described in this petition.

Legal interest in the Property Under Contract
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to sponsor such a bill.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned, by giving bearings & distances (metes and bounds). Not required if legal description is found identical on requirements of "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which 'B-5' is proposed 1.5 Acre

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a 'B-5' District and is presently being used as _____

'54th Street Bar and Grill', a sit-down restaurant.

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify this 'B-5' petition: A B-5 Amendment
is required in order to change the use to a banking/financial facility.

List reason for this request, i.e. "to allow for..."

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S REPRESENTATIVE Pam Holmes Pamela.Holmes@jpmchase.com
Print Name Email address

PETITIONER(S) SIGNATURE (S) Pam Holmes Digitally signed by Pam Holmes
Date: 2020.07.20 15:01:16 -05'00'

FOR JPMorgan Chase Bank, National Association
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
 I (we) have a legal interest in the herein above described property.
 I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present this petition to the Planning & Zoning Commission and Council. The agent must be approved by the owner to present the petition in this section, and provide address and telephone number

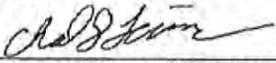
NAME JPMorgan Chase Bank, National Association
Name of Petitioner(s) Authorized Agent, Firm Name

ADDRESS 383 Madison Avenue, New York New York 10017
STREET CITY STATE ZIP CODE

PHONE 314-210-7690 Pamela.Holmes@jpmchase.com

I (we) the petitioner (s) do hereby appoint Chad D. Fairbanks, Core States Group cfairbanks@core-states.com as
BUSINESS Print name of agent. Email address

my (our) duly authorized agent to represent me (us) in regard to this petition.


Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporation registration.

1) Type of Operation: Individual: Partnership: Corporation:

(a) If an individual:

- (1) Name and Address _____
- (2) Phone Number _____ Email _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Phone Number _____ Email _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners JPMorgan Chase Bank, National Association
- (2) Phone Number 314-210-7690 Email Pamela.Holmes@jpmchase.com
- (3) Business address 383 Madison Avenue, New York, New York 10017
- (4) State of Incorporation & a photocopy of incorporation papers Delaware
- (5) Date of Incorporation 1968
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. N/A
- (8) Name in which business is operated Chase Bank
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name DK Commercial Real Estate LLC (Et Al)
Address 3991 Basalt Ct
Property Owner Lafayette, IN 47905
Location of property 2895 N Highway 67 ST, Florissant, MO 63033
Dimensions of property 178' x 363' (approx.)
Property is presently zoned B-5 per ordinance # 7657
Current & Proposed Use of Property Current: Restaurant Proposed: Banking Facility
Type of Sign _____ Height _____
Type of Construction Remodel of existing building Number Of Stories One
Square Footage of Building 3,440 sf Number of Curb Cuts 3 (no change)
Number of Parking Spaces 33 Sidewalk Length 179' (no change)
Landscaping: No. of Trees See Landscape Plan Diameter See Landscape Plan
No. of Shrubs See Landscape Plan Size See Landscape Plan
Fence: Type none Length n/a Height n/a

PLEASE SUBMIT NINE (10) FOLDED COPIES OF THE FOLLOWING:

Please provide one letter sized copy of all documents submitted for the overhead projector, presentation boards discouraged.

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing, to scale, showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list the address and state that it is part of the shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

- 1) a. Uses - Are uses stipulated Yes / No
 - b. What current District would this proposal be a permitted use: _____
 - c. Proposed uses for out lots: _____

- 2) Performance Standards:
 - a) Vibration: Are there any foreseen vibration problems at the property line? Yes / No
 - b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No
 - c) Odors: Is there any foreseen problem with odor? Yes / No
 - d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? Yes / No
 - e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No
 - f) Is there foreseen emissions of dirt, dust, fly ash, and other forms of particle matter? Yes / No
 - g) Is there any dangerous amount of radiation produced from the operation? Yes / No
 - h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No
 - i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc., shown? Yes / No
 - j) Is building(s) screened from adjoining residential? Yes / No

- 3) Is the height of structures shown? Yes / No

- 4) Are all setbacks shown? Yes / No

- 5) Are building square footages shown? Yes / No

- 6) What are the exterior construction materials on the building(s)? _____

- 7) Is off street loading shown? Yes / No

- 8) Parking:
 - a) Does parking shown meet the ordinance? Yes / No
 - b) Is a variance required in accordance with the ordinance? Yes / No
 - c) Ratio shown _____ to _____
 - d) Total Number _____
 - e) Will cross access and cross parking agreements be required? Yes / No
 - f) Is the parking lot adequately landscaped? Yes / No

- 9) Are there any signs? Yes / No
 - Number of signs shown _____
 - Type of Signs _____
 - Are sizes, heights, details, and setbacks shown? Yes / No

- 10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

- 11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient accessibility on the site plan shown? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

25) Staff Comments: _____

_____ **Date Application reviewed**

_____ **Building Commissioner or Staff Signature**

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40

MEMORANDUM



CITY OF FLORISSANT

To: Planning and Zoning Commissioners Date: August 14, 2020

From: Philip E. Lum, AIA-Building Commissioner cc: Todd Hughes, P.E.
Director of Public Works
Applicant
Deputy City Clerk
File

Subject: Request recommended approval for a 'B-5' Request **recommended approval** of a 'B-5' Planned Commercial District, to allow for redevelopment of a new bank located at **2895 N. Highway 67 (Chase Bank)** in a 'B-5' Zoning District.

STAFF REPORT
CASE NUMBER PZ-081720-2

I. PROJECT DESCRIPTION:

The request before the commission is for recommended approval for a 'B-5' Request **recommended approval** of a 'B-5' Planned Commercial District, to allow for redevelopment of a new bank located at **2895 N. Highway 67 (Chase Bank)** in a 'B-5' Zoning District.

Although the existing structure is not that old, a new 'B-5' Ordinance is recommended due to the fact that what is proposed is the demolition of the existing structure and a new facility with different Use. This type of work meets the definition of Re-Development.

Attached plans include C1, C6, C7, C8, C9, C13, C14, C15, C16, SUV-1, LP-1, LP-2, TP-1 TP-2, Proposed Exterior Elevations all dated 7/20/20 and Parking Study dated 8/12/20 all by Core States Group. Also submitted is an NFPA 285 Test Report No. H1152.01-121-24 to Arconic Architectural Products by Intertek Architectural Testing and warranty information for exterior materials, including Coronado Stone, Nichiha cement wall panels and Reynobond aluminum composite panels. The lab test submitted addresses fire resistance capacity of the Reynobond panels on a backup wall.

41 **BUILDING DESIGN:**

42

43 The new bank building is proposed is 3564 square feet. The exterior of the building is
44 constructed of 50 year warranted cultured stone, Cement Panels which come in various
45 configurations of flat panels 5/8" lapped and wood look. Aluminum panels are used
46 surrounding a Southwest window element. Metal canopies, coping and storefront.

47

48 The building is representative of a corporate prototype.

49

50 **PARKING AND DRIVEWAYS:**

51

52 There are 33 parking spaces proposed. The parking ordinance requires 13 spaces,
53 rounding down based upon s.f. The parking study presented shows justification for 38
54 spaces. Modifications that vary from the parking ordinance requires a parking study to
55 be submitted to P&Z and Council as part of the review process.

56

57 **WALKWAYS:**

58

59 Proposed is a walk way that is shown five feet wide or 7 feet wide around 3 sides of the
60 building.

61

62 **LANDSCAPING:**

63

64 SUV-1 shows the existing survey containing many existing trees over 6" in diameter.
65 The perimeter of the property contains deciduous trees with grass. There are three
66 landscaped islands in the main parking area. There are landscape beds around the
67 building perimeter containing a variety of shrubs, meeting the landscape ordinance for
68 building planting. Landscape calcs are shown in compliance on Sheet LP-1.

69

70 TP-1 shows a chart of Tree disposition with one tree removal.

71 TP-2 indicates tree protection details for construction.

72

73 **STORMWATER AND SEWER CONCEPT:**

74

75 Concept grading and drainage plans are shown on sheets C8 and C9.

76

77

78 **SITE LIGHTING:**

79

80 There are several sheets of drawings, C13-C16 devoted to lighting the site. The lights
81 will be 28 feet tall. The Photometric drawing indicates that the light levels will range
82 from a maximum of 4+ foot candles to a low of 0.5 foot candles. The highest intensity is
83 directly below the lights and disperses evenly over the lot.

84

85

86

87 **SIGNAGE:**

88
89 The proposal includes areas for wall signs and there appears to be no pole or ground sign.
90 Therefore, all signs conform to the dimension and construction of a wall sign according
91 to the Florissant Code.

92
93
94 **II. EXISTING SITE CONDITIONS:**

95
96 The property is currently occupied by an existing building and parking for a restaurant,
97 54th Street Grill. The entire parking and restaurant is propose to be removed for this
98 project.

99
100
101 **III. SURROUNDING PROPERTIES:**

102
103 The properties to the west are both in a B-3 District- 2855 N. Highway 67 toward the rear
104 of the site is vacant Cleaners property and the AT&T building at 2875. The property to
105 the North and East is currently in a B-5 District established for the Public Storage Facility
106 at 14249 New Halls Ferry. The access drive for the Public Storage separates this site
107 from the Denny's Restaurant at 2925 N. Highway 67.

108
109
110 **IV. STAFF ANALYSIS:**

111
112 The building as presented does not comply with the masonry ordinance. The trash
113 enclosure must be constructed of compatible materials with concrete slab and 20'
114 concrete approach. The height of the building is approximately twenty one foot six
115 inches in height at the towers.

116
117 The parking spaces and number of spaces exceeds with the parking code. The drive
118 aisles comply with width requirements for two way drives. There is one entrance drives
119 from N. Highway 67 and the East entrance was originally designed to align with Denny's
120 that would allow traffic onto the Public Storage access drive.

121
122 The site landscaping complies with the landscaping and screening ordinance. Because
123 this property is over one acre, an irrigation system will be required per section 405.245 of
124 the zoning code.

125
126 There is a walkway shown that wraps around three sides of the building to allow access
127 to the entry.

128
129 The lot has some pervious pavement for storm water. All storm water is shown to be
130 directed to inlets and will be piped to the storm water system.

131

132 The lighting appears to be designed specifically for this type of development. There are
133 several styles for area, parking and canopy applications. Given the location of the light
134 standards, indication of manufacturer's cut-offs and the photometrics, indicates that glare
135 toward North Highway 67 or the neighboring uses was considered and is limited.

136
137 The proposal includes areas for signs on 3 sides of the building and no pole signs or
138 directional signs. The signs must meet the City Sign Code.

139
140
141 **VI. STAFF RECOMENDATIONS:**

142
143 **SUGGESTED MOTION**
144 **2895 NORTH HIGHWAY 67**
145

146 **1. PERMITTED USES**

147
148 The use permitted in this B-5 Planned Commercial District shall be
149 limited to a bank facility.

150
151 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

- 152
153 a. The building shall be limited to a single story building with a total
154 square footage of approximately 3564 square feet. The main building
155 shall not exceed 22 feet in height. The building shall be constructed of
156 as depicted on the architectural elevations dated July 20, 2020 by Core
157 States Group.

158
159
160 **3. PERFORMANCE STANDARDS**

161
162 Uses within this B-5 Planned Commercial District identified herein shall
163 conform to the most restrictive performance standards as set forth in Article
164 VII of the Florissant Zoning Code.

165
166
167 **5. FINAL SITE DEVELOPMENT PLAN GENERAL CRITERIA**

168
169 The above Final Site Development Plan shall include the following:

- 170
171 a. Location and size, including height of building, landscaping and general use
172 of the building.
173
174 b. Gross square footage of building.
175
176 c. Existing and proposed roadways, drives, and sidewalks on and adjacent to
177 the property in question.

178
179
180
181
182
183
184
185
186
187
188
189
190
191
192
193
194
195
196
197
198
199
200
201
202
203
204
205
206
207
208
209
210
211
212
213
214
215
216
217
218
219
220
221
222
223
224

- d. Location and size of parking areas and internal drives.
- e. Building and parking setbacks.
- f. Curb cut locations.
- g. Existing proposed contours at intervals of not more than two (2) feet.
- h. Preliminary storm water and sanitary sewer facilities.
- I. Identification of all applicable cross-access and cross-parking agreements.

6. FINAL SITE DEVELOPMENT PLAN CRITERIA

The above Final Site Development Plan shall adhere to the following specific design criteria:

a. Structure Setbacks.

- (1) No building, excluding retaining walls and light standards shall be located within forty (40) feet of the right-of-way of North Highway 67.
- (2) The setbacks shall be as approved by the Planning and Zoning Commission.

b. Parking, Loading and Internal Drives Setbacks.

- (1) Parking, loading spaces, internal drives and roadways shall be located in accordance with the plans attached C1, C6, C7, C8, C9, C13, C14, C15, C16, SUV-1, LP-1, LP-2, TP-1 TP-2, Proposed Exterior Elevations all dated 7/20/20 by Core States Group.
- (2) All of the setbacks depicted on the Preliminary Development Plan are approved but may be modified with the approval of the Planning and Zoning Commission.

c. Minimum Parking/Loading Space Requirements.

- (1) Parking regulations shall be as required by 405.225 of the Florissant Zoning Code, except as otherwise varied herein. There shall be a minimum of 33 parking spaces. Parking spaces shall comply with the Florissant parking requirements.

d. Road Improvements, Access and Sidewalks.

- (1) The Director of Public Works, the Missouri Department of Transportation (MODOT) and St. Louis County Department of Highways shall approve any new work in the North Highway 67 right-

225 of-way. The property owner shall comply with all requirements for
226 roadway improvements as specified by the Director of Public Works
227 and MODOT in approving new work.
228

229 e. Lighting Requirements.
230

231 Lighting of the property shall comply with the following standards and
232 requirements:
233

- 234 (1) All site lighting shall be as shown in accordance with the lighting plan
235 marked C13, C14, C15, C16, dated 7/20/20 by Core States Group..
- 236 (2) The maximum height of any lights, including base, light fixture and
237 light standard, shall be 28 feet above grade.
- 238 (3) All lot lighting shall be directed downward and inward to reduce glare
239 onto the adjacent properties and roads.
240

241 f. Sign Requirements.
242

- 243 (1) All signage shall comply with the City of Florissant sign ordinance.
244

245 g. Landscaping and Fencing.
246

- 247 (1) Landscaping shall be in accordance with the landscaping plan marked
248 LP-1, LP-2 dated 7/20/20 by Core States Group.except as amended herein.
- 249 (2) The grass areas and landscaped areas shall have a fully operation
250 underground irrigation system.
- 251 (3) Any modifications to the landscaping plan shall be reviewed and
252 approved by the Planning and Zoning Commission.
253

254 h. Storm Water.
255

256 Storm Water and drainage facilities shall comply with the following
257 standards and requirements:
258

- 259 (1) Written approval of any required below ground storm water detention
260 by the Metropolitan St. Louis Sewer District shall be filed with the
261 Department of Public Works.
262
- 263 (2) The Director of Public Works shall review the storm water plans to
264 assure that storm water flow will have no adverse affect the
265 neighboring properties or roads.
266

267 i. Miscellaneous Design Criteria.
268

- 269 (1) All applicable parking, circulation, sidewalks, and all other site design
270 features shall comply with the Florissant City Code.

271
272
273
274
275
276
277
278
279
280
281
282
283
284
285
286
287
288
289
290
291
292
293
294
295
296
297
298
299
300
301
302
303
304
305
306
307
308
309
310
311
312
313
314
315

- (2) The minimum yard requirements shall be as shown on the preliminary site plan marked C7 dated 7/20/20 by Core States Group.
- (3) All dumpsters shall be contained within a trash enclosure constructed of material to match the building with gates that are solid metal, metal reinforced vinyl or metal picket type with a maximum spacing of the pickets of 2 inches. The trash enclosure shall be located as shown on the preliminary site plan marked C7 dated 7/20/20 by Core States Group.
- (5) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.
- (6) All mechanical equipment shall be roof mounted and screened from view by the building parapet walls. All electrical equipment shall be properly screened with landscaping as required by section 405.245 of the Florissant Municipal Code.
- (7) Unless and except to the extent otherwise specifically provided herein, the Final Site Development Plan shall comply and be in accordance with all other ordinances of the City of Florissant.

7. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner must make a determination as to the extent of the changes per the following procedure:

1. The property owner or designate representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.
2. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City Council.
3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.

316
317
318
319
320
321
322
323
324
325
326
327
328
329
330
331
332
333
334
335
336
337
338
339
340
341
342
343
344
345

- 4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
- 5. Determination of major changes: If the Building Commissioner determines that an amendment to the 'B-5' is not required but the changes are major in nature, then the owner shall submit an application for review and approval by the Planning and Zoning commission.

12. VERIFICATION PRIOR TO OCCUPANCY PERMIT

Submit Final Development Plan for approval prior to recording per City Code Section 405.135.

13. GENERAL DEVELOPMENT CONDITIONS.

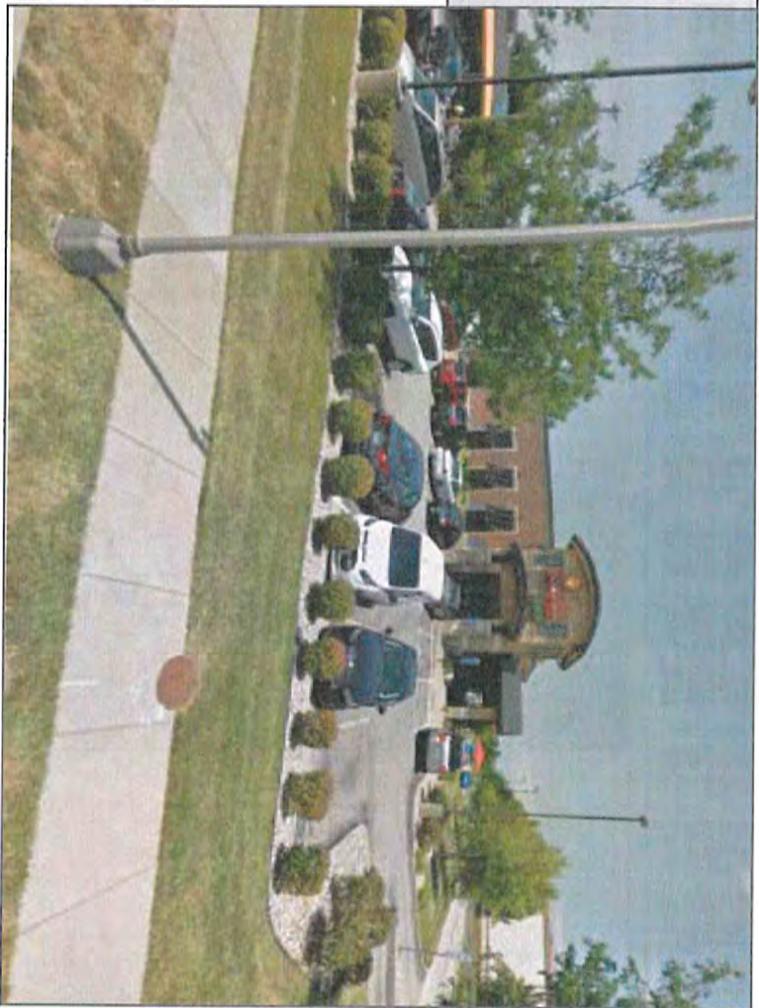
- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

7. PROJECT COMPLETION.

Construction shall start within 120 days of the issuance of building permits, and the development shall be completed in accordance of the final development plan within 540 days from start of construction.



New Build Program



REVISION NOTES:

Blank revision notes box.

Loc#: 63033 - Florissant OVP#: 38200P360980

2895 N Highway 67
Florissant, MO. 63033-1403



Location:
 2895 N Highway 87
 Florissant, MO, 63033-1403

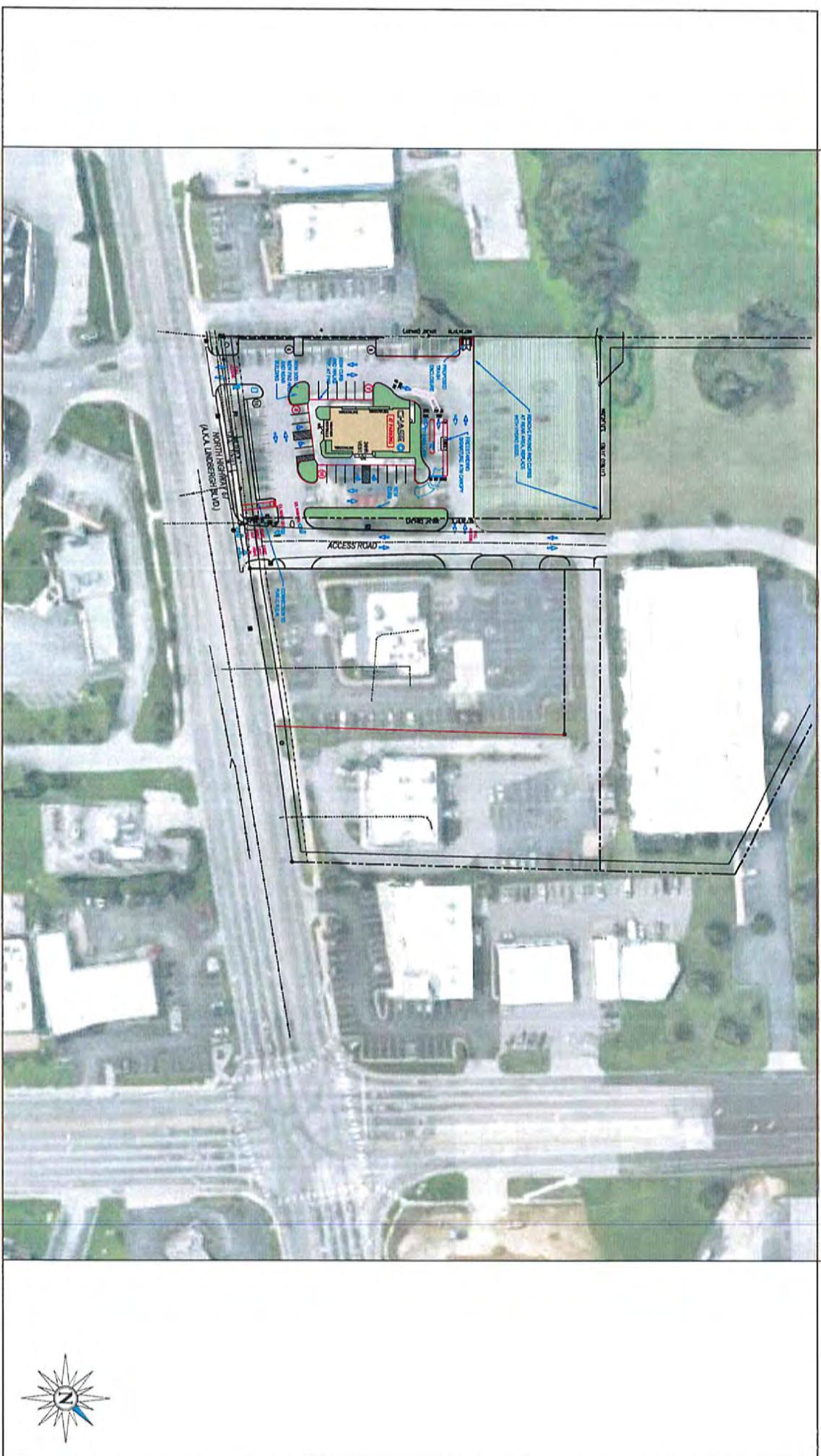
Proj #: 3456
Loc #: 63033
Order #: 1141346
AERIAL PLAN

CHASE

File Path:
 K:\ART\ACCOUNTS\Chase_Signature\3456_New Builds\Locations\3456_63033_Florissant_MO.cdr

Rev#:	Req. #:	Date:	Artist:	Rev#:	Req. #:	Date:	Artist:	Rev#:	Req. #:	Date:	Artist:
Original	328537	07/29/20	KP	Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX
Rev 1	328861	08/04/20	BV	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted. **DWG Page 2**



SCOPE OF WORK	
101	BITKO 24" Illuminated Octagon
102	ADA-EP Accessible Building Entrance
103	ADA-EX Permanent Exit Door Signage
104	ADA-R1-X Permanent Room Id Signage
105	ADA-RRAG-A-G All Gender Neutral Restroom Signage
106	ADA-RRAG-A-G All Gender Neutral Restroom Signage
107	ADA-TW Accessible Teller Window
108	ADA-TW-ALS Accessible Teller Window
109	SUR-TTW-4-TP ATM Surround

EXTERIOR
INTERIOR

DESIGN STANDARDS	
CB 20.2	
HARDNESS ZONE	6A
WEATHER VESTIBULE REQUIRED *	
* HARDNESS ZONES 4-6A	

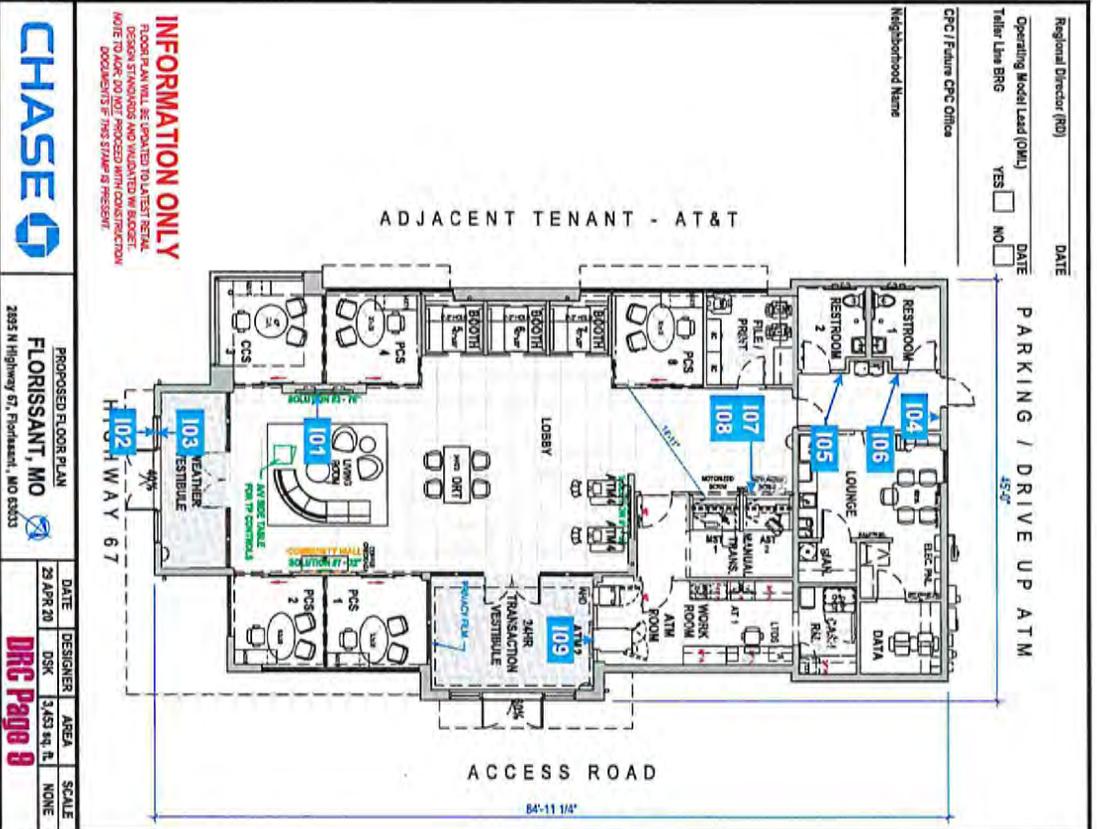
Drawing prepared by:
ICON

Location:
2895 N Highway 67
Florissant, MO, 63033-1403

Proj #: 3456
Loc #: 63033
Order #: 1141346
FLOOR PLAN

Drawing prepared for:
CHASE

Regional Director (RD) _____ DATE _____
Operating Model Lead (OML) _____ DATE _____
Teller Line BRG YES NO
CFC Future CFC Office _____
Neighborhood Name _____



INFORMATION ONLY
FLOOR PLAN WILL BE UPDATED TO LATEST RETAIL DESIGN STANDARDS AND VALIDATED BY SUBJECT. NOTE TO A/E: DO NOT PROCEED WITH CONSTRUCTION DOCUMENTS IF THIS STAMP IS PRESENT.

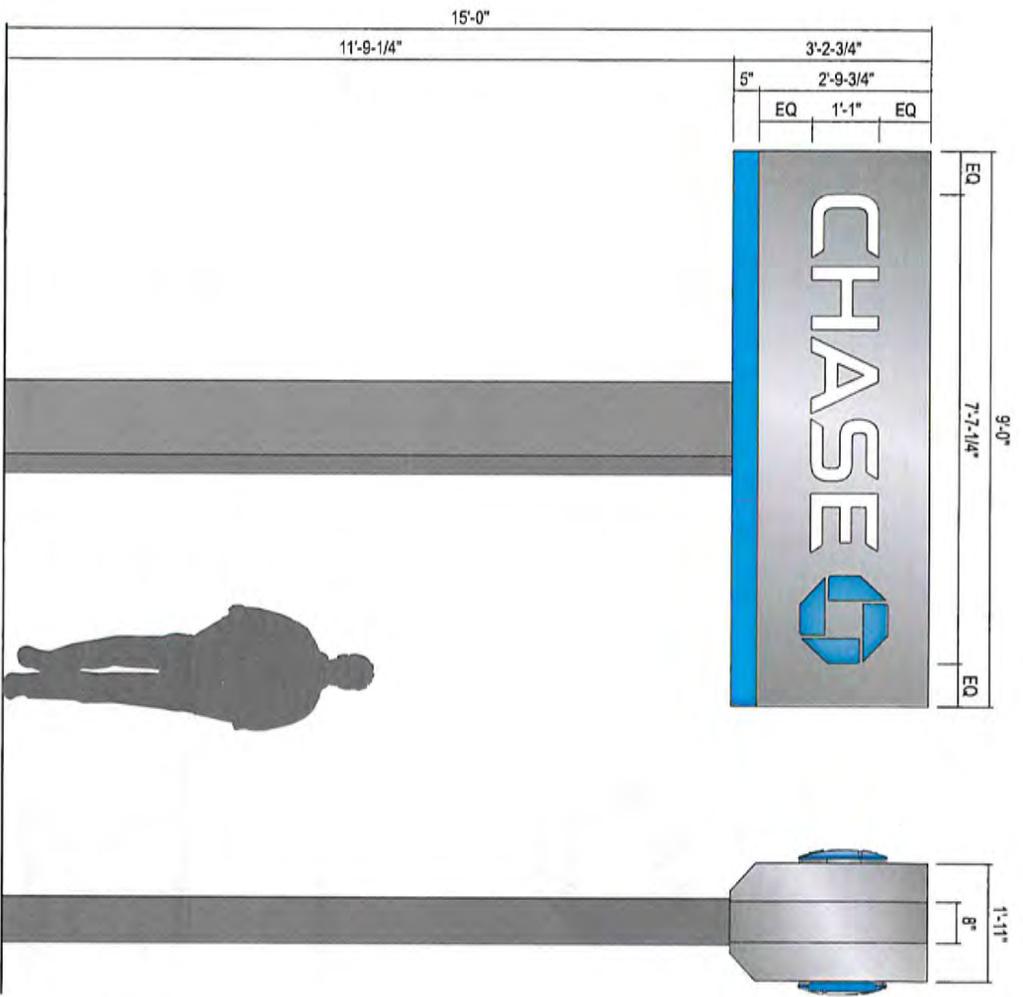
CHASE
PROPOSED FLOOR PLAN
FLORISSANT, MO
2895 N Highway 67, Florissant, MO 63033

DATE	DESIGNER	AREA	SCALE
29 APR 20	DSK	3,453 sq. ft.	NONE
DRC Page 8			

Rev. #	Original	Req. #	Date	Artist	Rev. #	Req. #	Date	Artist			
Rev 1	3288537	07/29/20	KP	Rev 3	0000000	00/00/00	XXX	Rev 7	0000000	00/00/00	XXX
Rev 2	3288861	08/04/20	XXX	Rev 4	0000000	00/00/00	XXX	Rev 8	0000000	00/00/00	XXX
	0000000	00/00/00	XXX	Rev 5	0000000	00/00/00	XXX	Rev 9	0000000	00/00/00	XXX
	0000000	00/00/00	XXX	Rev 6	0000000	00/00/00	XXX	Rev 10	0000000	00/00/00	XXX

DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ICON. ANY UNAUTHORIZED USE OR DUPLICATION IS NOT PERMITTED.

DRC Page 4



E01 HP-29 D/F ILLUMINATED PYLON SIGN - 29 Sq.Ft.
QTY: 1

Side View
SCALE: 1/2"=1'-0"

Drawing prepared by:
ICON

Location: 2895 N Highway 67
Florissant, MO, 63033-1403
File Path: K:\ART\ACCOUNTS\Icon\Chase Signatures\3456_New Build\Locations\3456_63033_Florissant_MO.cdr

Proj #: 3456
Loc #: 63033
Order #: 1141346
RECOMMENDATIONS

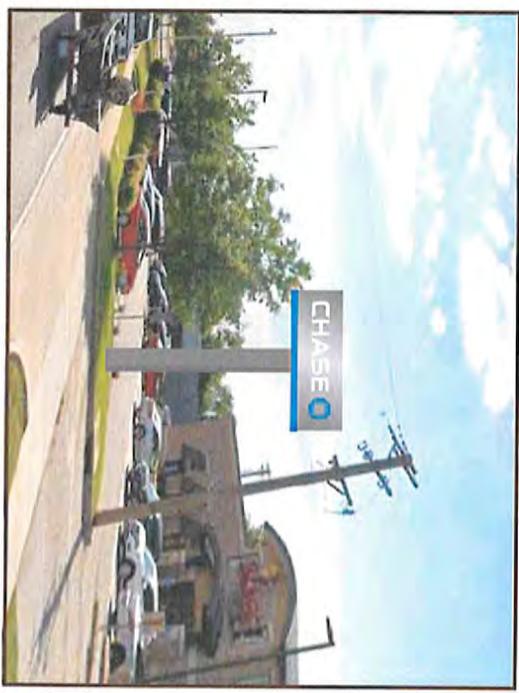
Drawing prepared for:
CHASE

Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:
Original	328537	07/29/20	KP	Rev 3	000000	0000/00	XXX	Rev 7	000000	0000/00	XXX
Rev 1	328661	08/04/20	BV	Rev 4	000000	0000/00	XXX	Rev 8	000000	0000/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 5	000000	0000/00	XXX	Rev 9	000000	0000/00	XXX
	000000	00/00/00	XXX	Rev 6	000000	0000/00	XXX	Rev 10	000000	0000/00	XXX

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted. **DRG Page 5**



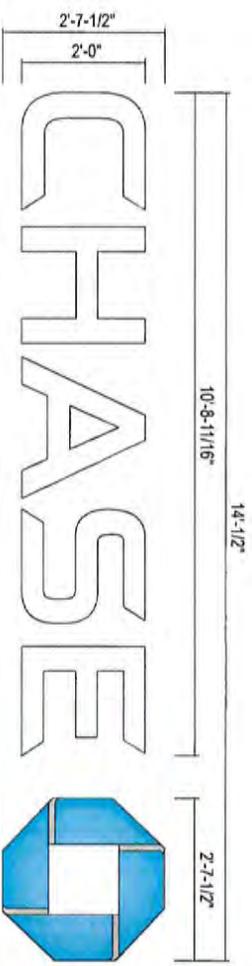
EXISTING



PROPOSED

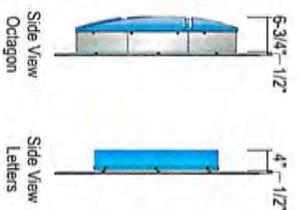


SOUTH ELEVATION (LINDBERGH BLVD.)



E02 LIF-WBO-24 ILLUMINATED CHANNEL LETTERS - 36.9 Sq. Ft.
QTY: 1

SCALE: 1/2"=1'-0"



	STORE FRONT COLOR BLACK ANODIZED		METAL CANOPY / SUN SHADE COLOR BLACK ANODIZED		ACM PANEL
	STORE FRONT COLOR CLEAR ALUM		CEMENT BOARD COLOR BARK		CEMENT BOARD COLOR ASH

	CORONADO CHISEL ED LIMESTONE COLOR CREMA		COLUMN COLOR WHITE		CLEAR GLASS
--	--	--	-----------------------	--	-------------

Drawing prepared by:
ICON

Location: 2895 N Highway 67
Flossmoor, MO, 63033-1403
File Path: K:\ART\ACCOUNTS\Chase Signature\3456_New Build\Locations\3456_63033_Flossmoor_MO.cdr

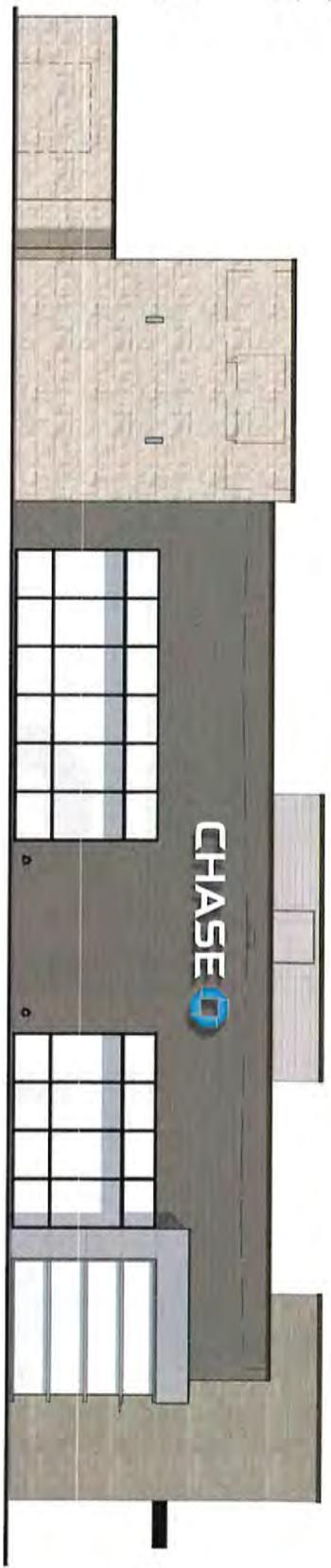
Proj #: 3456
Loc #: 63033
Order #: 1141346
RECOMMENDATIONS

Drawing prepared for:
CHASE

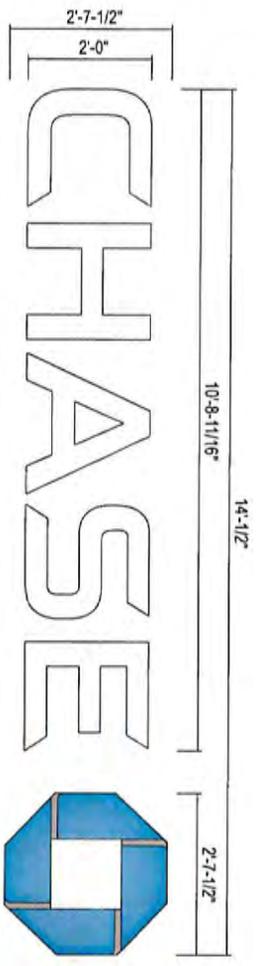
Rev.#	Original	Req. #	Date	Artist	Rev.#	Req. #	Date	Artist	Rev.#	Req. #	Date	Artist
Rev 1	000000	000000	08/04/20	XXX	Rev 7	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
Rev 2	000000	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX
Rev 3	328537	07729/20	KP	Rev 5	000000	00/00/00	XXX					
Rev 4	328861	08/04/20	BV	Rev 6	000000	00/00/00	XXX					

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted. **DRG Page 6**

- ◆ 2'-0" x 2'-0" x 1'-0"



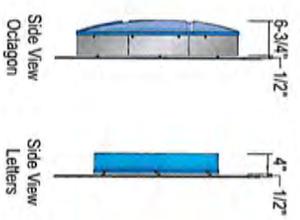
WEST ELEVATION



E03 LIF-WBO-24 ILLUMINATED CHANNEL LETTERS - 36.9 Sq. Ft.

QTY: 1

SCALE: 1/2"=1'-0"



	STORE FRONT COLOR: BLACK ANODIZED		METAL CANOPY / SUN SHADE COLOR: BLACK ANODIZED		ACM PANEL
	STORE FRONT COLOR: CLEAR ALUM.		CEMENT BOARD COLOR: BARK		CEMENT BOARD COLOR: ASH
	CORRUGATED CHASTED METAL PANEL COLOR: CREAM		COLUMN "CLOUD WHITE"		CLEAR GLASS

Drawing prepared by:



Location: 2895 N Highway 67
Florissant, MO 63033-1403

Proj #: 3456
Loc #: 63033
Order #: 1141346

RECOMMENDATIONS



Drawing prepared for:

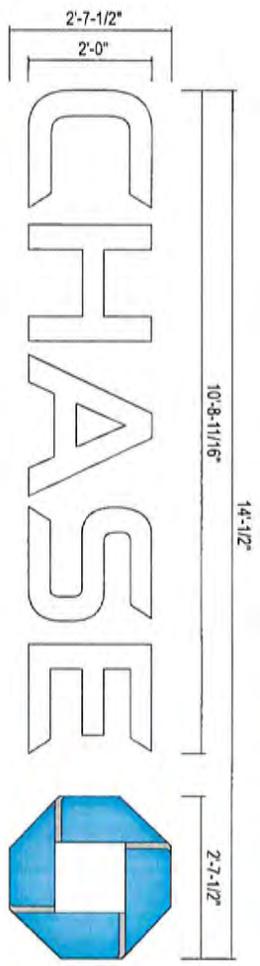
File Path: K:\ART\ACCOUNTS\ICON\chase Signature\3456_New Build\Locations\3456_63033_Florissant_MO.cdr

Rev. #	Req. #	Date	Artist	Rev. #	Req. #	Date	Artist	Rev. #	Req. #	Date	Artist
Original	328537	07/29/20	KP	Rev 3	000000	000000	XXX	Rev 7	000000	000000	XXX
Rev 1	328861	08/04/20	BV	Rev 4	000000	000000	XXX	Rev 8	000000	000000	XXX
Rev 2	000000	00/00/00	XXX	Rev 5	000000	000000	XXX	Rev 9	000000	000000	XXX
	000000	00/00/00	XXX	Rev 6	000000	000000	XXX	Rev 10	000000	000000	XXX

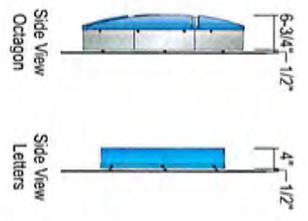
Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.



EAST ELEVATION



E04 LIF-WBO-24 ILLUMINATED CHANNEL LETTERS - 36.9 Sq.Ft.
 QTY: 1
 SCALE: 1/2"=1'-0"



CONCRETE CHISELED LIFESTONE COLOR: CREAM	COLUMN COLOR: WHITE	CLEAR GLASS
STORE FRONT COLOR: BLACK ANODIZED	METAL CANOPY / SUN SHADE COLOR: BLACK ANODIZED	ACI PANEL
STORE FRONT COLOR: CLEAR ALUM	CEMENT BOARD COLOR: BLACK	CEMENT BOARD COLOR: ASH

Drawing prepared by:
ICON

Location:
 2895 N Highway 67
 Fordsessant, MO, 63033-1403

Proj #:
 3456

Loc #:
 63033

Order #:
 1141346

RECOMMENDATIONS

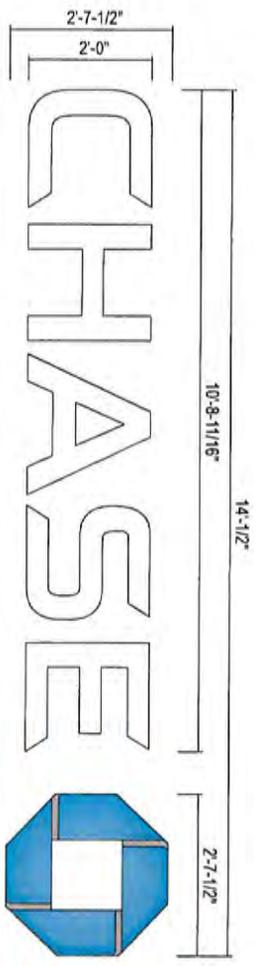
Drawing prepared for:
CHASE

Rev #	Req. #	Date	Artist	Rev #	Req. #	Date	Artist	Rev #	Req. #	Date	Artist
Original	3228537	07/29/20	KP	Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX
Rev 1	3228861	08/04/20	BV	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 2	0000000	00/00/00	XXX	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
	0000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted. **DRG Page 8**



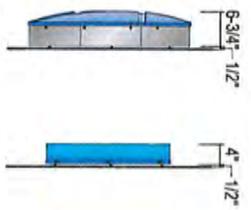
NORTH ELEVATION



E05 LIF-WBO-24 ILLUMINATED CHANNEL LETTERS - 36.9 Sq.Ft.

QTY: 1

SCALE: 1/2"=1'-0"



	STONE FRONT COLOR: BLACK ANODIZED		METAL CANOPY / SUN SHADE COLOR: BLACK ANODIZED		ACM PANEL COLOR: ASH
	STONE FRONT COLOR: CLEAR ALUM		CEMENT BOARD COLOR: BLACK		CEMENT BOARD COLOR: ASH
	CORRUGATED FIBERGLASS COLOR: CREAM		COLUMN COLOR: WHITE		CLEAR GLASS

Drawing prepared by:
ICON

Location: 2895 N Highway 67
Florissant, MO, 63033-1403

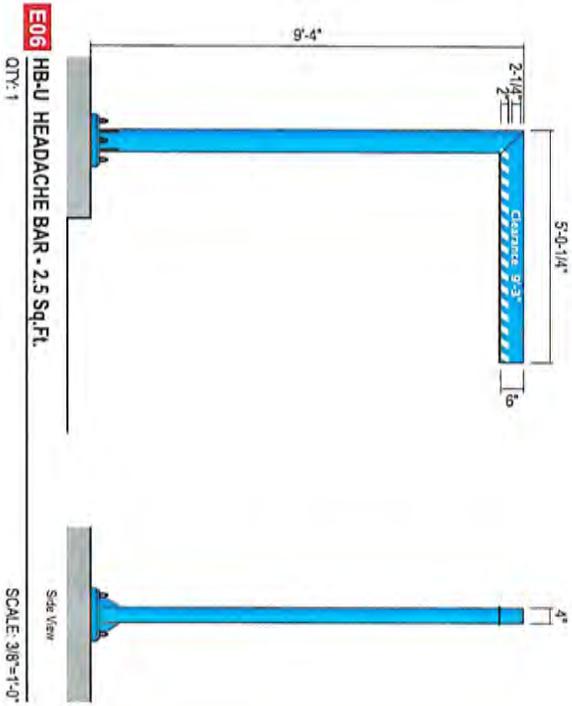
Proj #: 3456
Loc #: 63033
Order #: 1141346
RECOMMENDATIONS

Drawing prepared for:
CHASE

File Path: K:\ART\ACCOUNTS\Icon\Chase Signature\3456_New Build\Locations\3456_63033_Florissant_MO.cdr

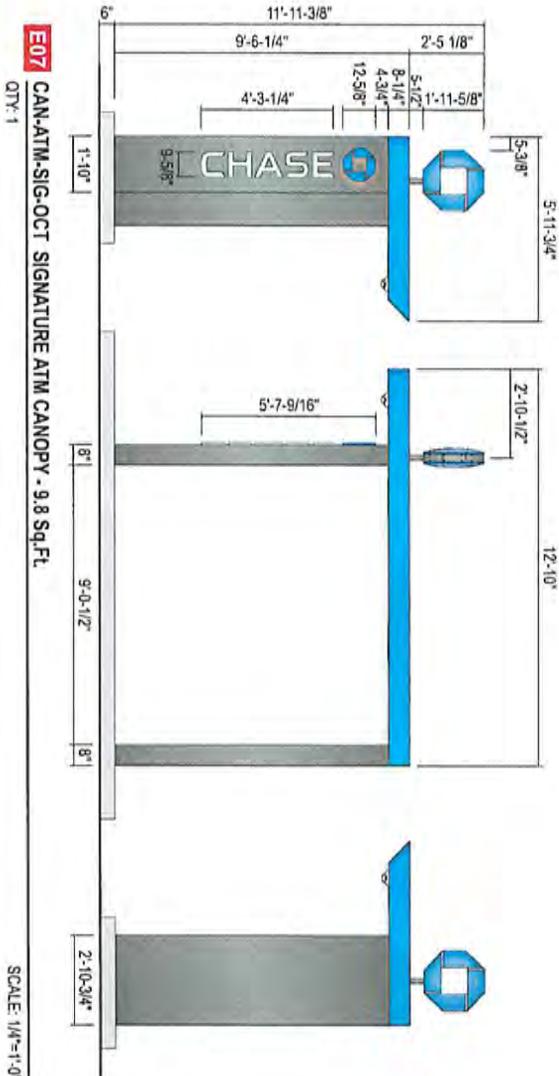
Rev.#	Original	Req. #	Date	Artist	Rev.#	Req. #	Date	Artist	Rev.#	Req. #	Date	Artist			
Original	328537	07/29/20	KP	Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX	Rev 11	000000	00/00/00	XXX
Rev 1	328661	08/04/20	BV	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX	Rev 12	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX	Rev 13	000000	00/00/00	XXX
	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX	Rev 14	000000	00/00/00	XXX

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted. **DRG Page 9**



E06 HB-U HEADACHE BAR - 2.5 Sq.Ft.
QTY: 1

Scale View
SCALE: 3/8"=1'-0"



E07 CAN-ATM-SIG-OCT SIGNATURE ATM CANOPY - 9.8 Sq.Ft.
QTY: 1

SCALE: 1/4"=1'-0"

Drawing prepared by:



Location:

2895 N Highway 67
Florissant, MO, 63033-1403

Proj #:

3456

Loc #:

63033

Order #:

1141346

RECOMMENDATIONS

File Path:

K:\ART\ACCOUNTS\C Chase Signature\3456_New Build\Locations\3456_63033_Florissant_MO.cdr

Drawing prepared for:



Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:
Original	328537	07/29/20	KP	Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX
Rev 1	328861	08/04/20	BV	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.

ICON

Drawing prepared for:

Location:
 2895 N Highway 67
 Florissant, MO, 63033-1403

Proj #: 3456
Loc #: 63033
Order #: 1141346

CHASE

Drawing prepared for:

Rev #: Original
 328537
 328861
 000000
 000000
 000000

Req #: 0729120
 0804120
 0000000
 0000000
 0000000

Date: KP
 BV
 XXX
 XXX
 XXX

Artist: XXX
 XXX
 XXX
 XXX
 XXX

Rev #: Rev 3
 Rev 4
 Rev 5
 Rev 6
 Rev 7
 Rev 8
 Rev 9
 Rev 10

Req #: 0000000
 0000000
 0000000
 0000000
 0000000
 0000000
 0000000
 0000000

Date: XXX
 XXX
 XXX
 XXX
 XXX
 XXX
 XXX

Artist: XXX
 XXX
 XXX
 XXX
 XXX
 XXX
 XXX

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.

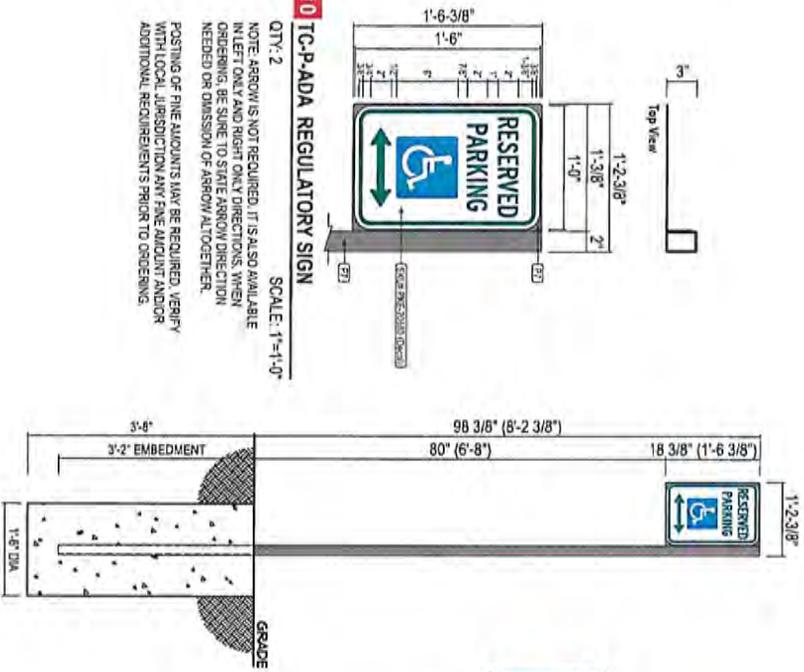
DRG Page 11

E08 E10 TC-PADA REGULATORY SIGN

QTY: 2

SCALE: 1"=1'-0"

NOTE: ARROW IS NOT REQUIRED. IT IS ALSO AVAILABLE IN LEFT ONLY AND RIGHT ONLY DIRECTIONS. WHEN ORDERING, BE SURE TO STATE ARROW DIRECTION NEEDED OR OMISSION OF ARROW ALTOGETHER.
 POSTING OF FINE AMOUNTS MAY BE REQUIRED. VERIFY WITH LOCAL JURISDICTION ANY FINE AMOUNT AND/OR ADDITIONAL REQUIREMENTS PRIOR TO ORDERING.

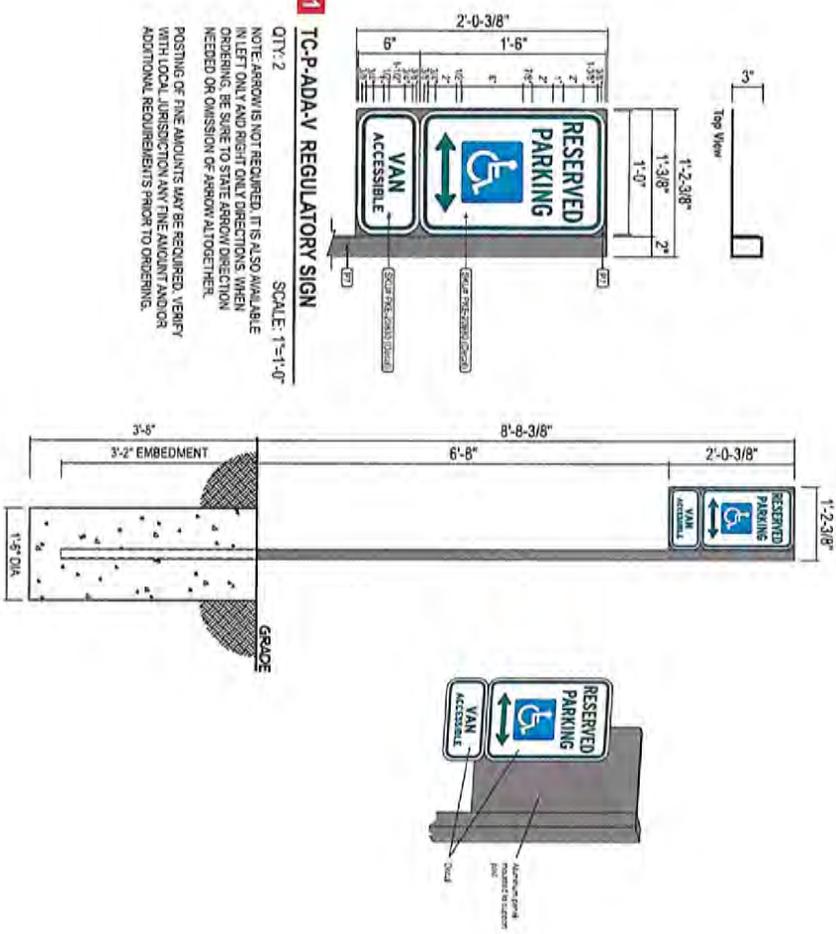


E09 E11 TC-PADA-V REGULATORY SIGN

QTY: 2

SCALE: 1"=1'-0"

NOTE: ARROW IS NOT REQUIRED. IT IS ALSO AVAILABLE IN LEFT ONLY AND RIGHT ONLY DIRECTIONS. WHEN ORDERING, BE SURE TO STATE ARROW DIRECTION NEEDED OR OMISSION OF ARROW ALTOGETHER.
 POSTING OF FINE AMOUNTS MAY BE REQUIRED. VERIFY WITH LOCAL JURISDICTION ANY FINE AMOUNT AND/OR ADDITIONAL REQUIREMENTS PRIOR TO ORDERING.



Location: 2895 N Highway 67
Florissant, MO, 63033-1403
File Path: K:\ART\ACCOUNTS\Chase Signatures\3456_New Builds\Locations\3456_63033_Florissant_MO.cdr

Proj #: 3456
Loc #: 63033
Order #: 1141346
RECOMMENDATIONS



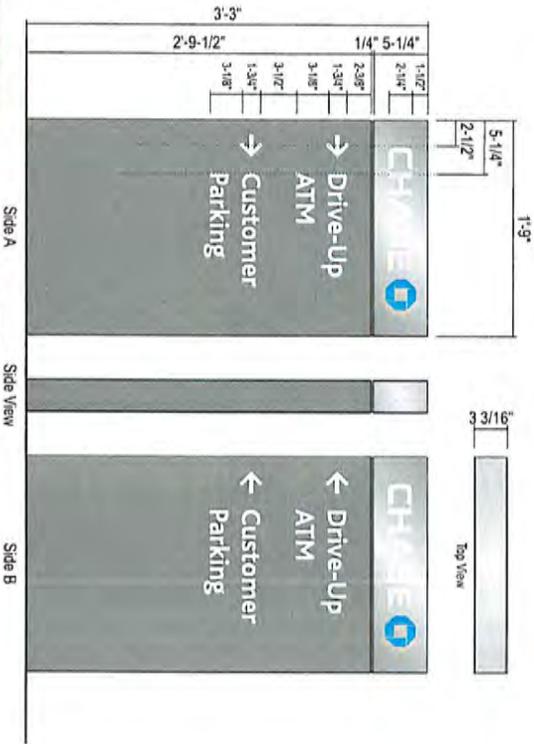
Drawing prepared for:

Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:
Original	328537	07/29/20	KP	Rev 3	000000	0000/00	XXX	Rev 7	000000	00/00/00	XXX
Rev 1	328861	08/04/20	BV	Rev 4	000000	0000/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 5	000000	0000/00	XXX	Rev 9	000000	00/00/00	XXX
	000000	00/00/00	XXX	Rev 6	000000	0000/00	XXX	Rev 10	000000	00/00/00	XXX

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.

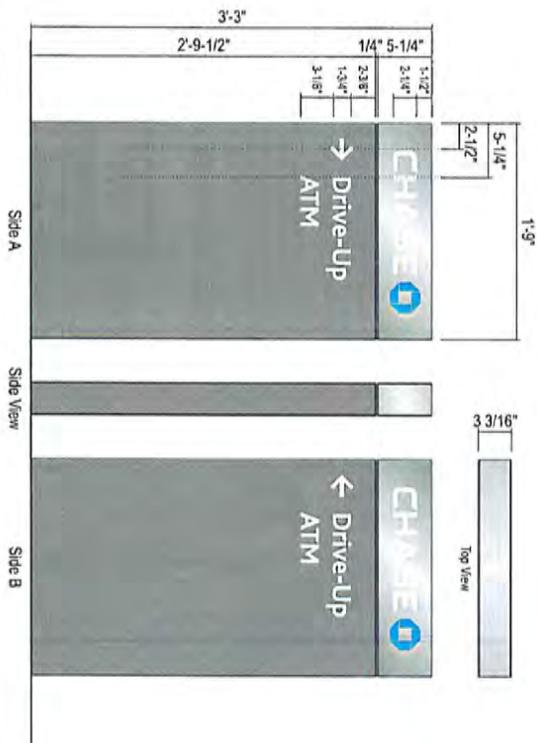
E12 E13 E14 D5-RE DIRECTIONAL SIGN
QTY: 3

SCALE: 1"=1'-0"



E15 D5-RE DIRECTIONAL SIGN
QTY: 1

SCALE: 1"=1'-0"



Drawing prepared by:
ICON

Location:
2895 N Highway 67
Floresant, MO. 63033-1403
File Path:
K:\ART\ACCOMTS\Icon\Chase Signatures\3456_New Build\sign locations\3456_63033_Floresant_MO.cdr

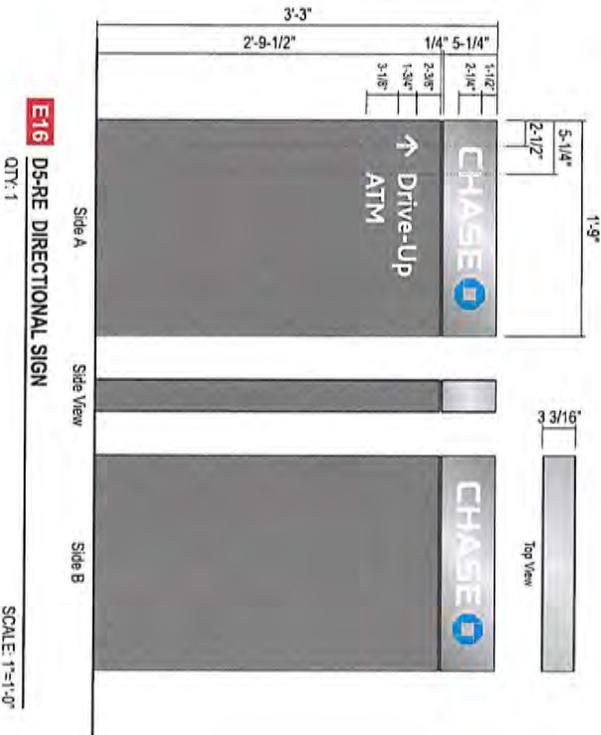
Proj #: 3456
Loc #: 63033
Order #: 1141346
RECOMMENDATIONS

Drawing prepared for:
CHASE

Rev#:	Req. #:	Date:	Artist:	Rev#:	Req. #:	Date:	Artist:	Rev#:	Req. #:	Date:	Artist:
Original	328537	07/29/20	KP	Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX
Rev -	328661	08/04/20	BV	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 1	000000	00/00/00	XXX	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.

DRC Page 13



ICON

Drawing prepared by:

Location: 2895 N Highway 67
Florissant, MO, 63033-1403
File Path: K:\ART\ACCOUNTS\Chase Signature\3455_New Builds\Locations\3455_63033_Florissant_MO.cdr

Proj #: 3455
Loc #: 63033
Order #: 1141346
RECOMMENDATIONS

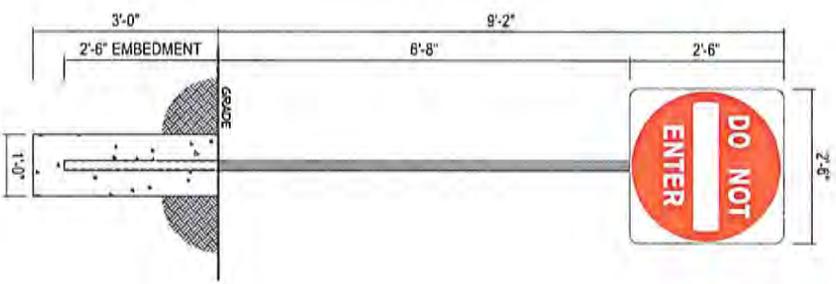
CHASE

Drawing prepared for:

Rev#:	Req. #:	Date:	Artist:	Rev#:	Req. #:	Date:	Artist:	Rev#:	Req. #:	Date:	Artist:
Original	328537	07/29/20	KP	Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX
Rev 1	328561	08/04/20	BY	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.

E17 "DO NOT ENTER" REGULATORY SIGN
QTY: 1
SCALE: 1/2"=1'-0"



Drawing prepared by:

Location:
 2895 N Highway 67
 Florissant, MO, 63033-1403
File Path:
 K:\ART\ACCOUNTS\Chase_Signature\3456_New_Buil\sil_locations\3456_63033_Florissant_MO.cdr

Proj #: 3456
Loc #: 63033
Order #: 1141346
RECOMMENDATIONS

Drawing prepared for:
CHASE

Rev.#:	Original	Rev 1	Rev 2	Rev 3	Rev 4	Rev 5	Rev 6	Rev 7	Rev 8	Rev 9	Rev 10
Req. #:	328537	328861	000000	000000	000000	000000	000000	000000	000000	000000	000000
Date:	07/29/20	08/04/20	00/00/00	00/00/00	00/00/00	00/00/00	00/00/00	00/00/00	00/00/00	00/00/00	00/00/00
Artist:	KP	BV	XXX								

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.

E18 4 X 8 COMING SOON SIGN
 QTY: 1



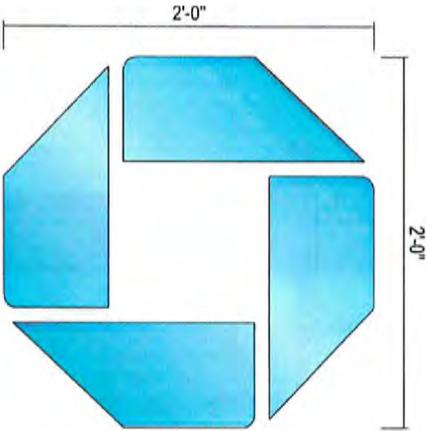
Location: 2895 N Highway 67
 Florissant, MO, 63033-1403
 File Path: K:\ART\ACCOUNTS\Chase Signature\3455_New Builds\Locations\3455_63033_Florissant_MO.cdr

Proj #: 3456
 Loc #: 63033
 Order #: 1141346
RECOMMENDATIONS



Rev#:	Req. #:	Date:	Artist:	Rev#:	Req. #:	Date:	Artist:	Rev#:	Req. #:	Date:	Artist:
Original	328537	07/29/20	KP	Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX
Rev 1	000000	00/00/00	XXX	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
				Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.

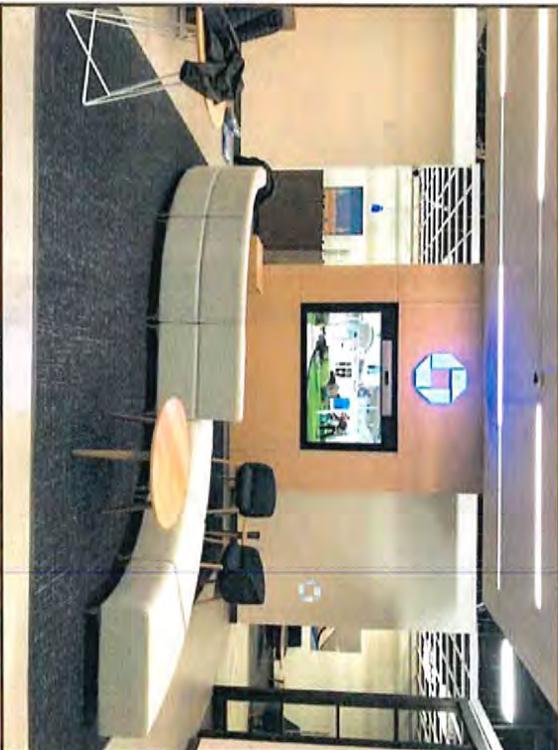


101 BITRO 24" ILLUMINATED OCTAGON

QTY: 1

SCALE: 1-1/2"=1'-0"

NOTE: PROVIDED BY OTHERS



TYPICAL PLACEMENT

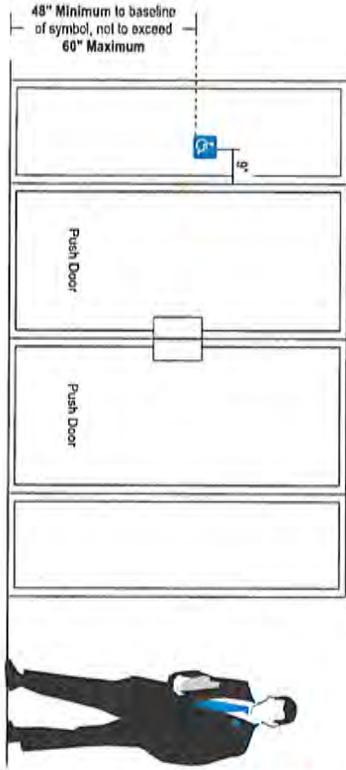
Drawing prepared by:

Location: 2895 N Highway 67
Florissant, MO 63033-1403
File Path: KIAART\ACCOUNTS\IC\Chase Signature\3456_New Build\Locations\3456_63033_Florissant_MO.cdr

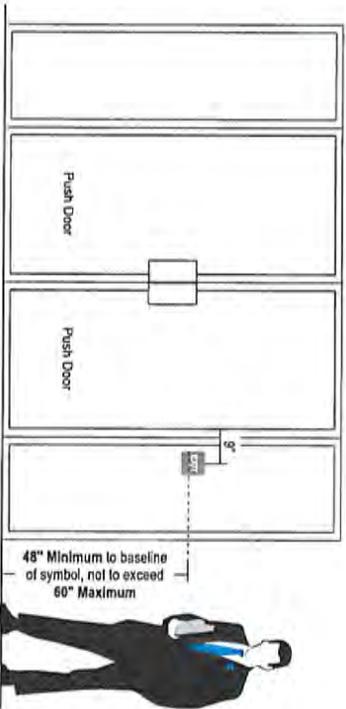
Drawing prepared for:

Proj #: 3456 Loc #: 63033 Order #: 1141346
RECOMMENDATIONS
Rev.#: Req.#: Date: Artist: Rev.#: Req.#: Date: Artist: Rev.#: Req.#: Date: Artist:
Original 328537 07/29/20 KP Rev 3 000000 00/00/00 XXX Rev 7 000000 00/00/00 XXX
Rev 1 328861 08/04/20 BV Rev 4 000000 00/00/00 XXX Rev 8 000000 00/00/00 XXX
Rev 2 000000 00/00/00 XXX Rev 5 000000 00/00/00 XXX Rev 9 000000 00/00/00 XXX
Rev 6 000000 00/00/00 XXX Rev 10 000000 00/00/00 XXX

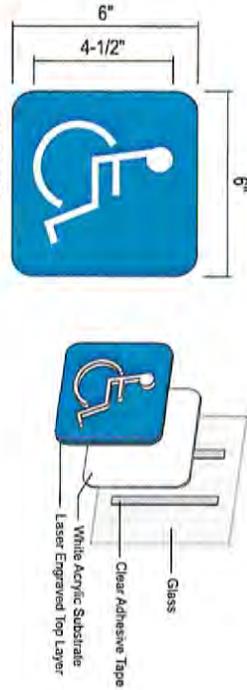
Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.



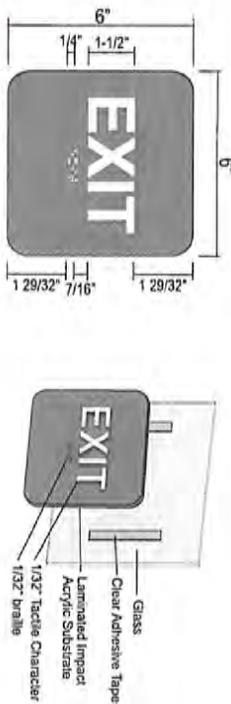
NOTE: SIGNS MOUNTED BACK TO BACK

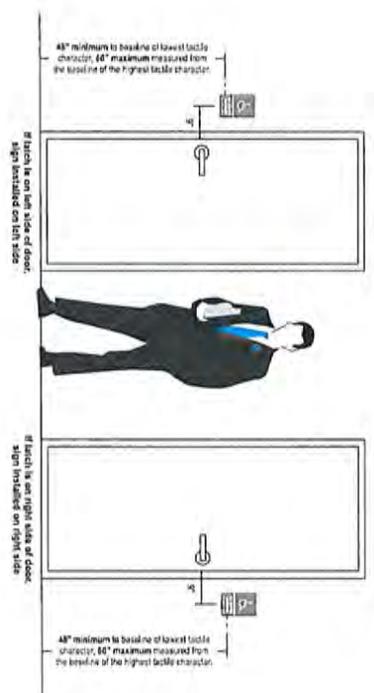
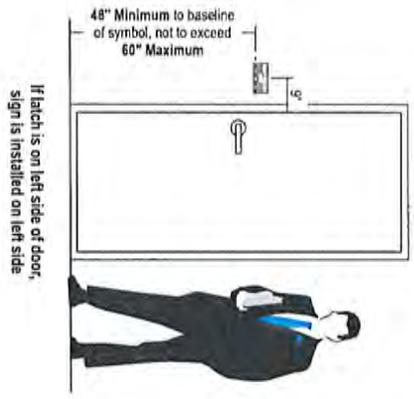
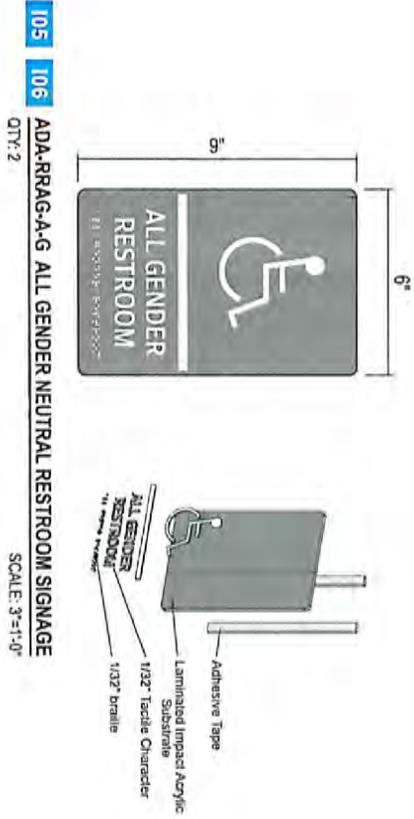
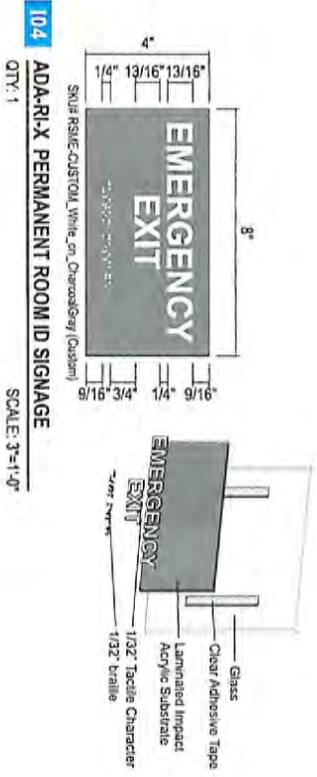


102 ADA-EP ACCESSIBLE BUILDING ENTRANCE
QTY: 1 SCALE: 3'-1'-0"



103 ADA-EX PERMANENT EXIT DOOR SIGNAGE
QTY: 1 SCALE: 3'-1'-0"





Drawing prepared by:
ICON

Location:
 2895 N Highway 67
 Florissant, MO, 63033-1403

Proj #: 3456
 Loc #: 63033
 Order #: 1141346

RECOMMENDATIONS

CHASE

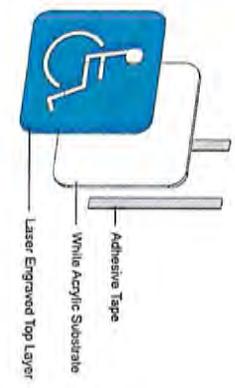
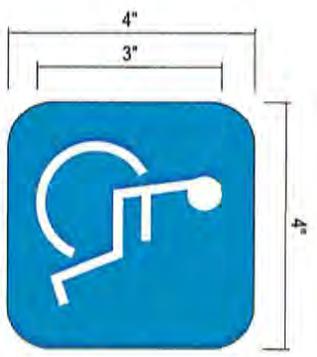
Drawing prepared for:

File Path: K:\ART\ACCOUNTS\Chase Signatures\3456_New Builds\Locations\3456_63033_Florissant_MO.cdr

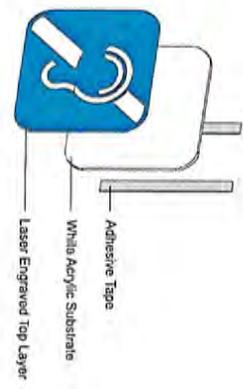
Rev.#:	Req.#:	Date:	Artist:	Rev.#:	Req.#:	Date:	Artist:	Rev.#:	Req.#:	Date:	Artist:
Original	328537	07/29/20	KP	Rev 3	000000	000000	XXX	Rev 7	000000	00/00/00	XXX
Rev 1	328561	08/04/20	BV	Rev 4	000000	000000	XXX	Rev 8	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 5	000000	000000	XXX	Rev 9	000000	00/00/00	XXX
	000000	00/00/00	XXX	Rev 6	000000	000000	XXX	Rev 10	000000	00/00/00	XXX

DRAWINGS ARE THE EXCLUSIVE PROPERTY OF ICON. ANY UNAUTHORIZED USE OR DUPLICATION IS NOT PERMITTED

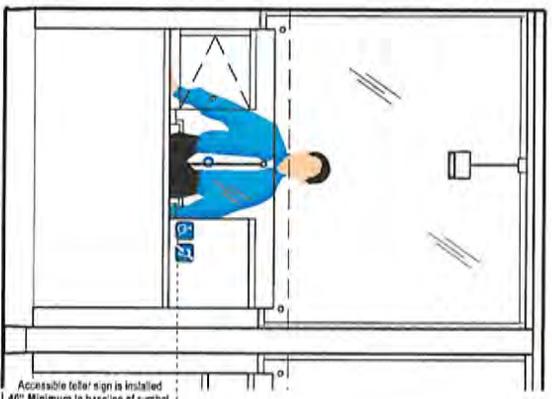
DRC Page 18



107 ADA-TW ACCESSIBLE TELLER WINDOW
 QTY: 1 SCALE: 1:2



108 ADA-TWALS ACCESSIBLE TELLER WINDOW
 QTY: 1 SCALE: 1:2



Placement at Modular Teller Stations
 with Bullet-Resistant Glass

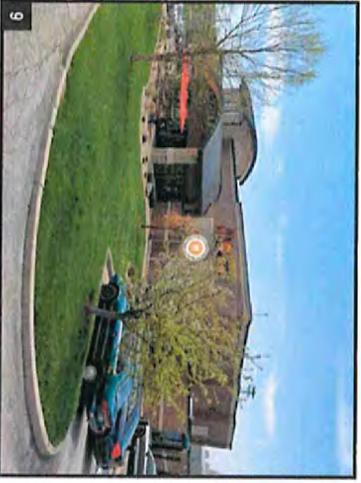
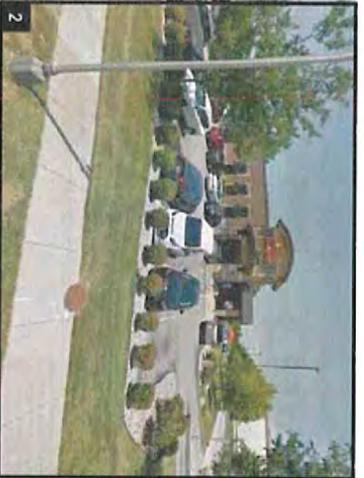
Accessible teller sign is installed
 40" Minimum to baseline of symbol
 Assistive Listening Systems sign to
 be installed flush with the sign
 on the right side as shown.

Drawing prepared by:
ICON
 Location: 2895 N Highway 67
 Florissant, MO 63033-1403
 File Path: K:\ARTTACCOUNTS\Chase Signatures\3456_New Build\Locations\3456_63033_Florissant_MO.cdr

Proj #: 3456
 Loc #: 63033
 Order #: 1141346
RECOMMENDATIONS

Drawing prepared for:
CHASE

Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:	Rev.#:	Req. #:	Date:	Artist:
Original	328837	07/29/20	KP	Rev 3	000000	00/00/00	XXX	Rev 7	000000	00/00/00	XXX
Rev -	328861	08/04/20	BV	Rev 4	000000	00/00/00	XXX	Rev 8	000000	00/00/00	XXX
Rev 1	000000	00/00/00	XXX	Rev 5	000000	00/00/00	XXX	Rev 9	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX	Rev 10	000000	00/00/00	XXX



Drawing prepared by:

ICON

Locations:

2895 N Highway 67
Florissant, MO, 63033-1403

File Path:

K:\ART\ACCOUNTS\IC\Chase Signature\3456_New Build\Locations\3456_63033_Florissant_MO.cdr

Proj #:

3456

Loc #:

63033

Order #:

1141346

OVERVIEW PHOTOS

Drawing prepared for:

CHASE



Rev #	Req #	Date	Artist	Rev #	Req #	Date	Artist
Original	328537	07/29/20	KP	Rev 3	000000	00/00/00	XXX
Rev 1	328861	08/04/20	SV	Rev 4	000000	00/00/00	XXX
Rev 2	000000	00/00/00	XXX	Rev 5	000000	00/00/00	XXX
	000000	00/00/00	XXX	Rev 6	000000	00/00/00	XXX
				Rev 7	000000	00/00/00	XXX
				Rev 8	000000	00/00/00	XXX
				Rev 9	000000	00/00/00	XXX
				Rev 10	000000	00/00/00	XXX

Drawings are the exclusive property of ICON. Any unauthorized use or duplication is not permitted.

CIVIL CONSTRUCTION PLANS FOR CHASE

**CHASE BANK
FLORISSANT**
2895 N HIGHWAY 67
FLORISSANT, MO
ST. LOUIS COUNTY, MISSOURI



VICINITY MAP
SCALE: 1" = 2,000'

SHEET INDEX			
SHEET NUMBER	DESCRIPTION	REVISION 1	REVISION 2
C1	COVER SHEET	Δ	
C2	GENERAL NOTES		
C3	EROSION AND SEDIMENTATION CONTROL PLAN PHASE I		
C4	EROSION AND SEDIMENTATION CONTROL PLAN PHASE II		
C5	EROSION AND SEDIMENTATION CONTROL DETAILS		
C6	DEMOLITION PLAN		
C7	SITE PLAN	Δ	
C8	GRADING AND DRAINAGE PLAN		
C9	UTILITY PLAN		
C10-C12	CONSTRUCTION DETAILS		
C13	PHOTOMETRIC PLAN		
C14-C16	PHOTOMETRIC DETAILS		

REFERENCE SHEETS	
SHEET NUMBER	DESCRIPTION
1	ALTANSPS LAND TITLE SURVEY BY GATEWAY LAND SERVICES, INC.
LP-1	LANDSCAPE PLANTING
LP-2	LANDSCAPE DETAILS AND SPECS
TD-1	TREE DISPOSITION
TD-2	TREE PRESERVATION DETAILS AND NOTES

LEGAL DESCRIPTION:

LOT 2 OF PONDEROSA PLAZA, A SUBDIVISION BEING PART OF LOTS 21 AND 23 OF COMMONS OF ST. FERDINAND TOWNSHIP 47 NORTH, RANGE 6 EAST, OF THE 5TH PRINCIPAL MERIDIAN, ST. LOUIS COUNTY, MISSOURI, FLORISSANT, MISSOURI.

1.485 ACRES

A TRACT OF LAND IN LOTS 21 AND 23 OF THE COMMONS OF ST. FERDINAND, TOWNSHIP 47 NORTH, RANGE 6 EAST, ST. LOUIS COUNTY, MISSOURI AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LINDBERGH PLAZA SUBDIVISION, A SUBDIVISION AS RECORDED IN PLAT BOOK 124, PAGE 47 OF THE ST. LOUIS COUNTY RECORDS, BEING IN THE NORTHWEST LINE OF LINDBERGH BOULEVARD (AS WIDENED) THENCE NORTH 27 DEGREES 54 MINUTES WEST ALONG THE NORTHEAST LINE OF LINDBERGH PLAZA SUBDIVISION AND ITS PROLONGATION NORTHWESTWARDLY, 374.80 FEET TO A POINT; THENCE NORTH 62 DEGREES 06 MINUTES EAST, 178.0 FEET TO A POINT; THENCE SOUTH 27 DEGREES 54 MINUTES EAST, 352.26 FEET TO A POINT IN THE AFORESAID NORTHWEST LINE OF LINDBERGH BOULEVARD; THENCE SOUTH 54 DEGREES 53 MINUTES WEST ALONG THE NORTHWEST LINE OF LINDBERGH BOULEVARD, 179.42 FEET TO THE PLACE OF BEGINNING; CONTAINING 1.485 ACRES.

DESIGN AND DEVELOPMENT CONTACTS:

OWNER / DEVELOPER: DK COMMERCIAL REAL ESTATE, LLC (ET AL)
3991 BASALT COURT
LAFAYETTE, IN 47905
CONTACT: KEVIN SHAPIRO
TEL: 314-818-1550 EXT 106

CIVIL ENGINEER: CORE STATES GROUP
6500 CHIPPEWA STREET, SUITE 200
ST. LOUIS, MO 63109
CONTACT: CHAD FAIRBANKS, P.E.
TEL: 314-270-5203

ARCHITECT: CORE STATES GROUP
6500 CHIPPEWA STREET, SUITE 200
ST. LOUIS, MO 63109
CONTACT: R. BRUCE LASURS, A.L.A.
TEL: 314-730-0772

LANDSCAPE ARCHITECT: EVERGREEN DESIGN GROUP
1200 US HIGHWAY 22 E, SUITE 2000-2248
BRIDGEWATER, NJ 08807
CONTACT: LARRY LESSER
TEL: 800-680-6630 EXT 5

SURVEYOR: SWT DESIGN
7722 BIG BEND BOULEVARD
ST. LOUIS, MO 63119
CONTACT: LEE HYDE
TEL: 314-435-0389

GOVERNING AGENCIES CONTACTS:

PLANNING AND ZONING: CITY OF FLORISSANT PUBLIC WORKS
955 RUE ST FRANCOIS
FLORISSANT, MO 63031
CONTACT: PHILIP LUM
TEL: 314-839-7647

BUILDING DEPARTMENT: CITY OF FLORISSANT PUBLIC WORKS
955 RUE ST FRANCOIS
FLORISSANT, MO 63031
CONTACT: PHILIP LUM
TEL: 314-839-7647

FIRE DEPARTMENT: FLORISSANT VALLEY FIRE DISTRICT
661 SAINT FERDINAND STREET
FLORISSANT, MO 63031
CONTACT: CLIF ROBINSON
TEL: 314-837-8790

TRANSPORTATION DEPARTMENT: MISSOURI DOT - ST. LOUIS DISTRICT
1590 WOODLAKE DRIVE
CHESTERFIELD, MO 63017
CONTACT: JAY-JAY BRADEN
TEL: 314-636-5867

TRANSPORTATION DEPARTMENT: CITY OF FLORISSANT PUBLIC WORKS
955 RUE ST FRANCOIS
FLORISSANT, MO 63031
TEL: 314-839-7648

WATER/WASTEWATER: MISSOURI AMERICAN WATER
727 CRAIG ROAD
ST. LOUIS, MO 63141
TEL: 866-430-0820

STORMWATER: METROPOLITAN SEWER DISTRICT
2350 MARKET STREET
ST. LOUIS, MO 63103
CONTACT: JASON PETEREIN
TEL: 314-768-6260

UTILITY CONTACTS:

ELECTRIC COMPANY: AMEREN US
PO BOX 66149
ST. LOUIS, MO 63166
TEL: 314-342-1111

GAS COMPANY: LACLEDE (SPIRE)
4118 SHREWSBURY AVENUE
ST. LOUIS, MO 63119
TEL: 314-621-6960

TELEPHONE / INTERNET: SPECTRUM ENTERPRISES
6524 MANCHESTER AVENUE
ST. LOUIS, MO 63139
TEL: 866-874-2389

SOLID WASTE: REPUBLIC SERVICES
17900 VETERANS MEMORIAL PARKWAY
FORISTELL, MO 63348
TEL: 314-291-3131

SITE DATUM ELEVATION:

ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88). CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.295' = NGVD 29.

FLOOD NOTE:

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR CITY OF BLUE SPRINGS, MISSOURI, MAP NUMBER 29095C0319G EFFECTIVE DATE 01/20/2017.

ALERT TO CONTRACTOR:

1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.



DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT



Know what's below. Call before you dig.

REVISIONS

REV	DATE	COMMENT	BY
1	08/31/20	PYLON SIGN	CFD

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK

SITE LOCATION
2895 N HIGHWAY 67
FLORISSANT, MO
63033

ENGINEER SEAL

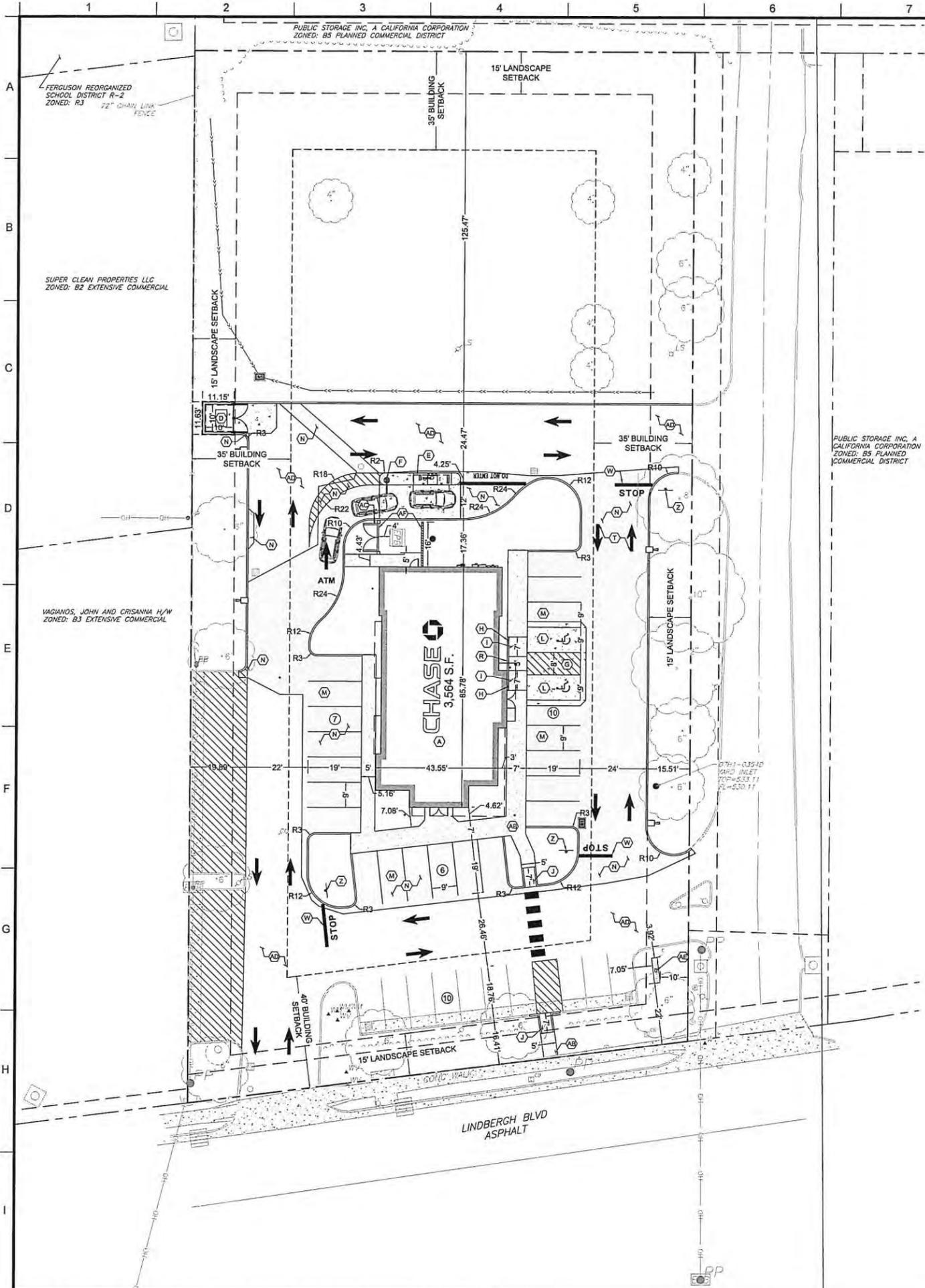


SHEET TITLE
COVER SHEET

JOB #: JPM-28816
DATE: 07/20/2020
SCALE: AS NOTED
DRAWN BY: RJD
CHECKED BY: CFD

SHEET NO.

C1



SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING UTILITY EASEMENT
- EXISTING CURB AND GUTTER
- EXISTING EDGE OF PAVEMENT
- PROPOSED CURB
- PROPOSED BUILDING
- PROPOSED SIDEWALK
- PROPOSED CONCRETE
- PROPOSED MEDIUM DUTY ASPHALT
- ○ ○ PROPOSED WATER STRUCTURES
- ○ ○ PROPOSED STORM STRUCTURES
- ○ ○ PROPOSED SANITARY STRUCTURES
- ○ ○ PROPOSED SITE LIGHTING FIXTURES
- ○ ○ EXISTING STORMWATER STRUCTURES
- ○ ○ EXISTING SANITARY STRUCTURES
- ○ ○ EXISTING WATER STRUCTURE
- ○ ○ EXISTING ELECTRIC STRUCTURE
- ○ ○ EXISTING COMMUNICATIONS STRUCTURE
- ○ ○ PROPOSED PARKING COUNT

SITE NOTES:

1. REFER TO SHEET C2 FOR GENERAL NOTES.
2. REFER TO SHEET C6 FOR DEMOLITION PLAN.
3. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
4. REFER TO SHEET C9 FOR UTILITY PLAN.
5. REFER TO LANDSCAPE PLAN.
6. REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING DETAILS.
7. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
8. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
9. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED OTHERWISE.
10. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS. REFER TO SHEET C10 FOR ASPHALT PAVING DETAILS.

ZONING DATA ZONED B5 - PLANNED COMMERCIAL DISTRICT		
ITEM	EXISTING / REQUIRED	PROPOSED
PARCEL ID	07H420265	07H420265
BUILDING USE	RESTAURANT (EXISTING)	BANKING FACILITY
BUILDING HEIGHT (FT)	MAX: 45'	21'-6"
BUILDING AREA (SF)	6,143 SF	3,564 SF
BUILDING COVERAGE	9.49% (EXISTING)	7.63% (PROPOSED)
FRONT SETBACK (FT)	40'	92.24' (SOUTH)
SIDE SETBACK (FT)	35'	66.05' (EAST) 68.51' (WEST)
REAR SETBACK (FT)	35'	183.55' (NORTH)
PARKING SPACES	3.6 SPACES / 1,000 SF = 13 SPACES (MINIMUM)	33 SPACES (INCLUDING 2 ADA SPACES)
ADA PARKING SPACES	2 SPACES (MINIMUM)	2 SPACES
TOTAL PARCEL AREA	1.487 AC (64,762 SF)	1.487 AC (64,762 SF)
TOTAL LIMITS OF DISTURBANCE	N/A	0.996 AC (43,403 SF)
ON-SITE LIMITS OF DISTURBANCE	N/A	0.996 AC (43,403 SF)
OFF-SITE LIMITS OF DISTURBANCE	N/A	0.000 AC (0 SF)
IMPERVIOUS PROPERTY AREA (%)	1.237 AC (53,898 SF) 83.22% (EXISTING)	0.748 AC (32,586 SF) 50.32%
PERVIOUS PROPERTY AREA (%)	0.249 AC (10,864 SF) 16.78% (EXISTING)	0.739 AC (32,176 SF) 49.68%

KEYED NOTES:

- A. PROPOSED CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- B. PROPOSED BUILDING SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.
- C. PROPOSED MONUMENT SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.
- D. PROPOSED DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.
- E. PROPOSED DRIVE THRU ATM WITH CANOPY. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS.
- F. PROPOSED CLEARANCE BAR. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS.
- G. PROPOSED 8' WIDE ADA COMPLIANT LOADING AREA. REFER TO SHEET C10 FOR DETAIL.
- H. PROPOSED ADA PARKING SIGN WITH BREAK AWAY POST. REFER TO SHEET C10 FOR DETAIL.
- I. PROPOSED ADA COMPLIANT PARALLEL RAMP. REFER TO SHEET C10 FOR DETAILS.
- J. PROPOSED ADA COMPLIANT PERPENDICULAR RAMP. REFER TO SHEET C10 FOR DETAILS.
- K. PROPOSED IRON CAST-IN-PLACE DETECTABLE WARNINGS. REFER TO SHEET C10 FOR DETAILS.
- L. PROPOSED 9' X 19' ADA PARKING SPACE. REFER TO SHEET C10 FOR DETAIL.
- M. PROPOSED 9' X 19' PARKING SPACE. (TYPICAL)
- N. PROPOSED ASPHALT PAVEMENT. REFER TO SHEET C10 FOR DETAIL.
- O. PROPOSED CONCRETE PAVEMENT. REFER TO SHEET C10 FOR DETAIL.
- P. PROPOSED CONCRETE SLAB FOR ATM. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- Q. PROPOSED MONOLITHIC TURNED DOWN CONCRETE SIDEWALK. REFER TO SHEET C10 FOR DETAIL.
- R. PROPOSED 6" CURB. REFER TO SHEET C10 FOR DETAIL.
- S. PROPOSED 6" SOLID WHITE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- T. PROPOSED DIRECTIONAL TRAFFIC MARKING (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- U. PROPOSED SITE LIGHT POLE, (TYPICAL) (SEE NOTE #6).
- V. PROPOSED THERMOPLASTIC STOP BAR. REFER TO SHEET C11 FOR DETAIL.
- W. PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" TEXT. REFER TO SHEET C11 FOR DETAIL.
- X. PROPOSED THERMOPLASTIC STOP BAR WITH "DO NOT ENTER" TEXT. REFER TO SHEET C11 FOR DETAIL.
- Y. PROPOSED BICYCLE RACK. REFER TO SHEET C11 FOR DETAIL.
- Z. PROPOSED "STOP" SIGN (R1-1). REFER TO SHEET C11 FOR DETAIL.
- AA. PROPOSED "STOP" SIGN (R1-1) AND "DO NOT ENTER" SIGN (R5-1). REFER TO SHEET C11 FOR DETAILS.
- AB. PROPOSED CONCRETE SIDEWALK.
- AC. PROPOSED UTILITY PROTECTION BOLLARD. REFER TO SHEET C11 FOR DETAIL.
- AD. ALL REMAINING ASPHALT AREAS TO BE SEALED AND RE-STRIPED AS NEEDED.
- AE. PROPOSED PYLON SIGN BY OTHERS. SEE SIGNAGE PACKAGE FOR DETAILS.
- AF. PROPOSED SCREENING WALL AND GATE. SEE TO ARCHITECTURAL PLANS FOR DETAILS.

CORE STATES GROUP
 6500 CHIPPEWA STREET SUITE 200
 ST. LOUIS, MO 63109
 PH: 314.433.1111
 CFAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

Know what's below. Call before you dig.

REV	DATE	COMMENT	BY
1	05/31/20	PYLON SIGN	CDF

DOCUMENT
 CIVIL
 CONSTRUCTION
 PLANS FOR
 CHASE BANK

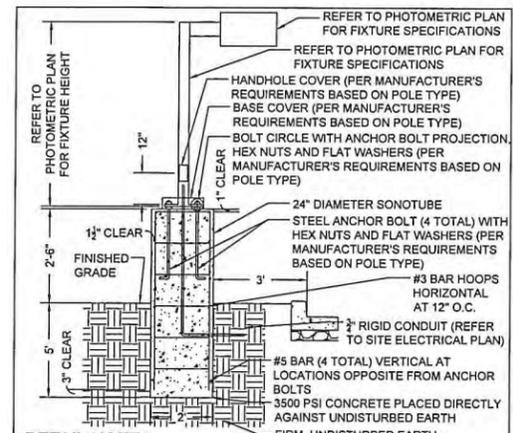
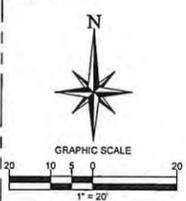
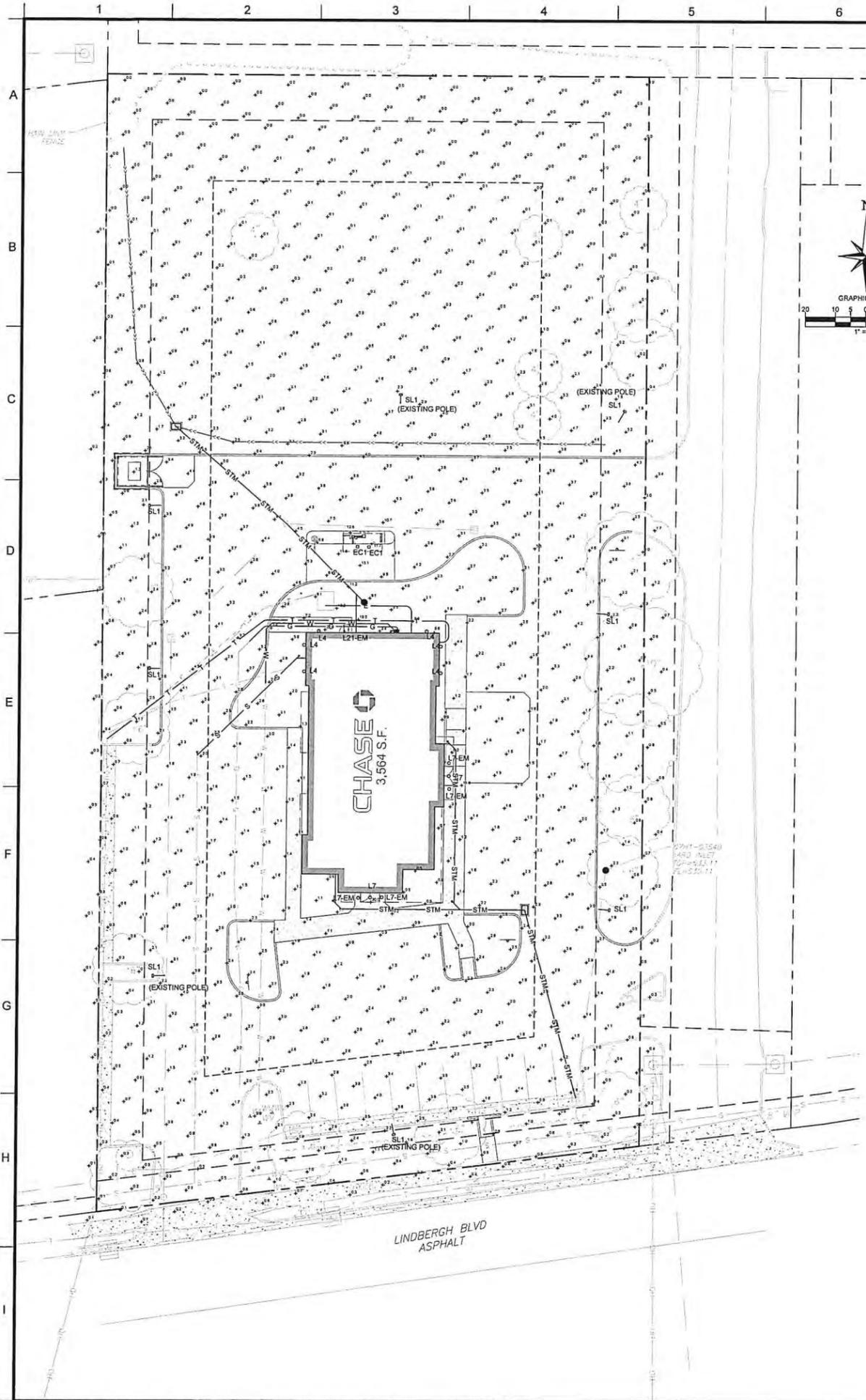
SITE LOCATION
 2895 N HIGHWAY 67
 FLORISSANT, MO
 63033

ENGINEER SEAL

SHEET TITLE
 SITE PLAN

JOB #: JPM-28815
 DATE: 07/20/2020
 SCALE: 1" = 20'
 DRAWN BY: RJD
 CHECKED BY: CDF

SHEET NO.
C7



- DETAIL NOTES:**
- FOUNDATION SHOWN IS BASED ON AN ALLOWABLE BEARING CAPACITY OF 2,000 POUNDS PER SQUARE FOOT. IF THESE SOIL CONDITIONS DO NOT EXIST, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A NEW DESIGN BASED ON ACTUAL SOIL CONDITIONS.
 - THIS FOUNDATION IS BASED ON WIND LOADS OF 115 MILES PER HOUR.
 - ALL REINFORCING STEEL SHALL CONFORM TO ASTM GRADE 60.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE BASE PLATE BOLT PATTERN.

AREA LIGHT DETAIL

STATISTICS						
DESCRIPTION	SYMBOL	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVG/MIN
PARKING LOT	+	1.8 FC	22.4 FC	0.1 FC	N/A	N/A

LUMINAIRE SCHEDULE										
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts	Mounting Height
□	SL1	8	EACL-01-S-F4-AF-7-40-N-1-C1-DKZ-4000K	EVOLVE LED AREA EACL TYPE IV (DARK BRONZE) COORDINATE MOUNTING BRACKET WITH POLE (FULL CUT-OFF)	LED	EACL01_F474AF740.ies	ABSOLUTE	1.00	125	28'
○	L4	6	LANTERRA 90004-W2-RW-LED-4800-WW-CS-L1-UNV-W5 (2) 10W, 4000K	120V UP/DOWN SCONCE WITH INTEGRAL LED DRIVER	LED	9004-W2-FL-LED3590-S-BK-L1-UNV.ies	ABSOLUTE	1.00	19.7	9'-6"
○	L7	2	DIAR109351W2V10 + RDR4RWPTWYTWYR + BH3 (OPTIONAL), 3500K	4" LED DOWNLIGHT 14W, WET RATED	LED	DIAR 10935.ies	ABSOLUTE	1.00	18	10'
○	L7-EM	4	DIAR109351W2V10GEL + RDR4RWPTWYTWYR + BH3 (OPTIONAL), 3500K	4" LED DOWNLIGHT 14W, WET RATED L-7 FIXTURE WITH EMERGENCY LIGHT DRIVER	LED	DIAR 10935.ies	ABSOLUTE	1.00	18	10'
□	L21-EM	1	XTOR8B-W82-PC 12-MSDIM-L20-CBR, 4000K	LOW PROFILE LED DIE-CAST ALUMINUM HOUSING, BRONZE FULL CUT-OFF SILICONE SEALED LED CHAMBER, 50% DIMMING SENSOR, 90 MIN. BACKUP BATTERY	LED MODULES CONSTANT CURRENT 4000K	XTOR8B.ies	ABSOLUTE	1.00	58	9'-6"
□	EC1	2	E-CSA04A-W50Z	LED CANOPY LIGHT, BLACK METAL HOUSING, ONE LED ARRAY WITH WHITE METAL TRIM PLATE, ONE PRISMATIC PLASTIC LENS BELOW LED ARRAY.	LED	e-csa04_series_50k.ies	ABSOLUTE	1.00	43.3	12'

CORE STATES GROUP
 6500 CHIPPEWA STREET SUITE 200
 ST. LOUIS, MO 63109
 PHONE (314) 843-4320
 CF@CORESTATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT



Know what's below. Call before you dig.

REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT CIVIL
 CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION
 2895 N HIGHWAY 67
 FLORISSANT, MO
 63033



SHEET TITLE
 PHOTOMETRIC PLAN

JOB #:	JPM-28816
DATE:	07/20/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF

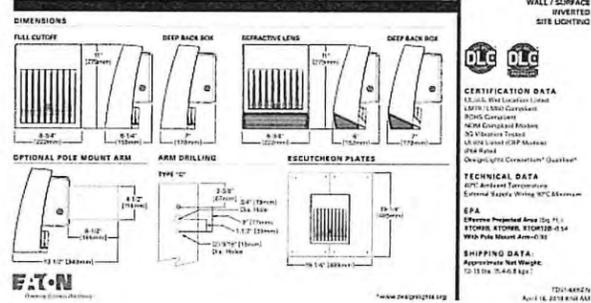
SHEET NO.
C13

A B C D E F G H I

Lumark

Table with columns: Category #, Type, Code. Rows include Project, Comments, Prepared by.

DESCRIPTION: The patented Lumark Crosstar™ MAXX LED wall pack series of luminaires provides low profile and structural style with superior light, energy efficient LEDs. The rugged die-cast aluminum construction back box with secure lock hinges, stainless steel hardware along with a standard and gasketed optical compartment make Crosstar impervious to contaminants. The Crosstar MAXX wall luminaire is ideal for wall surface and gasketed optical compartment make Crosstar impervious to contaminants. The Crosstar MAXX wall luminaire is ideal for wall surface and gasketed optical compartment make Crosstar impervious to contaminants.



XTOR CROSSSTAR MAXX LED

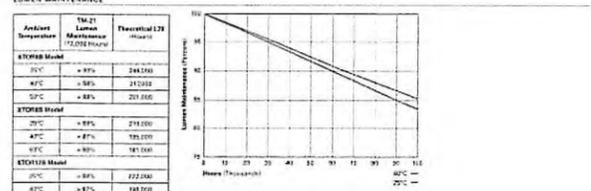
XTOR CROSSSTAR MAXX LED. Applications: Wall Surface, Inverted, Site Lighting. Features: 5-year warranty, 50,000 hours life.

CERTIFICATION DATA

Table with columns: Ambient Temperature, Lumen Maintenance, Theoretical Life (Hours). Rows for XTOR100, XTOR150, XTOR200, XTOR300, XTOR400, XTOR500.

POWER AND LUMENS BY FIXTURE MODEL

Table with columns: LED Information, Luminaires, B.U.G. Rating, CCT, CRI, Power Consumption (Initial), LED Information, Luminaires, B.U.G. Rating, CCT, CRI, Power Consumption (Initial).



CURRENT DRAW

Table with columns: Voltage, ATOR, XTOR, ATOR100, XTOR100, XTOR150, XTOR150, XTOR200, XTOR200, XTOR300, XTOR300, XTOR400, XTOR400, XTOR500, XTOR500.

Shipping Data: Approximate Net Weight: 10.15 lbs. (4.6 kg). Dimensions: 10.15" x 4.6" x 4.6".

ORDERING INFORMATION

Table with columns: Sample Number, LED Information, Mounting Color, Dimensions (H x W x D), Accessories (Color Temperature, CCT, CRI, etc.).

STOCK ORDERING INFORMATION

Table with columns: LED Series, B.U.G. Rating, Dimensions (H x W x D), Accessories (Color Temperature, CCT, CRI, etc.).

REFLECTIVE LENS

Table with columns: Reflector Lens, Dimensions (H x W x D), Accessories (Color Temperature, CCT, CRI, etc.).

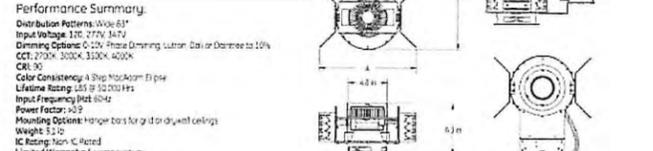
REFLECTIVE LENS

Table with columns: Reflector Lens, Dimensions (H x W x D), Accessories (Color Temperature, CCT, CRI, etc.).

Shipping Data: Approximate Net Weight: 10.15 lbs. (4.6 kg). Dimensions: 10.15" x 4.6" x 4.6".

Lumination™ LED Luminaires

Product Description: Lumination DI Series LED downlights are powered by the Downlight™ module for exceptional efficiency and color rendering. Designed for new construction applications, the DIAR is available in four color temperatures and five lumen packages, all with 90 CRI. Matching custom engineered reflectors ensure a 45 degree cutoff. The DIAR LED module allows for tool-free replacement and upgrade to LED technology advances, ensuring the lowest total cost of ownership.



Performance Summary: Distribution Patterns: Wide 51°, Input Voltage: 120V, 277V, 347V, Dimming Options: 0-10V, Phase Dimming, Color Accuracy: 90 CRI, Lifetime Rating: L80 50,000 hrs.

Ordering Information: A complete fixture consists of a Housing + Reflector. For standard lead times, order standard reflector options shown in bold.

Table with columns: DI, 4R, 9, V. Rows include product codes, descriptions, and technical specifications.

Housing-Only Option

Lumination DI series housings without LED modules are stocked in 50 distribution centers for quick shipment. These fixtures can be shipped directly to job sites for rough-in, and then later fitted with the appropriate Lumination LED module and trim to complete the installation. The unprecedented interchangeability and flexibility of the housing LED module makes this possible.



Table with columns: Downlight Housing-Only, Compatible LED Modules. Rows include product codes, descriptions, and technical specifications.

Table with columns: Round Housing-Only, Reflector & LED Modules. Rows include product codes, descriptions, and technical specifications.

Round Stocked Reflectors: 4" Round Reflector, 6" Round Reflector, 8" Round Reflector, 10" Round Reflector, 12" Round Reflector.

Table with columns: Product Code, Description, Dimensions, Weight, etc. Rows include various reflector and housing options.

Photometric Data: Lumination™ DIAR Wall Wash

Table with columns: Product Code, Description, Dimensions, Weight, etc. Rows include various wall wash options.

DIAR100X_RDRWSDPXIES. Photometric data table showing beam spread, foot-candle, and lux values.

DIAR150X_RDRWSDPXIES. Photometric data table showing beam spread, foot-candle, and lux values.

DIAR200X_RDRWSDPXIES. Photometric data table showing beam spread, foot-candle, and lux values.

DIAR300X_RDRWSDPXIES. Photometric data table showing beam spread, foot-candle, and lux values.

DIAR400X_RDRWSDPXIES. Photometric data table showing beam spread, foot-candle, and lux values.

DIAR500X_RDRWSDPXIES. Photometric data table showing beam spread, foot-candle, and lux values.

DIAR600X_RDRWSDPXIES. Photometric data table showing beam spread, foot-candle, and lux values.

DIAR700X_RDRWSDPXIES. Photometric data table showing beam spread, foot-candle, and lux values.

DIAR800X_RDRWSDPXIES. Photometric data table showing beam spread, foot-candle, and lux values.

DIAR900X_RDRWSDPXIES. Photometric data table showing beam spread, foot-candle, and lux values.

Photometric Data: Lumination™ DIAR Series Downlights

Table with columns: Product Code, Description, Dimensions, Weight, etc. Rows include various downlight options.

Wide Distribution: Photometric data table showing beam spread, foot-candle, and lux values.

Standard Distribution: Photometric data table showing beam spread, foot-candle, and lux values.

Spotlight Distribution: Photometric data table showing beam spread, foot-candle, and lux values.

Application Reference (Downlight): Photometric data table showing beam spread, foot-candle, and lux values.

Application Reference (Recessed): Photometric data table showing beam spread, foot-candle, and lux values.

Spacing Criteria: DIAR - Wide = 1.14

Product Specifications: Construction, Installation, Electrical System.

Current logo and website information.

Current logo and website information.

Current logo and website information.

CORE STATES GROUP logo and address: 6500 CHIPPEWA STREET SUITE 200, ST. LOUIS, MO 63109.

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED.

CHASE logo and CLIENT information.

811 logo and Know what's below! text.

REVISIONS table and DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK. SITE LOCATION: 2895 N HIGHWAY 67, FLORISSANT, MO 63033.

ENGINEER SEAL: CHAD D. FAIRMAN, REGISTERED PROFESSIONAL ENGINEER, STATE OF MISSOURI, LICENSE NO. 2001018729.

SHEET TITLE: PHOTOMETRIC DETAILS. SHEET NO. C15. JOB #: JPM-28916, DATE: 07/20/2020, SCALE: AS NOTED, DRAWN BY: RJO, CHECKED BY: CDF.

A
B
C
D
E
F
G
H
I

E-CSA04 Series

LED Square Canopy Light
Replaces 100W PSMH



CANOPY & PARKING

Extremely durable design and an efficacy up to 115 lumens per watt.

- Performance**
- Uses 66% less energy than comparable PSMH fixtures
 - Delivers 25% more light than comparable PSMH fixtures
 - Type VS distribution pattern
- Durable**
- Polyester powder-coat finish provides corrosion protection for long-lasting color
 - UV-stabilized lens designed to last

- Recommended Use**
- Security
 - Perimeter Lighting
- Input Voltage**
- Universal (120V through 277V Operation)

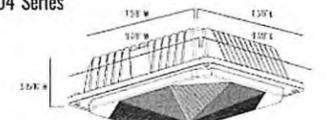
Certifications



e-conolight Making LED easy.

1501 9th Street, Sharfwood, NJ 07077 | Phone (800) 243-8445 | Fax (202) 504-8420 | www.econolight.com

E-CSA04 Series



Series Overview

DIMENSIONS	PRODUCT WEIGHT	MOUNTING HEIGHT	SPACING
13.5" L x 13.5" W x 3.5" H 3.3" L x 3.3" W (Clear Height)	5.0 lbs.	8 to 6 feet	1 to 2 zones (depending on height)

Features Specifications

HOUSING	Low copper die-cast aluminum housing Dark bronze or white polyester powder-coat finish
LENS ASSEMBLY	UV-stabilized acrylic prismatic reflector with self-retaining screws
MOUNTING	3/4" central entry for top fix product mounting 1/2" central entries on two sides

Electrical Performance

OPERATING VOLTAGE	LIFESPAN (ESTIMATED)	POWER FACTOR	TOTAL HARMONIC DISTORTION	DIMMABLE
40°C (104°F)	Estimated 100,000 Hours	>0.93	<20%	Yes

Warranty & Certifications

WARRANTY	DLC LISTED	DLC	ENERGY STAR
5 Year Limited *5 Year Limited *5 Year Limited	Yes, Standard	Yes, Standard	Yes, Standard

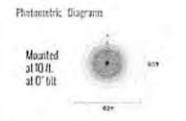
Output Specifications

SKU	LIGHT OUTPUT	COLOR TEMP. (Color Rend.)	POWER CONSUMPTION	COLOR ACCURACY	REPLACES
ECSA04A W50Z (Dark Bronze)	4500 Lumens	Cool White (5000K)	44W	>70 CRI	100W PSMH
ECSA04A W40Z (Dark Bronze)	4500 Lumens	Neutral White (4000K)	44W	>70 CRI	100W PSMH
ECSA04A W50W (White)	4500 Lumens	Cool White (5000K)	44W	>70 CRI	100W PSMH
ECSA04A W40W (White)	4500 Lumens	Neutral White (4000K)	44W	>70 CRI	100W PSMH

See front panel for important information with respect to light output.
*5 Year Limited
1501 9th Street, Sharfwood, NJ 07077 | Phone (800) 243-8445 | Fax (202) 504-8420 | www.econolight.com

e-conolight

E-CSA04 Series



CANOPY & PARKING

e-conolight

See front panel for important information with respect to light output.
1501 9th Street, Sharfwood, NJ 07077 | Phone (800) 243-8445 | Fax (202) 504-8420 | www.econolight.com

e-conolight

DESCRIPTION

Lanterna 3004-W1 (Up or Down) and 3004-W2 (Up and Down) are 4.5" O.D., line voltage cylinder fixtures with dimmable LED. The hardware comes in various mounting, surface mount with integral driver in the housing, remote driver mount with round and square wall plates and square wall integral driver, all of which can be mounted over standard 4 inch 1 box. The luminaire also comes with various beam optics and premium color tuning options. It also comes with top cover lens, bottom and color or dichroic films, which can combine up to two or more to create multiple lighting effects. The fixture may be used indoors or outdoors and carries IP66 rating.

SPECIFICATION FEATURES

Material: Housing, trim and mounting stem are precision-machined from 6061-T6 aluminum. The main housing is made of 6061-T6 aluminum. The mounting stem is made of 6061-T6 aluminum. The mounting stem is made of 6061-T6 aluminum. The mounting stem is made of 6061-T6 aluminum.

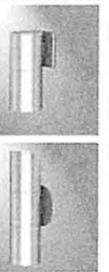
Finish: Housing and mounting stem are precision-machined from 6061-T6 aluminum. The main housing is made of 6061-T6 aluminum. The mounting stem is made of 6061-T6 aluminum. The mounting stem is made of 6061-T6 aluminum. The mounting stem is made of 6061-T6 aluminum.

Head: Head is precision-machined from 6061-T6 aluminum. The head is precision-machined from 6061-T6 aluminum. The head is precision-machined from 6061-T6 aluminum. The head is precision-machined from 6061-T6 aluminum.

LED: LED is precision-machined from 6061-T6 aluminum. The LED is precision-machined from 6061-T6 aluminum. The LED is precision-machined from 6061-T6 aluminum. The LED is precision-machined from 6061-T6 aluminum.

Lanterna

Category #	Type
Project	Date
Comments	
Prepared by	



Lanterna 3004

LED INTERIOR / EXTERIOR CYLINDER FLOOR LIGHT CERTIFICATION DATA

UL-Listed - IESNA
LM78/LM81 Compliant
RoHS Compliant

PHOTOMETRICS

Test Number	Color Metric Summary	Canopy Power Distribution	Beam of Light	Canopy Table
Test Number: P2450	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2451	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2452	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2453	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2454	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2455	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2456	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2457	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2458	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2459	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2460	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2461	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2462	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2463	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2464	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2465	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2466	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2467	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2468	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2469	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2470	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088

PHOTOMETRICS (PREMIUM COLOR TUNING)

Test Number	Color Metric Summary	Canopy Power Distribution	Beam of Light	Canopy Table
Test Number: P2471	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2472	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2473	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2474	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2475	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2476	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2477	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2478	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2479	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2480	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2481	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2482	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2483	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2484	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2485	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2486	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2487	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2488	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2489	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088
Test Number: P2490	TM-30-03 Ra=83 Rf=11.4	556	1:112	1:088

LUMEN TABLE

Beam Angle	10000	15000	20000	25000	30000	35000	40000	45000	50000	55000	60000	65000	70000	75000	80000	85000	90000	95000	100000
10°	10000	15000	20000	25000	30000	35000	40000	45000	50000	55000	60000	65000	70000	75000	80000	85000	90000	95000	100000
15°	15000	22500	30000	37500	45000	52500	60000	67500	75000	82500	90000	97500	105000	112500	120000	127500	135000	142500	150000
20°	20000	30000	40000	50000	60000	70000	80000	90000	100000	110000	120000	130000	140000	150000	160000	170000	180000	190000	200000
25°	25000	37500	50000	62500	75000	87500	100000	112500	125000	137500	150000	162500	175000	187500	200000	212500	225000	237500	250000
30°	30000	45000	60000	75000	90000	105000	120000	135000	150000	165000	180000	195000	210000	225000	240000	255000	270000	285000	300000
35°	35000	52500	70000	87500	105000	122500	140000	157500	175000	192500	210000	227500	245000	262500	280000	297500	315000	332500	350000
40°	40000	60000	80000	100000	120000	140000	160000	180000	200000	220000	240000	260000	280000	300000	320000	340000	360000	380000	400000
45°	45000	67500	90000	112500	135000	157500	180000	202500	225000	247500	270000	292500	315000	337500	360000	382500	405000	427500	450000
50°	50000	75000	100000	125000	150000	175000	200000	225000	250000	275000	300000	325000	350000	375000	400000	425000	450000	475000	500000
55°	55000	82500	110000	137500	165000	192500	220000	247500	275000	302500	330000	357500	385000	412500	440000	467500	495000	522500	550000
60°	60000	90000	120000	150000	180000	210000	240000	270000	300000	330000	360000	390000	420000	450000	480000	510000	540000	570000	600000
65°	65000	97500	130000	162500	195000	227500	260000	292500	325000	357500	390000	422500	455000	487500	520000	552500	585000	617500	650000
70°	70000	105000	140000	175000	210000	245000	280000	315000	350000	385000	420000	455000	490000	525000	560000	595000	630000	665000	700000
75°	75000	112500	150000	187500	225000	262500	300000	337500	375000	412500	450000	487500	525000	562500	600000	637500	675000	712500	750000
80°	80000	120000	160000	200000	240000	280000	320000	360000	400000	440000	480000	520000	560000	600000	640000	680000	720000	760000	800000
85°	85000	127500	170000	212500	255000	297500	340000	382500	425000	467500	510000	552500	595000	637500	680000	722500	765000	807500	850000
90°	90000	135000	180000	225000	270000	315000	360000	405000	450000	495000	540000	585000	630000	675000	720000	765000	810000	855000	900000

CORE STATES GROUP

6500 CHIPPEWA STREET SUITE 200
ST. LOUIS, MO 63108
CF@CORESTATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESS WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A MANNER OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASE

811

Know what's below. Call before you dig.

REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION
2895 N HIGHWAY 67
FLORISSANT, MO
63033

ENGINEER SEAL

STATE OF MISSOURI

CHAD D. FAIRBANKS
E-2001018723

8-3-20

PLANTING SPECIFICATIONS

GENERAL

- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR**
- ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 - A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 - THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.
- B. SCOPE OF WORK**
- WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 - THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.

PRODUCTS

- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW**
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS**
- FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITH A SPECIES SHALL HAVE SMALL SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 - ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 - TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (BBB), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 - ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE ACCEPTABILITY OF PLANT MATERIAL.
 - ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 - CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES CALIPER.
 - MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF OF THE SUM OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 - ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOIL** PROVIDE WELL-ROOTED SOIL OF THE VARIETY NOTED ON THE PLANS. SOIL SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOIL SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOIL.
- D. SEED** PROVIDE BLEND OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGES OF PURITY, GERMINATION, AND MINIMUM PERCENTAGE OF WEED SEED AS INDICATED ON PLANS. EACH BAG OF SEED SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEED.
- E. TOPSOIL** SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- F. COMPOST** WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8; MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 PERCENT; NOT EXCEEDING 0.5 PERCENT HEAVY METALS AND FREE OF SUBSTANCES TOXIC TO PLANTS; NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- G. FERTILIZER** GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- H. MULCH** SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS TOP DRESSING OF TREES AND SHRUBS.
- I. TREE STAKING AND GUYING**
- STAKES: 1/2" LONG GREEN METAL T-POSTS.
 - GUY AND TIE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.108 INCH DIAMETER.
 - STRAP CHAINING GUARD: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- L. STEEL EDGING** PROFESSIONAL STEEL EDGING, 1/4" GAUGE THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE COI-MET OR APPROVED EQUAL.
- M. PRE-EMERGENT HERBICIDES** ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.

METHODS

- A. SOIL PREPARATION**
- BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +1/0" OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 - SOIL TESTING
 - AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 8" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (EC), LIME, SODIUM ABSORPTION RATIO (SAR), AND BORON CONTENT.
 - THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, AERIC PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 - THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 - FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE.
 - TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE.
 - IRON SULPHATE - 2 LBS. PER CU. YD.
 - IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +1/0" OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 - ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 8" OF SOIL.

SUBMITTALS

- THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES.
- SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STOCK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
- SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIE WIRE, AND LANDSCAPE FABRICS IF ANY.
- WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

GENERAL

- REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
- EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
- TRENCHING NEAR EXISTING TREES
 - CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER AT GREATEST HEIGHT (4.5' ABOVE THE AVERAGE GRADE AT THE TRUNK).
 - ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS. WEAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PLANTS.

TREE PLANTING

- TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO THE DEPTH OF THE ROOTBALL PLUS TWO TO FOUR INCHES.
- SCARIFY THE SIDES AND BOTTOM OF THE PLANTING HOLE PRIOR TO THE PLACEMENT OF THE TREE. REMOVE ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE FOR CONCRETE AND ROCK. REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER ROOT DEFECTS. THE CONTRACTOR SHALL SHAVE A 1" LAYER OFF OF THE SIDES AND BOTTOM OF THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT "TEASE" ROOTS OUT FROM THE ROOTBALL.
- INSTALL THE TREE ON UNDISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
- BACKFILL THE TREE HOLES USING THE EXISTING TOPSOIL FROM ON-SITE. ROCKS LARGER THAN 1" DIA. AND ALL OTHER DEBRIS SHALL BE REMOVED FROM THE SOIL PRIOR TO THE BACKFILL. SHOULD ADDITIONAL SOIL BE REQUIRED TO ACCOMPLISH THIS TASK, USE STORED TOPSOIL FROM ON-SITE OR IMPORT ADDITIONAL SOIL FROM OFF-SITE. NO ADDITIONAL COST TO THE OWNER. IMPORTED TOPSOIL SHALL BE OF SIMILAR TEXTURAL CLASS AND COMPOSITION IN THE ON-SITE SOIL.
- TREES SHALL NOT BE STAKED UNLESS LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR STREPS) REQUIRE STAKES TO BE INSTALLED. SHOULD STAKES BE REQUIRED, THE TOTAL NUMBER OF TREE STAKES (BEYOND THE MINIMUMS LISTED BELOW) WILL BE LEFT TO THE LANDSCAPE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR LEAN, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THE TREE, OR REPLACE IT SHOULD IT BECOME DAMAGED. TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:
 - 1-1/2" TREES: TWO STAKES PER TREE
 - 2-1/2" - 4" TREES: THREE STAKES PER TREE
 - TREES OVER 4" CALIPER: GUY AS NEEDED
 - MULTI-TRUNK TREES: THREE STAKES PER TREE MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE.
- UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR OF THE TREE BERING WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MULCH (TYPE AND DEPTH PER PLANS).

SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING

- DO THE PLANTING HOLES TWICE AS WIDE AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.
- INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.
- WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANTING AREA.

SODDING

- SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
- LAY SOD WITH THE TIE OF STRIP/PIECE TO NOT LAY IF THE GROUND IS FROZEN.
- LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
- ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
- WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

HYDROMULCHING

- TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - WINTER MIX (OCTOBER 1 - MARCH 31)
 - 50# CELLULOSE FIBER MULCH
 - 2# ANNUAL RYE SEED
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - SUMMER MIX (APRIL 1 - SEPTEMBER 30)
 - 50# CELLULOSE FIBER MULCH
 - 2# HULLED FESCUE SEED
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
- SEED HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - GENERAL
 - 50# CELLULOSE FIBER MULCH
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - SEED RATE PER LEGEND

MULCH

- INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE IN ALL PLANTING AREAS AND TREE RINGS.
- DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVERING AREAS WHICH HAVE NOT CURED SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.

CLEAN UP

- DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
- LEGALLY DISPOSE OF ALL HAZARDOUS MATERIALS OFF THE PROJECT SITE.

INSPECTION AND ACCEPTANCE

- UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
- WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.

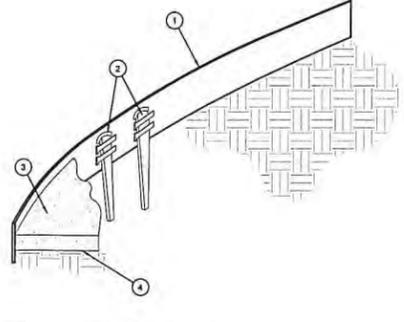
LANDSCAPE MAINTENANCE

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTling OF PLANTS THAT HAVE SETTLED, MOVING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CRITERION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROMULCHED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.

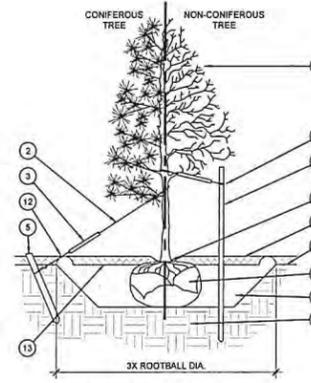
WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS

- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDS/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
- AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS.

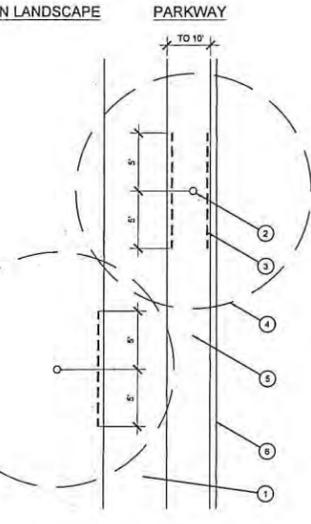
PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCUR DURING THE PROJECT AND THAT DOCUMENTED THROUGH CHANGE ORDERS, ADDENDAs, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



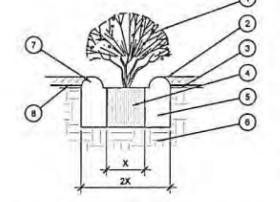
D STEEL EDGING
SCALE: NOT TO SCALE



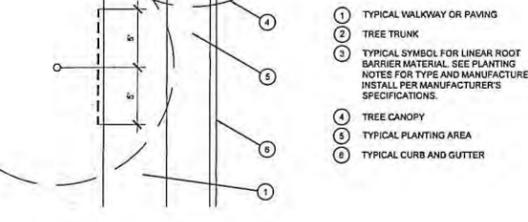
A TREE PLANTING
SCALE: NOT TO SCALE



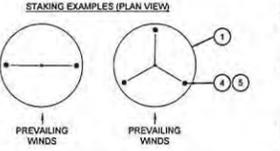
F ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE



B SHRUB AND PERENNIAL PLANTING
SCALE: NTS



OPEN LANDSCAPE PARKWAY



STAKING EXAMPLES (PLAN VIEW)

- ROLLED-TOP STEEL EDGING PER PLANS.
- TAPERED STEEL STAKES.
- MULCH, TYPE AND DEPTH PER PLANS.
- FINISH GRADE.

- NOTES:**
- INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 - BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 - TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

- NOTES:**
- CLARIFY SIDES OF PLANTING FIT PRIOR TO SETTING TREE.
 - REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2-4" ABOVE FINISH GRADE.
 - FOR BBB TREES, CUT OFF BOTTOM 1/2 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 - REMOVE ALL NURSERY STAKES AFTER PLANTING.
 - FOR TREES 3/8" BOX/2" CAL. AND LARGER, USE THREE STAKES OR DEADEN AS APPROPRIATE, SPACED EVENLY AROUND TREE.
 - STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

- SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- FINISH GRADE.
- ROOT BALL.
- BACKFILL, AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- UNDISTURBED NATIVE SOIL.
- 3" HIGH EARTHEN WATERING BASIN.
- WEED FABRIC UNDER MULCH.

- TYPICAL WALKWAY OR PAVING
- TREE TRUNK
- TYPICAL SYMBOL FOR LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- TREE CANOPY
- TYPICAL PLANTING AREA
- TYPICAL CURB AND GUTTER

CORE STATES GROUP

5850 CHURCHWALK STREET SUITE 200
DALLAS, TEXAS 75244
PHONE (214) 843-4320
CFAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESS WRITTEN PERMISSION OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN ANY OTHER MANNER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASE BANK

811

Know what's below. Call before you dig.

REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION
2895 N HIGHWAY 67
FLORISSANT, MO
63033

ENGINEER SEAL

JAMES W. GIBSON
Professional Engineer
No. 959138133
DATE: 7/16/2020

SHEET TITLE
LANDSCAPE DETAILS AND SPECS

JOB # JPM-28915
DATE 07/20/2020
SCALE
DRAWN BY: JWG
CHECKED BY: RM

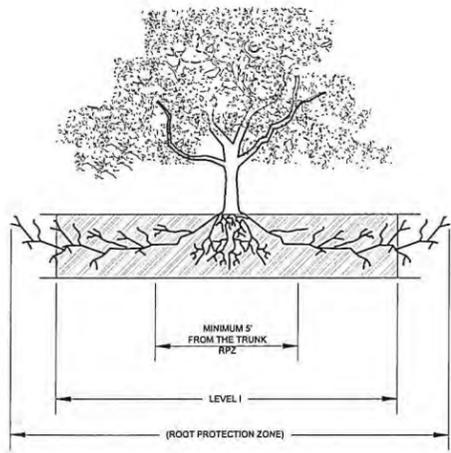
SHEET NO.
LP-2

EVERGREEN DESIGN GROUP

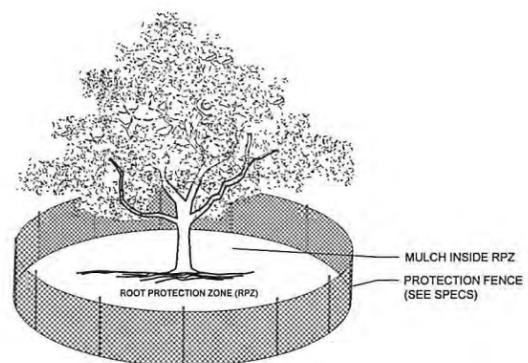
(800) 688-6630
15305 Dallas Pkwy., Ste 300
Addicks, TX 75001
www.EvergreenDesignGroup.com

TREE PROTECTION SPECIFICATIONS

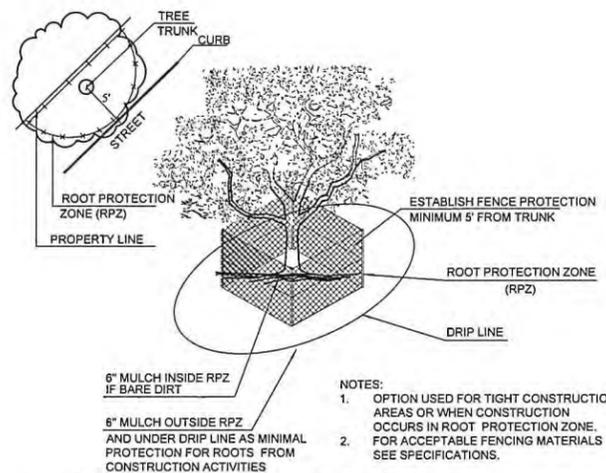
- MATERIALS**
- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
 - POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL "T" SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
 - THE WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
 - USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.
- CONSTRUCTION METHODS**
- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
 - EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
 - PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
 - PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
 - THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
 - THE INSTALLATION POSTS SHALL BE PLACED EVERY 8 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
 - WITHIN THE CRZ:
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND TREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS, METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS, INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
 - ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.
 - WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
 - THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES.
 - REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
 - TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
 - ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
 - COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
 - IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
 - WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
 - CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.



A TREE PROTECTION FENCE - ELEVATION
SCALE: NOT TO SCALE



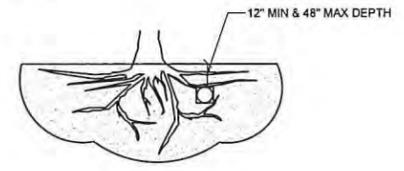
B TREE PROTECTION FENCE
SCALE: NOT TO SCALE



C TREE PROTECTION FENCE - LEVEL 2
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3\"/>

D BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

- NOTES:**
- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

CORE STATES
DESIGN GROUP
6000 CHIPPEWA STREET SUITE 200
ST. LOUIS, MO 63109
PH: (314) 863-4326
CFARBANK@CORESTATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT
CHASE

811
Know what's below. Call before you dig.
The contractor is responsible for determining the location and depth of existing utilities as shown on the plans or based on other information received by the contractor. The contractor shall be responsible for the location and depth of the utilities shown on the plans. The contractor shall contact the appropriate utility companies at least 72 hours before any excavation to request exact locations of utilities.

REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK

SITE LOCATION
2895 N HIGHWAY 67
FLORISSANT, MO
63033

ENGINEER SEAL
JAMES W. CHAPMAN
Professional Engineer
No. 1555138133
DATE: 7/16/2020

SHEET TITLE
TREE
PRESERVATION
DETAILS AND NOTES

JOB #: JPM-28815
DATE: 07/20/2020
SCALE:
DRAWN BY: JWG
CHECKED BY: RM

SHEET NO.
TP-2

EVERGREEN
DESIGN GROUP
(800) 680-6630
15305 Dallas Pkwy., Ste 300
Addicks, TX 75001
www.EvergreenDesignGroup.com



*City of Florissant Department of Public Works
Planning and Zoning Commission
Parking Study Report*

*J.P.Morgan Chase, N.A.
2895 North Highway 67
Florissant, MO 63003*

St. Louis County, Missouri

Prepared by:

Core States Group
St. Louis, MO
© CoreStates, Inc.
August 12, 2020

PARKING STUDY REPORT
City of Florissant, Missouri

FOR

J.P.MORGAN CHASE, N.A. –
2895 NORTH HIGHWAY 67
ST. LOUIS COUNTY, MISSOURI

Prepared for:

J.P.Morgan Chase, N.A.
10 South Dearborn, 5th Floor
Chicago, IL 60603

Prepared by:

Core States Group
6500 Chippewa Street, Suite 200
St. Louis, MO 63109

August 12, 2020

THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THE DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY CORESTATES, INC. SHALL BE WITHOUT LIABILITY TO CORESTATES, INC.

The entirety of this report, including text and images, is property of CoreStates, Inc. and is protected under U.S. copyright law. Copyright ©2020, CoreStates, Inc.

Table of Contents

ENGINEER’S CERTIFICATION 1
Introduction 2
Project Description..... 2
Existing Conditions 2
City of Florissant Parking Requirements 2
Justification for Requested Variance 3
 Customer Parking 3
 Total Parking Needs..... 3
EXHIBIT 1 - Proposed Site Plan..... 5
EXHIBIT 2 - Proposed Floor Plan 6
EXHIBIT 3 – ITE Parking Manual Excerpts 7

ENGINEER’S CERTIFICATION

THIS IS TO CERTIFY THAT THE ENCLOSED ENGINEERING CALCULATIONS WERE PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION.



Chad Fairbanks, P.E. #2001018726
CoreStates, Inc.
6500 Chippewa Street, Suite 200
St. Louis, MO 63109

DATE: 8-13-2020

Introduction

This parking study is provided as justification to the parking spaces at a rate above the required number of parking spaces for a J.P.Morgan Chase (Chase) bank at 2895 North Highway 67, Florissant, MO 63003. The City of Florissant per Section 405.225.G. in the City Code requires a submission of a parking study with sufficient documentation that demonstrates the need for increased parking demand above the minimum parking spaces required. This report provides documentation based on Chase operational standards and consultation of the Institute of Transportation Engineers (ITE) 5th edition of the Parking Generation Manual (Manual). The findings of this report verify and substantiate the need for the increased parking spaces for this site over and above the maximum number allotted by the City Code. Chase respectfully requests determination of acceptable parking increase to develop the property.

Project Description

The proposed project is a Chase bank to be located mid-block on the north side of North Highway 67 between New Halls Ferry Road and Cougar Drive in Florissant, Missouri. The proposed development includes the construction of a 3,564 SF Chase bank, 33 parking spaces and all other related appurtenances. The project is Lot 2 of an overall development known as Ponderosa Plaza.

Existing Conditions

The site is currently occupied by the 54th Street Grill & Bar with existing curb cuts onto the access road to the north and North Highway 67 to the south. The existing restaurant is 6,143 SF with 106 parking spaces.

City of Florissant Parking Requirements

The City Code states in Section 405.225.I. that for financial institutions, the required number of parking spaces is calculated as 3.6 per 1,000 SF of gross floor area (GFA). The proposed Chase bank is 3,564 SF and would require 13 parking spaces per the minimum calculation. The maximum parking allowed is 10% above the minimum requirement. Applying the 10% increase, the bank would be permitted a maximum of 14 parking spaces.

Per Sec. Section 405.225.G.1. of the City Code, a parking demand study for modification of the parking requirements is required wherein an application seeks to either reduce the minimum or exceed the maximum parking requirements. The elements of the parking demand study are listed below and discussed further throughout the remainder of the report.

Section 405.225.G.2 – Parking Study Requirements

- a. A plan which graphically depicts where the parking spaces, loading spaces, stacking area, and parking structures are to be located, as well as the on-site circulation for automobile, pedestrian, and bicycle movement.
- b. A report which demonstrates how any variations from this Section were calculated and upon what assumptions such calculations were based; and how everything shown on the plan complies with, or varies from, applicable standards and procedures of the City.
- c. The plan shall show all entrances and exits for any structured parking and the relationship between parking lots or structures and the circulation.
- d. The plan, supported by the report, shall show the use, number, location, and typical dimensions of parking and loading for various vehicle types, including passenger vehicles, trucks, vehicles for mobility-impaired persons, motorcycles, buses, other transit vehicles and bicycles.

- e. The plan, supported by the report, shall include phasing plans for the construction of parking facilities and any interim facilities planned.
- f. Whenever the applicant requests to reduce the number of required parking spaces; or to exceed the maximum parking provided for in this Section, the required report shall document how the proposed parking was calculated and upon what assumptions such calculations were based.
- g. Such other information as determined by the Building Commissioner, Planning and Zoning Commission or City Council to be necessary or appropriate.

Justification for Requested Variance

Customer Parking

For purposes of analyzing the maximum number of parking spaces that would be required at this site, the Institute of Transportation Engineers (ITE) 5th edition of the Parking Generation Manual (Manual) was consulted. The ITE code for a drive-in bank is 912. Excerpts from this section of the Manual are provided in Exhibit 3. Per the ITE report, the 85th percentile rate is six (6) parking spaces per 1,000 SF of GFA. Based on the proposed 3,564 SF building, peak hour parking spaces required for the 85th percentile would be 22 (round up from 21.38).

Employee Parking

The same manual was consulted for calculations of the parking spaces for employees. Typical Chase Banks will require six (6) to eight (8) employees during the 9am to 6pm operating hours. During peak conditions, eight (8) employees are expected to be available to assist customers with their banking needs. The manual states that the average rate and 85th percentile rate for the proposed building would be 1.32 and 1.89 parking spaces per employee, respectively. Based on the peak number of employees at the bank, employees would require 10.56 and 15.12 parking spaces, for average and 85th percentile rate conditions, respectively.

Total Parking Needs

A summation of all parking needs is provided below.

Parking Needs Based on City of Florissant Requirements:	13 parking spaces (minimum) 14 parking spaces (maximum)
Customer Parking Needs Based on ITE Manual:	22 parking spaces (85 th percentile)
Employee Parking Needs Based on ITE Manual:	16 parking spaces (85 th percentile)

Therefore, based on the above calculation, a total of 38 parking spaces based on the ITE Manual would be needed at this site. The site plan shown in Exhibit 1 reflects 33 parking spaces. Although the ITE Manual justifies more than this amount, Chase has limited the proposed parking to 33.

Statement of Hardship

Without the additional parking spaces requested in this parking study, the potential customer base for the Chase bank may be reduced and inconvenienced causing loss of business and revenue.

Non-Materially Detrimental Or Injurious Statement

It is the opinion of CSG that the increase parking above the minimum allotted for the site will not be materially detrimental or injurious to other properties or improvements in the surrounding area for the following reasons:

- A.) The proposed Chase bank site allows for substantial increase in green space areas interior to the parcel boundaries. The parking field will be well screened by the existing trees that will remain in place.

- B.) The Commerce Bank® on the opposite south side of North Highway 67 is of similar building area (3,360± SF) and has 28 parking spaces. As per the discussion in the "City of Florissant Parking Requirements" section, this bank would only require 13 parking spaces. However, this bank has an excess of 15 parking spaces beyond the minimum required. Therefore, the 33 parking spaces requested for this bank is harmony with the surrounding commercial area.

EXHIBIT 1 - Proposed Site Plan

EXHIBIT 2 - Proposed Floor Plan

EXHIBIT 3 – ITE Parking Manual Excerpts

Land Use: 912 Drive-In Bank

Description

A drive-in bank provides banking facilities for motorists who conduct financial transactions from their vehicles. The drive-in lanes may or may not provide automatic teller machines (ATMs). All sites in database also provide walk-in services.

Time of Day Distribution for Parking Demand

The following table presents a time-of-day distribution of parking demand on a weekday at 25 study sites in a general urban/suburban setting.

Hour Beginning	Percent of Weekday Peak Parking Demand
12:00–4:00 a.m.	–
5:00 a.m.	–
6:00 a.m.	–
7:00 a.m.	7
8:00 a.m.	24
9:00 a.m.	62
10:00 a.m.	82
11:00 a.m.	90
12:00 p.m.	85
1:00 p.m.	88
2:00 p.m.	92
3:00 p.m.	100
4:00 p.m.	92
5:00 p.m.	72
6:00 p.m.	36
7:00 p.m.	9
8:00 p.m.	–
9:00 p.m.	–
10:00 p.m.	–
11:00 p.m.	–

Additional Data

Parking demand does not include vehicles queued at drive-in lanes.

The average parking supply ratio for the 11 study sites in a general urban/suburban setting with parking supply information is 7.2 spaces per 1,000 square feet GFA.

The sites were surveyed in the 2000s and the 2010s in New Jersey, New York, Tennessee, Texas, and Washington.

Source Numbers

411, 445, 503, 527, 530, 567

Drive-in Bank (912)

Peak Period Parking Demand vs: 1000 Sq. Ft. GFA

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 11:00 a.m. - 4:00 p.m.

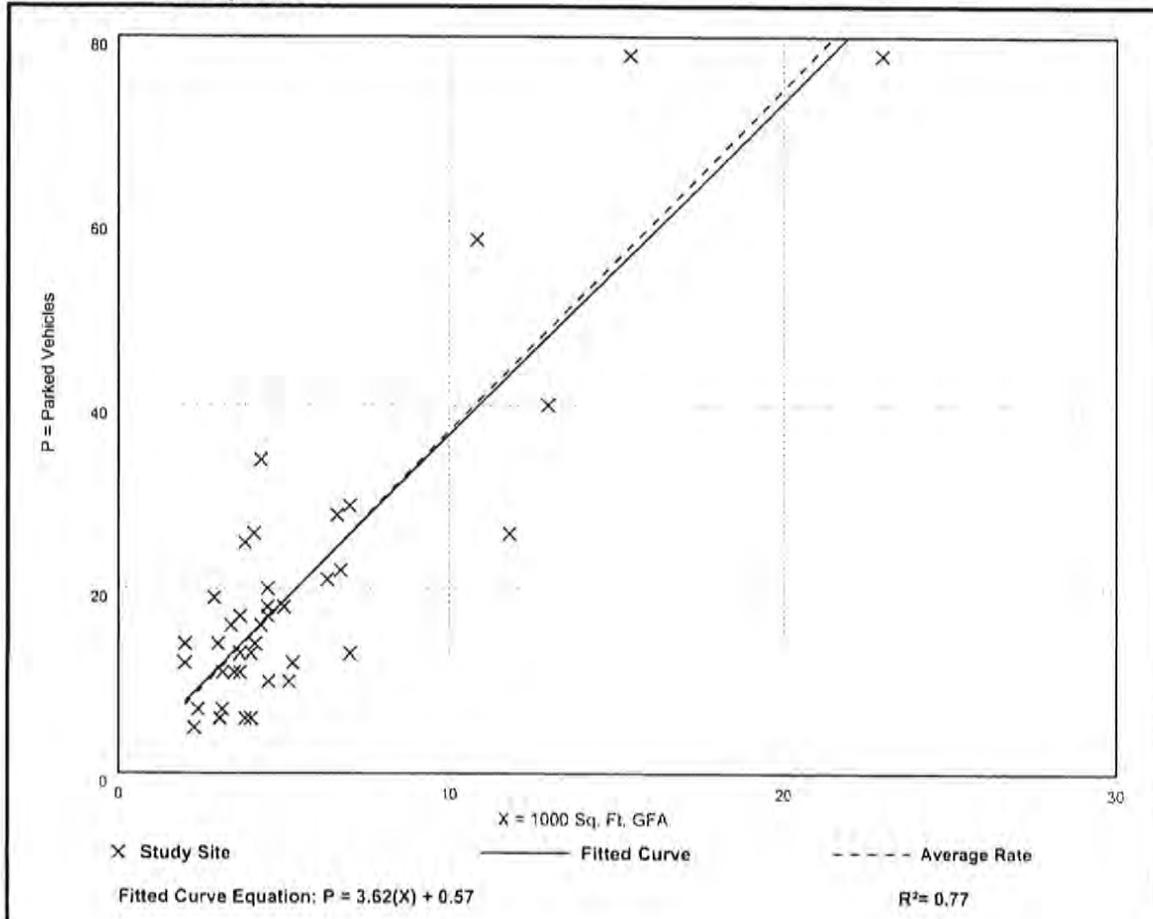
Number of Studies: 39

Avg. 1000 Sq. Ft. GFA: 5.5

Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
3.72	1.50 - 7.91	3.10 / 6.00	3.27 - 4.17	1.42 (38%)

Data Plot and Equation



Drive-in Bank (912)

Peak Period Parking Demand vs: 1000 Sq. Ft. GFA

On a: Saturday

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 9:00 a.m. - 12:00 p.m.

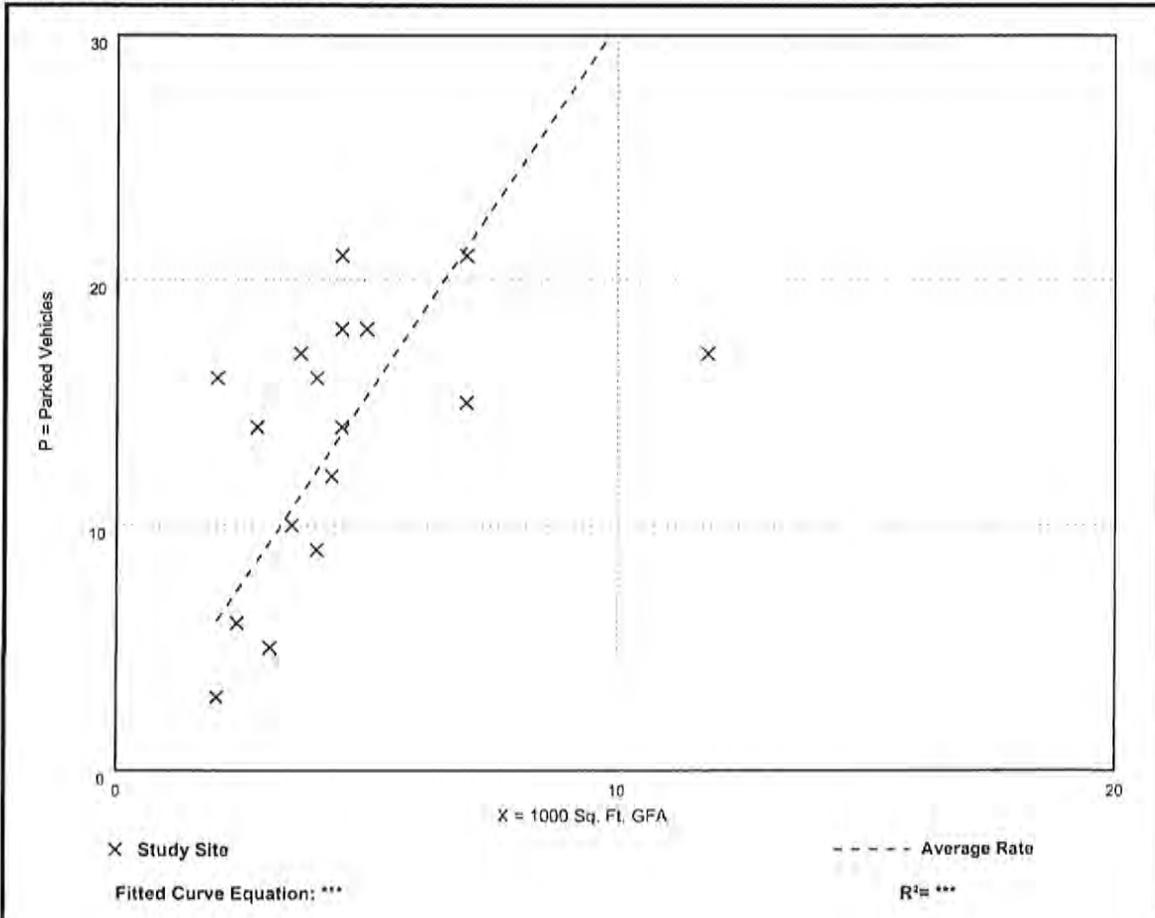
Number of Studies: 17

Avg. 1000 Sq. Ft. GFA: 4.5

Peak Period Parking Demand per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
3.05	1.44 - 8.00	2.49 / 4.77	***	1.40 (46%)

Data Plot and Equation



Drive-in Bank (912)

Peak Period Parking Demand vs: Employees

On a: Weekday (Monday - Friday)

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 11:00 a.m. - 4:00 p.m.

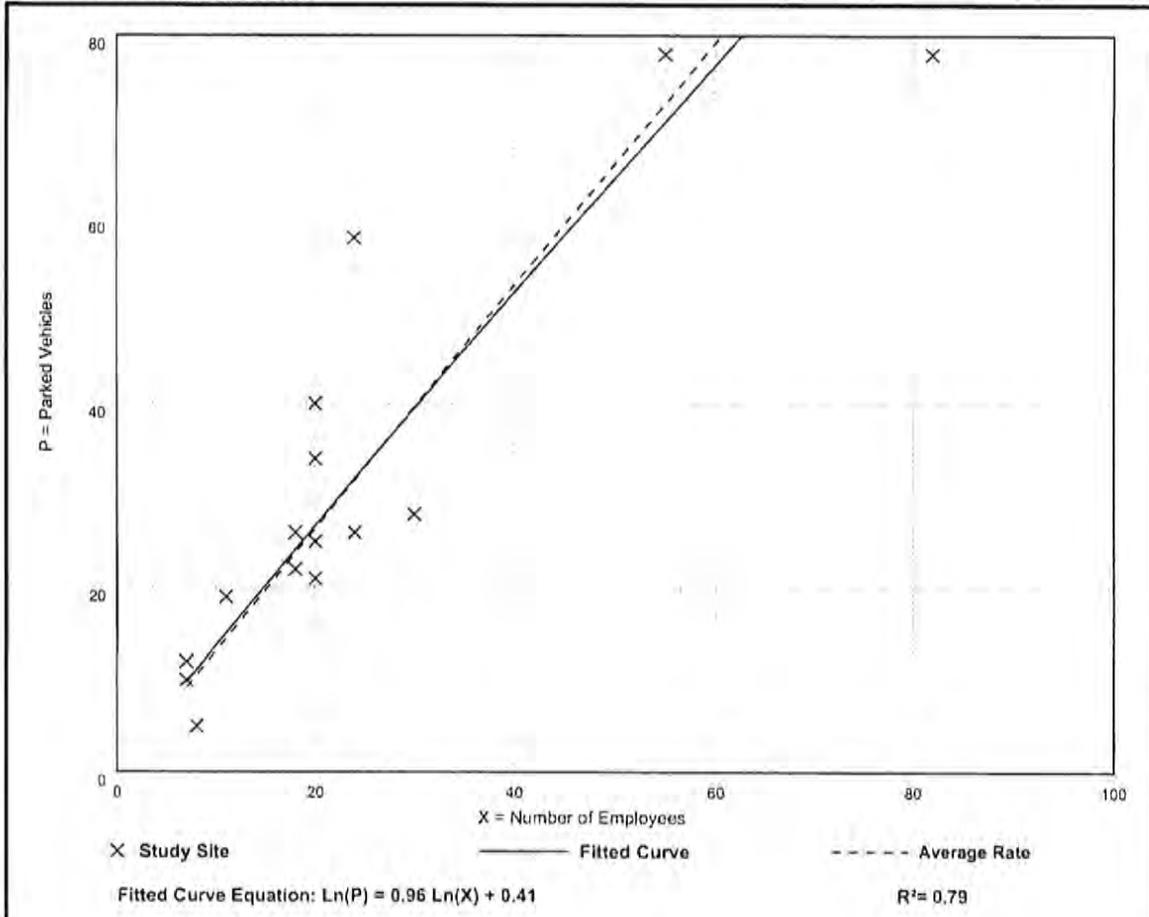
Number of Studies: 15

Avg. Num. of Employees: 24

Peak Period Parking Demand per Employee

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
1.32	0.63 - 2.42	1.12 / 1.89	***	0.45 (34%)

Data Plot and Equation



Drive-in Bank (912)

Peak Period Parking Demand vs: Employees

On a: **Saturday**

Setting/Location: General Urban/Suburban

Peak Period of Parking Demand: 9:00 a.m. - 12:00 p.m.

Number of Studies: 2

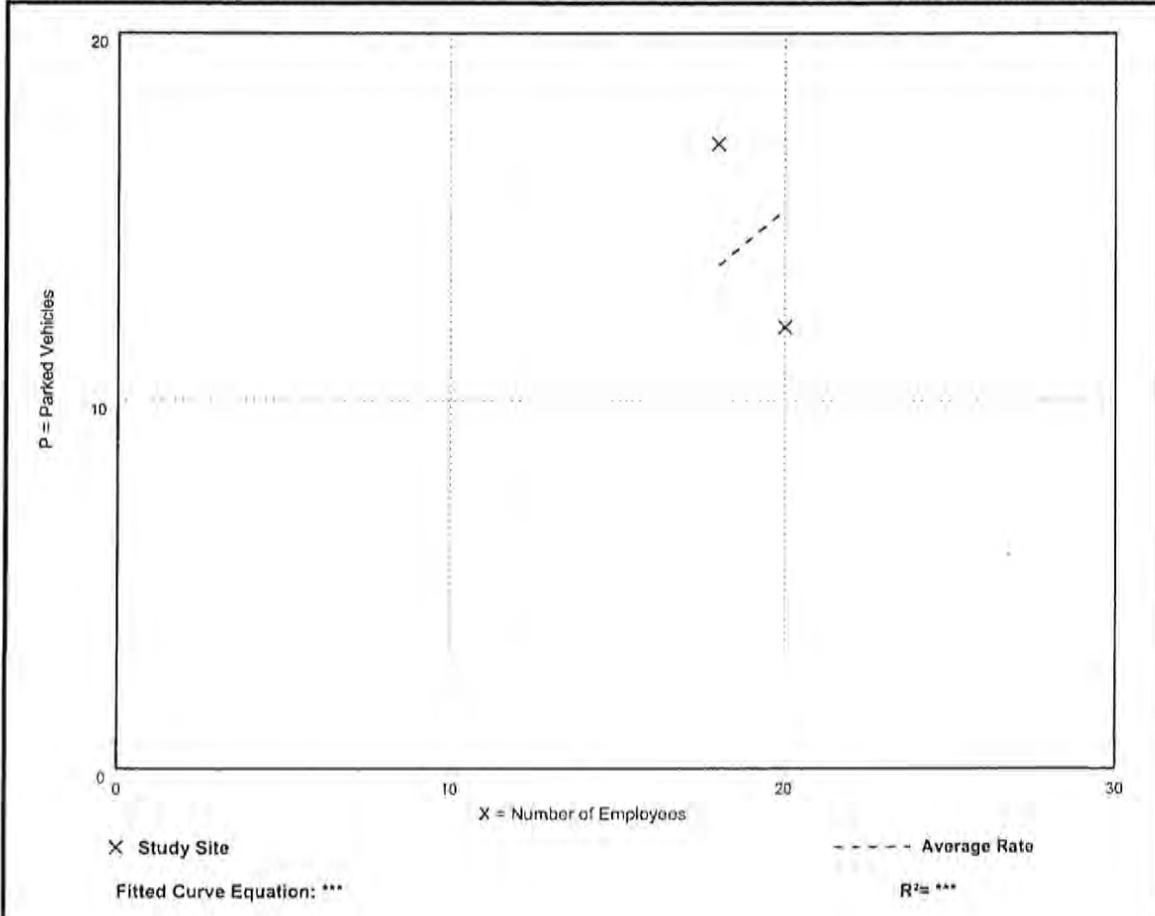
Avg. Num. of Employees: 19

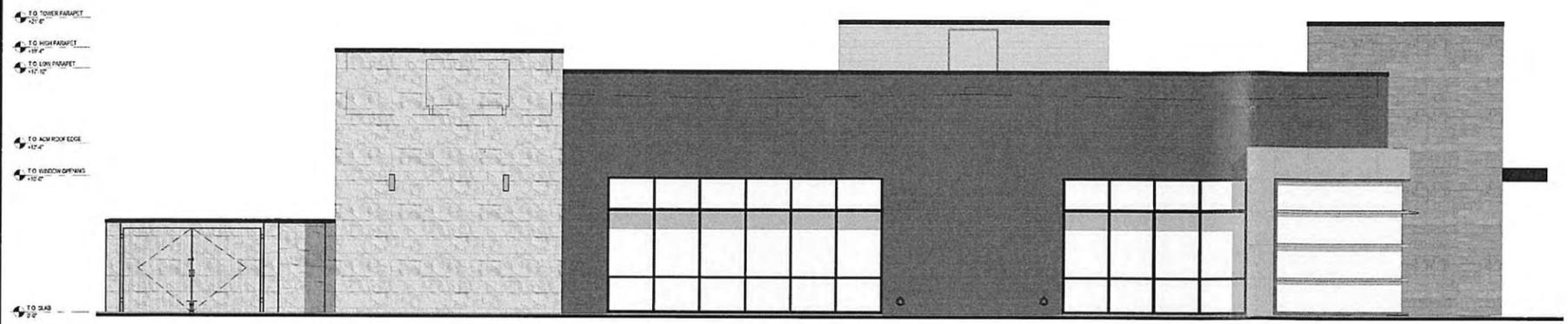
Peak Period Parking Demand per Employee

Average Rate	Range of Rates	33rd / 85th Percentile	95% Confidence Interval	Standard Deviation (Coeff. of Variation)
0.76	0.60 - 0.94	*** / ***	***	*** (***)

Data Plot and Equation

Caution – Small Sample Size





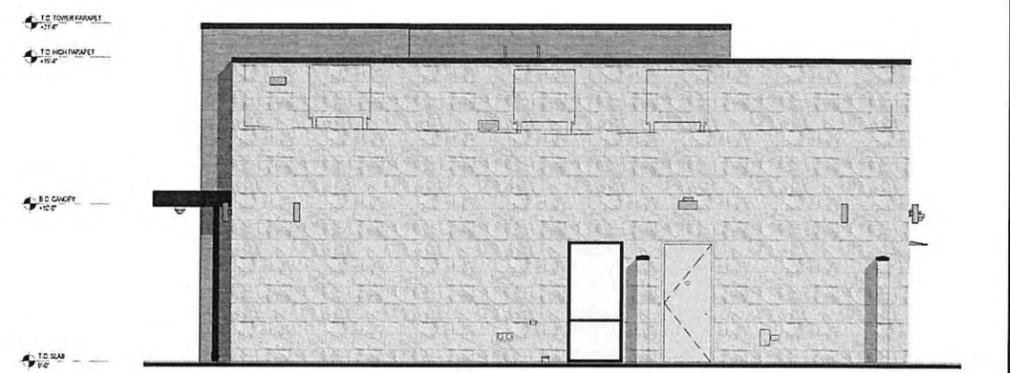
WEST ELEVATION



SOUTH ELEVATION (LINDBERGH BLVD.)



EAST ELEVATION



NORTH ELEVATION


 STOREFRONT
 APPLICATION: EXTERIOR
 COLOR: CLEAR ANODIZED


 STOREFRONT/CANOPY
 APPLICATION: EXTERIOR
 COLOR: BLACK ANODIZED


 PAINT
 APPLICATION: EXTERIOR
 COLOR: TO MATCH SHERWIN WILLIAMS
 SW-7045 INTELLECTUAL GRAY


 PAINT
 APPLICATION: EXTERIOR
 COLOR: TO MATCH SHERWIN WILLIAMS
 SW-7036 ACCESSIBLE BEIGE


 CORONADO STONE
 APPLICATION: EXTERIOR
 COLOR: CHISELED LIMESTONE - CREAM


 ALUMINUM COMPOSITE MATERIAL (ACM)
 APPLICATION: CANOPY
 COLOR: "CHASE SILVER"


 NICHHA
 APPLICATION: EXTERIOR
 COLOR: VINTAGEWOOD - BARK


 NICHHA
 APPLICATION: EXTERIOR
 COLOR: VINTAGEWOOD - ASH


 PAC-CLAD COPING
 APPLICATION: EXTERIOR/COPING
 COLOR: AGED BRONZE

CHASE 
 N. HWY. 67 & NEW HALLS FERRY RD.
 FLORISSANT, MO 63033

PROPOSED EXTERIOR ELEVATIONS

JULY 20, 2020
 SCALE: 3/16" = 1'-0"

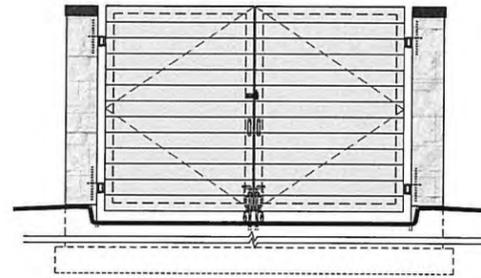
6500 CHIPPEWA STEET
 SUITE 200,
 ST. LOUIS, MO 63109
 Contact: Jose Sanchez
 jsanchez@core-states.com

CORE STATES

 GROUP

T.O. TRASH ENCLOSURE
6'-4"

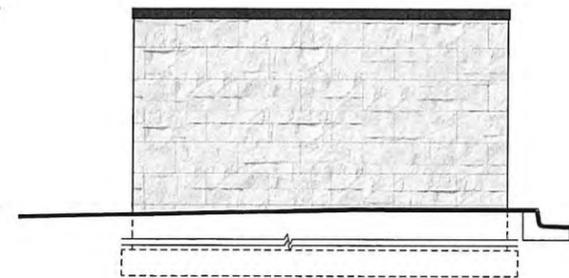
T.O. SLAB
0'-0"



EAST ELEVATION (FRONT)

T.O. TRASH ENCLOSURE
6'-4"

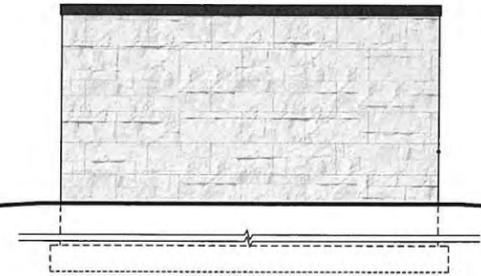
T.O. SLAB
0'-0"



SOUTH ELEVATION

T.O. TRASH ENCLOSURE
6'-4"

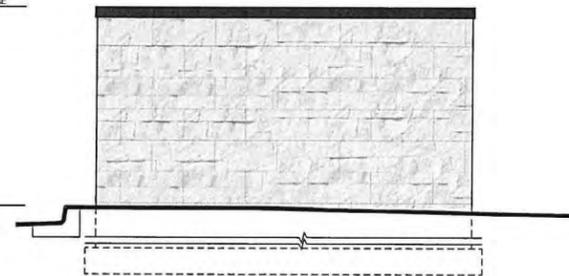
T.O. SLAB
0'-0"



WEST ELEVATION (REAR)

T.O. TRASH ENCLOSURE
6'-4"

T.O. SLAB
0'-0"



WEST ELEVATION



PRE-CLAD COPING
APPLICATION: EXTERIOR / COPING
COLOR: AGED BRONZE



CORONADO STONE
APPLICATION: EXTERIOR
COLOR: CHISELED LIMESTONE - CREAM



PAINT
APPLICATION: EXTERIOR
COLOR: TO MATCH SHERWIN WILLIAMS
SW-7036 ACCESSIBLE BEIGE



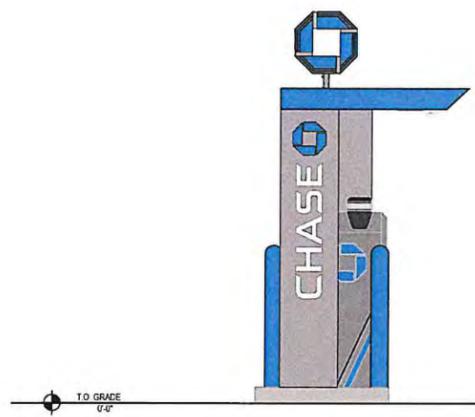
N. HWY. 67 & NEW HALLS FERRY RD.
FLORISSANT, MO 63033

PROPOSED EXTERIOR ELEVATIONS

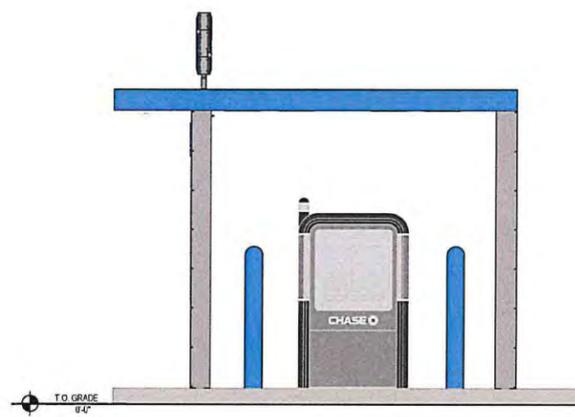
JULY 20, 2020
SCALE: 3/8" = 1'-0"

6500 CHIPPEWA STREET
SUITE 200,
ST. LOUIS, MO 63109
Contact: Jose Sanchez
jsanchez@core-states.com

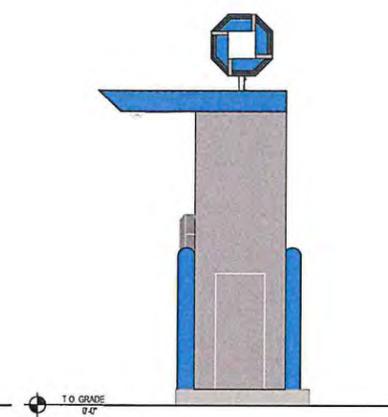




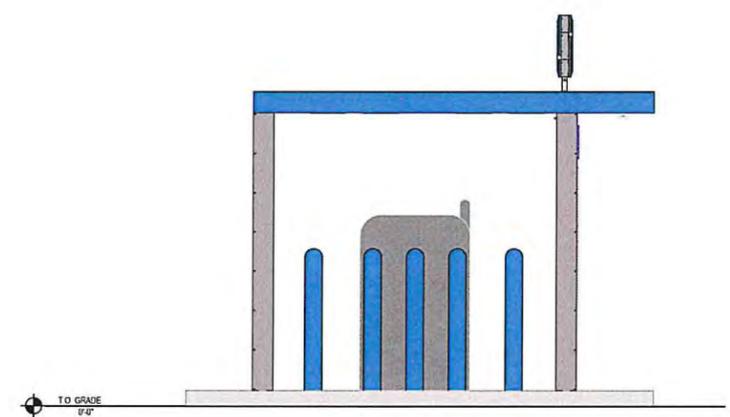
SOUTH ELEVATION (APPROACH)



EAST ELEVATION (SIDE)



NORTH ELEVATION (DEPARTURE)



WEST ELEVATION (SIDE)



CHASE
N. HWY. 67 & NEW HALLS FERRY RD.
FLORISSANT, MO 63033

PROPOSED EXTERIOR ELEVATIONS

JULY 20, 2020
SCALE: 3/8" = 1'-0"

6500 CHIPPEWA STREET
SUITE 200,
ST. LOUIS, MO 63109
Contact: Jose Sanchez
jsanchez@core-states.com

CORE STATES
GROUP

Regional Director (RD) _____ DATE _____

Operating Model Lead (OML) _____ DATE _____

Teller Line BRG YES NO

CPC / Future CPC Office _____

Neighborhood Name _____

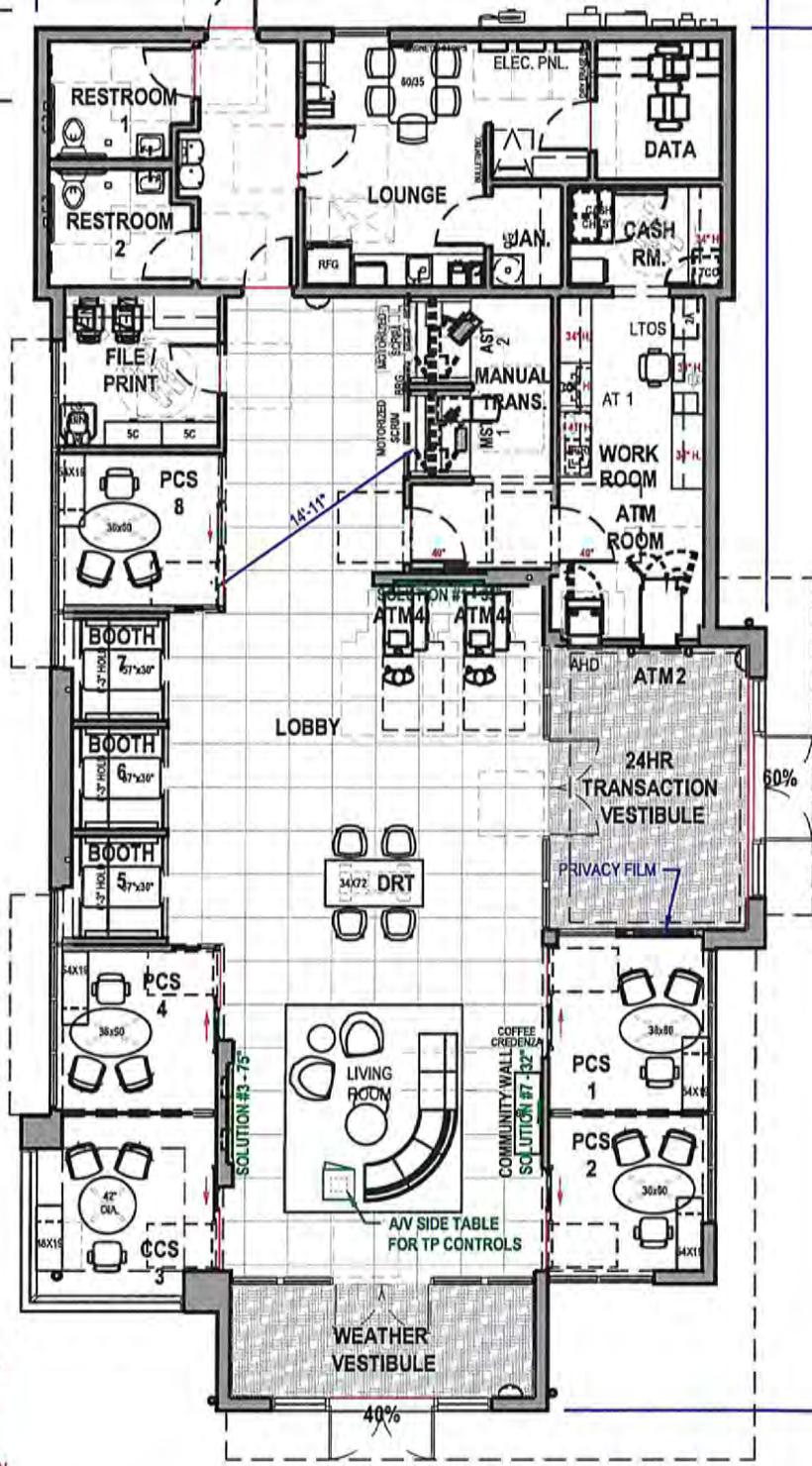
PARKING / DRIVE UP ATM

45'-0"

ADJACENT TENANT - AT&T

ACCESS ROAD

84'-11 1/4"



DESIGN STANDARDS	
CB 20.2	
HARDINESS ZONE	6A
WEATHER VESTIBULE REQUIRED *	

* HARDINESS ZONES <= 6A

INFORMATION ONLY

FLOOR PLAN WILL BE UPDATED TO LATEST RETAIL DESIGN STANDARDS AND VALIDATED W/ BUDGET. NOTE TO AOR; DO NOT PROCEED WITH CONSTRUCTION DOCUMENTS IF THIS STAMP IS PRESENT.

HIGHWAY 67



PROPOSED FLOOR PLAN
FLORISSANT, MO
 2895 N Highway 67, Florissant, MO 63033

DATE	DESIGNER	AREA	SCALE
29 APR 20	DSK	3,453 sq. ft.	NONE



20.1 Prototype | Exterior Rendering



20.1 Prototype | Exterior Rendering



20.1 Prototype | Exterior Renderings



St. Louis Audubon Society

P.O. Box 220227 St. Louis, MO 63122 www.stlouisaudubon.org

September 22, 2020

Mayor Tim Lowery
Councilman Patrick Mulcahy
955 Rue St. Francois
Florissant, MO 63031

Re: St. Louis Audubon Society *Bring Conservation Home* Municipal Partnership

Dear Tim & Patrick,

Thanks to you both for the invitation to present the St. Louis Audubon Society Bring Conservation Home program and partnership opportunity to the City Council on September 14th. I have included below a description of the program and the partnership, including the few actions we ask of the City. Please let me know if you have any questions.

How the Program Works

“Bring Conservation Home Program” through the St. Louis Audubon Society.

1. Advice provided to landowner through an on-site consultation made by Habitat Advisors.
2. Habitat Advisors are trained in a variety of conservation practices for suburban landscapes.
3. Habitat Advisors come by appointment to the landscape after landowner submits an online request form.
4. The consultation includes a review of the landowner’s goals for their landscape, an interactive walk-through of their space and recommendations in a written report.
5. Modifications have been made to the program due to COVID that allow our high-quality advice to be provided by video call. At least 90% of 2020 consults will be completed by video call.
6. The written report provides a menu of recommendations on how to improve the landscape as bird or pollinator habitat and in-line with the landowner’s goals.
7. Program Pay Off – when a certain level of conservation is achieved, the owner is awarded one of three levels of certification – silver, gold or platinum.
8. The Real Pay Off – regular nature encounters with birds and butterflies with an attractive native landscape that produces less storm runoff, lower water bills and more.

Our mission is to create a community connection to nature through education and conservation.

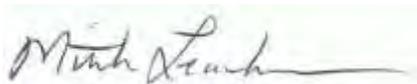
9. Homeowner Cost - 50% off regular program fee (currently \$60 or \$80, depending upon the size of the landscape). The minimum fee would be \$30 for a property of less than a half acre. Upon reaching a certain level of certification the landowner may choose to purchase a program yard sign. Current cost of the sign is \$20.
10. Non-Residential Properties – program is not restricted to residential properties. The fee schedule may vary for larger institutional/commercial properties.

City Commitment

1. Mayor and City Council endorse and partner with the St. Louis Audubon Society “Bring Conservation Home Program.”
2. Endorsement = believe in the program, its merits and benefit to the community.
3. Partnership = market the program in at least one City newsletter per year, and provide a link to the program on the City’s website. If appropriate and space available, allow approved literature in City-owned buildings explaining the program.

Thanks again for your work in helping create a more sustainable and nature-friendly community! We look forward to a long and productive working relationship!

Most sincerely,



Mitch Leachman
Director of Programs
stlaudubon@charter.net
(314) 599-7390

1 INTRODUCED BY COUNCILMAN SIAM
2 SEPTEMBER 14, 2020

3
4 BILL NO. 9616

ORDINANCE NO.

5
6 **ORDINANCE TO AUTHORIZE AN AMENDMENT TO B-5 ORDINANCE**
7 **NO. 6266, AS AMENDED, TO ALLOW FOR A NEW TUNNEL CAR**
8 **WASH FOR THE PROPERTY LOCATED AT 3180 N. HIGHWAY 67.**
9

10 WHEREAS, the City Council passed and approved Ordinance No.6266 which
11 authorized a proposed development at 3180 N. Hwy 67; and

12 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
13 recommended to the City Council at their meeting of August 17th, 2020 that Ordinance No. 6266
14 (as amended by Ordinance Nos. 6380, 8064, 8224, 8616, and 8626) to allow for additional
15 ‘Permitted Uses’ in a B-5 Zoning District for the property located at 3180 N Highway 67; and

16 WHEREAS, due and lawful notice of a public hearing no. 20-09-024 on said proposed
17 change was duly published, held and concluded on 14th of September by the Council of the City
18 of Florissant; and

19 WHEREAS, the Council, following said public hearing, and after due and careful
20 deliberation, has concluded that the amendment of Ordinance No. 6266 (as amended by
21 Ordinance Nos. 6380, 8064, 8224, 8616, and 8626), as hereinafter set forth, to be in the best
22 interest of the public health, safety and welfare of the City of Florissant; and

23
24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
26

27
28 Section 1: ‘B-5’ Ordinance No. 6266 (as amended by Ordinances Nos. 6380, 8064, 8224, 8616,
29 and 8626), at 3180 N. Highway 67 is hereby amended to allow for a new tunnel carwash in an
30 existing ‘B-5’ District as depicted by on the attached Cochran drawings 1-4 of 4 dated July 2020
31 and Finkle+Williams Renderings and Elevations, attached, subject to the regulations of the ‘B-
32 5’ Planned Commercial District, with permitted uses allowed being those within the B-3
33 “Extensive Business District” without a Special Permit, and the following additional
34 requirements:
35

36 The following changes to B-5 ordinance no. 6266, Section 2 are hereby approved:
37

38 Add the following sub-paragraph a) to Section 2, para:
39

40 **1. PERMITTED USES**

41

a)“The uses permitted in this ‘B-5’ Planned Commercial District shall also include a tunnel carwash as shown on the attached plans Cochran drawings 1-4 dated July 2020, Finkle+Williams Renderings and Elevations.

2. **FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

Add para b. Tunnel carwash shall be 5671 s.f. as depicted on referenced plans.

Paragraph 3 shall be changed to read:

3. **PERFORMANCE STANDARDS**

Except as otherwise provided herein, the uses within the ‘B-5’ Planned Commercial District identified herein, shall conform to the most restrictive performance standards as set forth in Section 405.135 of the Florissant Zoning Ordinance.

Paragraph 4 shall be replaced with the following paragraph:

4. **PLAN SUBMITTAL REQUIREMENTS**

A final site development plan shall be submitted to the Building Commissioner to review for compliance to this ordinance and other city ordinances prior to issuance of land disturbance permits or building permits. Final Development Plan shall include improvements as shown on Cochran Plan 1 of 4 dated July 2020, attached.

Paragraph 6. **FINAL SITE DEVELOPMENT PLAN CRITERIA:**

shall be amended by adding the following paragraphs:

Add to para. c. Minimum Parking/Loading Space Requirements, the following paragraph:

4. There shall be a minimum of **25 stacking spaces** required for the tunnel car wash and 3 spaces for employee parking provided on the property.

Add to para. d. Road Improvements, Access and Sidewalks

Para 1, c. Shall be amended as shown on Cochran Plan 1 of 4 dated July 2020, attached.

Add to para. e. Lighting Requirements.

Para. e. 3. Shall be amended as shown on Cochran Plan 2 of 4 dated July 2020, attached.

Add to para. f. Sign Requirements.

Paragraph; Shall be amended as shown on sign package attached.

i. Miscellaneous Design Criteria.

Add to para h. miscellaneous provisions, para. 4., the following paragraph: “The masonry ordinance requirement shall be excepted only for the Club Carwash outlet project.”

87 Paragraph 8 RECORDING, shall be replaced with the following paragraph:

88 **8. FINAL SITE DEVELOPMENT PLAN**

89 A final site development plan shall be submitted to the Building Commissioner to
90 review for compliance with the applicable "B-5" Planned Commercial
91 Development ordinance prior to recording. Any variations from the ordinance
92 approved by the City Council and/or the conceptual plans attached to such
93 ordinance shall be processed in accordance with the procedure established in the
94 Florissant Zoning Code.
95

96 Paragraphs 11 PROJECT COMPLETION and 12 HOURS OF OPERATION AND
97 DELIVERIES shall be replaced with the following paragraphs:
98

99 **11. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

100 Any changes to the approved plans attached hereto must be reviewed by the Building
101 Commissioner. The Building Commissioner must make a determination as to the extent
102 of the changes per the following procedure:
103

- 104 1. The property owner or designate representative shall submit in writing a request
105 for an amendment to the approved plans. The building commissioner shall
106 review the plans for consistency with the purpose and content of the proposal as
107 originally or previously advertised for public hearing and shall make an advisory
108 determination.
- 109 2. If the building commissioner determines that the requested amendment is not
110 consistent in purpose and content with the nature of the purpose as originally
111 proposed or previously advertised for the public hearing, then an amendment to
112 the special use permit shall be required and a review and recommendation by the
113 planning and zoning commission shall be required and a new public hearing shall
114 be required before the City Council.
- 115 3. If the building commissioner determines that the proposed revisions are
116 consistent with the purpose and content with the nature of the public hearing then
117 a determination of non-necessity of a public hearing shall be made.
- 118 4. Determination of minor changes: If the building commissioner determines that an
119 amendment to the special use permit is not required and that the changes to the
120 plans are minor in nature the Building Commissioner may approve said changes.
- 121 5. Determination of major changes: If the Building Commissioner determines that
122 an amendment to the 'B-5' is not required but the changes are major in nature,
123 then the owner shall submit an application for review and approval by the
124 Planning and Zoning commission.
125

126 **12. VERIFICATION PRIOR TO OCCUPANCY PERMIT**

127 No changes.
128

129 **13. GENERAL DEVELOPMENT CONDITIONS.**

- 130 a. Unless, and except to the extent, otherwise specifically provided herein,
131 development shall be effected only in accordance with all ordinances of the City
132 of Florissant.

133

134 b. The Department of Public Works shall enforce the conditions of this ordinance in
135 accordance with the Final Site Development Plan approved by the Planning &
136 Zoning Commission and all other ordinances of the City of Florissant.

137

138 14. **PROJECT COMPLETION.**

139 Tunnel carwash project shall be commenced within 120 days of the issuance of
140 permits and shall be completed within 1 year from beginning of work.

141

142 Section 3: This ordinance shall become in full force and effect immediately upon its
143 passage and approval.

144

145 Adopted this _____ day of _____, 2020.

146

147

148

149

150

151

152

153

154

155

156

157

158

159

160

161

162

Keith Schildroth
President of the Council

Approved this _____ day of _____, 2020.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

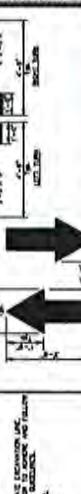
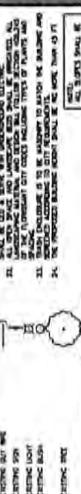
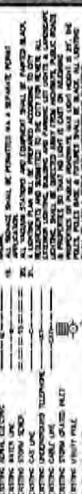
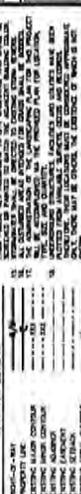
Proposed Club Carwash

PRELIMINARY DEVELOPMENT PLAN

CLUB CARWASH
FLOISSANT, MISSOURI

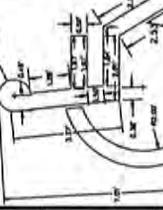
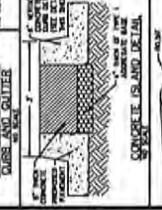
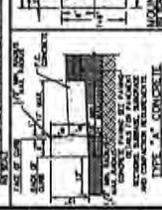
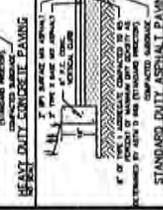
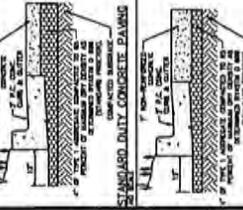
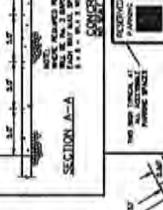
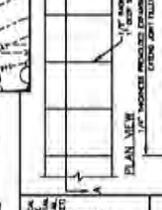
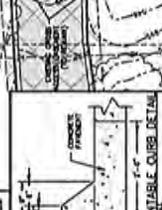
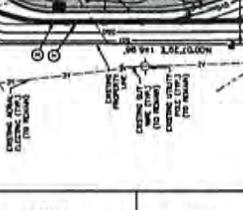
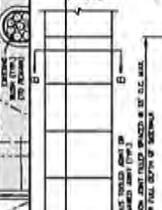
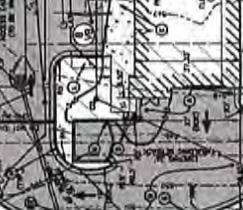
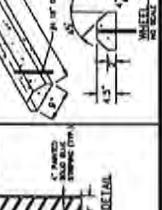
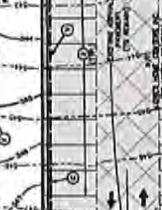
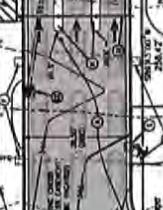
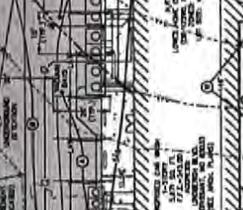
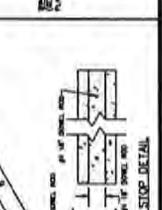
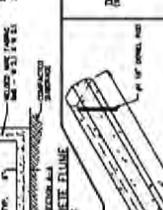
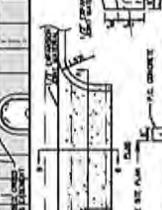
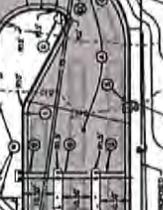
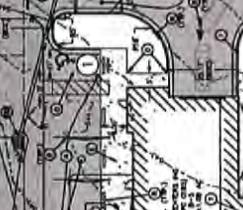
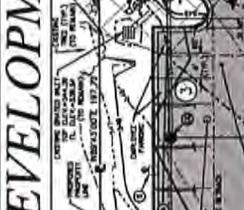
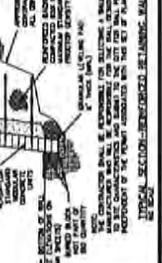
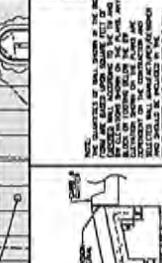
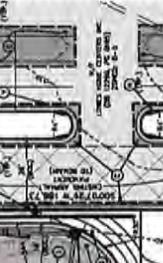
OCHANN
 1000 Lower Blvd., Suite 101
 Columbia, MO 65101
 Phone: (636) 421-1111
 Fax: (636) 421-1112
 Email: info@ochann.com

PRELIMINARY DEVELOPMENT PLAN
 DATE: JULY 2020
 SCALE: 1" = 20'
 SHEET NO. 1 OF 4
 PROJECT NO. 1919-7700A



- SITE LEGEND**
- 1. EXISTING DRIVE CURB
 - 2. EXISTING DRIVE CURB
 - 3. EXISTING DRIVE CURB
 - 4. EXISTING DRIVE CURB
 - 5. EXISTING DRIVE CURB
 - 6. EXISTING DRIVE CURB
 - 7. EXISTING DRIVE CURB
 - 8. EXISTING DRIVE CURB
 - 9. EXISTING DRIVE CURB
 - 10. EXISTING DRIVE CURB
 - 11. EXISTING DRIVE CURB
 - 12. EXISTING DRIVE CURB
 - 13. EXISTING DRIVE CURB
 - 14. EXISTING DRIVE CURB
 - 15. EXISTING DRIVE CURB
 - 16. EXISTING DRIVE CURB
 - 17. EXISTING DRIVE CURB
 - 18. EXISTING DRIVE CURB
 - 19. EXISTING DRIVE CURB
 - 20. EXISTING DRIVE CURB
 - 21. EXISTING DRIVE CURB
 - 22. EXISTING DRIVE CURB
 - 23. EXISTING DRIVE CURB
 - 24. EXISTING DRIVE CURB
 - 25. EXISTING DRIVE CURB
 - 26. EXISTING DRIVE CURB
 - 27. EXISTING DRIVE CURB
 - 28. EXISTING DRIVE CURB
 - 29. EXISTING DRIVE CURB
 - 30. EXISTING DRIVE CURB
 - 31. EXISTING DRIVE CURB
 - 32. EXISTING DRIVE CURB
 - 33. EXISTING DRIVE CURB
 - 34. EXISTING DRIVE CURB
 - 35. EXISTING DRIVE CURB
 - 36. EXISTING DRIVE CURB
 - 37. EXISTING DRIVE CURB
 - 38. EXISTING DRIVE CURB
 - 39. EXISTING DRIVE CURB
 - 40. EXISTING DRIVE CURB
 - 41. EXISTING DRIVE CURB
 - 42. EXISTING DRIVE CURB
 - 43. EXISTING DRIVE CURB
 - 44. EXISTING DRIVE CURB
 - 45. EXISTING DRIVE CURB
 - 46. EXISTING DRIVE CURB
 - 47. EXISTING DRIVE CURB
 - 48. EXISTING DRIVE CURB
 - 49. EXISTING DRIVE CURB
 - 50. EXISTING DRIVE CURB

- DETAILED LEGEND**
- 1. EXISTING DRIVE CURB
 - 2. EXISTING DRIVE CURB
 - 3. EXISTING DRIVE CURB
 - 4. EXISTING DRIVE CURB
 - 5. EXISTING DRIVE CURB
 - 6. EXISTING DRIVE CURB
 - 7. EXISTING DRIVE CURB
 - 8. EXISTING DRIVE CURB
 - 9. EXISTING DRIVE CURB
 - 10. EXISTING DRIVE CURB
 - 11. EXISTING DRIVE CURB
 - 12. EXISTING DRIVE CURB
 - 13. EXISTING DRIVE CURB
 - 14. EXISTING DRIVE CURB
 - 15. EXISTING DRIVE CURB
 - 16. EXISTING DRIVE CURB
 - 17. EXISTING DRIVE CURB
 - 18. EXISTING DRIVE CURB
 - 19. EXISTING DRIVE CURB
 - 20. EXISTING DRIVE CURB
 - 21. EXISTING DRIVE CURB
 - 22. EXISTING DRIVE CURB
 - 23. EXISTING DRIVE CURB
 - 24. EXISTING DRIVE CURB
 - 25. EXISTING DRIVE CURB
 - 26. EXISTING DRIVE CURB
 - 27. EXISTING DRIVE CURB
 - 28. EXISTING DRIVE CURB
 - 29. EXISTING DRIVE CURB
 - 30. EXISTING DRIVE CURB
 - 31. EXISTING DRIVE CURB
 - 32. EXISTING DRIVE CURB
 - 33. EXISTING DRIVE CURB
 - 34. EXISTING DRIVE CURB
 - 35. EXISTING DRIVE CURB
 - 36. EXISTING DRIVE CURB
 - 37. EXISTING DRIVE CURB
 - 38. EXISTING DRIVE CURB
 - 39. EXISTING DRIVE CURB
 - 40. EXISTING DRIVE CURB
 - 41. EXISTING DRIVE CURB
 - 42. EXISTING DRIVE CURB
 - 43. EXISTING DRIVE CURB
 - 44. EXISTING DRIVE CURB
 - 45. EXISTING DRIVE CURB
 - 46. EXISTING DRIVE CURB
 - 47. EXISTING DRIVE CURB
 - 48. EXISTING DRIVE CURB
 - 49. EXISTING DRIVE CURB
 - 50. EXISTING DRIVE CURB



OWNER: LOWER HOME CENTERS INC., 1000 LOWER BLVD., MOORESVILLE, NC 28117
 DEVELOPER: CLUB CARWASH OPERATING, LLC, 1113 OLD IRVY RD., STE 101, COLUMBIA, MO 65101
 ARCHITECT: OCHANN, 1000 LOWER BLVD., SUITE 101, COLUMBIA, MO 65101
 DATE: JULY 2020
 SCALE: 1" = 20'
 SHEET NO. 1 OF 4
 PROJECT NO. 1919-7700A

**APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5
PLANNED COMMERCIAL DISTRICT ORDINANCE**



PLANNING & ZONING ACTION:

Address of Property:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

3180 N. Hwy 67

Council Ward 9 Zoning 'B-5'

SIGN. [Signature]

DATE: 8-24-2020

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

PETITION TO AMEND B-5 ORDINANCE # _____

Enter ordinance number or number requesting to amend.

1) Comes Now Club Carwash Operating, LLC

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property contract purchaser

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 1.08
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for parking lot

State current use of property, (or, state: vacant).

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation: X_LL_C

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation: LLC

- (1) Names & addresses of all partners Rollie Bartels _____
- (2) Telephone numbers _____
- (3) Business address 1213 Old Hwy 63; Suite 101; Columbia, MO 65201 _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Club Carwash Operating, LLC

Address 1213 Old Hwy 63; Suite 101; Columbia, MO 65201

Property Owner Lowes Home Centers, Inc.

Location of property 3180 N. Hwy 67

Dimensions of property 1.08 Ac

Property is presently zoned B-5 per ordinance # _____

Current & Proposed Use of Property Currently parking lot - proposed carwash

Type of Sign pylon Height _____

Type of Construction masonry Number Of Stories 1

Square Footage of Building 5665 Number of Curb Cuts 2

Number of Parking Spaces 4 Sidewalk Length N/A

Landscaping: No. of Trees see landscape plan Diameter 2.5"

No. of Shrubs see landscape plan Size 18" height

Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

See attached legal description

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

See vicinity map on preliminary development plan

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

- 1) a. Uses - Are uses stipulated Yes / No
- b. What current District would this proposal be a permitted use: _____
- c. Proposed uses for out lots: _____

2) Performance Standards:

- a) Vibration: Is there any foreseen vibration problems at the property line? Yes / No
- b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No
- c) Odor is there any foreseen problem with odor? Yes / No
- d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? Yes / No
- e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No
- f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? Yes / No
- g) Is there any dangerous amount of radiation produced from the operation? Yes / No
- h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No
- i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? Yes / No
- j) Is buildings screened from adjoining residential? Yes / No

3) Are height of structures shown? Yes / No

4) Are all setbacks shown? Yes / No

5) Are building square footages shown? Yes / No

6) What is the exterior construction of the buildings? _____

7) Is off street loading shown? Yes / No

- 8) Parking:
- a) Does parking shown meet the ordinance? Yes / No
- b) Is a variance required in accordance with the ordinance? Yes / No
- c) Ratio shown _____ to _____
- d) Total Number _____
- e) Will cross access and cross parking agreements be required? Yes / No
- f) Is the parking lot adequately landscaped? Yes / No

9) Are there any signs? Yes / No

Number of signs shown _____

Type of Signs _____

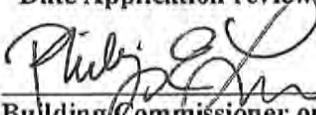
Are sizes, heights, details, and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient handicapped access? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

25) Staff Comments: _____

8/14/20
Date Application reviewed


Building Commissioner or Staff Signature

SURVEY LEGAL DESCRIPTION

A TRACT OF LAND BEING PART OF LOT 1A OF THE RESUBDIVISION OF LOT 1 OF LOWES SUBDIVISION, PLAT BOOK 363 PAGE 422 OF THE ST. LOUIS COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1A OF THE RESUBDIVISION OF LOT 1 OF LOWES SUBDIVISION, PLAT BOOK 363 PAGE 422 OF THE ST. LOUIS COUNTY RECORDS; SAID POINT ALSO BEING ON THE SOUTHLINE OF LINDBERGH BOULEVARD, A PUBLIC ROADWAY;

THENCE, ALONG THE NORTHWESTERN LINE OF SAID LOT 1A, NORTH 56 DEGREES 36 MINUTES 24 SECONDS EAST, A DISTANCE OF 72.80 FEET TO A POINT;

THENCE, DEPARTING SAID NORTHWEST LINE, NORTH 89 DEGREES 43 MINUTES 00 SECONDS EAST, A DISTANCE OF 197.72 FEET TO A POINT;

THENCE, SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST, A DISTANCE OF 186.73 FEET TO A POINT;

THENCE, SOUTH 89 DEGREES 43 MINUTES 00 SECONDS WEST, A DISTANCE OF 258.42 FEET TO A POINT ON THE WEST LINE OF THE AFOREMENTIONED LOT 1A;

THENCE, ALONG SAID WEST LINE, NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, A DISTANCE OF 146.96 FEET BACK TO THE POINT OF BEGINNING AND THIS TRACT OF LAND CONTAINING APPROXIMATELY 47,046 SQUARE FEET OR 1.08 ACRES, MORE OR LESS.

1

MEMORANDUM



2

3

4

5

CITY OF FLORISSANT

6 To: Planning and Zoning Commissioners Date: August 13, 2020

7

8 From: Philip E. Lum, AIA-Building Commissioner cc: Todd Hughes, P.E.
9 Director of Public Works
10 Applicant
11 Deputy City Clerk
12 File

13

14 Subject: **3180 N. Highway 67 (Club Carwash):** Request recommended approval
15 to Amend a 'B-5' 6266 (as amended by Ordinance Nos. 6380, 8064, 8224
16 and 8616), to allow for a new tunnel car wash, in a 'B-5' District.
17

18

19 **STAFF REPORT**
CASE NUMBER PZ-081720-1

20

21

22 **I. PROJECT DESCRIPTION:**

23

24 This is a request for recommended approval to amend a 'B-5', to allow for a new tunnel
25 car wash in a 'B-5' District. The property is part of a 'B-5' District ord.6266 (as
26 amended by Ordinance Nos. 6380, 8064, 8224 and 8616). This petition is to add a
27 building in a designated 1.08 outlot on this property, therefore, an amendment to this B-5
28 is required for this parcel as it affects Ord. 6266.
29

30 **II. EXISTING SITE CONDITIONS:**

31

32 The existing property at **3180 N. Highway 67 Club Carwash** is a lot within the site of
33 1.08 acres and has been vacant since the 1999 Lowe's Development ordinance.
34

35 The proposed amendment adds another structure to the parcel. At the last City Council
36 meeting on August 10th, the public hearing was conducted and the first reading of the
37 CubeSmart self-storage establishment amending ordinance was read aloud for the first
38 time.
39

40 **III. SURROUNDING PROPERTIES:**

41
42 The adjacent property to the North is 3200 N. Highway 67 in a 'B-5' and 'B-3' District.
43 Properties to the West are 14070 New Halls Ferry in a B-3 District and 3160 N. Highway
44 67 in a 'B-5' District. The adjacent property to the East is 3184 N highway 67 Lowe's
45 Retention areas in a 'B-5' District. The properties to the South include 3175 Cross Keys
46 in a B-3 District , 3205 and 3202 Cross Keys Dr. for Cross Keys Apartments in an 'R-6'
47 Zoning District.

48
49 **IV. STAFF ANALYSIS:**

50
51 The Petitioner has responded to staff instructions for a B-5 amendment. Staff comments
52 on plans submitted that include Cochran drawings 1-4 dated July 2020, Finkle+Williams
53 Renderings and Elevations, attached:

- 54
55 1. Cochran Plan 1 Comments:
- 56 a. The boundary of the outlot is shown on the plan. The outlot is situated
 - 57 between the drive accessing Walgreens and the signaled entrance off of N
 - 58 Highway 67. Proposed is a relocated stop sign where this entrance drive
 - 59 connects with the main parking lot. Dashed lines on this plan indicate sawcuts
 - 60 for alterations in the pavement that are proposed.
 - 61 b. **Current Parking for the Ordinance 6266:** 722 parking were required for
 - 62 Lowe's originally under Ord. 6266, 709 remain, so there is an abundance of
 - 63 paved area available for redevelopment such as this.
 - 64 c. Parking ratios for a carwash are reported accurately on this plan 5 times the
 - 65 capacity of the wash in stacking lanes: $5 \times 5 = 25$ required. No employee
 - 66 parking is shown.
 - 67 d. All the paving proposed in the outlot is concrete with traffic arrows for the
 - 68 outlot. No new directional arrows are shown on the remainder of the property
 - 69 and are assumed existing to remain.
 - 70 e. Relocation of 3 concrete islands is shown outside the outlot.
 - 71 f. Retaining wall with metal fence is shown wrapping the NW corner of the
 - 72 outlot.
- 73 2. Cochran Plan 2 shows:
- 74 a. photometrics for the outlot,
 - 75 b. Concrete masonry unit (CMU) dumpster enclosure with vinyl gates,
 - 76 located in an area of heavy duty concrete paving, meeting city
 - 77 dumpster screen ordinance.
 - 78 c. Light poles are shown at 25' in height.
 - 79 d. Metal fencing detail is shown.
- 80 3. Cochran Plan 3 Comments, Landscape calculations:
- 81 a. Building Plantings: Since there is an irregular plan, the main footprint
 - 82 is 146'x37.33' with projections, $(146+37.33 \times 2) + 30$ l.f. for projections
 - 83 = there is approximately 397' of building perimeter/5' per shrub = 79
 - 84 shrubs required, 113 provided- Complies.

131
132
133
134
135
136
137
138
139
140
141
142
143
144
145
146
147
148
149
150
151
152
153
154
155
156
157
158
159
160
161
162
163
164
165
166
167
168
169
170
171
172
173
174
175
176

a)“The uses permitted in this ‘B-5’ Planned Commercial District shall also include a tunnel carwash as shown on the attached plans Cochran drawings 1-4 dated July 2020, Finkle+Williams Renderings and Elevations.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

Add para b. Tunnel carwash shall be 5671 s.f. as depicted on referenced plans.

Paragraph 3 shall be changed to read:

3. PERFORMANCE STANDARDS

Except as otherwise provided herein, the uses within the ‘B-5’ Planned Commercial District identified herein, shall conform to the most restrictive performance standards as set forth in Section 405.135 of the Florissant Zoning Ordinance.

Paragraph 4 shall be replaced with the following paragraph:

4. PLAN SUBMITTAL REQUIREMENTS

A final site development plan shall be submitted to the Building Commissioner to review for compliance to this ordinance and other city ordinances prior to issuance of land disturbance permits or building permits. Final Development Plan shall include improvements as shown on Cochran Plan 1 of 4 dated July 2020, attached.

Paragraph 6. FINAL SITE DEVELOPMENT PLAN CRITERIA:

shall be amended by adding the following paragraphs:

Add to para. c. Minimum Parking/Loading Space Requirements, the following paragraph:

4. There shall be a minimum of **25 stacking spaces** required for the tunnel car wash and parking for employees provided on the property.

Add to para. d. Road Improvements, Access and Sidewalks

Para 1, c. Shall be amended as shown on Cochran Plan 1 of 4 dated July 2020, attached.

Add to para. e. Lighting Requirements.

Para. e. 3. Shall be amended as shown on Cochran Plan 2 of 4 dated July 2020, attached.

Add to para. f. Sign Requirements.

Paragraph; Shall be amended as shown on sign package attached

Add to para h. subpara. 4: This masonry ord requirement is excepted for the club car wash outlet.

i. Miscellaneous Design Criteria.

No changes, ordinance already states that all the buildings shall comply with the masonry ordinance, under para h. miscellaneous provisions, para. 4.

177
178
179
180
181
182
183
184
185
186
187
188
189
190
191
192
193
194
195
196
197
198
199
200
201
202
203
204
205
206
207
208
209
210
211
212
213
214
215
216
217
218
219
220
221
222

Paragraph 8 RECORDING, shall be replaced with the following paragraph:

8. FINAL SITE DEVELOPMENT PLAN

A final site development plan shall be submitted to the Building Commissioner to review for compliance with the applicable "B-5" Planned Commercial Development ordinance prior to recording. Any variations from the ordinance approved by the City Council and/or the conceptual plans attached to such ordinance shall be processed in accordance with the procedure established in the Florissant Zoning Code.

Paragraphs 11 PROJECT COMPLETION and 12 HOURS OF OPERATION AND DELIVERIES shall be replaced with the following paragraphs:

11. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner must make a determination as to the extent of the changes per the following procedure:

1. The property owner or designate representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.
2. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City Council.
3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
5. Determination of major changes: If the Building Commissioner determines that an amendment to the 'B-5' is not required but the changes are major in nature, then the owner shall submit an application for review and approval by the Planning and Zoning commission.

12. VERIFICATION PRIOR TO OCCUPANCY PERMIT

No changes.

13. GENERAL DEVELOPMENT CONDITIONS.

223
224
225
226
227
228
229
230
231
232
233
234
235
236

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

14. **PROJECT COMPLETION.**

Tunnel carwash project shall be commenced within 120 days of the issuance of permits and shall be completed within 1 year from beginning of work.

(End of suggested motion 8/13/20)

INTRODUCED BY COUNCILMAN ROTH
June 28, 1999

SUBSTITUTE BILL NO. 7150 (AS AMENDED)

ORDINANCE NO. 6266

AN ORDINANCE AMENDING APPENDIX B OF THE FLORISSANT CITY CODE, THE ZONING ORDINANCE, AS AMENDED, BY ADDING THERETO THE FOLLOWING DESCRIBED PROPERTY FOR LOWE'S COMPANIES, INC. AT THE LOCATION GENERALLY DESCRIBED AS NEW HALLS FERRY AND NORTH HWY. 67 AS A B-5 PLANNED COMMERCIAL DISTRICT DEVELOPMENT.

WHEREAS, Appendix B of the Florissant City Code, known as the Zoning Ordinance of the City Code of the City of Florissant, as set out in Ordinance No. 1625, as amended, provides for the establishment of a B-5 Planned Commercial District; and

WHEREAS, an application has been filed by Lowe's Companies, Inc. for rezoning and development as a B-5 Planned Commercial District, of a tract of land hereinafter described, which tracts of land are presently zoned as an R-6 and B-3 District; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that such rezoning and development as a B-5 Planned Commercial District be approved by the Florissant City Council subject to certain conditions; and

WHEREAS, due notice of a public hearing on said application to be held on the 11th day of May, 1999 was published and such hearing was duly held and continued to May 24, 1999; and

WHEREAS, following said public hearing the Council was informed that a portion of the area proposed for the B-5 Planned Commercial District is wetland property and that certain wetland property must be maintained on the site; and

WHEREAS, the Council, following said public hearing and after due and careful consideration has concluded that the rezoning of the property hereinafter described as a B-5 Planned Commercial District would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The Zoning Code of the City of Florissant, as heretofore amended, is hereby further amended, with respect to certain property heretofore zoned as R-6 and B-3 Districts, to establish a B-5 Planned Commercial District, for the location and

development of a planned commercial development, on the following described property:

A tract of land being part of commercial lot A of "Cross-Keys Apartments", a subdivision recorded in plat book 110, page 20, St. Louis County Records and part of Lots 12, 23, and 25 of The St. Ferdinand Commons, in Township 47 North-Range 6 East, St. Louis County, Missouri, and being more particularly described as:

Beginning at the northeast corner of said Lot 25 of The St. Ferdinand Commons, being the southeast corner of property conveyed to Donald R. or Grace H. Zykan by deed recorded in Book 9647 page 1072 of the St. Louis County Records, being also the northwest corner of "Parc Chateau Plat No. 2" as recorded in Plat Book 125 pages 14 & 15 of the St. Louis County Records; thence south 00 degrees 00 minutes 25 seconds east 668.14 feet along the east line of said lot 25 of the St. Ferdinand Commons, the west line of said "Parc Chateau Plat No. 2" and the west line "Ramsgate Estates Plat No. 2" as recorded in Plat Book 122 page 100 of the St. Louis County records to the northeast corner of said "Cross-Keys Apartments"; thence westwardly along the north line of said "Cross-Keys Apartments" south 89 degrees 43 minutes 00 seconds west 1275.25 feet to the northeast corner of property conveyed to 1996 Eastep Family Limited Partnership by deed recorded in book 11669 page 1122 of the St. Louis County Records; thence north 27 degrees 07 minutes 00 seconds west 16.44 feet to a point; thence south 70 degrees 49 minutes 42 seconds west 45.31 feet to a point; thence south 57 degrees 29 minutes 59 seconds west 75.48 feet to a point; thence south 27 degrees 06 minutes 30 seconds east 14.90 feet to the northeast corner of property conveyed to Delco Investment Company, Inc. by deed recorded in book 6603 page 2402 of the St. Louis County Records; thence along the north line of said Delco Investment Company, Inc. property south 62 degrees 53 minutes 00 seconds west 159.99 feet to the east line of New Halls Ferry Road; thence northwardly along said east line of New Halls Ferry Road the following courses and distances: north 27 degrees 07 minutes 00 seconds west 66.00 feet, north 23 degrees 09 minutes 49 seconds west 72.57 feet, north 89 degrees 43 minutes 00 seconds east 5.60 feet and north 27 degrees 07 minutes 00 seconds west 115.00 feet to the south line of property conveyed to Melvin C. and Dorothy C. Meyer by deed recorded in book 7764 page 745 of the St. Louis County Records; thence along said south line of the Meyer Property north 82 degrees 00 minutes 27 seconds east 150.00 feet to the southeast corner thereof; thence along the east line of said Meyer Property north 27 degrees 07 minutes 00 seconds west 85.00 feet to the south line of property conveyed to Blackstone Group - Illinois, L.L.C. by deed recorded in book 11671 page 2346 of the St. Louis County Records; thence along said south line of the Blackstone Group-Illinois, L.L.C. Property north 82 degrees 00 minutes 27 seconds east 196.93 feet to the west line of said lot 25; thence north 00 degrees 07 minutes 29 seconds east 406.24 feet along said west line of

said lot 25 and the east line of said Blackstone Group - Illinois, L.L.C. Property to the southeast line of State Highway M-140 (Lindbergh Boulevard); thence northeastwardly along said southeast line of State Highway M-140, being along the southeast line of a parcel conveyed to the State of Missouri as described in book 6325 page 1851 of the St. Louis County records north 56 degrees 36 minutes 24 seconds east 362.75 feet, north 63 degrees 57 minutes 19 seconds east 27.57 feet and along a curve to the right whose radius point bears south 36 degrees 33 minutes 51 seconds east, 5,644.65 from the last mentioned, point, a distance of 15.78 feet to the west line of property conveyed to W.S. Stallings Development, L.L.C. by deed recorded in book 11453 page 31 of the St. Louis County Records; thence south 00 degrees 07 minutes 29 seconds west 186.16 feet along said west line of the W.S. Stallings Development, L.L.C. Property to the southwest corner thereof, being on the north line of lot 25; thence eastwardly along said north line of lot 25, being also along the south line of said W.S. Stallings Development, L.L.C. Property and the south line of the aforesaid Zykan Property north 89 degrees 30 minutes 22 seconds east 984.58 feet to the point of beginning and containing 22.385 acres.

Section 2: The authority and approval embodied in this Ordinance is granted subject to all ordinances of the City of Florissant and on condition that the development and plan for the B-5 Planned Commercial District be carried out in accordance with the preliminary plans as filed with the Planning & Zoning Commission of the City of Florissant and forwarded by said Planning & Zoning Commission to the Florissant City Council, and as further revised on 6/8/99 and 6/18/99 and marked as C-1, C-2, C-3, C-4A, C-4B, C-5, C-6, C-7, C-8, C-9, C-10, C-11, EA-1, LS-1, LS-2, LS-3, LS-4, SL-1 and WM-1, which are attached hereto and jointly referred to as Exhibit "A" which plans, except as otherwise provided herein, are hereby approved, adopted and incorporated by reference as if fully set out in this ordinance and made a part of this ordinance, subject to the following conditions:

1. PERMITTED USES

The uses permitted in the B-5 Planned Commercial District shall be for a retail home improvement center, hardware store-type, with a structural height not to exceed 45 feet, 0 inches, as depicted on the Wetland Mitigation Plan, "WM-1" of Exhibit "A", provided, however, that the following described property shall be used and maintained

exclusively as wetland with no development of any kind without further approval of the city council:

Wetland Legal Description

A tract of land being part of lot 25 of The St. Ferdinand Commons, in Township 47 north-range 6 east, St. Louis County, Missouri, and being more particularly described as:

Beginning at the northeast corner of said Lot 25 of The St. Ferdinand Commons, being the southeast corner of property conveyed to Donald R. and Grace H. Zykan by deed recorded in Book 9647 page 1072 of the St. Louis County Records, being also the northwest corner of "Parc Chateau Plat No. 2" as recorded in Plat Book 125 pages 14 & 15 of the St. Louis County Records; thence south 00 degrees 00 minutes 25 seconds east 668.14 feet along the east line of said lot 25 of The St. Ferdinand Commons, the west line of said "Parc Chateau Plat No. 2" and the west line "Ramsgate Estates Plat No. 2" as recorded in Plat Book 122 page 100 of the St. Louis County Records to the northeast corner of "Cross-Keys Apartments", a subdivision recorded in Plat Book 110, page 20, St. Louis County Records; thence westwardly along the north line of said "Cross-Keys Apartments" south 89 degrees 43 minutes 00 seconds west 359.98 feet to a point; thence north 00 degrees 17 minutes 00 seconds west 111.96 feet to a point; thence north 37 degrees 36 minutes 39 seconds west 106.68 feet to a point; thence north 00 degrees 17 minutes 00 seconds west 469.77 feet to the south line of property conveyed to W.S. Stallings Development, L.L.C. by deed recorded in Book 11453 page 31 of the St. Louis County Records, being also the north line of lot 25; thence eastwardly along said north line of lot 25, being also along the south line of said W.S. Stallings Development, L.L.C. property and the south line of the aforesaid Zykan Property north 89 degrees 30 minutes 22 seconds east 427.89 feet to the point of beginning and containing 6.301 acres.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

- a. The total gross floor area of the building on Exhibit "A" shall not exceed 135,197 square feet with a garden center of 28,071 square feet.

3. PERFORMANCE STANDARDS

Except as otherwise provided herein, the uses within the B-5 Planned Commercial District identified herein, shall conform to the most restrictive performance standards as set forth in Section 20 of the Florissant Zoning Ordinance.

4. PLAN SUBMITTAL REQUIREMENTS

Within six (6) months of the effective date of this ordinance, and prior to the issuance of any building or occupancy permit, the petitioner shall submit the Site Development Plan to the Planning & Zoning Commission for review and approval thereby in accordance with Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance. Where due cause is shown by the developer, this time interval may be extended by the Planning & Zoning Commission.

5. SITE DEVELOPMENT PLAN GENERAL CRITERIA

The above Site Development Plan shall include the following :

- a. Location and size, including height of all building and structure, landscaping and general use of the building.
- b. Gross square footage of building.
- c. Areas to be dedicated for cross-access easement with abutting property owners.
- d. Existing and proposed roadways, drives, and walkways on and adjacent to the property in question.
- e. Location and size of parking areas and internal drives.
- f. Building and parking setbacks.
- g. Curb cut locations.
- h. Existing and proposed contours at intervals of not more than two (2) feet.
- i. Preliminary stormwater and sanitary sewer facilities.

6. FINAL SITE DEVELOPMENT PLAN CRITERIA

The above Final Site Development Plan shall adhere to the following specific design criteria:

a. Structure Setbacks.

No building or structure, excluding boundary and retaining walls, light standards, fences, and authorized free-standing business signs and identification signs, shall be located within forty (40') feet of the right-of-way of New Halls Ferry or N. Hwy. 67. All other setbacks shall be as approved by the Planning and Zoning Commission.

b. Parking, Loading and Internal Drives Setbacks.

1. Parking stalls, loading space, easement, setbacks, internal drives or roadways, and cross-access easements shall be located in accordance with the Exhibit "A", including but not limited to Drawings "C-1" and "EA-1", attached hereto or as subsequently approved by the Planning and Zoning Commission.
2. All of the setbacks shall be approved by the Planning and Zoning Commission.

c. Minimum Parking/Loading Space Requirements.

1. The parking regulations as set forth in Section 14.5, subsection 5, of the Florissant Zoning Ordinance, shall be applicable, and 724 parking spaces shall be installed with the location of the 15 handicapped spaces being installed as shown on drawing marked "C-1" which is attached hereto as part of Exhibit "A".
2. An appropriate parking/loading space distribution shall be provided for this development as determined by the Planning and Zoning Commission. All loading is to be done internally on the lot. The loading area is to be in the rear of the structure as per the drawings attached hereto and marked Exhibit "A".
3. No tractor trailers shall be used for storage and no tractor trailer shall be allowed to park on the property in excess of twenty-four (24) hours and no tractor trailer shall be allowed to park adjacent to the residential property line for more than twelve (12) hours. The exceptions outlined in Section 15-318, paragraphs 1-6 of the Florissant City Code, may apply if approved by the Director of Public Works.

d. Road Improvements, Access and Sidewalks.

1. Road improvements, access and sidewalks shall conform to the requirements of the Missouri Highway and Transportation Department regarding New Halls Ferry and North Highway 67 (Lindbergh) in this area, including:
 - a. The proposed right turn lane on Lindbergh Boulevard as set forth in Exhibit "A"; and
 - b. The proposed entrance on New Halls Ferry shall be "Right In" and "Right Out" only as set forth in Exhibit "A".
2. Sidewalks will be installed in accordance with the "C-1" attached hereto as Exhibit "A" and handicapped ramps will be

placed at the curb cuts.

e. Lighting Requirements.

1. The location of all lighting standards and light levels shall be as approved by the Planning and Zoning Commission on a Site Development Plan. Lighting standards shall be located as on the drawings marked "SL-1" which is attached hereto as part of Exhibit "A". Light standards shall not exceed thirty-five (35) feet in height. No on-site illumination source shall be so situated that light cast on adjoining property or public roadways and the light levels at the property line adjacent to residential shall be no more than .5 foot candles. Security lighting shall be activated at a time no later than 10:30 p.m. in the evening.
2. Lights shall be directed inward towards the site.

f. Sign Requirements.

All signs shall be internally lit as per the Site Lighting Plan drawing marked "SL-1" attached hereto as a part of Exhibit "A" and in accordance with the sign ordinance for the B-3 Zoning District. Two pylon signs shall be located on the property as per the drawing marked "C-1" attached hereto as part of Exhibit "A". "Delivery Vehicles Only" signs or equivalent signage to be located at approximately the left front quarter corner of the building line.

g. Landscaping.

A Landscape Plan, either as part of the Site Development Plan or as a separate drawing to be reviewed as part of the Site Development Plan, shall be submitted and shall include the landscaping identified in the Drawings marked as C-1, LS-1, LS-2, LS-3 and LS-4 which are attached as part of Exhibit "A" and shall include such other landscaping as required by the Planning and Zoning Commission. Landscaping shall be provided as per the drawings aforementioned in parking areas in sufficient quantity to at least meet the minimum requirements specified in Section 17 (9) of the Florissant Zoning Ordinance.

h. Miscellaneous Design Criteria.

1. Parking, circulation, sidewalks and all other applicable site design features shall comply with Chapter 5, Article II, of the Florissant City Code for handicapped access provisions.
2. All rooftop mechanical equipment on buildings shall be screened by roofing or other screening as required and approved by the Planning and Zoning Commission.

3. All exterior trash areas shall be enclosed with a six (6') foot high utility brick fence. Such area, including an area in front of the enclosure, sufficient in size for loading/unloading of dumpsters, shall have a concrete surface of at least six (6") inch depth.
 4. Exterior building walls on the front and sides of the buildings shall comply with the masonry ordinance. The rear portion of the buildings will be utility brick.
 5. Outside display of merchandise shall be limited to an area in front of the garden shop and along the sidewalk in front of the store and in the lumber canopy area provided that there shall be at least a five (5') foot area of the sidewalk that shall be clear for pedestrian traffic. The Planning and Zoning Commission may require fencing. The retail home improvement center shall primarily be of brick masonry as per the drawings, marked Exhibit "A".
 6. Unless and except to the extent otherwise specifically provided herein, the Site Development Plan shall comply and be in accordance with all other ordinances of the City of Florissant.
 7. Fire lanes shall be established by separate ordinance after approval by the Fire Department and the Director of Public Works pursuant to Section 15-9, 15-311 and 15-505 of the Florissant City Code.
7. VERIFICATION PRIOR TO FINAL SITE DEVELOPMENT PLAN APPROVAL.

Prior to the approval of the Final Site Development Plan, the petitioner shall:

a. Stormwater.

Submit to the Planning & Zoning Commission a preliminary engineering plan showing that adequate handling of the stormwater drainage of the site is provided and that the Preliminary Engineering Plan has been approved by the Metropolitan Sewer District and is in accordance with accepted engineering standards and as agreed to in Zykan Properties letter, dated 6/28/99. Stormwater detention shall be permitted within the wetland area. No above ground detention shall be authorized except for the detention in the wetlands portion of the development.

b. Access and Curb Cuts.

Provide written verification of the requirements for, and approval by, the Missouri Highway and Transportation Department of the location of proposed curb cuts, areas of new dedication and roadway improvements, including any required signalization and right-turn lanes. There shall be cross access areas between the Walgreens and Stallings properties as depicted on Sheet C-1 of Exhibit "A" dated 6/18/99.

c. Screening.

Provide detailed plans showing a six (6') foot high sight-proof cedar fence along the north portion of the property screening the adjacent residential property from the view of the development, except in the wetland mitigation area where planted buffer shall be provided.

8. RECORDING

Within sixty (60) days of approval of the Site Development Plan by the Planning & Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds.

9. VERIFICATION PRIOR TO BUILDING PERMITS

Subsequent to the approval of the Site Development Plan and prior to the issuance of any building permit, the following verifications shall be provided:

a. Sanitary Sewers.

Written verification of an approved sanitary sewer plan approval from the Metropolitan St. Louis Sewer District and the department of public works.

b. Stormwater Sewers.

Written verification of an approved stormwater plan approval from the Metropolitan St. Louis Sewer District and the department of public works.

c. Landscaping/Screening Bonds or Escrows.

A bond, escrow, unconditional letter of credit or other appropriate security agreement as approved by the City Attorney sufficient in amount as determined by the Director of Public Works to guarantee the satisfaction of the conditions set forth herein shall be furnished.

d. Street Improvement/Parking/Curbing Signs/Pavement Marking/Sidewalks/Bond or Escrows.

The petitioner shall furnish a two (2) year bond, escrow or unconditional letter of credit or other appropriate security agreement as approved by the City Attorney sufficient in amount, as determined by the Director of Public Works, to guarantee the installation of parking lot pavement, curbing, sidewalks, sign pavement markings, lighting and fire lanes.

e. Filing a Recorded Site Development Plan.

Two (2) copies of such recorded Site Development Plan, showing book, page, and recording date, shall be filed with the director of public works.

f. Notification of the department of public works.

Prior to the issuance of foundation or building permits, all approvals from the Metropolitan St. Louis Sewer District, the Missouri Highway and Transportation Department and other appropriate organizations must be received by the department of public works.

10. GENERAL DEVELOPMENT CONDITIONS.

- a. Adequate surfaced temporary off-street parking for construction employees shall be provided. Parking on non-surfaced areas shall be prohibited in order to eliminate the condition whereby mud from construction on employee vehicles is tracked onto the pavement causing hazardous roadway and driving conditions.
- b. No change in watershed shall be permitted.
- c. Unless, and except to the extent, otherwise specifically provided herein, the development shall be effected only in accordance with all other ordinances of the City of Florissant. The department of public works shall enforce the conditions of this ordinance in accordance with the Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.
- d. Prior to the issuance of any occupancy permits resubdivision of the property of the development into one (1) lot shall be effected.

11. PROJECT COMPLETION.

Construction shall commence within six months of the issuance of building permits and the project will be completed within eighteen (18)

months of issuance of the beginning of construction.

12. HOURS OF OPERATION AND DELIVERIES.

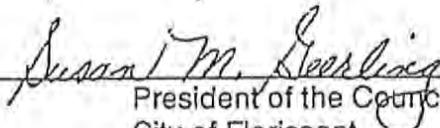
The hours of operation are from 7:00 a.m. to 10:00 p.m., Monday through Saturday, and 9:00 a.m. to 7:00 p.m. on Sunday. All deliveries shall take place between the hours of 6:00 a.m. and 8:00 p.m.

Section 3: The application and preliminary plans are returned to the Planning & Zoning Commission for consideration of a Site Development Plan, pursuant to Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance.

Section 4: Failure to develop the said Planned Commercial District in accordance with the above-described procedures and restrictions shall be cause for revision of the zoning of said property back to a R-6 and B-3 District, in accordance with Section 14.5, subsection 13 of the Florissant Zoning Ordinance.

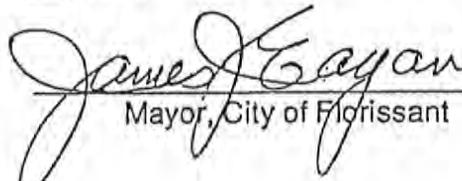
Section 5: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this 28th day of June, 1999.



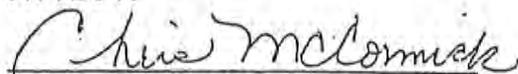
President of the Council
City of Florissant

Approved this 29 day of June, 1999.



Mayor, City of Florissant

ATTEST:



City Clerk



SURVEY DESCRIPTION

A TRACT OF LAND BEING PART OF LOT 1A OF THE RESUBDIVISION OF LOT 1 OF LOWES SUBDIVISION, PLAT BOOK 363 PAGE 422 OF THE ST. LOUIS COUNTY RECORDS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1A OF THE RESUBDIVISION OF LOT 1 OF LOWES SUBDIVISION, PLAT BOOK 363 PAGE 422 OF THE ST. LOUIS COUNTY RECORDS; SAID POINT ALSO BEING ON THE SOUTHLINE OF LINDBERGH BOULEVARD, A PUBLIC ROADWAY;

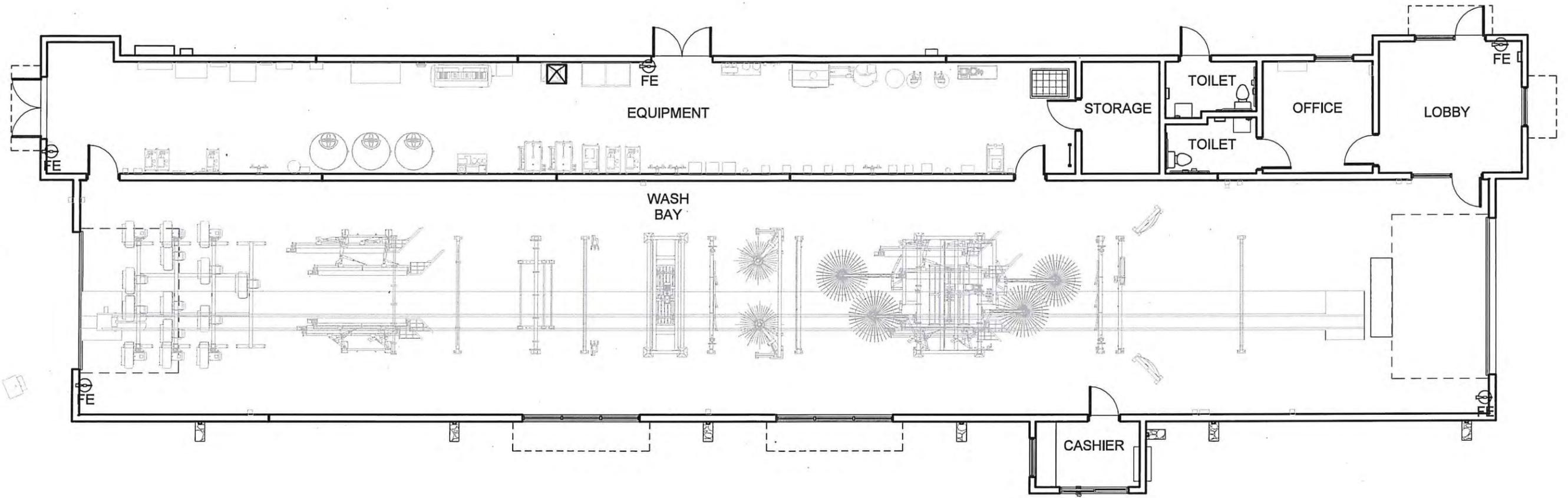
THENCE, ALONG THE NORTHWESTERN LINE OF SAID LOT 1A, NORTH 56 DEGREES 36 MINUTES 24 SECONDS EAST, A DISTANCE OF 72.80 FEET TO A POINT;

THENCE, DEPARTING SAID NORTHWEST LINE, NORTH 89 DEGREES 43 MINUTES 00 SECONDS EAST, A DISTANCE OF 197.72 FEET TO A POINT;

THENCE, SOUTH 00 DEGREES 07 MINUTES 29 SECONDS WEST, A DISTANCE OF 186.73 FEET TO A POINT;

THENCE, SOUTH 89 DEGREES 43 MINUTES 00 SECONDS WEST, A DISTANCE OF 258.42 FEET TO A POINT ON THE WEST LINE OF THE AFOREMENTIONED LOT 1A;

THENCE, ALONG SAID WEST LINE, NORTH 00 DEGREES 07 MINUTES 29 SECONDS EAST, A DISTANCE OF 146.96 FEET BACK TO THE POINT OF BEGINNING AND THIS TRACT OF LAND CONTAINING APPROXIMATELY 47,046 SQUARE FEET OR 1.08 ACRES, MORE OR LESS.



PRELIMINARY FLOOR PLAN



FINKLE + WILLIAMS
ARCHITECTURE

CLUB CAR WASH - FLORISSANT, MO | 08/13/2020 | 3/32" = 1'-0"



FINKLE + WILLIAMS © 2020

EXTERIOR COLOR PALETTE

	ARCHITECTURAL 8" CMU SMOOTH FACE BLOCK COLOR: Limestone
	ARCHITECTURAL 8" CMU SMOOTH FACE BLOCK COLOR: Slate
	METAL AWNINGS COLOR: Red
	STOREFRONT COLOR: Dark Bronze Anodized
	SCUPPERS, DOWNSPOUTS, AND METAL COPINGS COLOR: Kynar Finish Matte Black

SIGNAGE NOTE: SEPARATE SIGNAGE PERMIT WILL BE SUBMITTED BY OWNER PRIOR TO INSTALLATION.



CLUB CAR WASH RENDERING



EXTERIOR COLOR PALETTE

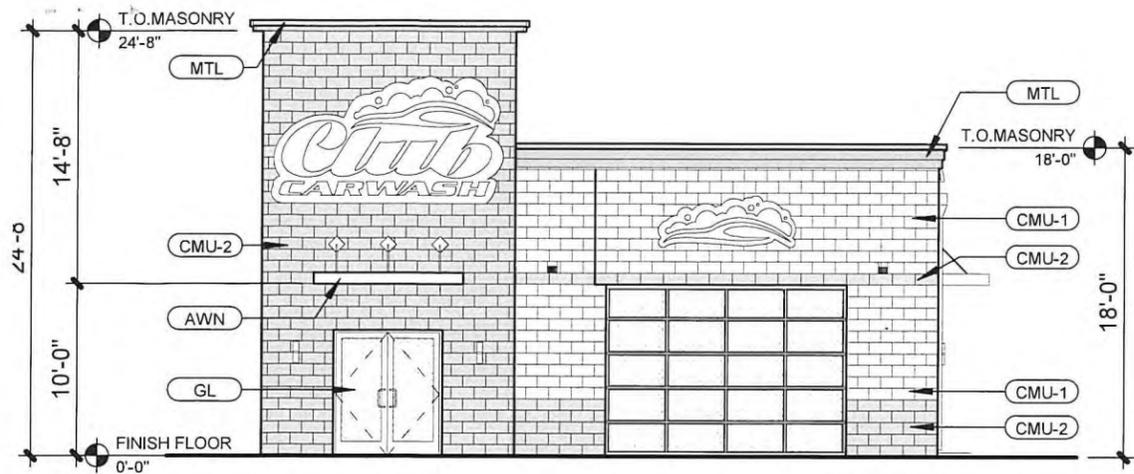
-  ARCHITECTURAL 8" CMU SMOOTH FACE BLOCK
COLOR: Ivory
-  ARCHITECTURAL 8" CMU SMOOTH FACE BLOCK
COLOR: Limestone
-  METAL AWNINGS
COLOR: Red
-  STOREFRONT
COLOR: Dark Bronze Anodized
-  SCUPPERS, DOWNSPOUTS, AND METAL COPINGS
COLOR: Kynar Finish Matte Black

SIGNAGE NOTE: SEE SEPARATE SIGNAGE RENDERINGS. ALL SIGNAGE REQUIRES SEPARATE PERMITTING AND APPROVAL PRIOR TO INSTALLATION.



CLUB CAR WASH RENDERING



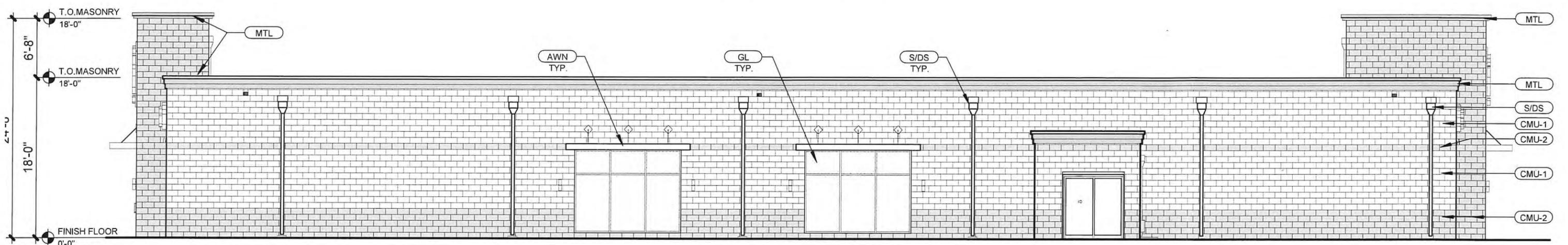


WEST ELEVATION | 3/32" = 1'-0"

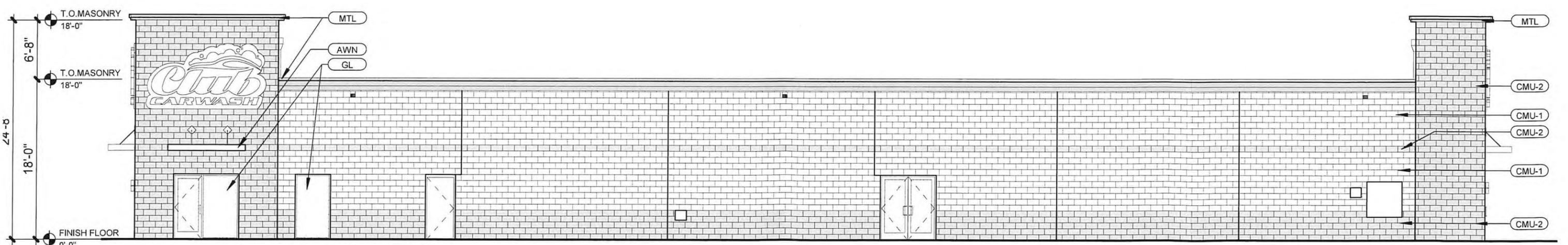


EAST ELEVATION | 3/32" = 1'-0"

EXTERIOR MATERIAL LEGEND	
CMU-1	ARCHITECTURAL 8" CMU SMOOTH FACE BLOCK (COLOR: Limestone)
CMU-2	ARCHITECTURAL 8" CMU SMOOTH FACE BLOCK (COLOR: Slate)
GL	ALUMINUM STOREFRONT GLAZING SYSTEM 2"x4 1/2" Thermal Storefront Framing in Dark Bronze Anodized, w/ 1" Insulated LOW-E Tinted Glazing Unit
AWN	PREFABRICATED PAINTED FLAT METAL AWNING (COLOR: Red)
S/DS	PREFINISHED KYNAR-COATED SHEET METAL SCUPPER AND DOWNSPOUTS (COLOR: Matte Black)
MTL	PREFINISHED KYNAR COATED METAL COPING (COLOR: Matte Black)
ROOF	SINGLE PLY TPO OVER TAPERED INSULATION (COLOR: White)



SOUTH ELEVATION | 3/32" = 1'-0"



NORTH ELEVATION | 3/32" = 1'-0"



Missouri Lawyers Media

Missouri Lawyers Weekly, St Louis Daily Record, St Charles Business Record The Countian (St Louis, Jefferson), The Daily Record and LAN

319 N Fourth Street, 5th Floor
St. Louis, MO 63102
1 (314) 421-1880
www.molawyersmedia.com

COPY FOR YOUR RECORDS ONLY, NOT AN INVOICE OR AFFIDAVIT OF PUBLICATION

Anita Moore
Florissant, City Of
955 Rue Saint Francois St
Florissant, MO 63031-4925

CITY OF FLORISSANT PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, September 14, 2020 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 6266, as amended, to allow for a new Tunnel Car Wash for the property located at 3180 N Highway 67 (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk
11911088 County Aug 21, 2020

Please Read Carefully

Missouri Lawyers Media is not responsible for errors or omissions after the First Run Date. If any errors, contact 1 (314) 421-1880. Attorneys placing legal advertisements are responsible for payment of same.

PO #	
Order #	11911088
Placement	Countian St. Louis (MO) Government Hearings and Minutes
Schedule	8/21/2020 - 8/21/2020
# of Times	1 inserts
Base Charge*	29.00
Add'l Charges/Disc*	0.00
Payment Amount	0.00

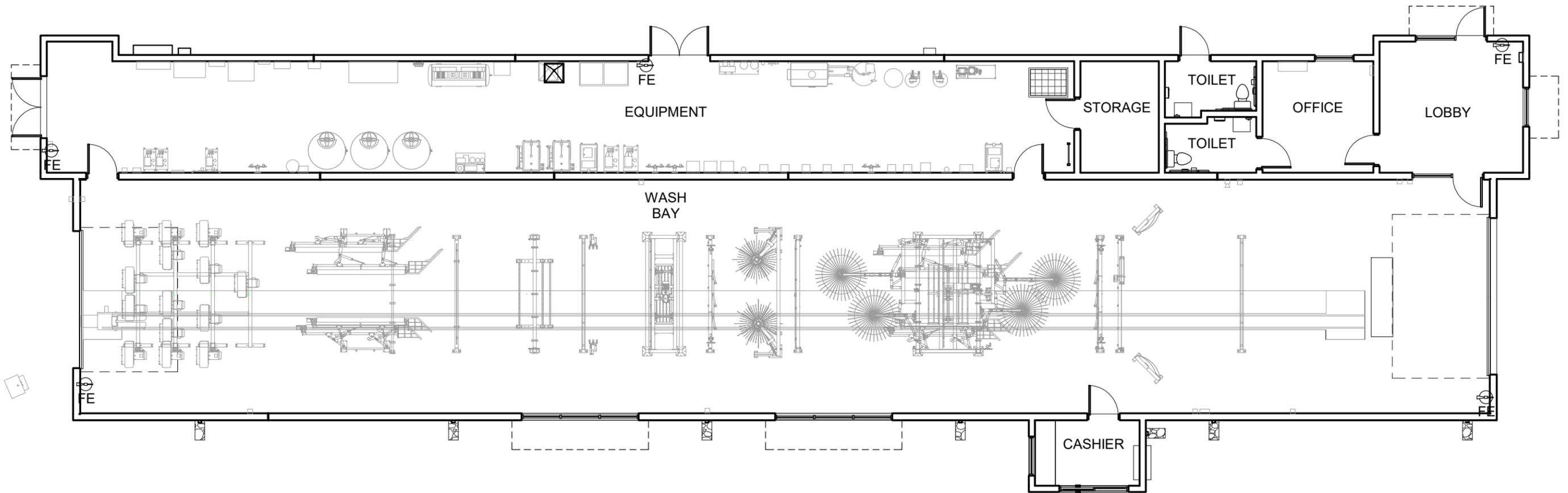
TOTAL: **29.00**
(Not an Invoice)

ORDER KEYWORDS:

CITY OF FLORISSANT PUBLIC HEARING NOTICE NOTICE IS HEREBY GIVEN IN ACCORDANCE WITH SECTION 405.135 OF THE FLORISSANT CITY CODE, THE ZONING ORDINANCE, AS AMENDED, THAT A PUBLIC HEARING WILL BE HELD BY THE CITY COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS

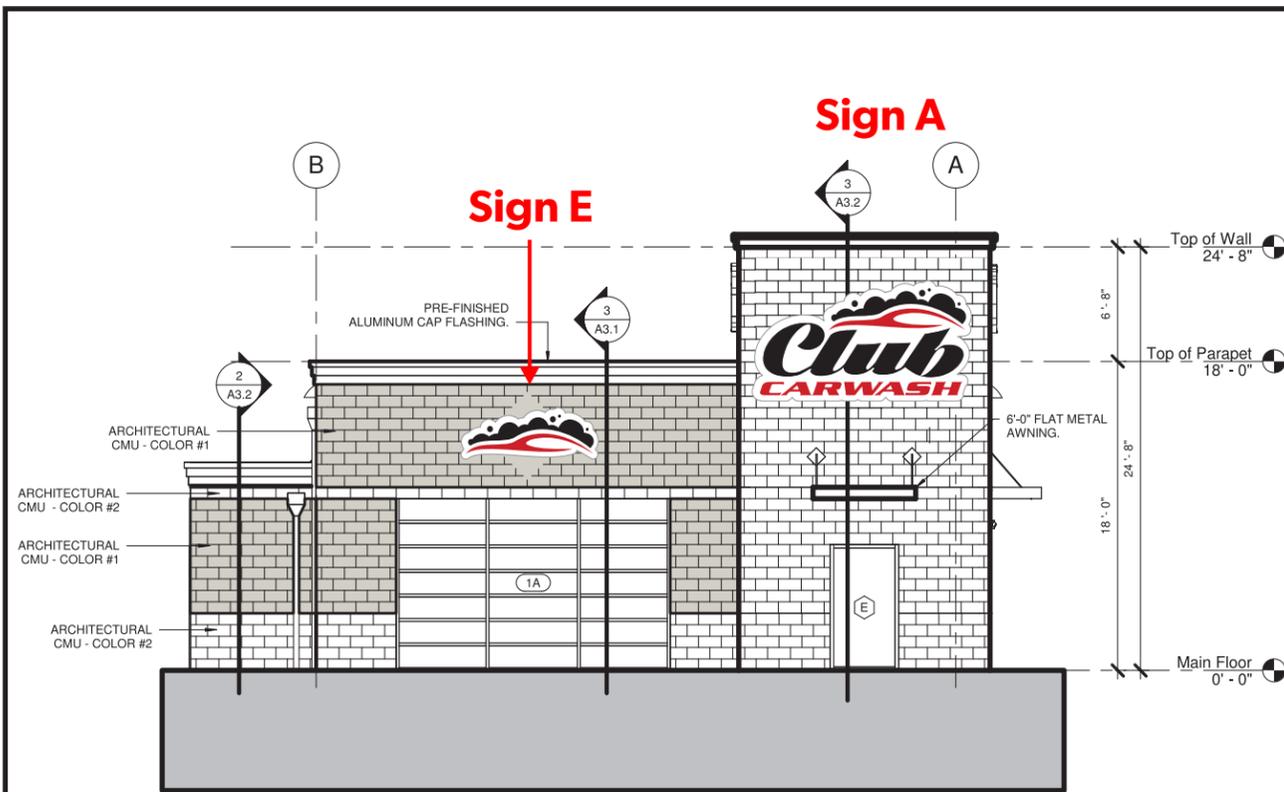
Anchor Rate:	\$29.00
Subsequent Rate:	\$0.00

***Changes to this order may result in pricing changes.**

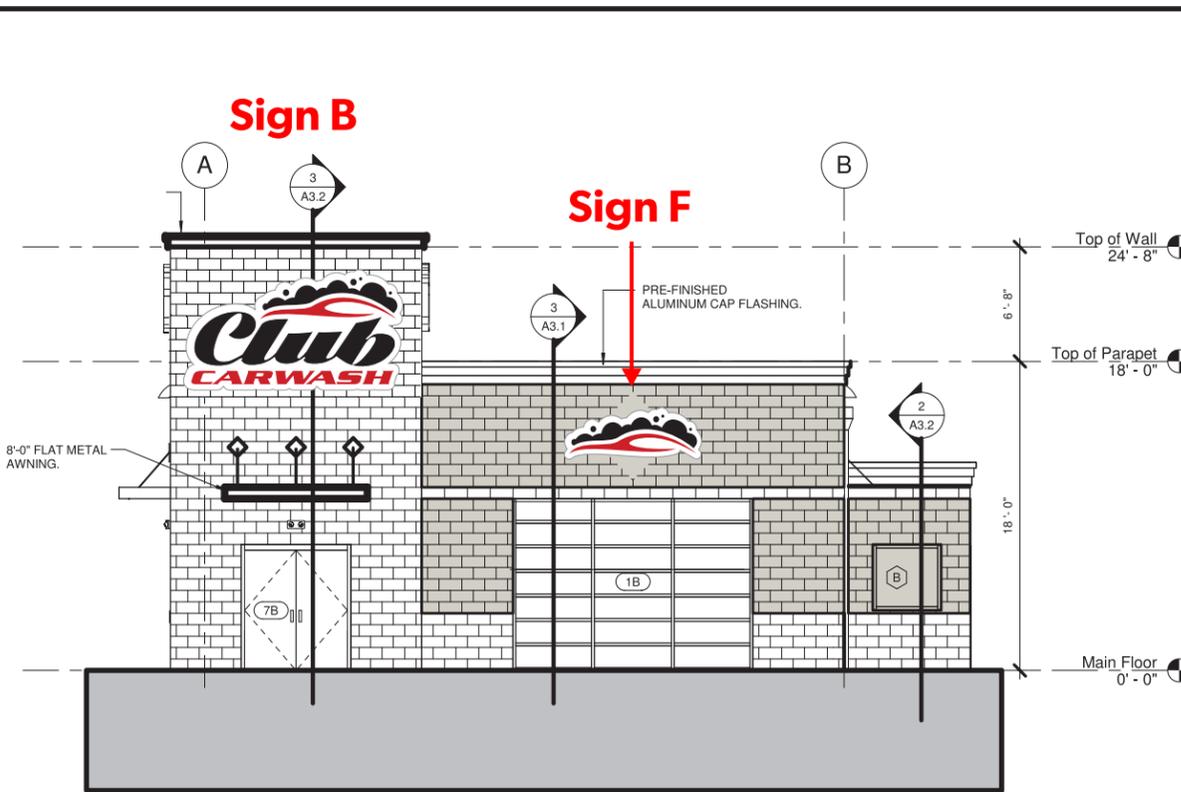


PRELIMINARY FLOOR PLAN





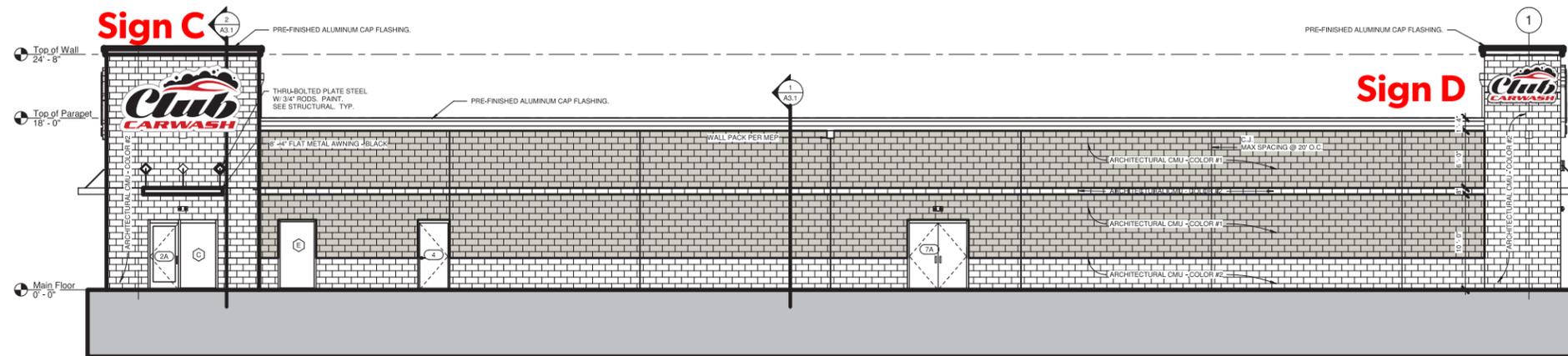
SCALE - 3/32" = 1'-0"



SCALE - 3/32" = 1'-0"



SCALE - 1/16" = 1'-0"



SCALE - 1/16" = 1'-0"

DESIGN TYPE	
<input type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR
<input type="checkbox"/> NEON DISPLAYS	<input type="checkbox"/> CHANNEL LETTERS
<input type="checkbox"/> NON-ILLUM SIGNAGE	<input type="checkbox"/> REV. CHANNEL LETTERS
<input type="checkbox"/> DUEL POLE SIGN	<input type="checkbox"/> SINGLE POLE SIGN
<input type="checkbox"/> MONUMENT SIGN	<input type="checkbox"/> DIRECTIONAL
<input type="checkbox"/> CHANGEABLE READER BOARD/ ELE. DISPLAYS	

PROJECT TYPE	
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> REMODELING
<input type="checkbox"/> TENANT CHANGES	<input type="checkbox"/> LANDLORD IMPROVEMENTS
<input type="checkbox"/> CORPORATE CHANGES	<input type="checkbox"/> AMENDMENTS TO EXCISING SIGNAGE

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

NOTICE:
ALL GRAPHIC REPRODUCTIONS ARE SUBJECT BY APPROVAL OF AUTHORIZED CLIENT. AS OF APPROVAL BY THE UNDERSIGNED & DATED PRIOR TO ANY FABRICATION OF PRODUCT, TRI CITY SIGN COMPANY HOLDS ALL AGREEMENTS FINAL AND TO CLIENT APPROVAL.

Signed _____ Date _____
Sales Rep. _____ Date _____



363 North Elm Street, Grand Island, NE 68801
800.339.4779
tricitysign.com
© 2007 TRI CITY SIGN COMPANY

DRAWING NO.	
SALESPERSON:	Tim Marchese
DRAWN BY:	<i>Jimmy Cox</i>
Scale: As Noted.	INSPECTED BY:
Date:	

Signs A, B, C



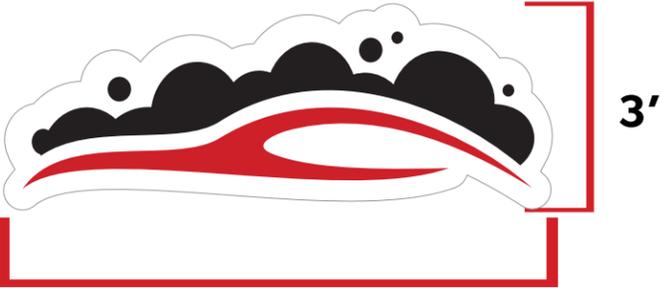
12'-9"

Sign D



7'-5"

Sign E, F



8'



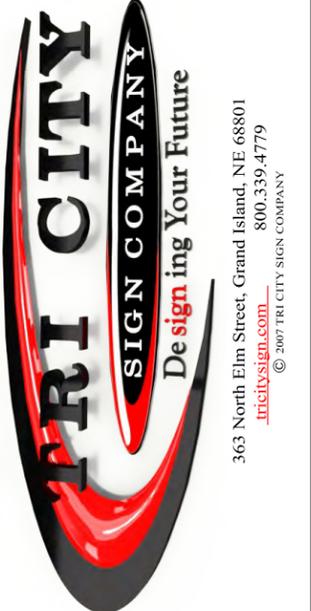
DESIGN TYPE	
<input checked="" type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR
<input type="checkbox"/> NEON DISPLAYS	<input type="checkbox"/> CHANNEL LETTERS
<input type="checkbox"/> NON-ILLUM SIGNAGE	<input type="checkbox"/> REV. CHANNEL LETTERS
<input type="checkbox"/> DUEL POLE SIGN	<input type="checkbox"/> SINGLE POLE SIGN
<input type="checkbox"/> MONUMENT SIGN	<input type="checkbox"/> DIRECTIONAL
<input type="checkbox"/> CHANGEABLE READER BOARD/ ELE. DISPLAYS	

PROJECT TYPE	
<input type="checkbox"/> NEW CONSTRUCTION	
<input type="checkbox"/> REMODELING	
<input type="checkbox"/> TENANT CHANGES	
<input type="checkbox"/> LANDLORD IMPROVEMENTS	
<input type="checkbox"/> CORPORATE CHANGES	
<input type="checkbox"/> AMENDMENTS TO EXCISING SIGNAGE	

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

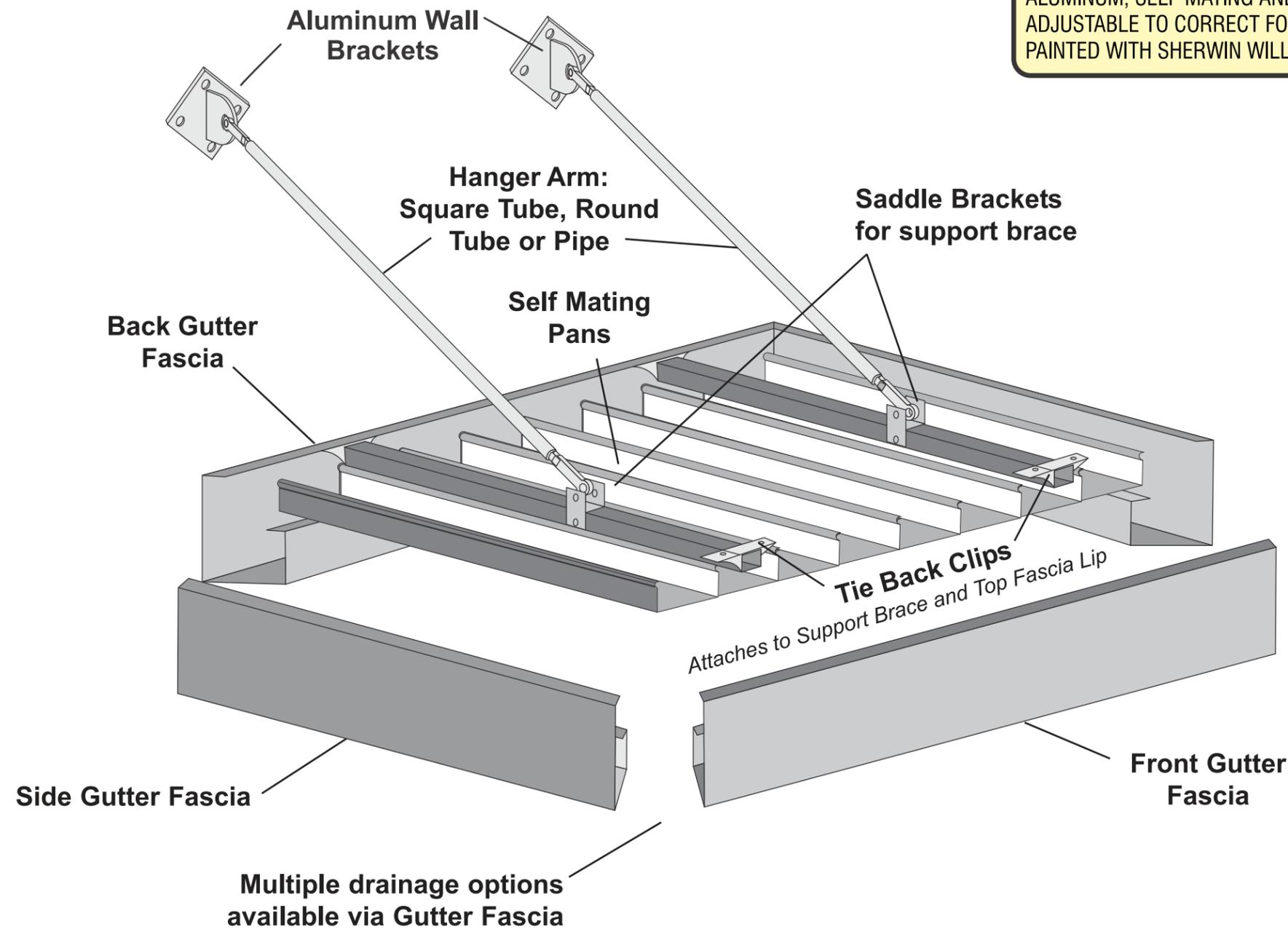
NOTICE:
ALL GRAPHIC REPRODUCTIONS ARE SUBJECT BY APPROVAL OF AUTHORIZED CLIENT. AS OF APPROVAL BY THE UNDERSIGNED & DATED PRIOR TO ANY FABRICATION OF PRODUCT, TRI CITY SIGN COMPANY HOLDS ALL AGREEMENTS FINAL AND TO CLIENT APPROVAL.

Signed _____ Date _____
Sales Rep. _____ Date _____



DRAWING NO.	
SALESPERSON: Tim Marchese	
DRAWN BY: <i>Jimmy Cox</i>	
Scale: As Noted.	INSPECTED BY.:
Date:	

SCALE - 3/8" = 1'-0"



SCOPE OF WORK

FABRICATE AND INSTALL 3 METAL AWNINGS WITH SUPPORT RODS. AWNINGS ARE FABRICATED FROM 1/8" THICK EXTRUDED ALUMINUM GUTTERS WITH WELDED SEAMS. ROOF PANS ARE .090 EXTRUDED ALUMINUM, SELF-MATING AND SEALED. SUPPORT RODS ARE ADJUSTABLE TO CORRECT FOR PITCH. ALL COMPONENTS TO BE PAINTED WITH SHERWIN WILLIAMS A-100 SERIES SATIN RED PAINT.

2 AWNINGS THAT ARE 8' LONG
 1 AWNING THAT IS 6' LONG
 ALL AWNINGS HAVE 8" FASCIAS
 AND PROJECT 36"

A.2 **AWNING EXPLODED VIEW**
 a Scale: NTS

DESIGN TYPE	
<input checked="" type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR
<input type="checkbox"/> NEON DISPLAYS	<input type="checkbox"/> CHANNEL LETTERS
<input type="checkbox"/> NON-ILLUM SIGNAGE	<input type="checkbox"/> REV. CHANNEL LETTERS
<input type="checkbox"/> DUEL POLE SIGN	<input type="checkbox"/> SINGLE POLE SIGN
<input type="checkbox"/> MONUMENT SIGN	<input type="checkbox"/> DIRECTIONAL
<input type="checkbox"/> CHANGEABLE READER BOARD/ ELE. DISPLAYS	

PROJECT TYPE	
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/>
<input type="checkbox"/> REMODELING	<input type="checkbox"/>
<input type="checkbox"/> TENANT CHANGES	<input type="checkbox"/>
<input type="checkbox"/> LANDLORD IMPROVEMENTS	<input type="checkbox"/>
<input type="checkbox"/> CORPORATE CHANGES	<input type="checkbox"/>
<input type="checkbox"/> AMENDMENTS TO EXCISING SIGNAGE	

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

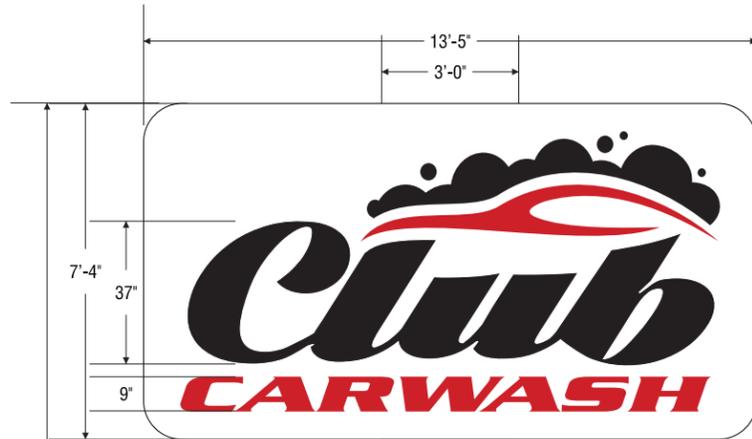
NOTICE:
 ALL GRAPHIC REPRODUCTIONS ARE SUBJECTED BY APPROVAL OF AUTHORIZED CLIENT. AS OF APPROVAL BY THE UNDERSIGNED & DATED PRIOR TO ANY FABRICATION OF PRODUCT, TRI CITY SIGN COMPANY HOLDS ALL AGREEMENTS FINAL AND TO CLIENT APPROVAL.

Signed _____ Date _____
 Sales Rep. _____ Date _____

363 North Elm Street, Grand Island, NE 68801
 800.339.4779
 tricitysign.com
 © 2007 TRI CITY SIGN COMPANY

DRAWING NO.	
SALESPERSON: Tim Marchese	
DRAWN BY: <i>Jimmy Cox</i>	
Scale: As Noted.	INSPECTED BY.:
Date:	

SCALE - 1/4" = 1'-0"



28'-0"



CHANNEL LOGO W/ BLACK RETURNS,
WHITE FACE W/PERF. BLACK VINYL &
BLACK TRIM CAP. ILLUM. BY WHITE LEDs.

WHITE ALUMINUM CABINET
WITH BLACK RETURNS.

CHANNEL LOGO W/ RED RETURNS,
RED ACRYLIC FACE & RED
TRIM CAP. ILLUM. BY RED LEDs.

CHANNEL LETTERS W/ BLACK RETURNS,
WHITE FACE W/PERF. BLACK VINYL &
BLACK TRIM CAP. ILLUM. BY WHITE LEDs.

CHANNEL LETTERS W/ RED RETURNS,
RED ACRYLIC FACE & RED
TRIM CAP. ILLUM. BY RED LEDs.

ALUMINUM POLE COVER
PAINTED BLACK.
POLE & FOOTING TBD.



DESIGN TYPE	
<input type="checkbox"/> INTERIOR	<input type="checkbox"/> EXTERIOR
<input type="checkbox"/> NEON DISPLAYS	<input type="checkbox"/> CHANNEL LETTERS
<input type="checkbox"/> NON-ILLUM SIGNAGE	<input type="checkbox"/> REV. CHANNEL LETTERS
<input type="checkbox"/> DUEL POLE SIGN	<input type="checkbox"/> SINGLE POLE SIGN
<input type="checkbox"/> MONUMENT SIGN	<input type="checkbox"/> DIRECTIONAL
<input type="checkbox"/> CHANGEABLE READER BOARD/ ELE. DISPLAYS	

PROJECT TYPE	
<input type="checkbox"/> NEW CONSTRUCTION	
<input type="checkbox"/> REMODELING	
<input type="checkbox"/> TENANT CHANGES	
<input type="checkbox"/> LANDLORD IMPROVEMENTS	
<input type="checkbox"/> CORPORATE CHANGES	
<input type="checkbox"/> AMENDMENTS TO EXCISING SIGNAGE	

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electric Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

NOTICE:

ALL GRAPHIC REPRODUCTIONS ARE SUBJECTED BY APPROVAL OF AUTHORIZED CLIENT. AS OF APPROVAL BY THE UNDERSIGNED & DATED PRIOR TO ANY FABRICATION OF PRODUCT, TRI CITY SIGN COMPANY HOLDS ALL AGREEMENTS FINAL AND TO CLIENT APPROVAL.

Signed _____ Date _____

Sales Rep. _____ Date _____



363 North Elm Street, Grand Island, NE 68801
800.339.4779
tricitysign.com
© 2007 TRI CITY SIGN COMPANY

DRAWING NO.	
SALESPERSON: Tim Marchese	
DRAWN BY: <i>Jimmy Cox</i>	
Scale: As Noted.	INSPECTED BY.:
Date:	

August 26, 2020

Club Carwash Operating LLC
1213 Old Hwy 63, Suite 101
Columbia, MO 65201

Dear Petitioner,

The Florissant City Council has scheduled a public hearing for a B-5 Amendment for the property located at 3180 N Highway 67, for Monday, September 14, 2020 at 7:30 p.m. The City Council Meeting will be held in the Council Chambers located at 955 rue St. Francois, Florissant, Missouri.

The purpose of the public hearing is for you and/or your authorized agent to present to the City Council information on why said application should be granted. It is your responsibility to be present and/or your authorized agent to make an oral presentation similar to what you presented to the Planning and Zoning Commission. You may bring a power point presentation or any other materials that you have submitted to the Planning and Zoning Commission to assist you in your presentation. **Eleven sets of your plans, including one 8 ½ x 11 set, need to be delivered to the City Clerk's office (kgoodwin@florissantmo.com) prior to September 9.**

Please contact the Councilperson in whose ward your business will be located prior to the Council meeting. (See enclosed highlighted Councilperson) Anyone wishing to speak about your petition will have the opportunity to be heard at said public hearing. Enclosed find a copy of your public hearing notice which was published in the newspaper, along with your invoice.

If you have any questions concerning the public hearing, please feel free to call me at 314-839-7630.

Sincerely,

Karen Goodwin
City Clerk

City of Florissant
955 rue St Francois
Florissant, MO 63031
314-839-7631

INVOICE

Return to: ANITA MOORE, Office of City Clerk
For: Public Hearing

Club Carwash Operating LLC
1213 Old Hwy 63, Suite 101
Columbia, MO 65201

PH # 20-09-024 Amend B-5

<u>Date</u>	<u>Item</u>	<u>Unit Cost</u>	<u>Total Cost</u>
8/26/2020	A notice was published in <i>The Countian</i> on 8/21/2020 for a hearing before the City Council on 9/14/2020.	\$ 29.00	\$29.00
	<u>The above must be paid before the Public Hearing.</u> Please return a copy of this invoice with your check.		\$29.00
	TOTAL		

CITY OF FLORISSANT



PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, September 14, 2020 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 6266, as amended, to allow for a new Tunnel Car Wash for the property located at 3180 N Highway 67 (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

1 INTRODUCED BY COUNCILMAN SIAM
2 SEPTEMBER 14, 2020

3
4 BILL NO. 9617

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING A SPECIAL USE PERMIT FOR THE**
7 **EXPANSION OF A CONVENIENCE STORE WITH LIQUOR FOR THE**
8 **PROPERTY LOCATED AT 1763-1765 N. NEW FLORISSANT ROAD.**
9

10 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
11 Florissant, by Special Permit, after public hearing thereon, to permit the location and operation
12 of convenience stores in the City of Florissant; and

13 WHEREAS, an application has been filed by MA UMIYA, LLC d/b/a Mini Market 4 or
14 the operation of a package liquor store operating as a retail wine and spirits establishment located
15 at 3425 N. Hwy 67; and

16 WHEREAS, the Planning and Zoning Commission at their meeting August 17th, 2020,
17 recommended that a Special Permit be granted; and

18 WHEREAS, due notice of public hearing no. 20-09-25 on said application to be held on
19 the 14th of September, 2020 at 7:30 P.M. by the Council of the City of Florissant was duly
20 published, held and concluded; and

21 WHEREAS, the Council, following said public hearing, and after due and careful
22 consideration, has concluded that the issuance of a Special Permit for convenience store would
23 be in the best interest of the City of Florissant.
24

25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
27

28 Section 1: Special Use to allow for a Convenience Store with Package Liquor Sales located at
29 1763-1765 N. New Florissant Rd (Mini Market 4) in a ‘B-3’ Extensive Business District as shown on
30 plans ZP-1, ZP-2, both dated 7/27/20 by John Zekind, PE and attached hereto.
31

32 Section 2: This ordinance shall become in force and effect immediately upon its passage
33 and approval.

34 Adopted this ____ day of _____, 2020.

35
36 _____
37 Keith Schildroth
38 President of the Council

39 Approved this ____ day of _____, 2020.

40
41 _____
42 Timothy J. Lowery
43 Mayor, City of Florissant

44 ATTEST:

45
46 _____
47 Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, September 14, 2020 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit to allow for the expansion of a convenience store with liquor sales for the property located at 1763-1765 N New Florissant Road (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

**PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

Council Ward 9 Zoning 'B-3'

Initial Date Petitioner Filed 8/4/20
Building Commissioner to complete
ward, zone & date filed

SIGN. [Signature] DATE: 8-24-2020

SPECIAL PERMIT FOR EXTENSION OF CONVINENCE AND LIQUOR STORE
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT # _____ TO ALLOW FOR TO EXPEND STORE SPACE
ordinance # _____ Statement of what the amendment is for.

LOCATION 1763-1765 N. NEW FLORISSANT RD., FLORISSANT, MO-63033
Address of property.

1) Comes Now MAUMIYA LLE / DBA MINI MARKET 4
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) LEASE
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.
1763 N. NEW FLORISSANT RD.

2) The petitioner(s) further state(s) that the property herein described is presently being used for CONVINENCE & LIQUOR and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.
1765 N. NEW FLORISSANT RD. IS A VACANT SPACE.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership X Corporation _____

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners ON ADDED PAGE
- (2) Telephone numbers ON ADDED PAGE
- (3) Business address 1763 N. NEW FLOREISSANT RD., FLOREISSANT, MO 63033
- (4) Name under which business is operated MAUMIYA LLC DBA MINI MARKET 4
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Jignasha Patel

461 Olde Court Rd.

St. Charles, MO 63303

314-223-3008

Manisha Patel

2012 Montclair Manor Dr.

St. Charles, MO 63303

314-496-2924

Asha Patel

489 Olde Court Rd.

St. Charles, MO 63303

314-660-8163

Mounali Patel

497 Olde Court Rd.

St. Charles, MO 63303

314-952-9784

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name FLO-LIN II
Address 1763-1783 N. NEW FLORISSANT RD., FLORISSANT, MO-63033
Property Owner WALPERT PROPERTIES / ROBERT A. WALPERT
Location of property 1763-1783 N. NEW FLORISSANT RD. FLORISSANT, MO-63033
Dimensions of property 227 FT W X 60 FT. D.
Property is presently zoned B-3 Requests Rezoning To _____
Proposed Use of Property CONVENIENCE & LIQUOR STORE
Type of Sign EXISTING SIGN WILL BE USED Height _____
Type of Construction BRICKS Number Of Stories SINGLE
Square Footage of Building 13490 SQFT Number of Curb Cuts 3
Number of Parking Spaces 82 Sidewalk Length 265 FT
Landscaping: No. of Trees 7 Diameter _____
No. of Shrubs 30+ Size 1 FT, 2 FT., 3 FT., 4 FT.
Fence: Type NONE Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____

Building Commissioner or Staff Signature

FIRST LEASE AMENDMENT

This First Lease Amendment (hereinafter the "Amendment") made and entered into this 9th day of June, 2020, by and between LCRF, L.L.C., a Missouri Limited Liability Company hereinafter referred to as ("Landlord"), and Ma Umiya, L.L.C., a Missouri Limited Liability Corporation (hereinafter referred to as "Tenant").

WITNESSETH

WHEREAS, Tenant executed a certain Lease dated October 22, 2019 by and between LCRF, L.L.C., a Missouri Limited Liability Company, c/o Walpert Properties, 12295 Olive Blvd., Saint Louis, MO 63141 and Ma Umiya, L.L.C., a Missouri Limited Liability Corporation (collectively the "Lease") covering a certain premises known as and designated as 1763 New Florissant Road, Florissant MO 63033 (the "Building") consisting of approximately 2,000 square feet (the "Leased Premises"), and,

WHEREAS, the parties hereto are desirous of amending the Lease, upon the terms and conditions hereinafter set out.

NOW THEREFORE, in consideration of the mutual promises and covenants contained herein, the legal sufficiency of which is hereby acknowledged, the parties hereto agree as follows:

1. Lessee will add 1765 New Florissant Road, Florissant, MO 63033 to the Lease consisting of 1,500 square feet on August 1, 2020 giving a new total of 3,500 square feet. (the "Lease Premises").
2. Commencing December 1, 2020 through December 31, 2021 minimum rent shall be \$1,750.00 per month. January 1, 2022 through October 31, 2023 minimum rent shall be \$2,100.00

Estimate of Pro Rata Shares will be:

Taxes:	\$8,610.00 payable in monthly installments of \$717.50
Insurance:	\$1,610.00 payable in monthly installments of \$134.17
CAM:	\$14,595.00 payable in monthly installments of \$1,216.25

All other terms and conditions of the lease shall remain the same.

IN WITNESS WHEREOF, the parties executed this Amendment the day and year first above written.

LANDLORD
LCRF, L.L.C.,
A MISSOURI LIMITED LIABILITY
COMPANY

TENANT
MA UMIYA, L.L.C.,
A MISSOURI LIMITED LIABILITY
COMPANY

By: LCRF, Holdings, Inc.,
its Managing Member

By: Robert A. Walpert
Robert A. Walpert

Title: President

Date: JUNE 8, 2020

By: Jignasha Patel
Jignasha Patel

Title: Partner
Managing Member

Date: 06/08/2020

Liquor License 6606

Issued To:

MINI MARKET 4

1763 North New Florissant Road

Jignasha Patel, Managing Officer.

Licenses Shall be Kept Conspicuously Posted

For the sale of all kinds of intoxicating liquor in the original package not to be consumed on the premises and tasting on the premises of the establishment licensed to sell intoxicating liquor in the original package on Monday - Saturday from 6:00 a.m. to 1:30 a.m. and on Sunday from 9:00 a.m. until 12:00 midnight.

Liquor License fee in the sum of \$487.50, paid.

THIS LICENSE EXPIRES the 30th day of June 2021.

WITNESSETH, I Anita Moore, Deputy City Clerk of the City of Florissant, Missouri, have hereunto set my hand, June 2, 2020.

Anita Moore

Anita Moore, Deputy City Clerk

THIS LICENSE IS NOT TRANSFERABLE



7/29/20

To whom it may concern;

We as Landlord (LCRF, LLC) of Flo Lin I Shopping center located at 1763-1783 New Florissant Road, Florissant, MO 63033, grant permission to Jagdish Patel (Mini Market) to construct/remodel the spaces at 1763 & 1765 New Florissant Road, Florissant, MO 63033.

If you have any question, I can be reached at 314.682.5329.

Sincerely,

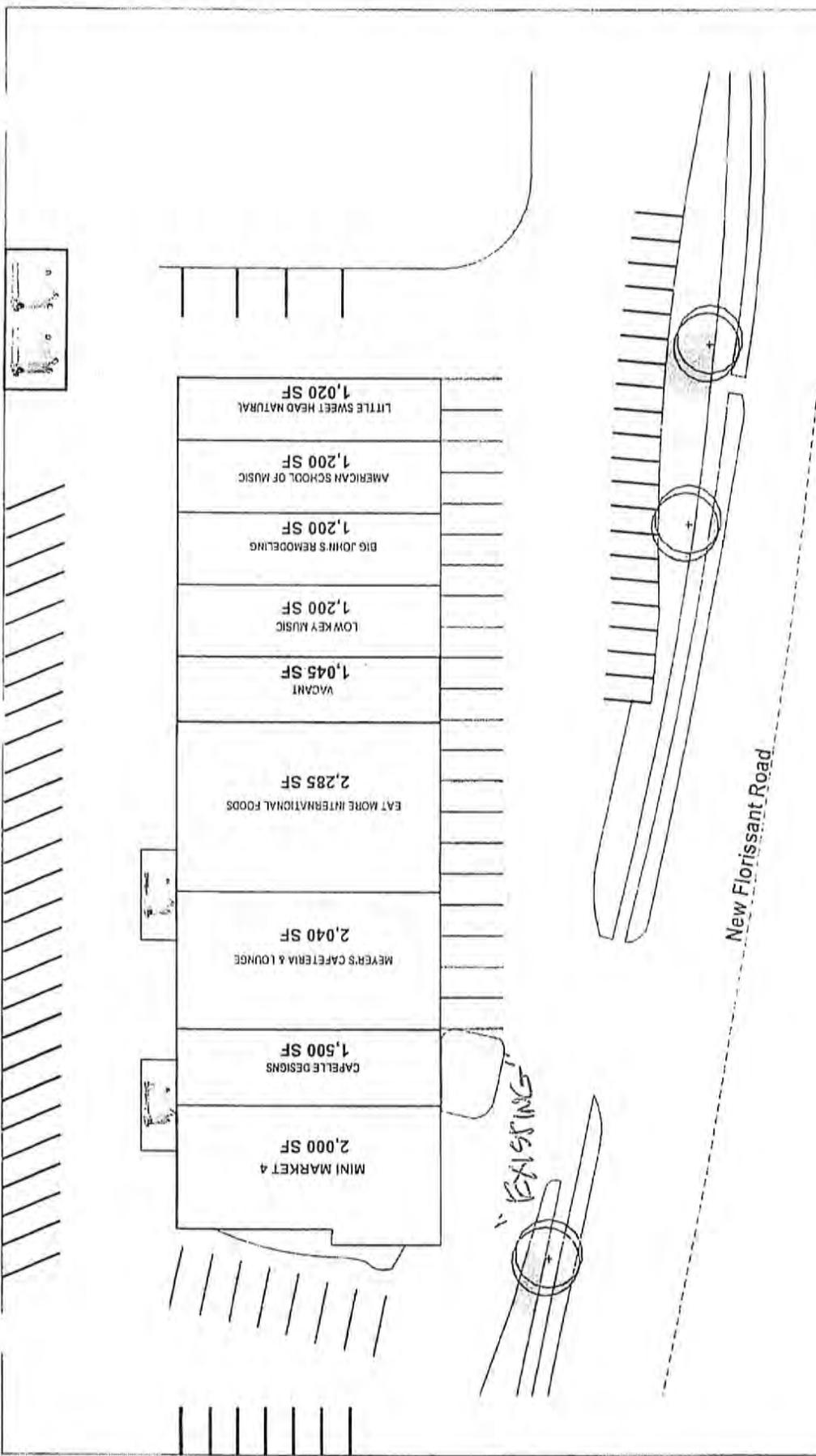
A handwritten signature in black ink, appearing to read 'BT', is written over a horizontal line.

Brandt Tichacek
Asset Manager

cc: Robert Walpert

FLO-LIN II

#	ADDRESS	TENANT	SIZE
1	1763 NEW FLORISSANT RD.	MINI MARKET 4	2000 SF
2	1765 NEW FLORISSANT RD.	CAPELLE DESIGNS	1500 SF
3	1767-1769 NEW FLORISSANT RD.	MEYER'S CAFETERIA & LOUNGE	2040 SF
4	1771-1773 NEW FLORISSANT RD.	EAT MORE INTERNATIONAL FOODS	2285 SF
5	1775 NEW FLORISSANT RD.	VACANT	1045 SF
6	1777 NEW FLORISSANT RD.	LOW KEY MUSIC	1200 SF
7	1779 NEW FLORISSANT RD.	BIG JOHN'S REMODELING	1200 SF
8	1781 NEW FLORISSANT RD.	AMERICAN SCHOOL OF MUSIC	1200 SF
9	1783 NEW FLORISSANT RD.	LITTLE SWEET HEAD NATURAL	1020 SF



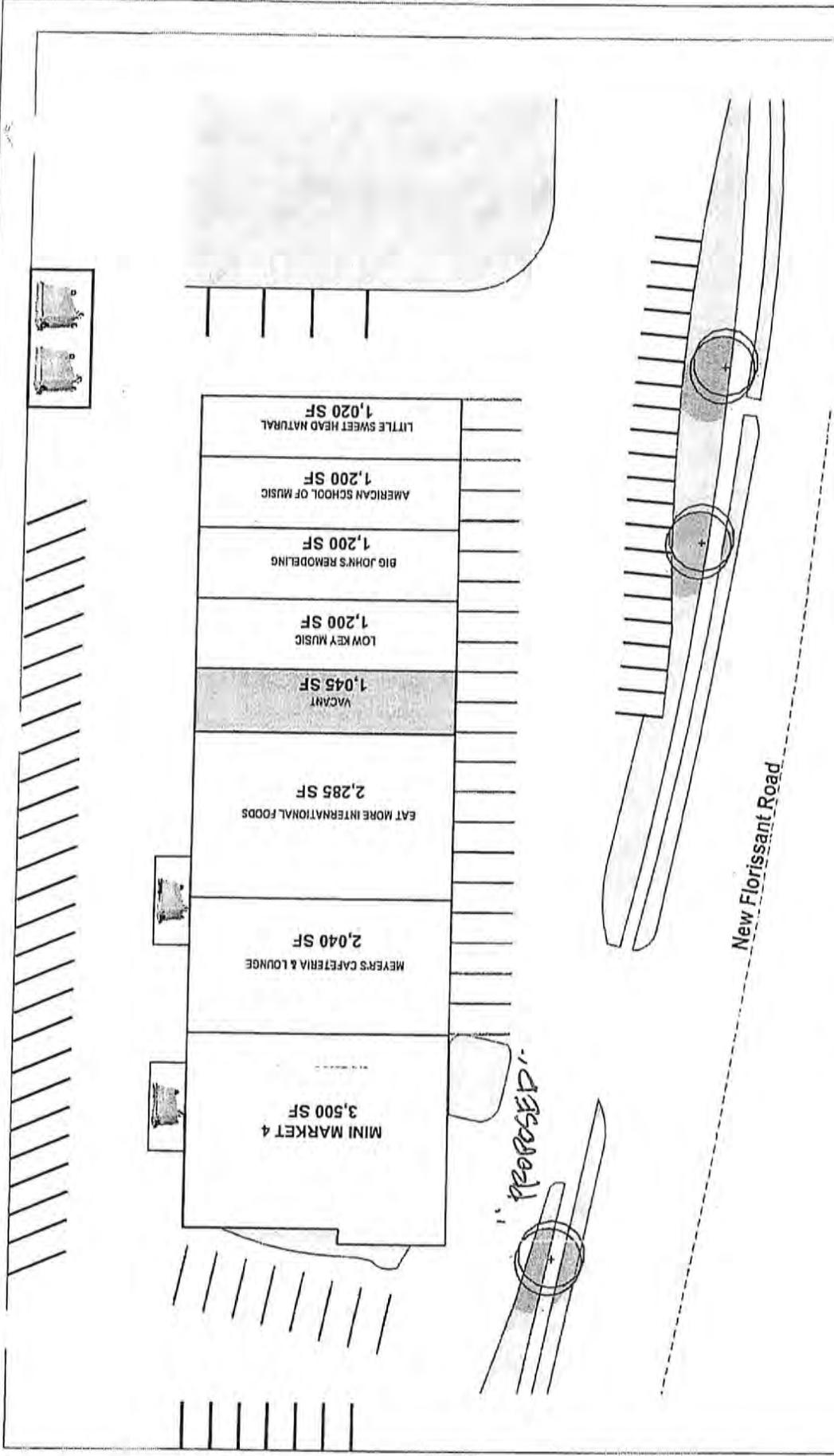
MINI MARKET 4	2,000 SF
CAPELLE DESIGNS	1,500 SF
MEYER'S CAFETERIA & LOUNGE	2,040 SF
EAT MORE INTERNATIONAL FOODS	2,285 SF
VACANT	1,045 SF
LOW KEY MUSIC	1,200 SF
BIG JOHN'S REMODELING	1,200 SF
AMERICAN SCHOOL OF MUSIC	1,200 SF
LITTLE SWEET HEAD NATURAL	1,020 SF

FLO-LIN II			
#	Address	Tenant	Size
1	1783 New Florissant Road	Mini Market 4	2,000 SF
2	1755 New Florissant Road	Capelle Designs	1,500 SF
3	1751-1763 New Florissant Road	Meyer's Cafeteria & Lounge	2,040 SF
4	1771-1773 New Florissant Road	Eat More International Foods	2,285 SF
5	1775 New Florissant Road	VACANT	1,045 SF
6	1777 New Florissant Road	Low Key Music	1,200 SF
7	1779 New Florissant Road	Big John's Remodeling	1,200 SF
8	1781 New Florissant Road	American School of Music	1,200 SF
9	1783 New Florissant Road	Little Sweet Head Natural	1,020 SF

Flo-Lin II
1763-1783 New Florissant Road, Florissant, MO 63033

Occupied
 Vacant





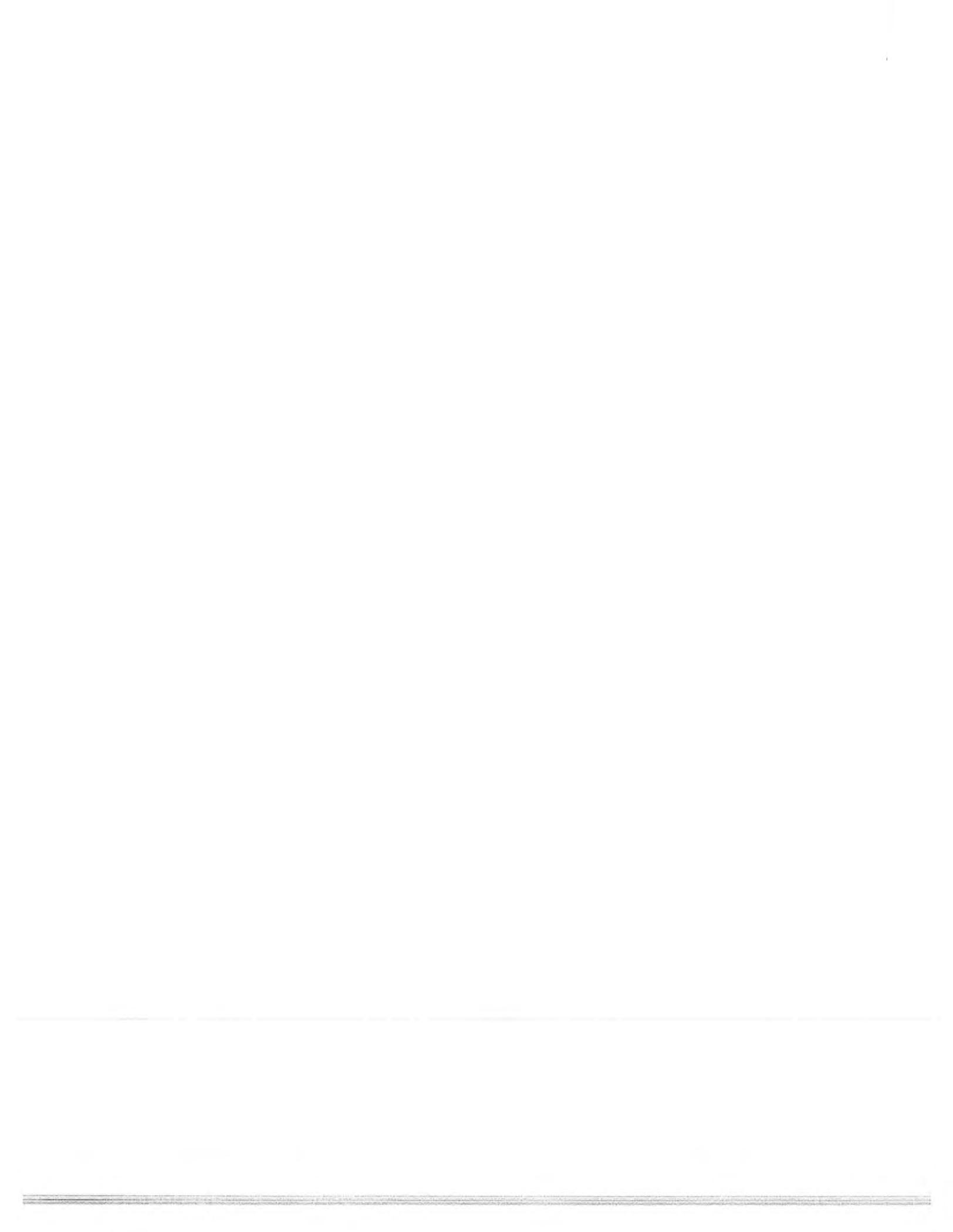
FLO-LIN II

Flo-Lin II
1763-1783 New Florissant Road, Florissant, MO 63033

#	Address	Tenant	Size
1	1763 New Florissant Road	Mini Market 4	2,000 SF
2	1765 New Florissant Road	Cupette Designs	1,500 SF
3	1767-1769 New Florissant Road	Meyers Cafeteria & Lounge	2,040 SF
4	1771-1773 New Florissant Road	Eat More International Foods	2,285 SF
5	1775 New Florissant Road	VACANT	1,045 SF
6	1777 New Florissant Road	Low Key Music	1,200 SF
7	1779 New Florissant Road	Big John's Remodeling	1,200 SF
8	1781 New Florissant Road	American School of Music	1,200 SF
9	1783 New Florissant Road	Little Sweet Head Natural	1,020 SF

Occupied
 Vacant





1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40

MEMORANDUM



CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: August 15, 2020

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: 1763-1765 N. New Florissant Rd (Mini Market 4) Request Recommended
Approval of a Special Use to expand a Convenience Store with Liquor
Sales in a 'B-3' Extensive Business District.

STAFF REPORT
CASE NUMBER PZ-081720-3

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** of a Special Use, to expand a "Convenience Store with Package Liquor Sales. The existing Use has been in existence for a long time and therefore, has no Special Use Permit on record.

II. EXISTING SITE CONDITIONS:

The existing property at 1763-1765 N. New Florissant Rd is a property which is a 1.58 acre site with a shopping center in a 'B-3' Extensive Business District.

The subject property is currently 1500 s.f. in the shopping center which is about 13,606 s.f. and the proposal is to increase the size of the establishment to 3500 s.f. There is a survey attached which shows the boundary limits and existing parking.

The existing building was built in 1976 per County record, that currently houses other Uses.

41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57

58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75

III. SURROUNDING PROPERTIES:

The property to the West is an auto repair facility at 1795 N Highway 67. The property to the north is a vacant property at 1825 N New Florissant and the property to the South is Jiffy Lube, all zoned similarly in the 'B-3' Extensive Business District.

IV. STAFF ANALYSIS:

Plans received from the applicant include engineer's plans ZP-1, ZP-2, both dated 7/27/20 showing the site and proposed changes.

Comments on Drawings:

Site Plan: A site plan was requested indicating compliance with the parking code and a Survey was provided, see attached, indicating 77 existing parking spaces.

Parking required for the center as Proposed is calculated by staff, using the info. provided:

1763 Mini Market	Proposed Liquor Store	3500
1769 Meyer's Lounge		2040
1771 Eat More Foods		2285
1775 Vacant		1045
1777 Low Key Music		1200
1779 Big John's Remodeling		1200
1781 American School of Music		1200
1782 Little Sweet Head Natural		1020
Total		13,490

Staff Calculations:

Commercial Service Retail Centers are calculated at 4/1000 s.f.x 13490= 54
Meyer's Lounge may be calculated by the number of seating plus staff, but unknown.
Total parking required 77, total provided 54, complies.

III. STAFF RECOMENDATIONS:

Suggested Motion:

I move for Recommended Approval of a Special Use to allow to expand a "Convenience Store with Package Liquor Sales located at 1763-1765 N. New Florissant Rd (Mini Market 4) in a 'B-3' Extensive Business District as shown on plans ZP-1, ZP-2, both dated 7/27/20 by John Zekind, PE, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)

1
2
3

MEMORANDUM



4
5
6
7
8
9
10
11
12
13
14
15
16

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: August 15, 2020

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: 1763-1765 N. New Florissant Rd (Mini Market 4) Request Recommended
Approval of a Special Use to expand a Convenience Store with Liquor
Sales in a 'B-3' Extensive Business District.

17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40

STAFF REPORT
CASE NUMBER PZ-081720-3

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** of a Special Use, to expand a "Convenience Store with Package Liquor Sales. The existing Use has been in existence for a long time and therefore, has no Special Use Permit on record.

II. EXISTING SITE CONDITIONS:

The existing property at 1763-1765 N. New Florissant Rd is a property which is a 1.58 acre site with a shopping center in a 'B-3' Extensive Business District.

The subject property is currently 1500 s.f. in the shopping center which is about 13,606 s.f. and the proposal is to increase the size of the establishment to 3500 s.f. There is a survey attached which shows the boundary limits and existing parking.

The existing building was built in 1976 per County record, that currently houses other Uses.

41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57

58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75

III. SURROUNDING PROPERTIES:

The property to the West is an auto repair facility at 1795 N Highway 67. The property to the north is a vacant property at 1825 N New Florissant and the property to the South is Jiffy Lube, all zoned similarly in the 'B-3' Extensive Business District.

IV. STAFF ANALYSIS:

Plans received from the applicant include engineer's plans ZP-1, ZP-2, both dated 7/27/20 showing the site and proposed changes.

Comments on Drawings:

Site Plan: A site plan was requested indicating compliance with the parking code and a Survey was provided, see attached, indicating 77 existing parking spaces.

Parking required for the center as Proposed is calculated by staff, using the info. provided:

1763 Mini Market	Proposed Liquor Store	3500
1769 Meyer's Lounge		2040
1771 Eat More Foods		2285
1775 Vacant		1045
1777 Low Key Music		1200
1779 Big John's Remodeling		1200
1781 American School of Music		1200
1782 Little Sweet Head Natural		1020
Total		13,490

Staff Calculations:

Commercial Service Retail Centers are calculated at 4/1000 s.f.x 13490= 54
Meyer's Lounge may be calculated by the number of seating plus staff, but unknown.
Total parking required 77, total provided 54, complies.

III. STAFF RECOMENDATIONS:

Suggested Motion:

I move for Recommended Approval of a Special Use to allow to expand a "Convenience Store with Package Liquor Sales located at 1763-1765 N. New Florissant Rd (Mini Market 4) in a 'B-3' Extensive Business District as shown on plans ZP-1, ZP-2, both dated 7/27/20 by John Zekind, PE, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)

41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75

III. SURROUNDING PROPERTIES:

The property to the West is an auto repair facility at 1795 N Highway 67. The property to the north is a vacant property at 1825 N New Florissant and the property to the South is Jiffy Lube, all zoned similarly in the 'B-3' Extensive Business District.

IV. STAFF ANALYSIS:

Plans received from the applicant include engineer's plans ZP-1, ZP-2, both dated 7/27/20 showing the site and proposed changes.

Comments on Drawings:

Site Plan: A site plan was requested indicating compliance with the parking code and a Survey was provided, see attached, indicating 77 existing parking spaces.

Parking required for the center as Proposed is calculated by staff, using the info. provided:

1763 Mini Market	Proposed Liquor Store	3500
1769 Meyer's Lounge		2040
1771 Eat More Foods		2285
1775 Vacant		1045
1777 Low Key Music		1200
1779 Big John's Remodeling		1200
1781 American School of Music		1200
1782 Little Sweet Head Natural		1020
Total		13,490

Staff Calculations:

Commercial Service Retail Centers are calculated at 4/1000 s.f.x 13490= 54

Meyer's Lounge may be calculated by the number of seating plus staff, but unknown.

Total parking required 77, total provided 54, complies.

III. STAFF RECOMENDATIONS:

Suggested Motion:

I move for Recommended Approval of a Special Use to allow to expand a "Convenience Store with Package Liquor Sales located at 1763-1765 N. New Florissant Rd (Mini Market 4) in a 'B-3' Extensive Business District as shown on plans ZP-1, ZP-2, both dated 7/27/20 by John Zekind, PE, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)

1
2
3

MEMORANDUM



4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: August 15, 2020

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: 1763-1765 N. New Florissant Rd (Mini Market 4) Request Recommended
Approval of a Special Use to expand a Convenience Store with Liquor
Sales in a 'B-3' Extensive Business District.

STAFF REPORT

CASE NUMBER PZ-081720-3

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** of a Special Use, to expand a "Convenience Store with Package Liquor Sales. The existing Use has been in existence for a long time and therefore, has no Special Use Permit on record.

II. EXISTING SITE CONDITIONS:

The existing property at 1763-1765 N. New Florissant Rd is a property which is a 1.58 acre site with a shopping center in a 'B-3' Extensive Business District.

The subject property is currently 1500 s.f. in the shopping center which is about 13,606 s.f. and the proposal is to increase the size of the establishment to 3500 s.f. There is a survey attached which shows the boundary limits and existing parking.

The existing building was built in 1976 per County record, that currently houses other Uses.

39
40

41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57

58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75

III. SURROUNDING PROPERTIES:

The property to the West is an auto repair facility at 1795 N Highway 67. The property to the north is a vacant property at 1825 N New Florissant and the property to the South is Jiffy Lube, all zoned similarly in the 'B-3' Extensive Business District.

IV. STAFF ANALYSIS:

Plans received from the applicant include engineer's plans ZP-1, ZP-2, both dated 7/27/20 showing the site and proposed changes.

Comments on Drawings:

Site Plan: A site plan was requested indicating compliance with the parking code and a Survey was provided, see attached, indicating 77 existing parking spaces.

Parking required for the center as Proposed is calculated by staff, using the info. provided:

1763 Mini Market	Proposed Liquor Store	3500
1769 Meyer's Lounge		2040
1771 Eat More Foods		2285
1775 Vacant		1045
1777 Low Key Music		1200
1779 Big John's Remodeling		1200
1781 American School of Music		1200
1782 Little Sweet Head Natural		1020
Total		13,490

Staff Calculations:

Commercial Service Retail Centers are calculated at 4/1000 s.f.x 13490= 54
Meyer's Lounge may be calculated by the number of seating plus staff, but unknown.
Total parking required 77, total provided 54, complies.

III. STAFF RECOMENDATIONS:

Suggested Motion:

I move for Recommended Approval of a Special Use to allow to expand a "Convenience Store with Package Liquor Sales located at 1763-1765 N. New Florissant Rd (Mini Market 4) in a 'B-3' Extensive Business District as shown on plans ZP-1, ZP-2, both dated 7/27/20 by John Zekind, PE, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40

MEMORANDUM



CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: August 15, 2020

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: 1763-1765 N. New Florissant Rd (Mini Market 4) Request Recommended
Approval of a Special Use to expand a Convenience Store with Liquor
Sales in a 'B-3' Extensive Business District.

STAFF REPORT
CASE NUMBER PZ-081720-3

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** of a Special Use, to expand a "Convenience Store with Package Liquor Sales. The existing Use has been in existence for a long time and therefore, has no Special Use Permit on record.

II. EXISTING SITE CONDITIONS:

The existing property at 1763-1765 N. New Florissant Rd is a property which is a 1.58 acre site with a shopping center in a 'B-3' Extensive Business District.

The subject property is currently 1500 s.f. in the shopping center which is about 13,606 s.f. and the proposal is to increase the size of the establishment to 3500 s.f. There is a survey attached which shows the boundary limits and existing parking.

The existing building was built in 1976 per County record, that currently houses other Uses.

41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57

58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75

III. SURROUNDING PROPERTIES:

The property to the West is an auto repair facility at 1795 N Highway 67. The property to the north is a vacant property at 1825 N New Florissant and the property to the South is Jiffy Lube, all zoned similarly in the 'B-3' Extensive Business District.

IV. STAFF ANALYSIS:

Plans received from the applicant include engineer's plans ZP-1, ZP-2, both dated 7/27/20 showing the site and proposed changes.

Comments on Drawings:

Site Plan: A site plan was requested indicating compliance with the parking code and a Survey was provided, see attached, indicating 77 existing parking spaces.

Parking required for the center as Proposed is calculated by staff, using the info. provided:

1763 Mini Market	Proposed Liquor Store	3500
1769 Meyer's Lounge		2040
1771 Eat More Foods		2285
1775 Vacant		1045
1777 Low Key Music		1200
1779 Big John's Remodeling		1200
1781 American School of Music		1200
1782 Little Sweet Head Natural		1020
Total		13,490

Staff Calculations:

Commercial Service Retail Centers are calculated at 4/1000 s.f.x 13490= 54

Meyer's Lounge may be calculated by the number of seating plus staff, but unknown.

Total parking required 77, total provided 54, complies.

III. STAFF RECOMENDATIONS:

Suggested Motion:

I move for Recommended Approval of a Special Use to allow to expand a "Convenience Store with Package Liquor Sales located at 1763-1765 N. New Florissant Rd (Mini Market 4) in a 'B-3' Extensive Business District as shown on plans ZP-1, ZP-2, both dated 7/27/20 by John Zekind, PE, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)

1
2
3

MEMORANDUM



4
5
6
7
8

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

9
10
11
12
13
14
15
16

To: Planning and Zoning Commissioners Date: August 15, 2020
From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

17
18
19
20

Subject: 1763-1765 N. New Florissant Rd (Mini Market 4) Request Recommended
Approval of a Special Use to expand a Convenience Store with Liquor
Sales in a 'B-3' Extensive Business District.

21
22

STAFF REPORT
CASE NUMBER PZ-081720-3

23
24

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** of a Special Use, to expand a "Convenience Store with Package Liquor Sales. The existing Use has been in existence for a long time and therefore, has no Special Use Permit on record.

28
29

II. EXISTING SITE CONDITIONS:

The existing property at 1763-1765 N. New Florissant Rd is a property which is a 1.58 acre site with a shopping center in a 'B-3' Extensive Business District.

32
33
34
35

The subject property is currently 1500 s.f. in the shopping center which is about 13,606 s.f. and the proposal is to increase the size of the establishment to 3500 s.f. There is a survey attached which shows the boundary limits and existing parking.

36
37
38

The existing building was built in 1976 per County record, that currently houses other Uses.

39
40

41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57

58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75

III. SURROUNDING PROPERTIES:

The property to the West is an auto repair facility at 1795 N Highway 67. The property to the north is a vacant property at 1825 N New Florissant and the property to the South is Jiffy Lube, all zoned similarly in the 'B-3' Extensive Business District.

IV. STAFF ANALYSIS:

Plans received from the applicant include engineer's plans ZP-1, ZP-2, both dated 7/27/20 showing the site and proposed changes.

Comments on Drawings:

Site Plan: A site plan was requested indicating compliance with the parking code and a Survey was provided, see attached, indicating 77 existing parking spaces.

Parking required for the center as Proposed is calculated by staff, using the info. provided:

1763 Mini Market	Proposed Liquor Store	3500
1769 Meyer's Lounge		2040
1771 Eat More Foods		2285
1775 Vacant		1045
1777 Low Key Music		1200
1779 Big John's Remodeling		1200
1781 American School of Music		1200
1782 Little Sweet Head Natural		1020
Total		13,490

Staff Calculations:

Commercial Service Retail Centers are calculated at $4/1000 \text{ s.f.} \times 13490 = 54$
Meyer's Lounge may be calculated by the number of seating plus staff, but unknown.
Total parking required 77, total provided 54, complies.

III. STAFF RECOMENDATIONS:

Suggested Motion:

I move for Recommended Approval of a Special Use to allow to expand a "Convenience Store with Package Liquor Sales located at 1763-1765 N. New Florissant Rd (Mini Market 4) in a 'B-3' Extensive Business District as shown on plans ZP-1, ZP-2, both dated 7/27/20 by John Zekind, PE, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)

1
2
3

MEMORANDUM



4
5
6
7
8

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

9
10
11
12
13
14
15
16

To: Planning and Zoning Commissioners Date: August 15, 2020
From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

17
18
19
20

Subject: 1763-1765 N. New Florissant Rd (Mini Market 4) Request Recommended
Approval of a Special Use to expand a Convenience Store with Liquor
Sales in a 'B-3' Extensive Business District.

21
22

STAFF REPORT
CASE NUMBER PZ-081720-3

23
24

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** of a Special Use, to expand a "Convenience Store with Package Liquor Sales. The existing Use has been in existence for a long time and therefore, has no Special Use Permit on record.

25
26
27
28

II. EXISTING SITE CONDITIONS:

The existing property at 1763-1765 N. New Florissant Rd is a property which is a 1.58 acre site with a shopping center in a 'B-3' Extensive Business District.

29
30
31
32
33

The subject property is currently 1500 s.f. in the shopping center which is about 13,606 s.f. and the proposal is to increase the size of the establishment to 3500 s.f. There is a survey attached which shows the boundary limits and existing parking.

34
35
36
37

The existing building was built in 1976 per County record, that currently houses other Uses.

38
39
40

41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57

58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75

III. SURROUNDING PROPERTIES:

The property to the West is an auto repair facility at 1795 N Highway 67. The property to the north is a vacant property at 1825 N New Florissant and the property to the South is Jiffy Lube, all zoned similarly in the 'B-3' Extensive Business District.

IV. STAFF ANALYSIS:

Plans received from the applicant include engineer's plans ZP-1, ZP-2, both dated 7/27/20 showing the site and proposed changes.

Comments on Drawings:

Site Plan: A site plan was requested indicating compliance with the parking code and a Survey was provided, see attached, indicating 77 existing parking spaces.

Parking required for the center as Proposed is calculated by staff, using the info. provided:

1763 Mini Market	Proposed Liquor Store	3500
1769 Meyer's Lounge		2040
1771 Eat More Foods		2285
1775 Vacant		1045
1777 Low Key Music		1200
1779 Big John's Remodeling		1200
1781 American School of Music		1200
1782 Little Sweet Head Natural		1020
Total		13,490

Staff Calculations:

Commercial Service Retail Centers are calculated at 4/1000 s.f.x 13490= 54

Meyer's Lounge may be calculated by the number of seating plus staff, but unknown.

Total parking required 77, total provided 54, complies.

III. STAFF RECOMENDATIONS:

Suggested Motion:

I move for Recommended Approval of a Special Use to allow to expand a "Convenience Store with Package Liquor Sales located at 1763-1765 N. New Florissant Rd (Mini Market 4) in a 'B-3' Extensive Business District as shown on plans ZP-1, ZP-2, both dated 7/27/20 by John Zekind, PE, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)

1
2
3

MEMORANDUM



4
5
6
7
8

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

9
10
11
12
13
14
15
16

To: Planning and Zoning Commissioners Date: August 15, 2020
From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

17
18
19
20

Subject: 1763-1765 N. New Florissant Rd (Mini Market 4) Request Recommended
Approval of a Special Use to expand a Convenience Store with Liquor
Sales in a 'B-3' Extensive Business District.

21
22

STAFF REPORT
CASE NUMBER PZ-081720-3

23
24

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** of a Special Use, to expand a "Convenience Store with Package Liquor Sales. The existing Use has been in existence for a long time and therefore, has no Special Use Permit on record.

25
26
27
28
29

II. EXISTING SITE CONDITIONS:

The existing property at 1763-1765 N. New Florissant Rd is a property which is a 1.58 acre site with a shopping center in a 'B-3' Extensive Business District.

30
31
32
33
34
35

The subject property is currently 1500 s.f. in the shopping center which is about 13,606 s.f. and the proposal is to increase the size of the establishment to 3500 s.f. There is a survey attached which shows the boundary limits and existing parking.

36
37
38

The existing building was built in 1976 per County record, that currently houses other Uses.

39
40

41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57

58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75

III. SURROUNDING PROPERTIES:

The property to the West is an auto repair facility at 1795 N Highway 67. The property to the north is a vacant property at 1825 N New Florissant and the property to the South is Jiffy Lube, all zoned similarly in the 'B-3' Extensive Business District.

IV. STAFF ANALYSIS:

Plans received from the applicant include engineer's plans ZP-1, ZP-2, both dated 7/27/20 showing the site and proposed changes.

Comments on Drawings:

Site Plan: A site plan was requested indicating compliance with the parking code and a Survey was provided, see attached, indicating 77 existing parking spaces.

Parking required for the center as Proposed is calculated by staff, using the info. provided:

1763 Mini Market	Proposed Liquor Store	3500
1769 Meyer's Lounge		2040
1771 Eat More Foods		2285
1775 Vacant		1045
1777 Low Key Music		1200
1779 Big John's Remodeling		1200
1781 American School of Music		1200
1782 Little Sweet Head Natural		1020
Total		13,490

Staff Calculations:

Commercial Service Retail Centers are calculated at 4/1000 s.f.x 13490= 54

Meyer's Lounge may be calculated by the number of seating plus staff, but unknown.

Total parking required 77, total provided 54, complies.

III. STAFF RECOMENDATIONS:

Suggested Motion:

I move for Recommended Approval of a Special Use to allow to expand a "Convenience Store with Package Liquor Sales located at 1763-1765 N. New Florissant Rd (Mini Market 4) in a 'B-3' Extensive Business District as shown on plans ZP-1, ZP-2, both dated 7/27/20 by John Zekind, PE, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40

MEMORANDUM



CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant, while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: August 15, 2020

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: 1763-1765 N. New Florissant Rd (Mini Market 4) Request Recommended
Approval of a Special Use to expand a Convenience Store with Liquor
Sales in a 'B-3' Extensive Business District.

STAFF REPORT
CASE NUMBER PZ-081720-3

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** of a Special Use, to expand a "Convenience Store with Package Liquor Sales. The existing Use has been in existence for a long time and therefore, has no Special Use Permit on record.

II. EXISTING SITE CONDITIONS:

The existing property at 1763-1765 N. New Florissant Rd is a property which is a 1.58 acre site with a shopping center in a 'B-3' Extensive Business District.

The subject property is currently 1500 s.f. in the shopping center which is about 13,606 s.f. and the proposal is to increase the size of the establishment to 3500 s.f. There is a survey attached which shows the boundary limits and existing parking.

The existing building was built in 1976 per County record, that currently houses other Uses.

41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57

58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75

III. SURROUNDING PROPERTIES:

The property to the West is an auto repair facility at 1795 N Highway 67. The property to the north is a vacant property at 1825 N New Florissant and the property to the South is Jiffy Lube, all zoned similarly in the 'B-3' Extensive Business District.

IV. STAFF ANALYSIS:

Plans received from the applicant include engineer's plans ZP-1, ZP-2, both dated 7/27/20 showing the site and proposed changes.

Comments on Drawings:

Site Plan: A site plan was requested indicating compliance with the parking code and a Survey was provided, see attached, indicating 77 existing parking spaces.

Parking required for the center as Proposed is calculated by staff, using the info. provided:

1763 Mini Market	Proposed Liquor Store	3500
1769 Meyer's Lounge		2040
1771 Eat More Foods		2285
1775 Vacant		1045
1777 Low Key Music		1200
1779 Big John's Remodeling		1200
1781 American School of Music		1200
1782 Little Sweet Head Natural		1020
Total		13,490

Staff Calculations:

Commercial Service Retail Centers are calculated at 4/1000 s.f.x 13490= 54

Meyer's Lounge may be calculated by the number of seating plus staff, but unknown.

Total parking required 77, total provided 54, complies.

III. STAFF RECOMENDATIONS:

Suggested Motion:

I move for Recommended Approval of a Special Use to allow to expand a "Convenience Store with Package Liquor Sales located at 1763-1765 N. New Florissant Rd (Mini Market 4) in a 'B-3' Extensive Business District as shown on plans ZP-1, ZP-2, both dated 7/27/20 by John Zekind, PE, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)

41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57

58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75

III. SURROUNDING PROPERTIES:

The property to the West is an auto repair facility at 1795 N Highway 67. The property to the north is a vacant property at 1825 N New Florissant and the property to the South is Jiffy Lube, all zoned similarly in the 'B-3' Extensive Business District.

IV. STAFF ANALYSIS:

Plans received from the applicant include engineer's plans ZP-1, ZP-2, both dated 7/27/20 showing the site and proposed changes.

Comments on Drawings:

Site Plan: A site plan was requested indicating compliance with the parking code and a Survey was provided, see attached, indicating 77 existing parking spaces.

Parking required for the center as Proposed is calculated by staff, using the info. provided:

1763 Mini Market	Proposed Liquor Store	3500
1769 Meyer's Lounge		2040
1771 Eat More Foods		2285
1775 Vacant		1045
1777 Low Key Music		1200
1779 Big John's Remodeling		1200
1781 American School of Music		1200
1782 Little Sweet Head Natural		1020
Total		13,490

Staff Calculations:

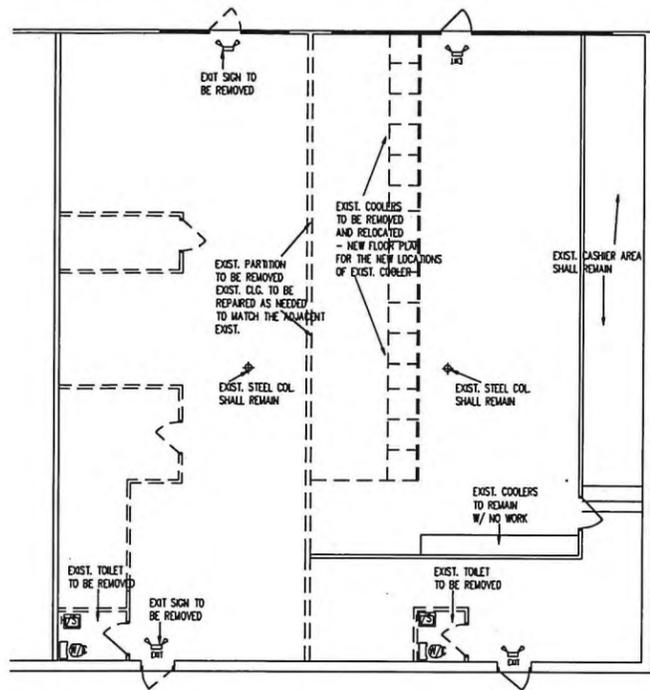
Commercial Service Retail Centers are calculated at 4/1000 s.f.x 13490= 54
Meyer's Lounge may be calculated by the number of seating plus staff, but unknown.
Total parking required 77, total provided 54, complies.

III. STAFF RECOMENDATIONS:

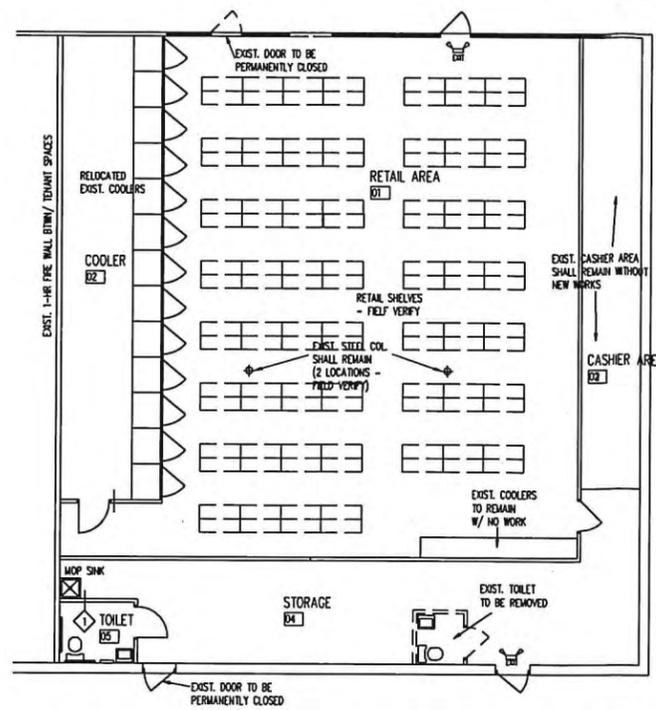
Suggested Motion:

I move for Recommended Approval of a Special Use to allow to expand a "Convenience Store with Package Liquor Sales located at 1763-1765 N. New Florissant Rd (Mini Market 4) in a 'B-3' Extensive Business District as shown on plans ZP-1, ZP-2, both dated 7/27/20 by John Zekind, PE, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)



PLAN OF DEMOLITION OF EXISTING SPACE



PLAN OF NEW SPACE



PHOTO OF FRONT - REMAINS AS IS EXCEPT SALON SIGN TO BE REMOVED

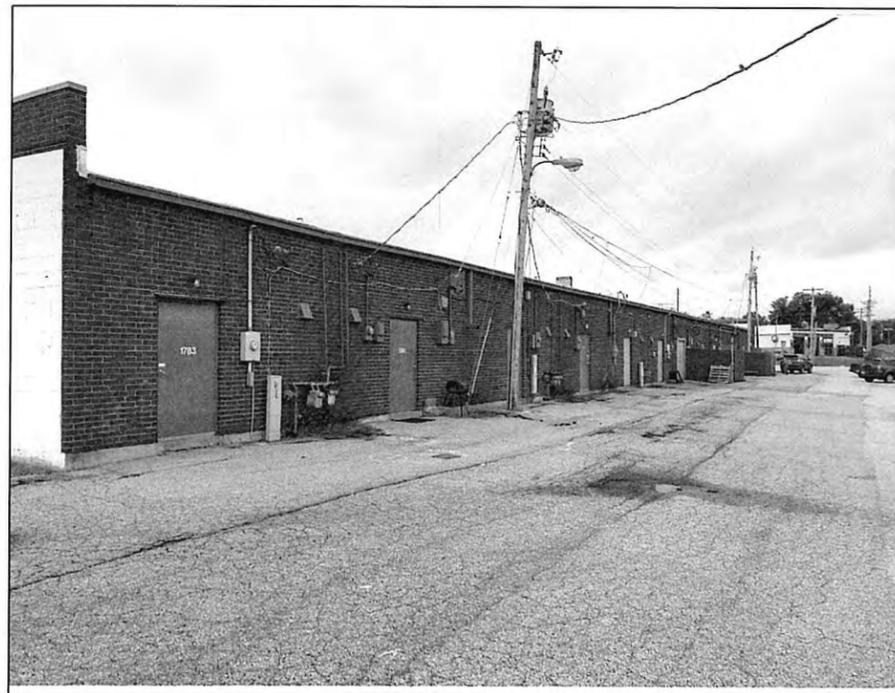


PHOTO OF REAR - REMAINS AS IS

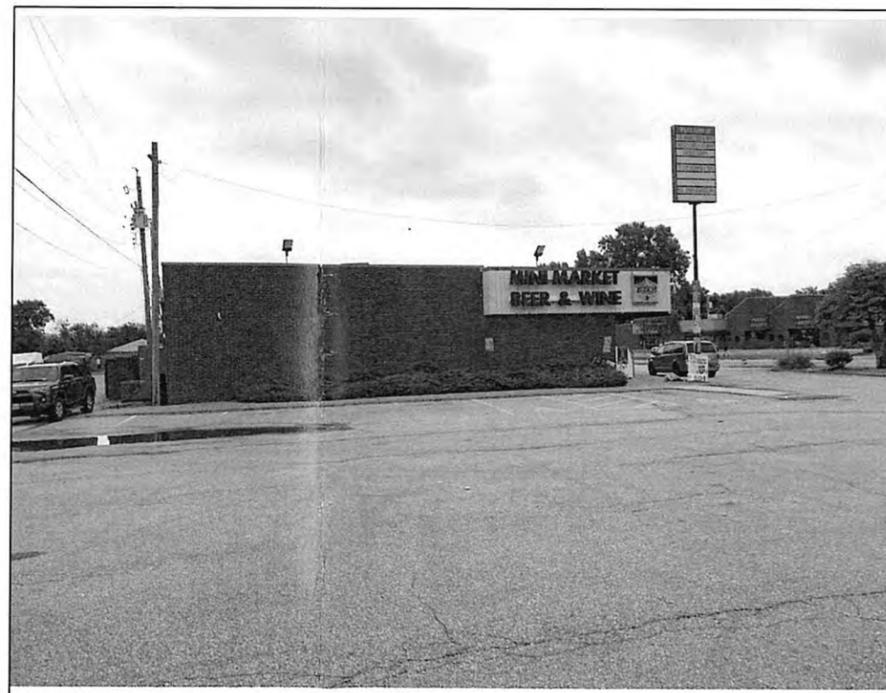


PHOTO OF SIDE - REMAINS AS IS

GROCERY STORE RENNOVATION

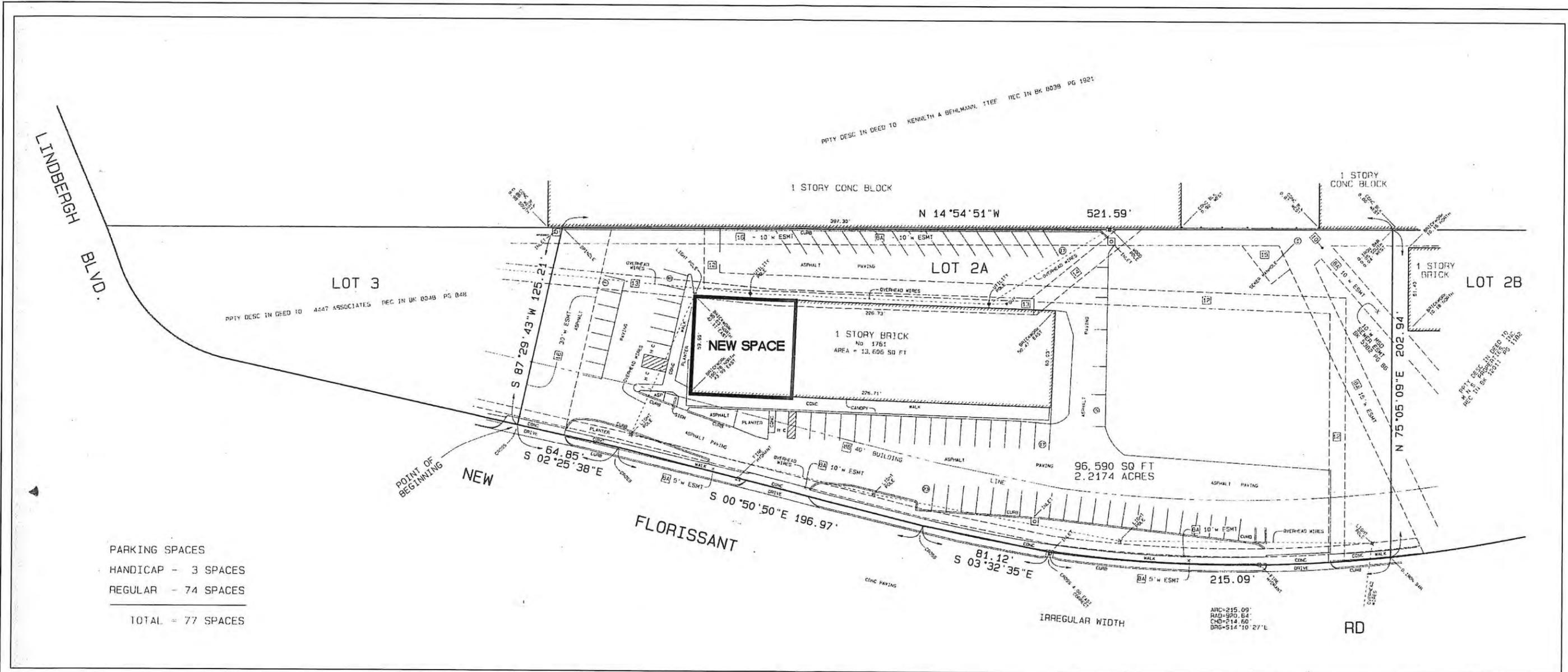
1763 N. NEW FLORISSANT ROAD
ST LOUIS, MO, 63033

John C. Zekind, PE
CONSULTING ENGINEERS
1278 WHITE ROAD
CHESTERFIELD, MO, 63017
314-475-2290

Project Number: _____
Issued For: Review Pricing Permit Bidding Construction

Sheet Number: _____

ZP-2



PARKING SPACES
 HANDICAP - 3 SPACES
 REGULAR - 74 SPACES
 TOTAL = 77 SPACES

NOTES:
 EXISTING PARKING TO REMAIN AS EXISTING.
 EXISTING LANDSCAPING TO REMAIN AS EXISTING
 EXISTING SITE LIGHTING TO REMAIN AS EXISTING
 EXISTING TRASH AREA TO REMAIN AS EXISTING
 EXISTING SIGNAGE TO REMAIN AS IS, EXCEPT SALON SIGN TO BE REMOVED
 SEE ZP2 FOR ADDITIONAL DETAILS
 EXISTING MARKET TO EXPAND INTO EXISTING SALON

EXISTING SITE PLAN

NOTES:

- EXISTING PARKING TO REMAIN AS EXISTING.
- EXISTING LANDSCAPING TO REMAIN AS EXISTING
- EXISTING SITE LIGHTING TO REMAIN AS EXISTING
- EXISTING TRASH AREA TO REMAIN AS EXISTING
- EXISTING SIGNAGE TO REMAIN AS IS, EXCEPT SALON SIGN TO BE REMOVED
- SEE ZP2 FOR ADDITIONAL DETAILS
- EXISTING MARKET TO EXPAND INTO EXISTING SALON

GROCERY STORE RENNOVATION
 1763 N. NEW FLORISSANT ROAD
 ST LOUIS, MO, 63033

John C. Zekind, PE
 CONSULTING ENGINEERS
 1276 WHITE ROAD
 CHESTERFIELD, MO, 63017
 314-878-2250

Project Number: _____
 Issued For: Review Permit Bidding Construction

7-27-20

Sheet Number: **ZP-1**

Missouri Lawyers Media

Missouri Lawyers Weekly, St Louis Daily Record, St Charles Business Record The Countian (St Louis, Jefferson), The Daily Record and LAN

319 N Fourth Street, 5th Floor
St. Louis, MO 63102
1 (314) 421-1880
www.molawyersmedia.com

COPY FOR YOUR RECORDS ONLY, NOT AN INVOICE OR AFFIDAVIT OF PUBLICATION

Anita Moore
Florissant, City Of
955 Rue Saint Francois St
Florissant, MO 63031-4925

CITY OF FLORISSANT Public Hearing

In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, September 14, 2020 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit to allow for the expansion of a convenience store with liquor sales for the property located at 1763-1765 N New Florissant Road (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin,
MMC City Clerk
11911089 County Aug 21, 2020

Please Read Carefully

Missouri Lawyers Media is not responsible for errors or omissions after the First Run Date. If any errors, contact 1 (314) 421-1880. Attorneys placing legal advertisements are responsible for payment of same.

PO #	
Order #	11911089
Placement	Countian St. Louis (MO) Government Hearings and Minutes
Schedule	8/21/2020 - 8/21/2020
# of Times	1 inserts
Base Charge*	26.68
Add'l Charges/Disc*	0.00
Payment Amount	0.00

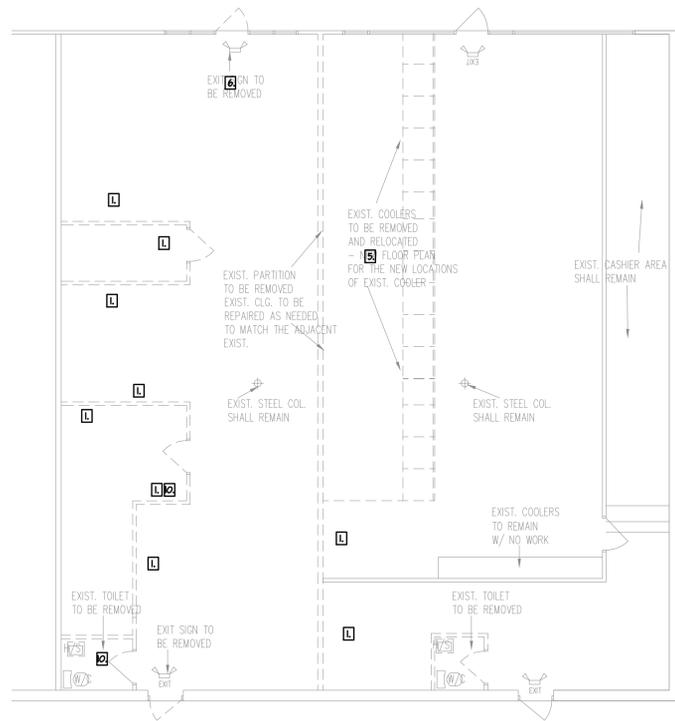
TOTAL: **26.68**
(Not an Invoice)

ORDER KEYWORDS:

CITY OF FLORISSANT PUBLIC HEARING IN ACCORDANCE WITH 405.310 OF THE FLORISSANT ZONING CODE A PUBLIC HEARING WILL BE HELD BY THE CITY COUNCIL OF FLORISSANT, MO. IN THE COUNCIL CHAMBERS, 955 RUE ST. FRANCOIS, ON MONDAY, SEPTEMBER 14, 2020 AT 7:30 P.M. ON

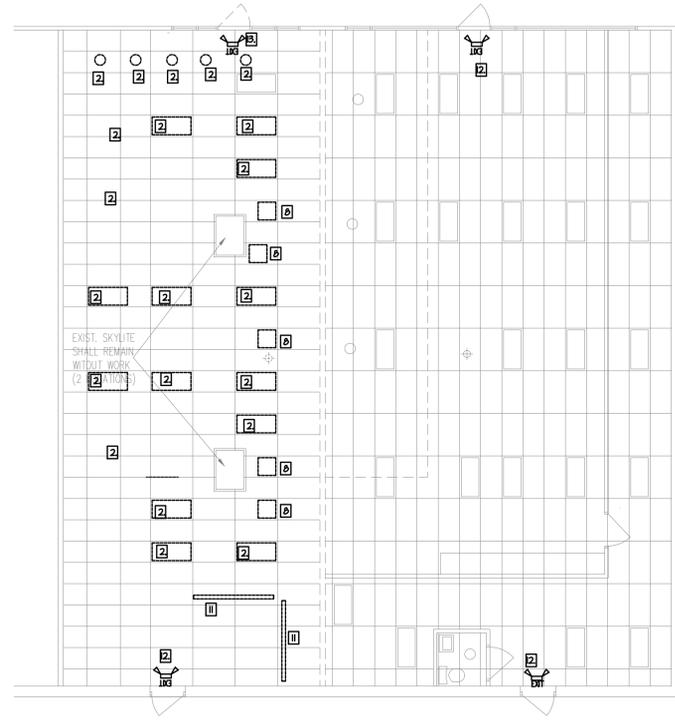
Anchor Rate:	\$26.68
Subsequent Rate:	\$0.00

***Changes to this order may result in pricing changes.**



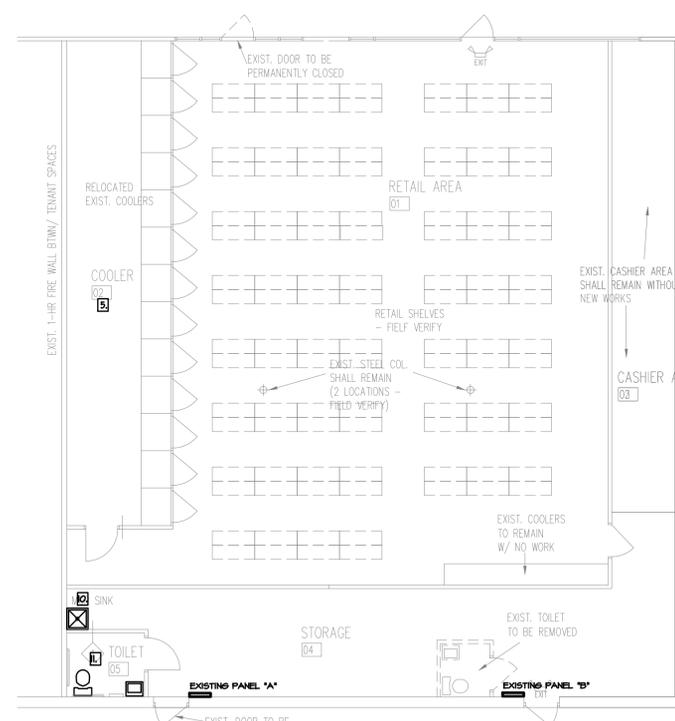
ELECTRICAL POWER DEMOLITION PLAN

SCALE: 1/8" = 1'-0"
Graphic Scale: 0 4 8



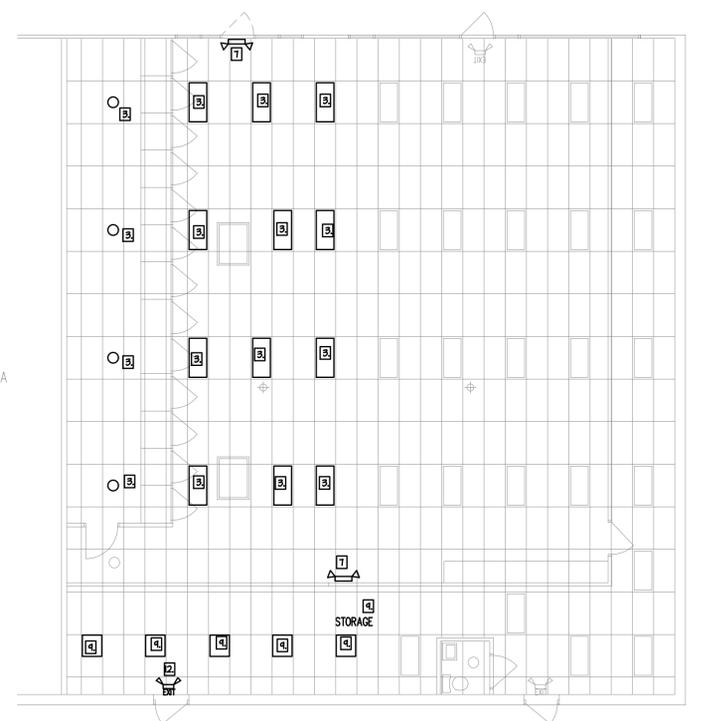
ELECTRICAL LIGHTING DEMOLITION PLAN

SCALE: 1/8" = 1'-0"
Graphic Scale: 0 4 8



ELECTRICAL POWER PLAN

SCALE: 1/8" = 1'-0"
Graphic Scale: 0 4 8



ELECTRICAL LIGHTING PLAN

SCALE: 1/8" = 1'-0"
Graphic Scale: 0 4 8

ELECTRICAL SYMBOLS:

- DUPLEX RECEPTACLE - MOUNT AT 9" AFF TO BOTTOM OF BOX UNLESS OTHERWISE NOTED.
- DOUBLE DUPLEX RECEPTACLE ("QUADRAPLEX")
- SPECIAL PURPOSE RECEPTACLE
- TELEPHONE JACK - PROVIDE & INSTALL CONDUIT & J-BOX AS REQD. TO CEILING WITH PULL WIRE.
- SINGLE POLE, SINGLE LEVER SWITCH AT 40" AFF U.D.O.
- 2 X 3 JUNCTION BOX - MTD. AS SHOWN
- INDICATES DROP IN WALL FROM CEILING
- CONDUIT ABOVE CEILING OR IN WALLS
- FLEXIBLE CONDUIT BELOW FLOOR OR COUNTER
- CONDUCTORS (| IS NEUTRAL, | IS HOT, | IS GROUND)

FEEDER SCHEDULE

1 PHASE BRANCH CIRCUIT WIRE SIZE (2P CIRCUITS): (UNLESS NOTED OTHERWISE)

- 30 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 2#10, #10 GND IN 1/2" C.
- 40 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 2#8, #10 GND IN 3/4" C.
- 60 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 3#8, #10 GND IN 1" C.
- 100 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 3#8, #10 GND IN 1 1/4" CONDUIT.
- 150 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 3-#10 WITH #2 GND IN 1 1/2" C.

3 PHASE BRANCH CIRCUIT WIRE SIZE: (UNLESS NOTED OTHERWISE):

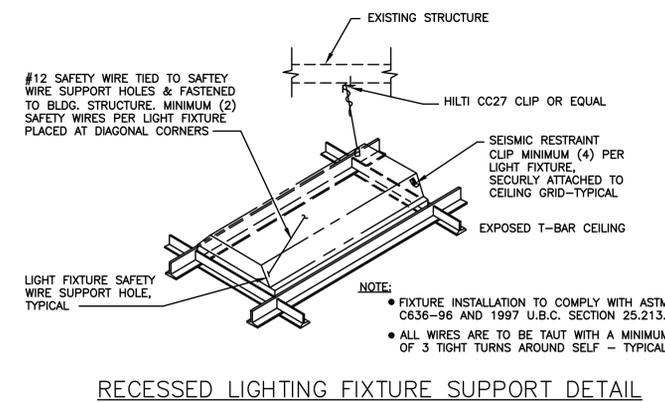
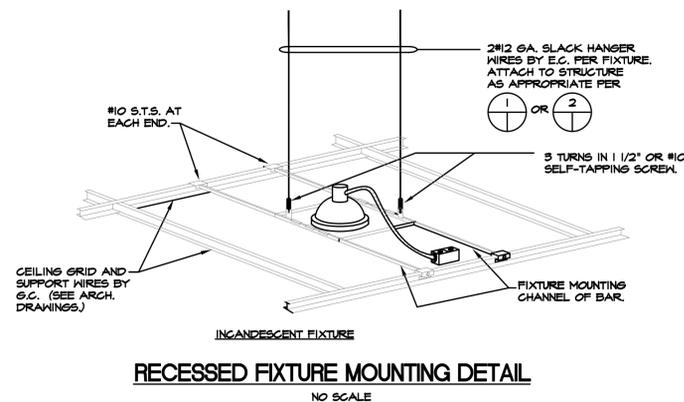
- 200 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4-#10 WITH #2 GND IN 2" C.
- 100 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#8, #10 GND IN 1 1/2" CONDUIT.
- 75 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#8, #10 GND IN 1-1/4" C.
- 60 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#8, #10 GND IN 1-1/4" C.
- 45 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#8, #10 GND IN 1" C.
- 40 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#8, #10 GND IN 1" C.
- 30 AMPERE BRANCH CIRCUIT FEEDERS SHALL BE 4#10, #10 GND IN 3/4" C.

GENERAL NOTES: ELECTRICAL PLANS

- A. ALL WORK SHALL BE IN COMPLETE CONFORMANCE WITH THE LATEST APPLICABLE EDITION OF THE NATIONAL ELECTRICAL CODE AND NFPA 70E LIFE SAFETY CODES AT MINIMUM, WHETHER EXPLICITLY SHOWN OTHERWISE OR NOT.
- B. THESE PLANS ARE ACCOMPANIED BY SPECIFICATIONS.
- C. ALL CONDUCTORS ARE COPPER AND ARE ROUTED IN CONDUIT.
- D. PRODUCE A PLAN FOR SUBMISSION IN COORDINATION WITH THE SPRINKLER, HVAC, AND PLUMBING CONTRACTORS TO COORDINATE ROUTING AND PLACEMENT OF DEVICES, ANGULARS, FIXTURES, CONDUIT, ETC. SO THAT NO COORDINATION PROBLEMS OCCUR. THIS SHALL BE DONE PRIOR TO INITIATION OF ANY WORK.
- E. REFER TO ARCHITECTURAL PLANS FOR CEILING HEIGHTS, WALL CONSTRUCTION AND LOCATIONS OF VISIBLE OBJECTS ON THE EXTERIOR OF THE BUILDING.
- F. FOR ADDITIONAL INFORMATION AND FOR EXACT POINT OF CONNECTIONS OF ROUGH-IN POINTS TO EQUIPMENT, SEE BOTH THE EQUIPMENT CUT SHEETS AS WELL AS THE ARCHITECTURAL PLANS AND SPECIFICATIONS. VERIFY ALL ELEVATIONS AS WELL AS EXACT REQUIRED LOCATIONS OF ELECTRICAL CONNECTIONS AND CONN. EQUIP. PRIOR TO INITIATING ANY WORK, BECAUSE ALL ELEVATIONS ARE APPROX.
- G. BE RESPONSIBLE NOT ONLY FOR THE ROUGH-IN POINTS REQUIRED AS SHOWN GENERALLY HEREIN BUT ALSO FOR FINAL CONNECTION TO ALL EQUIPMENT AND THE FURNISHING AND INSTALLING OF MATERIALS AND LABOR FOR SUCH AS REQUIRED TO MAKE FULLY FUNCTIONAL.
- H. PROVIDE CONNECTIONS TO ALL EQUIPMENT AS RECOMMENDED BY THE MANUFACTURER. IF EQUIPMENT COMES WITH A CORD AND PLUG, PROVIDE MATCHING RECEPTACLE IN REQUIRED JUNCTION BOX. EXACT LOCATIONS OF OUTLETS FOR ALL EQUIPMENT SHALL BE AS DIRECTED BY SUPPLIERS' SHOP DRAWING.
- I. PROVIDE PLUG AND CORD FOR ALL EQUIPMENT NOT SHIPPED WITH A PLUG AND CORD BUT REQUIRES CONNECTION TO A RECEPTACLE. PLUG AND CORD SHALL BE APPROPRIATE NEMA TYPE, UL LISTED AND SIZED TO HANDLE THE LOAD PER THE NEC.
- J. ALL FLEXIBLE CONDUIT SHALL BE LIQUID TIGHT CONDUIT

KEYED NOTES:

- 1 REMOVE EXISTING RECEPTACLES ON WALL AND TERMINATE BRANCH CIRCUITS IN PANEL.
- 2 REMOVE EXISTING LIGHTS - RELOCATE TO NEW LOCATIONS AS SHOWN
- 3 RELOCATE EXISTING LIGHTS AND REWIRE AS REQUIRED (MAX 100VA ON EXISTING CCT)
- 4 NEW RECEPTACLES - MAX VA ON BRANCH CIRCUIT 100VA
- 5 NEW COOLER POWER, LIGHTS AND HEAT TRACE TO EXISTING CB AS REQUIRED. COOLER IS SAME LOAD AS EXISTING AND CONNECTION TO BE DONE AFTER STORE HOURS
- 6 REMOVE EXISTING EXT LIGHT AND TERMINATE PROPERLY.
- 7 NEW EMERGENCY LIGHT - CONNECT TO EXISTING CCT AND REPLACE GB IF NOT A LOCK ON TYPE.
- 8 RELOCATE EXISTING LIGHTS RETURN TO OWNER.
- 9 LIGHT - CONNECT TO EXISTING CCT MAX VA 100 PER 20A CCT
- 10 REMOVE EXISTING WATER HEATER, GAS PIPING ELECTRICAL AND FLUES AND CAP FLUE. RETAIN PIPING AS REQUIRED FOR NEW BATHROOM PROVIDE NEW 20A 2 P CCT FOR DWH
- 11 CONNECT LIGHTS AND FAN TO EXISTING CCT AND PROVIDE NEW SWITCHES FOR BOTH IN TOILET ROOM
- 12 EXISTING EXT LIGHT TO REMAIN
- 13 EXISTING EXT LIGHT TO BE REMOVED



GROCERY STORE RENNOVATION
1763 N. NEW FLOISSANT ROAD
ST LOUIS, MO, 63033

John C. Zekind, PE
CONSULTING ENGINEERS
1276 WHITE ROAD
CHESTERFIELD, MO, 63017
314-878-2290

Project Number: _____
Issued For: Review Pricing Permit Bidding Construction
7-27-20

Sheet Number: **E-1**

ELECTRICAL SPECIFICATION

I. PART I - GENERAL

- 1.01 ROUTING OF CONDUCTORS AND CONDUIT, LOCATION OF EQUIPMENT, APPARATUS, FIXTURES AND OTHER DEVICES ARE SHOWN ON PLANS FOR GENERAL GUIDANCE. THIS CONTRACTOR SHALL CORRECTIVE HIS WORK WITH THE OTHER CONTRACTORS AND SHALL PROVIDE NECESSARY DEVIATIONS IN ROUTING AND ITEM LOCATIONS, AS FAR AS IS FROM THOSE SHOWN, AS NECESSARY TO PROVIDE OPERATING SYSTEMS AS SPECIFIED OR IMPLIED WITHOUT INTERFERENCE AND FURTHER TO THE REQUIREMENTS AT NO ADDITIONAL COST.**
- 1.02 PRIOR TO SUBMITTING HIS QUOTATION FOR WORK UNDER THIS PROJECT, THIS CONTRACTOR SHALL VISIT THE SITE TO EXAMINE ALL CONDITIONS RELATED TO WORK AND TO ACQUAINT HIMSELF WITH THESE CONDITIONS. THE SUBMISSION OF THE PROPOSAL SHALL BE CONSIDERED EVIDENCE THAT THE CONTRACTOR HAS VISITED THE SITE. NO EXTRA PAYMENTS WILL BE ALLOWED THIS CONTRACTOR OR ACCOUNT OF CLAIMS FOR EXTRA WORK NECESSARY BY HIS FAILURE TO VISIT THE SITE.**
- 1.03 ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE LATEST ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE, ALL LOCAL ORDINANCES AND LOCAL TRADE PRACTICES.**

2. PART II - MATERIALS

- 2.01 CONDUIT**
- A. ALL CONDUITS SHALL BE NOT DIPPED OR ELECTRO-GALVANIZED STEEL UNLESS OTHERWISE NOTED. MINIMUM SIZE CONDUIT SHALL BE 1/2". MINIMUM SIZE CONDUIT UNDERGROUND OR IN CONCRETE OR MASONRY SHALL BE 3/4". ALL RIGID CONDUIT SHALL BE THREADED TYPE. FITTINGS SHALL BE THREADED TYPE. SET SCREW TYPE WILL NOT BE ACCEPTED.**
- B. STEEL CONDUIT - HEAVY WALL - HEAVY WALL GALVANIZED RIGID METALLIC CONDUIT (SRMG) SHALL BE USED IN THE FLOOR SLAB FOR ALL FEEDERS AND FOR INSTALLATION IN CONCRETE OR IN MET LOCATIONS OR WHERE THE RACEWAY MAY BE EXPOSED TO WEATHER OR SUBJECT TO MECHANICAL INJURY. COUPLINGS SHALL BE SEALED WITH WATERPROOF SEALING COMPOUND.**
- C. RIGID STEEL CONDUIT (SRMG) - FULL HEIGHT STEEL PIPE OF STANDARD PIPE DIMENSIONS, THREADED. CONDUIT SHALL HAVE GALVANIZED COATING APPLIED TO BOTH INSIDE AND OUTSIDE SURFACES, INCLUDING THE THREADS. CONDUIT SHALL BE THREADED 3/4" BACK FROM END OF PIPE SO THAT NO THREAD MAY BE EXPOSED. HOT DIPPED GALVANIZED CONDUIT WRAPPED WITH PLYMOUTH PLTWRAP 20 #60 PIPE WRAPPING TAPE SHALL BE USED FOR UNDERGROUND DIRECT BURIAL. HOT DIPPED GALVANIZED CONDUIT SHALL BE USED FOR UNDERGROUND CONCRETE ENCASED, OR WHERE EXPOSED TO WEATHER.**
- D. THIN WALL GALVANIZED ELECTRICAL METALLIC TUBING (EMT) SHALL BE USED IN HALLS AND GELINGS, ONLY APPROVED CONDUIT TYPE COUPLINGS WILL BE PERMITTED. FLEXIBLE METALLIC CONDUIT MAY BE USED ON SHORT FINAL CONNECTIONS TO MOTORS AND LIGHTING FIXTURES.**
- E. ELECTRIC METALLIC TUBING (EMT) - THREADED THIN WALL CONDUIT GALVANIZED OR ZINC METALLIZED (INSIDE AND OUTSIDE) MAY BE USED FOR BRANCH CIRCUIT CONDUCTORS UP TO SIZE 1/0 MAXIMUM IN EXPOSED DRY LOCATIONS, HANG CEILING, HOLLOW BLOCK WALLS AND IN FINISHED SPACES.**
- F. FLEXIBLE STEEL CONDUIT - USE 1/2" MINIMUM, EXCEPT WHERE NOTED OTHERWISE. FLEXIBLE CONDUIT SHALL BE USED FOR THE FOLLOWING APPLICATIONS:**
- FOR FINAL CONNECTION TO MOTOR TERMINAL BOX, MAXIMUM LENGTH 10'
 - FOR FINAL CONNECTION TO MOTOR OUTLETS ON VIBRATING EQUIPMENT.
 - FROM OUTLET BOX TO RECESSED LIGHTING FIXTURE, MINIMUM 4' MAXIMUM 6' LENGTH.
 - FOR SHORT CONNECTIONS AS APPROVED BY THE ENGINEER.
 - FOR EXPANSION JOINT CROSSINGS.
 - FOR WEATHERPROOF INSTALLATIONS WITH PLY VINYL SHEATHING, SIMILAR TO AMERICAN METAL ROSE "SEALTITE" TYPE 1A OR EQUAL.
- G. FLEXIBLE STEEL CONDUIT - SINGLE STRIP TYPE, MINIMUM SIZE 1/2", EXCEPT AS NOTED, GALVANIZED, MAXIMUM RESISTANCE OF APPROX 15 OHMS PER 1000 FEET. CONDUIT SHALL BE AS MANUFACTURED BY ANAKONDA OR APPROVED EQUAL.**
- H. POLYVINYL CHLORIDE CONDUIT (PVC)**
- HERE APPROVED BY LOCAL AND STATE CODE AUTHORITIES FOR THE UNDERGROUND INSTALLATION. POLYVINYL CHLORIDE (PVC) CONDUIT SHALL BE SCHEDULE 40, 90 DEGREES C LISTED. JOINTS SHALL BE SOLVENT WELDED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER.

I. GROUNDING

- GROUND WIRES SHALL BE RUN IN EACH CONDUIT AND SIZED PER ARTICLE 250-45 OF THE NEC. GROUND WIRES SHALL BE TERMINATED TO THE METALLIC ENCLOSURES OF THE PANELS, DISCONNECTS, TROUSERS, MAIN SWITCHBOARD AND OUTLET BOXES.
 - ALL PROVISIONS OF ARTICLES 251, 250 AND 300-22 OF THE NEC SHALL BE STRICTLY ADHERED TO. ALL LOCAL AND STATE CODES SHALL APPLY.
- 2.02 CONDUCTORS**
- TYPE - ALL WIRING SHALL BE COPPER AND COMPLY WITH THE LATEST SPECIFICATIONS OF THE NEC. WIRE AND CABLE SHALL BE NEW SHALL HAVE SIZE, TYPE OF INSULATION, VOLTAGE RATING, AND MANUFACTURER'S NAME PERMANENTLY MARKED ON OUTER COVERING AT REGULAR INTERVALS. ALL WIRING SHALL BE IN CONDUIT, UNLESS OTHERWISE INDICATED.
- UNLESS OTHERWISE CALLED FOR, THE INSULATION OF CABLES AND WIRES SHALL BE AS FOLLOWS: CONDUCTORS #0 OR SMALLER BE SOLID. CONDUCTORS #6 AND LARGER SHALL BE STRANDED.
- | APPLICATIONS | TYPES OF WIRES AND CABLES |
|---|---------------------------|
| FEEDERS TO PANELBOARDS | TYPE THH-15 DEGREES C |
| BRANCH CIRCUITS FOR SIZES #6 AND LARGER | TYPE THH-15 DEGREES C |
| BRANCH CIRCUITS FOR SIZES SMALLER THAN #6 | TYPE THH-15 DEGREES C |
| FEEDERS AND BRANCH CIRCUITS BELOW GRADE OR OUTSIDE BUILDING SMALLER THAN #6 | TYPE THH-15 DEGREES C |
| FIXTURE WIRING | TYPE THH-40 DEGREES C |
- COLOR CODING OF CONDUCTORS**
- | ALL NEW BRANCH CIRCUITS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC AND SHALL BE: | 277/480 VOLT |
|---|--------------|
| BLACK | PHASE A |
| RED | PHASE B |
| BLUE | PHASE C |
| WHITE | NEUTRAL |
| | GROUND * |
- * MAY BE WHITE WITH TRACER.
- B. GROUNDING CONDUCTOR (ALL SYSTEMS) - GREEN**
- C. SWITCHED LEG - PURPLE**
- D. DIMMY LEG OF 3-WAY SWITCHES - PINK**

- 2.02 TRANSFORMERS**
- DRY TYPE TRANSFORMERS SHALL BE TWO WINDING, TOTALLY ENCLOSED, SELF COOLED, LOW NOISE SOUND LEVEL, OF THE SIZE AND ELECTRICAL CHARACTERISTICS AS SCHEDULED. TRANSFORMERS 25 KVA AND UNDER SHALL HAVE A UL RATING LIMITING SYSTEM TEMPERATURE TO 80 DEGREES C, 30 KVA AND ABOVE SHALL HAVE UL RATING LIMITING TEMPERATURE TO 90 DEGREES C, BOTH WITH RESPECT TO A 40 DEGREES C AMBIENT. MAXIMUM ACCESSIBLE SOUND LEVEL FOR ALL KVA RATING SHALL NOT EXCEED 46 DECELS. TRANSFORMERS SHALL HAVE A MINIMUM 10 PERCENT OVERLOAD CAPACITY AT RATED VOLTAGE. ENCLOSURE SHALL BE FINISHED WITH LIFTING BRACKETS DESIGNED TO FACILITATE HANDLING AND INSTALLATION. VENTILATING OPENINGS SHALL BE DESIGNED IN A MANNER TO PREVENT ACCESS TO LIVE PARTS. USE FLEXIBLE CONDUIT, 2 (2) 1/2" MINIMUM LENGTH FOR CONNECTIONS TO TRANSFORMER CASE. MAKE CONDUIT CONNECTIONS TO SIDE PANEL OF ENCLOSURE. MOUNT TRANSFORMERS ON VIBRATION ISOLATING PADS SUITABLE FOR ISOLATING THE TRANSFORMER NOISE FROM THE BUILDING STRUCTURE. PROVIDE SOUND RESTRAINTS.

2.04 PANELS

LIGHTING PANELBOARDS SHALL BE CIRCUIT BREAKER, DEAD-FRONT TYPE IN ACCORDANCE WITH UL STANDARDS FOR PANELBOARDS AND STANDARD FOR CABINETS AND BOXES AND SHALL BE 50 LABELED PROVIDE A MINIMUM OF ONE (1) 3/4" CONDUIT SIZED OUT OF EACH RECESSED PANELBOARD TO RECESS THE CEILING KEYSERING OR AREAS SERVED BY PANEL FOR EVERY THREE (3) SPACES OR SPACES. PANEL DIRECTORIES SHALL BE TYPED AND FILLED OUT BY ELECTRICAL CONTRACTOR AFTER TESTING PHASE BALANCING AND CHECKOUT. TWO AND THREE POLE BREAKERS SHALL BE FINISHED WHERE CALLED FOR. HANDLE TIES WILL NOT BE ACCEPTED. PANELBOARD DESIGN SHALL BE ELECTRICAL GRADE COPPER. ALL BREAKERS SHALL BE BOLT-ON TYPE. TWO AND THREE POLE BREAKERS SHALL HAVE COMMON TRIP. BOXES SHALL BE COMMERCIAL NOT GALVANIZED SHEET STEEL, 1/4 GAUGE MINIMUM. IDENTIFY PANELS WITH REMOVABLE LABELS. LABELS INDICATING THE PANEL IDENTIFICATION AND PANEL VOLTAGE.

2.04 BOXES

OUTLET AND SWITCH BOXES, FINISH OUTLETS AND BOXES WHERE REQUIRED BY PLANS, EQUIPMENT REQUIREMENTS, OR CODE. RECORD ALL LOCATIONS AND MOUNTING HEIGHTS OF ALL OUTLET, RING AND JUNCTION BOXES. ALL OUTLET AND SWITCH BOXES SHALL BE NEAR APPROVED TYPE SIZES TO PROVIDE AMPLE SPACE FOR WIRING DEVICES, CONDUCTORS, AND GROUNDING WIRES, WHERE SPACE IS AVAILABLE. ALL FEED THROUGH BOXES SHALL BE MINIMUM 4" SQUARE BY 1 1/2" DEEP. BOXES SHALL BE SET BACK TO ALLOW THE INSTALLATION OF A SQUARE OUT AND RAISED ADAPTER RING, DEPTH OF RAISED PORTION SHALL MATCH THE WALL CONSTRUCTION. WHEN MORE THAN ONE WIRING DEVICE IDENTICES AND RECEPTACLES IS SHOWN ON THE SAME LOCATION, GANGE BOXES SHALL BE USED. WHERE ANY DEVICE IS INSTALLED, PROVIDE A BLANK COVER FOR EACH OUTLET NOT TO BE PROVIDED WITH LIGHT FIXTURE OR OTHER DEVICE.

FLOOR BOXES, PLUGS AND TRIM SHALL BE BRASS. OUTLET BOX SHALL BE CAST IRON OR STAMPED STEEL. OUTLETS SHALL BE INSTALLED SO THAT THE TOP OPENING WILL BE FLUSH WITH FINISHED FLOOR. THE ELECTRICAL CONTRACTOR SHALL GROUT IN AROUND OUTLETS AS REQUIRED. SHALL BE INSTALLED IN ALL CARPETED AREAS AFTER CARPET IS IN PLACE.

RING AND JUNCTION BOXES, RING AND JUNCTION BOXES ARE NOT COMPLETELY SHOWN ON PLANS. THEY SHALL BE INSTALLED WHERE REQUIRED IN ACCORDANCE WITH NATIONAL ELECTRICAL CODE. ALL BOXES SHALL BE CONSTRUCTED OF MINIMUM #14 GANSE HOT-DIPPED GALVANIZED STEEL, CAST OR SHEET ALUMINUM WITH SCREWS UNDER COVER. FASTENERS SHALL BE BRASS OR ZINC COATED SCREWS. WHERE EXPOSED TO WEATHER, MOISTURE-TIGHT GASKET SHALL BE PROVIDED. ELECTRICAL BOXES WITH UNBID LOCKS SHALL BE DISCUSSED. ALL BOXES SHALL BE OF ADEQUATE SIZE WITHIN THE USE OF EXTENSION BOXES.

2.5 DISCONNECT SWITCHES

DISCONNECT SWITCHES FOR SINGLE AND THREE PHASE LOADS OVER 1000 WATTS OR 1/2 HORSEPOWER SHALL BE HORSEPOWER RATED, HEAVY DUTY TYPE, QUICK-MAKE, QUICK-BREAK, AS MANUFACTURED BY THE CHALLENGER, SQUARE D, GENERAL ELECTRIC, WESTINGHOUSE OR OTHER ENGINEER APPROVED EQUAL. SWITCHES EXPOSED TO WEATHER SHALL BE NEMA 3R.

2.6 NAMEPLATES AND LABELS

- A. NAMEPLATES SHALL BE 4" X 1/2" THICK WHITE CORE, BLACK FACE, PLASTIC WITH ENGRAVED LETTERS. ATTACHMENT TO EQUIPMENT SHALL BE DONE BY MEANS OF SCREWS.**
- B. NAMEPLATES SHALL BE USED FOR ALL MAJOR EQUIPMENT SUCH AS SWITCHBOARDS, MOTOR PANELBOARDS, MOTOR CONTROL CENTERS, UNIT SUBSTATIONS, TRANSFORMERS, PANELBOARDS LIGHTING POWER, AND AUXILIARY ON EACH SWITCH AND STARTER IN EACH PANEL BOARD AND MOTOR CONTROL CENTER, DISCONNECT SWITCHES, RELAYS, LOOSE MOUNTED MOTOR STARTERS, AND ON CONTROL PANELS SERVING FIRE ALARM SECURITY AND PUBLIC ADDRESS SYSTEM AND MOTOR CIRCUITS.**

2.7 LABELS

A. LABELS (STENCILS) SHALL BE BRADY OR HELSINKI AND SHALL BE COLOR CODED IN ACCORDANCE WITH ASA-E34-1.53 "SAFETY COLOR CODE" TO INCLUDE SYSTEM VOLTAGES, ABBREVIATIONS OF SERVICE, ETC. FOR EXAMPLES: 480V, TELEPHONE, SECURITY, INTERCOM, EMERGENCY, DATA, ETC.

2.7 TIMELOCKS

TIMELOCKS SHALL BE 24 HOUR, 1 DAY WITH BATTERY BACKUP. EACH DAY SHALL HAVE MINIMUM OF 2 ON AND 2 OFF PERIODS. TIMELOCKS SHALL HAVE MANUAL OVERRIDE SWITCH. TIMELOCK SHALL BE LOCATED IN NEMA ENCLOSURE. TIMELOCK SHALL BE BY YORK, PARAGON OR EQUAL.

2.8 LOW VOLTAGE WIRING

ALL SPECIAL SYSTEM LOW VOLTAGE WIRING SHALL BE IN CONDUIT.

PART III DEVIATION

31 ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH THE NEC, AND ALL APPLICABLE CODES WHETHER EXPLICITLY SHOWN OR NOT. ALL PANELS SHALL HAVE TYPEWRITTEN DIRECTORIES, AND ALL CIRCUITS SHALL BE TAGGED. ALL SYSTEMS SHALL BE GUARANTEED FOR 1 YEAR AFTER OWNER'S WRITTEN ACCEPTANCE. PROPERLY GROUND ALL SYSTEMS AND BALANCE PHASES. IF REQUIRED INCREASE BRANCH CIRCUIT SIZES TO REDUCE VOLTAGE DROP. ALL WORK SHALL BE COORDINATED WITH THE LANDLORD'S CONTRACTOR TO ASSURE A FULLY FUNCTIONAL AND COMPLETE SYSTEM.

32 CONDUIT TYPES

INDOOR, EXPOSED OR CONCEALED AREAS - USE EMT FOR SIZES UP TO 4", EMT (GALVANIZED RIGID METAL CONDUIT) FOR 3" AND ABOVE UNLESS OTHERWISE NOTED AND GALVAN. WHERE EXPOSED TO PHYSICAL DAMAGE AND WHERE SUBJECT TO MOISTURE AND CORROSION. BURIED IN CONCRETE FLOOR SLAB SYSTEM - GALVAN. WITH RUST RESISTANT WRAP AND SHALL BE COVERED WITH A MINIMUM OF 2" CONCRETE ABOVE CONDUIT. INSTALLED BELOW CONCRETE SLAB FEEDERS OR BRANCH CIRCUITS - GALVAN. STEEL WITH RUST RESISTANT WRAP NOT ENCASED. ALL UNDERGROUND GALVAN. STEEL CONDUIT NOT ENCASED IN CONCRETE SHALL BE PROTECTED WITH PIPE WRAPPING TAPE, SCOTCH-RAP 10 OR PLYMOUTH-BISHOP PLTWRAP-20" TAPE TO COVER CONDUIT AND FITTINGS INSTALLED OUTSIDE OF BUILDING (ABOVE GRADE) - GALVAN. WHEN EXPOSED TO WEATHER. ALL EXPOSED THREADS SHALL BE FIELD PAINTED WITH RUSTPROOF PRIMER BY EACH CONTRACTOR. FLEXIBLE METAL RACEWAYS SHALL BE USED FOR CONNECTION TO ALL MOTORIZED EQUIPMENT, TRANSFORMERS AND EQUIPMENT SUBJECT TO VIBRATION ADJUSTMENTS AND/OR MOVEMENT AND TO CONTROL EQUIPMENT REQUIRING FLEXIBLE CONNECTIONS. RACEWAYS SHALL BE AS MANUFACTURED BY ANAKONDA OR APPROVED EQUAL.

3.3 CONDUIT INSTALLATION

A COMPLETE CONTINUOUS RACEWAY SHALL BE PROVIDED FOR FILLING AND INSTALLING OF WIRES. ALL WIRING SHALL BE RUN IN RACEWAYS UNLESS OTHERWISE INDICATED. ALL CONDUIT MUST BE REAMED AFTER CUTTING. CONDUITS SHALL BE CUT SQUARE, REAMED TO FULL SIZE, SHOULDERED WITHOUT FITTING INTO COUPLINGS. THE REAM SHALL BE OF STANDARD LENGTH AND DIAMETER REQUIRED FOR THE SIZE OF CONDUIT USE. DONA APPROVED TYPE OF GRANITE BEARING THREAD LUBRICANT SHALL BE USED IN HANDING UP THREADS. THESE CONDUITS ARE CUT IN THE FIELD USE A STANDARD CUTTING DIE WITH 3/4" TAPER PER FOOT. RUNNING THREADS WILL NOT BE ACCEPTABLE. CONDUITS SHALL HAVE A SMOOTH INTERIOR SURFACE FREE OF OBSTRUCTIONS, SHALL BE CAPPED WITH APPROVED CONDUIT SEALS DURING CONSTRUCTION PERIOD, SHALL BE UNIFORMLY SLOPED TO ELIMINATE TRAPPED CONDENSATION AND SHALL BE THOROUGHLY CLEANED AND DRY BEFORE PULLING ANY WIRE. CONDUIT INSTALLATION SHALL CLEAR ALL NOT PIPES SUCH AS HOT WATER, ETC., NOT LESS THAN 6" ALL CONDUITS IN FINISHED AREAS SHALL BE CONCEALED, UNLESS OTHERWISE INDICATED ON THE PLANS. CONDUITS IN EQUIPMENT ROOM AND UNFINISHED STORAGE AREAS MAY BE EXPOSED. ALL EXPOSED CONDUIT SHALL BE INSTALLED PERPENDICULAR OR PARALLEL TO BUILDING LINES. EXHIBITS SHALL BE USED WHERE CONDUITS ENTER PANELBOARDS. ALL EXHIBITS SHALL BE OF INSULATED TYPE WITH PROVISION FOR GROUNDING AS TYPE "B" MADE BY O.G. GENEY OR APPROVED EQUAL. CONCEALED CONDUITS INSTALLED ABOVE SUSPENDED CEILING SHALL BE RUN CLOSE TO THE UNDERSIDE OF CONSTRUCTION ABOVE, AND SHALL BE COORDINATED WITH THE OTHER SUBCONTRACTORS SO AS TO ALLOW ROOM FOR RUNNING DUCTS AND PIPES. PROVIDE FLEXIBLE CONDUIT CONNECTION AS REQUIRED BY NEC FOR ALL RECESSED LIGHTING FIXTURES. FLEXIBLE CONDUIT CONNECTION SHALL

BE UNIFORMLY SLOPED TO ELIMINATE TRAPPED CONDENSATION AND SHALL BE THOROUGHLY CLEANED AND DRY BEFORE PULLING ANY WIRE. CONDUIT INSTALLATION SHALL CLEAR ALL NOT PIPES SUCH AS HOT WATER, ETC., NOT LESS THAN 6" ALL CONDUITS IN FINISHED AREAS SHALL BE CONCEALED, UNLESS OTHERWISE INDICATED ON THE PLANS. CONDUITS IN EQUIPMENT ROOM AND UNFINISHED STORAGE AREAS MAY BE EXPOSED. ALL EXPOSED CONDUIT SHALL BE INSTALLED PERPENDICULAR OR PARALLEL TO BUILDING LINES. EXHIBITS SHALL BE USED WHERE CONDUITS ENTER PANELBOARDS. ALL EXHIBITS SHALL BE OF INSULATED TYPE WITH PROVISION FOR GROUNDING AS TYPE "B" MADE BY O.G. GENEY OR APPROVED EQUAL. CONCEALED CONDUITS INSTALLED ABOVE SUSPENDED CEILING SHALL BE RUN CLOSE TO THE UNDERSIDE OF CONSTRUCTION ABOVE, AND SHALL BE COORDINATED WITH THE OTHER SUBCONTRACTORS SO AS TO ALLOW ROOM FOR RUNNING DUCTS AND PIPES. PROVIDE FLEXIBLE CONDUIT CONNECTION AS REQUIRED BY NEC FOR ALL RECESSED LIGHTING FIXTURES. FLEXIBLE CONDUIT CONNECTION SHALL

OPEN END OF CONDUITS SHALL BE CAPPED WITH GAP DURING ROUGH-IN TO PREVENT THE ACCUMULATION OF DIRT AND MOISTURE CONDENSATION IN THE CONDUIT. SUPPORT FOR CONDUIT 1" AND SMALLER SHALL BE 1/2" OR 3/4" HOLE PIPE STRAPS SPACED AT NOT TO EXCEED 8'-0" INTERVALS AND WITHIN 18" OF AN OUTLET BOX, JUNCTION BOX, RING BOX, OR TERMINAL CABINET. SUPPORT FOR CONDUIT LARGER THAN 1" SHALL BE 2" HOLE PIPE STRAPS. WHERE THE CONDUIT RING ARE GROUDED, CONDUIT TRAPPIES SUPPORTED ON 3/8" DIAMETER RODS MINIMUM SHALL BE USED. FASTENING DEVICES TO UNDERSIDE OF ROOF DECK SHALL NOT BE PERMITTED. ALL SUSPENDED AND/OR FASTENING DEVICES SHALL BE SUPPORTED FROM STRUCTURE ABOVE WITH ADEQUATE STRUCTURAL STEEL SUPPORT OR ANGLE IRON. RING WIRES - A CONTINUOUS 1/2" DIA GALVANIZED IRON RING WIRE OR 1/2" POLYPROPYLENE LINE EXTENDING FROM JUNCTION BOX TO JUNCTION BOX SHALL BE INSTALLED IN ALL ENTRY POINTS AND SHALL BE TAGGED TO SHOW TERMINAL POINTS AND LENGTH OF RUNS. JOINTS IN GALVAN. CONDUIT INSTALLED IN CONCRETE OR MASONRY SHALL BE MADE LIQUID TIGHT AND SHALL BE MADE NOT LESS THAN FIVE THREADS. CONDUIT IN CONCRETE SHALL BE PLACED SO THAT NO PORTION OF THE CONDUIT OR COUPLINGS ARE EXPOSED AND AT A SUFFICIENT DEPTH TO PREVENT CRACKING OR SPALLING. CONNECTIONS TO WIRING ENCLOSURES - CONDUITS SHALL BE SECURED TO OUTLET BOXES OR WIRING ENCLOSURES WITH DOUBLE LOCK NUTS AND WASHERS. WHERE CONDUIT BOXES WITH THREADED NUTS ARE USED, CONDUIT SHALL ENERGE AT LEAST FIVE THREADS IN ABS NO MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (90 DEGREE TOTAL) SHALL BE MADE IN CONDUIT RUN BETWEEN OUTLETS, RING BOXES, JUNCTION BOXES OR PANELS. RUNS OVER 100' SHALL HAVE FALL

3.4 CONDUCTORS

ALL BRANCH CIRCUITS SHALL BE A MINIMUM #12 WIRE. 120 VOLT BRANCH CIRCUITS LONGER THAN 100 FEET SHALL BE A MINIMUM #10. 200 VOLT OR 277 VOLT BRANCH CIRCUITS LONGER THAN 200 FEET SHALL BE A MINIMUM #10. CONTROL WIRING SHALL BE A MINIMUM #14 WIRE UNLESS NOTED OTHERWISE. CODE APPROVED PRESSURE TYPE CONNECTORS SUCH AS "TIGER HINT" MAY BE USED FOR SIZES #0 AND SMALLER. TERMINALS, TAPS AND SPLICES IN WIRE #6 AND LARGER SHALL BE MADE WITH SOLDERLESS COMPRESSION TYPE CONNECTORS. ALL JOINTS OR SPLICES SHALL BE WRAPPED WITH INSULATION TAPE SO THAT THE INSULATION OF THE JOINT, ETC. SHALL NOT BE LESS THAN INSULATION OF THE WIRE. ALL BRANCH CIRCUITS SHALL BE COLOR CODED IN ACCORDANCE WITH NEC. NO CONDUCTORS OR CABLES SHALL BE INSTALLED IN RACEWAYS UNTIL THE RACEWAY SYSTEM HAS BEEN COMPLETED. WHEN INSTALLING CONDUCTORS, THE ETC. SHALL BE INSTALLED IN THE CASE TO PREVENT DAMAGE TO CONDUCTOR OR INSULATION. ALL FEEDER CABLES SHALL BE CONTINUOUS FROM ORIGINAL TO PANEL OR EQUIPMENT TERMINATION WITHOUT RUNNING SPLICES IN INTERMEDIATE RING OR SPLICE BOXES. WHERE TAPS AND SPLICES ARE NECESSARY AND APPROVED, THEY SHALL BE MADE IN APPROVED SPLICE BOXES WITH SUITABLE COMPRESSION TYPE CONNECTORS AS NOTED HEREIN. BRANCH CIRCUIT CABLE TERMINATIONS, TAPS AND SPLICES #6 AND SMALLER SHALL BE MADE WITH SOLDERLESS SPRING TYPE CONNECTORS SUCH AS "SCOTCHLOK" OR "MINI-MOUNT" COMPRESSION TYPE CONNECTORS ARE REQUIRED ON BRANCH CIRCUIT AND FEEDER CABLES #6 AND LARGER SHALL BE OF THE TYPE AS MANUFACTURED BY THE BRAND COMPANY AND SHALL BE INSTALLED WITH APPROVED HYDRAULIC TOOLS TO ASSURE A PERMANENT MECHANICALLY SECURE HIGH CONDUCTIVITY JOINT. ALL UNINSULATED SPLICES, JOINTS AND FREE ENDS OF CONDUCTORS SHALL BE COVERED WITH RUBBER AND PROTECTIVE TAPE OR HIGH-TELECTRIC POLYETHYLENE SCOTCH 33 ELECTRICAL TAPE. INSULATION VALUE TO BE SAME AS WIRE INSULATION WHERE CONDUCTORS ARE CONNECTED TO METALLIC SURFACES. THE COATED SURFACES OF THE METAL SHALL BE CLEANED TO THE BARE METAL BEFORE INSTALLING THE CONNECTOR. LARGER COUPLING OF ALL CONDUCTORS SHALL BE INSTALLED WHEN PANEL COVERS ARE REMOVED OR SWITCH DOORS ARE OPEN. THE CONDUCTOR SIZE SHALL BE EASILY READ.

3.5 INSTALLATION OF PANELS

SET PANELS COMPLETELY LEVEL AND PLUMB. MEASURE STEADY STATE LOAD CURRENTS AT EACH PANELBOARD FEEDER. SHOULD THE DIFFERENCE AT ANY PANELBOARD BETWEEN PHASES EXCEED 20 PERCENT, REARRANGE CIRCUITS IN THE PANELBOARD TO BALANCE THE PHASE LOADS WITHIN 20 PERCENT.

MECHANICAL INSPECTION - INSPECT FOR PHYSICAL DAMAGE, PROPER ALIGNMENT, ANCHORAGE, AND GROUNDING. CHECK PROPER INSULATION AND TIGHTNESS OF CONNECTORS FOR CIRCUIT BREAKERS, FUSIBLE SWITCHES, AND FEES.

3.5 INSTALLATION OF BOXES

INSTALL ELECTRICAL BOXES AS SHOWN ON DRAWINGS, AND AS REQUIRED FOR SPLICES, TAPS, WIRE PULLING, EQUIPMENT CONNECTIONS AND COMPLIANCE WITH REGULATORY REQUIREMENTS. INSTALL ELECTRICAL BOXES TO MAINTAIN HEADROOM AND TO PREVENT HEAT APPARATUS. INSTALL RING BOXES AND JUNCTION BOXES ABOVE ACCESSIBLE CEILING AND IN UNFINISHED AREAS ONLY. UNACCESSIBLE CEILING AREAS - INSTALL OUTLET AND JUNCTION BOXES NO MORE THAN 6 INCHES (50 MM) FROM CEILING. ACCESS PANEL OR FROM REMOVABLE RECESSED LUMINAIRE. INSTALL BOXES TO PRESERVE FIRE RESISTANCE RATING OF PARTITIONS AND OTHER ELEMENTS, USING MATERIALS AND METHODS UNDER THE OTHER PROVISIONS OF THIS SPECIFICATION. ALLOW ADJACENT WALL-MOUNTED OUTLET BOXES FOR SWITCHES, THERMOSTATS, AND SIMILAR DEVICES WITH EACH OTHER. USE FLUSH MOUNTING OUTLET BOXES IN FINISHED AREAS. SECURE FLUSH MOUNTING BOX TO INTERIOR WALL AND PARTITION SURF. ACCURATELY POSITION TO ALLOW FOR SURFACE MOUNT THROUSERS. INSTALL FINISHED STEEL BRACKETS TO FASTEN FLUSH MOUNTING OUTLET BOX BETWEEN SPLICES. INSTALL FLUSH MOUNTING BOX WITHOUT DAMAGING WALL INSULATION OR REDUCING ITS EFFECTIVENESS. USE ADJUSTABLE STEEL CHANNEL FASTENERS FOR HANG CEILING OUTLET BOX. DO NOT FASTEN OUTLET BOX TO BRACKET SUPPORT WIRES. SUPPORT BOXES INDEPENDENTLY OF CONDUIT. WHERE DRAWINGS SHOW BACK-TO-BACK WIRING DEVICES, THE DEVICES ON OPPOSITE SIDE OF THE WALL SHALL BE OFFSET A MINIMUM OF 2" SO THAT EACH DEVICE WILL BE INSTALLED IN SEPARATE BOXES TO AVOID SOUND TRANSMISSION BETWEEN ADJACENT ROOMS, THROUGH-THE-WALL BOXES SHALL NOT BE USED.

COORDINATE MOUNTING HEIGHTS AND LOCATIONS OF OUTLETS MOUNTED ABOVE COUNTERS, REFRIG., AND BACKSLAPES AND FOR OTHER EQUIPMENT.

VERIFY LOCATIONS OF OUTLETS AND SWITCHES IN FINISHED ROOMS WITH DRAWINGS OF INTERIOR DETAILS AND FINISH AND EQUIPMENT COORDINATION. IN CENTERING OUTLETS AND LOCATING BOXES, ALLOW FOR OVERHEAD PIPES, DUCTS AND MECHANICAL EQUIPMENT, VARIATIONS IN FIREPROOFING AND PLASTERING, HATCH AND DOOR TRIM, PANELING, HANG PANELS AND THE LIKE AND CORRECT ANY INACCURACY RESULTING FROM FAILURE TO DO SO WITHOUT EXPENSE TO OWNER.

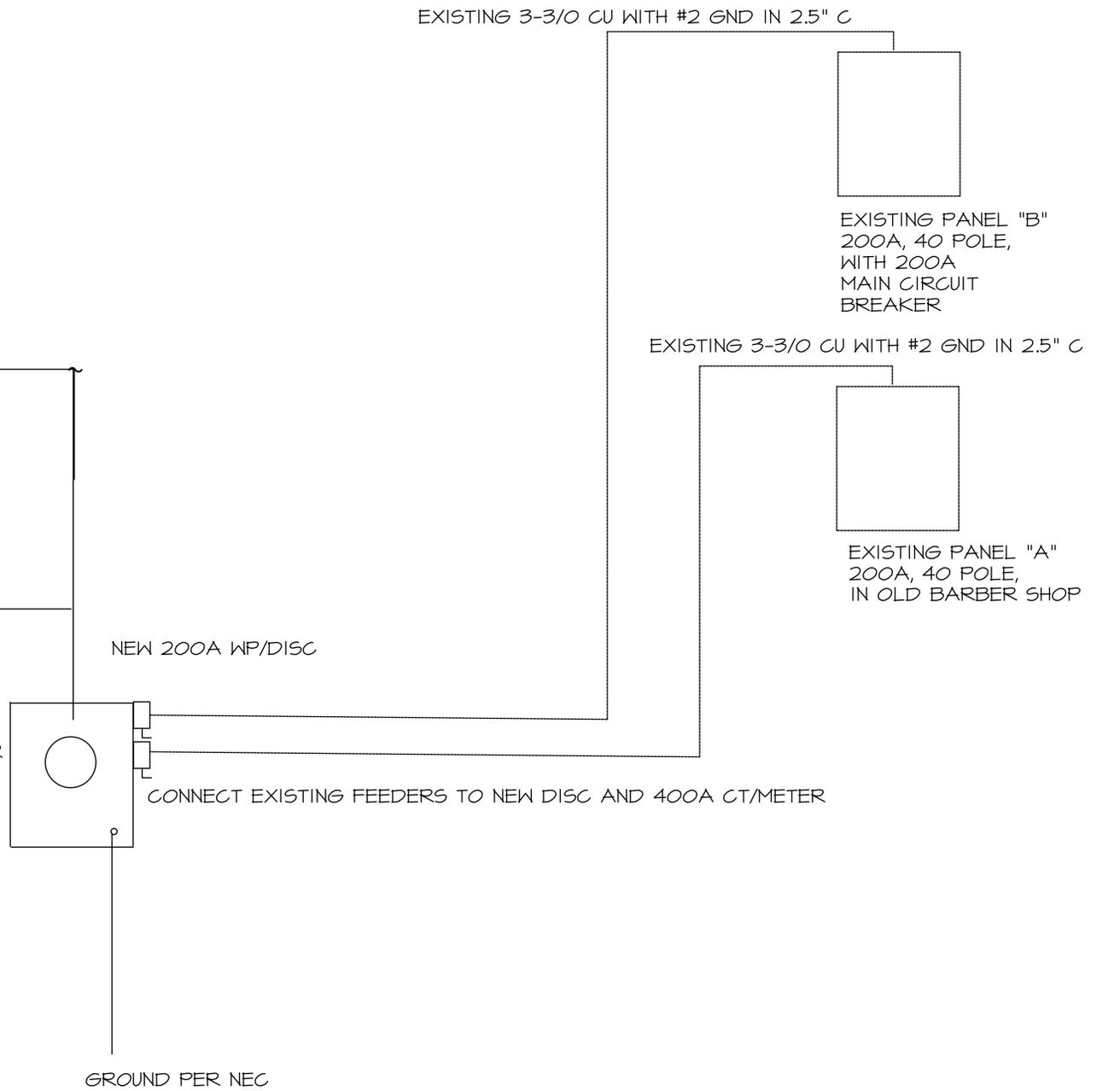
3.6 INSTALLATION OF TRANSFORMERS

TRANSFORMERS SHALL BE FLOOR MOUNTED WITH CLEARANCES PER SECTION 450 OF NEC.

END OF SECTION

TO UTILITY CO. TRANSFORMER, PAY ALL FEES AND INSTALL PER UC REQUIREMENTS.

3-600MCM CU IN 4" C



NEW 400A CT AND METER PAY ALL FEES AND INSTALL PER UC REQUIREMENTS.

GROUND PER NEC

RISER SCHEMATIC

IF ACCEPTABLE TO ALL LOCAL JURISDICTIONAL AUTHORITIES THE EXISTING 2 SERVICE MAY STAY IN SPACE AS IS AND ANY REQUIRED LABELING MAY BE DONE BY THIS CONTRACTOR. BUT THIS SHALL BE AN ALTERNATE TO THE BASE BID TO BE REVIEWED BY OWNER/ENGINEER PRIOR TO INITIATING WORK

GROCERY STORE RENNOVATION

1763 N, NEW FLOISSANT ROAD ST LOUIS, MO, 63033

John C. Zekind, PE CONSULTING ENGINEERS 1276 WHITE ROAD CHESTERFIELD, MO, 63017 314-878-2290

Project Number: _____
 Issued For: Review Pricing Permit Bidding Construction

Sheet Number: **E-2**

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 SEPTEMBER 14, 2020

3
4 BILL NO. 9618 ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO TITLE IV**
7 **“LAND USE”, ARTICLE IV “DISTRICT REGULATIONS”,**
8 **SECTION’S 405.035, 405.115 SUBSECTION B, 405.120, SUBSECTION B**
9 **AND 405.125, SUBSECTION B, TO ALLOW STATE LICENSED**
10 **BARBER AND COSMETOLOGY SCHOOLS AS A “PERMITTED USE”**
11 **IN B ZONING DISTRICTS.**

12
13 NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY
14 OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

15
16 Section 1: Section 405.035 “Definitions” is hereby amended by adding a definition of :

17 **Section 405.035 Definitions**

18
19 **BARBER, BEAUTY OR COSMETOLOGY SCHOOL**

20 A facility who holds themselves out as providing educational services, duly
21 licensed by the Missouri State Board of Cosmetology and Barber Examiners for a
22 Barber School, Cosmetology School or Crossover School.

23
24 Section 2: Section 405.115 “B-1” Local Shopping District, Subsection B “Permitted
25 Uses” is hereby amended by adding “Barber, Beauty and Cosmetology Schools” as a Permitted
26 Use and renumbering accordingly.

27 Section 3: Section 405.120 “B-2” Central Business District, Subsection B “Permitted
28 Uses” is hereby amended by adding “Barber, Beauty and Cosmetology Schools” as a Permitted
29 Use and renumbering accordingly.

30 Section 4: Section 405.125 “B-3” Extensive Business District, Subsection B “Permitted
31 Uses” is hereby amended by adding “Barber, Beauty and Cosmetology Schools” as a Permitted
32 Use and renumbering accordingly.

33 Section 5: This ordinance shall be in full force and effect immediately upon its passage
34 and approval as provided by law.

35 Adopted this _____ day of _____, 2020.

36
37 _____
38 Keith Schildroth
39 President of the Council

40 Approved this _____ day of _____, 2020.

41
42
43
44
45
46
47
48

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

Timothy J. Lowery
Mayor

CITY OF FLORISSANT



NOTICE OF PUBLIC HEARING

Notice is hereby given that a Public Hearing will be held by the City Council of the City of Florissant, MO, in the Council Chambers, 955 Rue St. Francois, on Monday, September 14, 2020 at 7:30 P.M. on the following proposition:

To amend the Zoning Code in order to allow state licensed Barber and Cosmetology Schools as "Permitted Uses" in 'B' Zoning Districts. Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142. CITY OF FLORISSANT.

Karen Goodwin, CMC, City Clerk.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: Properties in the 'B-1', 'B-2' and 'B-3' Zoning Districts

Property Owners Name: n/a Phone/email: n/a

Property Owners Address: _____

Business Owners Name: _____ Phone/email: _____

Business Owners Address: _____

DBA (Doing Business As) _____

Authorized Agents Name: Staff Co. Name: City of Florissant
(Authorized Agent to Appear Before The Commission)

Agents Address: 955 rue St Francois Phone/email: _____

Request recommended approval to Amend the Zoning Code to allow for State Licensed Barber and Cosmetology Schools as permitted uses.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Philip E. L...
Applicant's Signature

8/17/20
Date

OFFICE USE ONLY

Received by: _____ Receipt # _____ Amount Paid: _____ Date: _____

STAFF REMARKS: see attached staff report

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: 8/19/20

pel
SIGNATURE OF STAFF WHO REVIEWED APPLICATION
Planning & Zoning Application
Page 1 of 1 – Revised 7/15/15

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. [Signature] DATE: 8-24-2020

41 *day care center, or having obtained partial funding from the State Department*
42 *of Education and Secondary Education to provide such services. But such facilities shall*
43 *not be allowed in a shopping center.*
44 *[Ord. No. 8264 §1, 10-10-2016]”*
45

46 Staff struggled to determine the difference in some cases between an Educational
47 Development Center and a School or a Child Day Care Center. To avoid confusion,
48 Ordinance 8264 was legislated.
49

50 Since recent ordinances which made Educational Development Centers, including a
51 Beauty College, implausible in a Shopping Center, specifically changes to the definition
52 by Ord. No. 8264 on 10/10/2016, staff has received numerous applicants for Educational
53 Development activities for shopping centers. Not surprisingly, staff has denied these
54 requests. In addition, Educational Development Centers include “Learning Centers”. All
55 such establishments, such as a learning center, located in a Shopping Center, became
56 legal non-conforming Uses, after the passage of Ord. No. 8264.
57

58 Staff supports the addition of the proposed Uses to be added as permitted uses in the
59 Zoning Code for the following reasons:
60

- 61 1. This is a request of the Administration.
- 62 2. Barber or Cosmetology Schools must be State Licensed by the Missouri Division
63 of Professional Registration, Board of Cosmetology and Barber Examiners. A
64 ‘crossover school’ is a school that trains workers for both licenses.
- 65 3. The proposed Uses are for Adults only and are low traffic.
- 66 4. The proposed Uses cannot be confused with an Adult Day Care, Child Day Care
67 or School.
68

69 **VI. STAFF RECOMMENDATIONS:**
70

71 **Suggested Motion:**

72 I move to Recommend Approval to add “Barber, Beauty and Cosmetology Schools” as
73 Permitted Uses in the ‘B-1’, ‘B-2’, ‘B-3’ Zoning Districts and to add the following
74 definition to the Zoning Code, Section 405.035:
75

76 “Barber, Beauty or Cosmetology School: A facility who holds themselves out as
77 providing educational services, duly licensed by the Missouri State Board of
78 Cosmetology and Barber Examiners for a Barber School, Cosmetology School or
79 Crossover School.”
80

81
82
83 (End of report and suggested motion)

1 INTRODUCED BY COUNCILMAN SIAM
2 SEPTEMBER 14, 2020

3
4 SUBSTITUTE BILL NO. 9619

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**
7 **PERMIT NO. 8607 FROM HERTZ CORPORATION TO TRAVERS**
8 **AUTO PLAZA FOR AN AUTO SALES AND RENTAL BUSINESS FOR**
9 **THE PROPERTY LOCATED AT 1285 N HWY 67.**

10
11 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of an auto
13 rental business; and

14 WHEREAS, Enterprise Leasing Company of St. Louis was granted Special Use Permit
15 no. 5291 in November of 1991 for the location of an auto leasing business located at 1285 N.
16 Hwy 67, and

17 WHEREAS, ordinance no. 5291 was amended in June of 1992 by ordinance no. 5358 to
18 allow for a redesign of the parking lot layout for 1275 & 1285 N. Hwy 67; and

19 WHEREAS in August of 1992 Enterprise leasing was granted Special Use Permit no.
20 5383 for the installation and maintenance of a pole sign; and

21 WHEREAS In March of 1993 ordinance no. 5291 as amended, was further amended by
22 ordinance no 5476 to allow for the relocation of customer parking; and

23 WHEREAS in January of 2000, Ordinance no. 6365 was passed to transfer ordinances
24 5291, 5358, 5383 and 5476 From Enterprise Leasing to Elite Car Sales Inc.; and

25 WHEREAS In July of 2013, ordinance no. 7978 was passed to transfer ordinance no
26 5291 as amended and transferred to Hertz Car Sales LLC; and

27 WHEREAS In October of 2018, ordinance no. 8463 was passed to transfer Special Use
28 No. 7978 from Hertz Car Sales to Top Gear Auto LLC; and

29 WHEREAS in March of 2020, ordinance no. 8607 was passed to transfer Special Use
30 Permit no. 8463 the Hertz Corporation; and

31 WHEREAS, an application has been submitted by Travers Auto Plaza to transfer the
32 Special Use Permit authorized by Ordinance No. 8607 as transferred, to its name; and

33 WHEREAS, the City Council of the City of Florissant determined at its meeting on
34 September 14, 2020 that the business would be operated in substantially identical fashion as set
35 out herein; and

36 WHEREAS, Travers Auto Plaza has accepted the terms and conditions set out in
37 Ordinance No. 8607 as transferred from the original ordinance no. 5291.

38

39 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
40 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

41

42

43 Section 1: The Special Use Permit authorized by Ordinance No. 8607, as transferred
44 from the original Special Use Permit no. 5291 is hereby transferred from transferred from The
45 Hertz Corporation to Travers Auto Plaza to allow for an auto sales and rental business located at
46 1285 N. Hwy 67.

47 Section 2: The terms and conditions of said Special Permit authorized by Ordinance No.
48 5045 shall remain in full force and effect.

49 Section 3: The Special Use Permit herein authorized shall terminate if the said business
50 ceases operation for a period of more than ninety (90) days.

51 Section 4: This ordinance shall become in force and effect immediately upon its passage
52 and approval.

53

54 Adopted this ____ day of _____, 2020.

55

56

57

58

Keith Schildroth
Council President

59

60

61

62 Approved this ____ day of _____, 2020.

63

64

65

66

Timothy J. Lowery
Mayor, City of Florissant

67

68

69 ATTEST:

70

71

72 _____
Karen Goodwin, MPPA/MMC/MRCC
73 City Clerk

1 INTRODUCED BY COUNCILMAN HENKE
2 MARCH 9, 2020

3
4 BILL NO. 9591

ORDINANCE NO. 8607

5
6 **ORDINANCE AUTHORIZING A TRANSFER SPECIAL USE PERMIT**
7 **NO. 8463 AS AMENDED FROM TOP GEAR AUTO LLC TO THE**
8 **HERTZ CORPORATION TO ALLOW FOR AN AUTO RENTAL**
9 **BUSINESS LOCATED AT 1285 N. HWY 67.**

10
11 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of an auto
13 rental business; and

14 WHEREAS, Enterprise Leasing Company of St. Louis was granted Special Use Permit
15 no. 5291 in November of 1991 for the location of an auto leasing business located at 1285 N.
16 Hwy 67, and

17 WHEREAS, ordinance no. 5291 was amended in June of 1992 by ordinance no. 5358 to
18 allow for a redesign of the parking lot layout for 1275 & 1285 N. Hwy 67; and

19 WHEREAS in August of 1992 Enterprise leasing was granted Special Use Permit no.
20 5383 for the installation and maintenance of a pole sign; and

21 WHEREAS In March of 1993 ordinance no. 5291 as amended, was further amended by
22 ordinance no 5476 to allow for the relocation of customer parking; and

23 WHEREAS in January of 2000, Ordinance no. 6365 was passed to transfer ordinances
24 5291, 5358, 5383 and 5476 From Enterprise Leasing to Elite Car Sales Inc.; and

25 WHEREAS In July of 2013, ordinance no. 7978 was passed to transfer ordinance no
26 5291 as amended and transferred to Hertz Car Sales LLC; and

27 WHEREAS In October of 2018, ordinance no. 8463 was passed to transfer Special Use
28 No. 7978 from Hertz Car Sales to Top Gear Auto LLC; and

29 WHEREAS, an application has been The Hertz Corporation to transfer the Special Use
30 Permit authorized by Ordinance No. 8463 to its name; and

31 WHEREAS, the City Council of the City of Florissant determined at its meeting on
32 March 9th, 2020 that the business would be operated in substantially identical fashion as set out
33 herein; and

34 WHEREAS, The Hertz Corporation has accepted the terms and conditions set out in
35 Ordinance No. 8463.

36

37 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
38 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
39

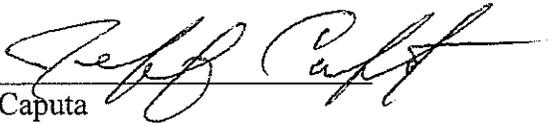
40
41 Section 1: The Special Use Permit authorized by Ordinance No. 8463 is hereby
42 transferred from Top Gear Auto LLC to The Hertz Corporation to allow for an auto rental
43 business located at 1285 N. Hwy 67.

44 Section 2: The terms and conditions of said Special Permit authorized by Ordinance No.
45 8463 shall remain in full force and effect.

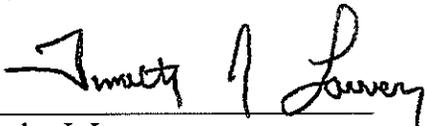
46 Section 3: The Special Use Permit herein authorized shall terminate if the said business
47 ceases operation for a period of more than ninety (90) days.

48 Section 4: This ordinance shall become in force and effect immediately upon its passage
49 and approval.
50

51
52 Adopted this 19 day of March, 2020.
53

54 
55 _____
56 Jeff Caputa
57 Council President
58

59
60 Approved this 20 day of March, 2020.
61

62 
63 _____
64 Timothy J. Lowery
65 Mayor, City of Florissant
66

67 ATTEST:
68 
69 _____
70 Karen Goodwin, MPPA/MMC/MRCC
71 City Clerk

TRANSFER OF SPECIAL PERMIT

AUTHORIZED BY ORDINANCE NUMBER (S) 8607

FROM HERTZ CORPORATION
TO TRAVERS AUTO PLAZA
FOR AUTO SALES
ADDRESS 1285 N HWY 67

Ward 4 Zoning _____ Date Filed 9/8/20 Accepted By [Signature]

TRANSFER OF SPECIAL USE PERMIT PETITION

TO THE CITY COUNCIL OF THE CITY OF FLORISSANT:

1. Comes now **GLENN TRAVERS** and states to the City Council that he (she) (they) has (have) the following legal interest in the property located at 1285 N HWY 67 in the City of Florissant, Missouri. Legal interest: Lease or Simple Title
(Attach signed copy of lease or deed)
2. The petitioner(s) further state that he (she) (they) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly to any official, employee, or appointee of the City of Florissant, with respect to this petition.
3. The applicant will operate the business in the same manner and under the same conditions as set out in the original ordinance granting the special permit or any amendments thereto, except for any proposed change in sign face of an authorized sign.

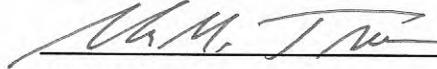
PETITIONER SIGNATURE [Signature]
Individual's Name

FOR: TRAVERS AUTO PLAZA INC
Company, Corporation, Partnership

4. I (we) hereby certify that (indicate **one only**):

- I (we) have a legal interest in the above described property.
 I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE



ADDRESS

1285 N HWY 67

Telephone No.

314-960-4175

Email address

TRACY.KEHOE@TRAVERSAG.COM

I (we) the petitioner(s) do hereby appoint _____ as my (our) duly authorized agent to represent me (us) in regard to this petition.

PETITIONER SIGNATURE

Note: Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of (**current**) owner to Transfer the Special Use Permit.



SIGNATURE OF OWNER

Information sheet to be attached to all requests for Transfer of Special Permit

Type of Operation: (Select One)

Individual

Partnership

Corporation

LLC

INDIVIDUAL:

Name & address _____

Telephone number & email address _____

Business name/address/phone _____

Copy of fictitious name registration, if applicable _____

PARTNERSHIP:

Name & address of partner (s) _____

Telephone number(s) and email address (s) _____

Business name/ address /phone _____

Copy of fictitious name registration, if applicable _____

CORPORATION OR LLC:

Name & address of all corporate officers GLENN TRAVERS

785 ST PAUL RD WILDWOOD MO 63021

Telephone numbers & email addresses 314-960-4175 GMTAUTO@YAHOO.COM

Business name/address/phone TRAVERS AUTO PLAZA INC 1285 N HWY 67 314-737-5617

Photocopy of Corporation/LLC Articles and Certificate _____

Date of incorporation/LLC AUGUST 25, 2020

Copy of fictitious name registration, if applicable

Copy of latest Missouri Anti-Trust affidavit (annual registration of corporate officers)

TRANSFER OF SPECIAL USE PERMIT

The undersigned hereby acknowledges receipt of a copy of Ordinance
Number 8607 which previously authorized a Special Use Permit:

TO: TRAVERS AUTO PLAZA INC

FOR: AUTO SALES

Located at: 1285 N HWY 67

and agree to the terms and conditions listed in said ordinance and to any
additional term and conditions that the City Council shall deem appropriate.

GLENN TRAVERS

PRINT - NAME OF APPLICANT



SIGNATURE OF APPLICANT

1 INTRODUCED BY COUNCILMAN HENKE
2 MARCH 9, 2020

3
4 BILL NO. 9591

ORDINANCE NO. **8607**

5
6 **ORDINANCE AUTHORIZING A TRANSFER SPECIAL USE PERMIT**
7 **NO. 8463 AS AMENDED FROM TOP GEAR AUTO LLC TO THE**
8 **HERTZ CORPORATION TO ALLOW FOR AN AUTO RENTAL**
9 **BUSINESS LOCATED AT 1285 N. HWY 67.**

10
11 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of an auto
13 rental business; and

14 WHEREAS, Enterprise Leasing Company of St. Louis was granted Special Use Permit
15 no. 5291 in November of 1991 for the location of an auto leasing business located at 1285 N.
16 Hwy 67, and

17 WHEREAS, ordinance no. 5291 was amended in June of 1992 by ordinance no. 5358 to
18 allow for a redesign of the parking lot layout for 1275 & 1285 N. Hwy 67; and

19 WHEREAS in August of 1992 Enterprise leasing was granted Special Use Permit no.
20 5383 for the installation and maintenance of a pole sign; and

21 WHEREAS In March of 1993 ordinance no. 5291 as amended, was further amended by
22 ordinance no 5476 to allow for the relocation of customer parking; and

23 WHEREAS in January of 2000, Ordinance no. 6365 was passed to transfer ordinances
24 5291, 5358, 5383 and 5476 From Enterprise Leasing to Elite Car Sales Inc.; and

25 WHEREAS In July of 2013, ordinance no. 7978 was passed to transfer ordinance no
26 5291 as amended and transferred to Hertz Car Sales LLC; and

27 WHEREAS In October of 2018, ordinance no. 8463 was passed to transfer Special Use
28 No. 7978 from Hertz Car Sales to Top Gear Auto LLC; and

29 WHEREAS, an application has been The Hertz Corporation to transfer the Special Use
30 Permit authorized by Ordinance No. 8463 to its name; and

31 WHEREAS, the City Council of the City of Florissant determined at its meeting on
32 March 9th, 2020 that the business would be operated in substantially identical fashion as set out
33 herein; and

34 WHEREAS, The Hertz Corporation has accepted the terms and conditions set out in
35 Ordinance No. 8463.

36

37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

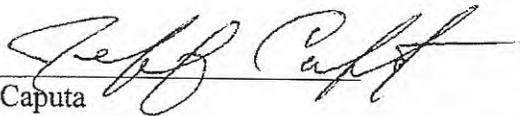
Section 1: The Special Use Permit authorized by Ordinance No. 8463 is hereby transferred from Top Gear Auto LLC to The Hertz Corporation to allow for an auto rental business located at 1285 N. Hwy 67.

Section 2: The terms and conditions of said Special Permit authorized by Ordinance No. 8463 shall remain in full force and effect.

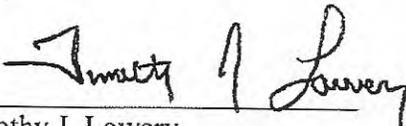
Section 3: The Special Use Permit herein authorized shall terminate if the said business ceases operation for a period of more than ninety (90) days.

Section 4: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this 19 day of March, 2020.


Jeff Caputa
Council President

Approved this 20 day of March, 2020.


Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

STATE OF MISSOURI



John R. Ashcroft
Secretary of State

CERTIFICATE OF INCORPORATION

WHEREAS, Articles of Incorporation of

Travers Auto Plaza, Inc.

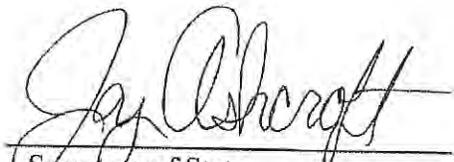
001379927

have been received and filed in the Office of the Secretary of State, which Articles, in all respects, comply with the requirements of General and Business Corporation Law

NOW, THEREFORE, I, John R. Ashcroft, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do hereby certify and declare this entity a body corporate, duly organized this date and that it is entitled to all rights and privileges granted corporations organized under the General and Business Corporation Law.

Effective Date: August 25, 2020

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, the 25th day of August, 2020.


Secretary of State





State of Missouri
John R. Ashcroft Secretary of State
 Corporations Division
 PO Box 778 / 600 W.Main St., Rm. 322
 Jefferson City, MO 65102

001379927
 Date Filed: 08/25/2020
 John R. Ashcroft
 Missouri Secretary of State

Articles of Incorporation for a General Business For Profit Corporation

Reference Number SR104444

Receipt Number TR294562

Article One

The name of the corporation is: Travers Auto Plaza, Inc.

Article Two

The registered agent's name is: Glenn M Travers

The address, including street and number for the registered agent's office in the state of Missouri is:
 225 N. Hwy 67, Florissant, Missouri, 63031, United States

Article Three

The Capital of shares owned by the Organization:

\$30,000

Classes and values of shares as listed in form

Share Class: Common

Number of Authorized Shares: 30,000

Share par Value:

\$1

State the preferences, qualifications, limitations, restrictions and the special or relative rights including convertible right, if any, in respect of the share of each class:

Article Four

The name and physical business or residence address of each incorporator:

Name	Address	City/State/Zip
Glenn M Travers	225 N. Hwy 67	Florissant, Missouri, 63031

Article Five

The number of years the corporation is to continue or perpetual:

Perpetual

Article Six

The corporation is formed for the following lawful purpose(s):

The purpose for which the corporation is organized is to engage or transact any lawful business for which a corporation may be organized under Chapter 351 of the Revised Statutes of Missouri, General and Business Corporation Law of Missouri, including but not limited to the sale of used motor vehicles, of all kinds, descriptions, makes and models, at retail and/or at wholesale, as a duly licensed dealer.

Article Seven

The number of directors to constitute the board of directors:

1

The effective date of this document is the date it is filed by the Secretary of State of Missouri unless a future date is otherwise indicated:

8/25/2020

In Affirmation thereof, the facts stated above are true and correct:

The undersigned believes the statements presented in this filing are true and correct to the best of their knowledge and belief, they are subject to the penalties provided under section 575.040 RSMo. for making a false declaration under Section 575.060 RSMo

The undersigned agrees and represents that he/she is authorized to execute this document

Name Glenn M Travers

Title Incorporator

Date 08/25/2020

If you do not understand it, consult your attorney.
The text of this form may not be altered in any manner
without written acknowledgement of all parties.

Approved by Counsel for St. Louis REALTORS
and by the Bar Association of Metropolitan St. Louis,
To be used exclusively by REALTORS
and members of the Bar Association of Metropolitan St. Louis.

Form # 2043 01/20

SPECIAL SALE CONTRACT

DATE: August 20, 2020

Note: This contract does not have many clauses protecting Buyers included in the Residential Sale Contract, Form #2090. It should normally be used only for the sale of property without provision for building, termite, environmental, gas, municipal, insurability, and other inspections. Regardless of whether Seller's Disclosure Form is to be provided, Seller is still obligated to comply with Federal and State laws which require disclosure of certain defects, hazardous conditions and adverse material facts.

1. PARTIES AND PROPERTY.

MISSION HILLS DEVELOPMENT COMPANY, INC., Buyer(s), agrees to purchase from the undersigned Seller, the following real property in the municipality of (if incorporated), Florissant, County of St. Louis, Missouri (legal description on Seller's title to govern) being all the real property Seller owns at said address: 1285 N. HWY 67 (#08J531066) containing 1.020+/- SF building on approx .73 acres.

2. INCLUSIONS AND EXCLUSIONS.

The purchase price includes all existing improvements on the property (if any) and appurtenances, fixtures and equipment (which Seller guarantees to own free and clear) including:

Note: To avoid any misunderstanding, the parties are urged to list as "included" or "excluded" any items which may be subject to question or unclear as to being considered a "fixture" such as electronic equipment. The purchase price includes all existing improvements on the property (if any) and appurtenances, fixtures and equipment (which Seller guarantees to own free and clear) including:

In addition, the following items are included: _____

The following items are excluded: _____

3. PURCHASE PRICE.

\$ 303,700.00 is the total purchase price to be paid as follows:

\$ 5,000.00 earnest money (\$0 if none stated) (check one) received for delivery to OR to be delivered to St. Louis Title, LLC 7701 Forsyth, Ste 200, Clayton MO 63105 escrow agent within _____ days (3 days if none stated) after "Acceptance Deadline" date. Selling broker to be escrow agent if none specified above.

\$ _____ additional earnest money (\$0 if none stated) to be delivered to escrow agent within _____ days after the "Acceptance Deadline" date (15 days if none stated) or _____

The balance, including any adjustments set forth in this contract, less, any amount of Seller financing or of Seller's loan being assumed as stipulated in this contract, if applicable, is to be paid at Closing, by cashier's check, wire transfer or any form acceptable to Closing agent.

4. METHOD OF FINANCING.

Note: If Buyer's lender or Closing agent cannot fulfill their obligations under the Dodd-Frank Wall Street Reform and Consumer Protection Act and the regulations promulgated by the Consumer Financial Protection Bureau, it may be necessary for the Buyer to request Seller to agree to an extension of the Closing Date.

Not Contingent Upon Financing. This contract is not contingent upon financing; however, Buyer reserves the right to finance any portion of the purchase price.

Contingent Upon Financing. Buyer agrees to do all things necessary, including, but not limited to the execution of a loan application and other instruments, the payment to the lender of the credit report, appraisal and any other required fees, and to otherwise cooperate fully in order to obtain the financing described below. If Buyer does not deliver written notice, provided by Buyer's lender, to Seller or listing broker, of Buyer's inability to obtain a loan approval on the terms described below on or before _____ (or 30 days after the "Acceptance Deadline" date if none stated) (the Loan

DS

BUYER BUYER

Initials BUYER and SELLER acknowledge they have read this page _____ / _____
SELLER SELLER

Contingency Date) then this condition shall be deemed waived and Buyer's performance under this contract shall thereafter not be conditioned upon Buyer's obtaining financing. If lender will not give Buyer such written notice then Buyer may directly notify Seller or listing broker (on or before the Loan Contingency Date) by providing a notarized affidavit that Buyer has complied with all of the terms of this paragraph and that despite request, Buyer was unable to obtain such written notice from lender. If Buyer has complied with the terms of this paragraph and has timely provided written notice to Seller or listing broker of Buyer's inability to obtain the loan approval, then this contract shall be terminated with earnest money to be returned to Buyer, subject to paragraph 12.

Note: If Loan Contingency Date passes without written notice as outlined above, Buyer remains obligated under this contract. Therefore, Buyer should be certain that he will have the funds to close. If Buyer's performance under this contract is to be independently conditioned upon the property appraising at a specified value, then Buyer should complete and attach to this contract an appropriate appraisal rider.

Loan amount: _____ % of the purchase price OR \$ _____
Initial interest rate not to exceed: _____ %. Amortization term: _____ years.
Other terms (none if blank): _____
LOAN TYPE: (Check applicable) Conventional FHA VA Other: _____
RATE TYPE: (Check applicable) Fixed Rate Adjustable Rate Other: _____

Seller agrees to pay, at Closing, a cost not to exceed _____ % of purchase-price OR \$ _____ (\$0 if none stated) towards Buyer's closing costs, prepaids, points and other fees allowed by lender.

5. CLOSING AND POSSESSION.

The "Closing" is the exchange of the Seller's deed for the total purchase price. The Closing of this sale shall take place on September 25, 2020 or any other date that both parties agree in writing. Buyer will close at St. Louis Title LLC, the title company which provides title insurance. Regardless of who closes for Buyer, Seller may close at the title company of Seller's choice. Note: If the Seller does not close at the same title company as the Buyer, or the Seller's choice of title company does not have a common underwriter with the Buyer's title company, then the Seller will be required to sign a Notice of Closing or Settlement Risk acknowledging that their settlement funds are not protected by the title insurance underwriter. Title will pass when the sale is closed. Seller to deliver possession of the property and keys to Buyer no later than (check one only): Closing OR _____ m (time) of _____ (date) but in no event prior to Closing as defined above. All parties agree to sign Closing documents at a time that facilitates this possession. Note: If possession is to be delivered on a day other than Closing, as defined above, parties should complete the appropriate rider. Deed as directed by Buyer. Except for tenants lawfully in possession, Seller warrants that the property will be vacant and free of personal property (except as otherwise provided herein) and debris, at time of possession and delivered to Buyer in its same condition (together with any improvements or repairs required by this contract), ordinary wear and tear excepted, as it was on the date of this contract. Buyers should change locks and codes following possession. Buyer and Seller authorize title company and/or Closing agent to release to broker(s) signed copies of the Closing statements. Note: Parties are cautioned to always call to confirm instructions before sending any Funds via wire transfer.

6. TITLE AND SURVEY.

Seller shall transfer title to Buyer by general warranty deed (or fiduciary deed, where applicable), subject to the following: a) zoning regulations; b) leases and occupancy of tenants existing on the date contract is executed by Buyer and disclosed to Buyer in writing before execution of contract by Buyer; c) general taxes payable in the current year and thereafter; d) any lien or encumbrance created by or assumed by Buyer in writing or any easement accepted by Buyer in writing; e) subdivision, use and other restrictions, rights of way and utility easements, all of record, which do not adversely affect the use of the property as it exists for residential purposes at the time of the contract.

Check applicable box (whether "Seller to Order, Provide and Purchase Title" or "Buyer to Order, Provide and Purchase Title").

Seller to Order, Provide and Purchase Title. Note: Any Seller paid title costs set forth below are in addition to any Seller paid costs in Paragraph 4.
Not later than _____ days (5 days if none stated) after the "Acceptance Deadline" date, Seller will order a commitment for title insurance to be provided to the Buyer for both an Owner's policy of title insurance and for a lender's policy of title insurance (if required by lender) in the latest ALTA form including mechanics lien coverage from the title company selected in paragraph 5. Seller and Buyer authorize and direct the title company to furnish this commitment to the selling and listing broker. Seller shall pay for the title insurance (including title premium and title service charges), at Closing, at a cost not to exceed \$ _____. Buyer to pay title cost exceeding this amount.

Buyer to Order, Provide and Purchase Title.
Buyer may, at Buyer's option and expense, order a title examination and commitment to issue an Owner's and/or lender's policy of title insurance in the latest ALTA form including mechanics lien coverage from the title company specified in paragraph 5.

Note: This should be ordered promptly after contract acceptance in order to allow sufficient time to obtain and review documents, and, if necessary, object to defects that may be discovered.

DS

BUYER BUYER

Initials BUYER and SELLER acknowledge they have read this page

SELLER SELLER

08703564

Buyer may, at Buyer's option and expense, order a Boundary Survey and Improvement Location ("stake survey") or a Surveyor's Real Property Report (SRPR) of the property to determine if there are any defects, encroachments, overlaps, boundary line or acreage discrepancies, or other matters that would be disclosed on a survey.

Note: A "stake survey" is generally required in order to obtain full survey coverage in an Owner's policy of title insurance. A SRPR may or may not disclose all of the defects involving such matters as encroachments, overlaps, boundary line or acreage discrepancies.

If any defects are discovered as a result of the title examination, title commitment, or the survey, and if Buyer chooses to act on this contingency, Buyer shall within 25 days (25 days if none stated) after the "Acceptance Deadline" date, furnish a copy of the document evidencing the defect to Seller or listing broker stating, in writing, any title or survey defects that are 1) unacceptable to Buyer; 2) not listed above; and 3) adversely affect the use of the property as it exists for residential purposes at the time of the contract. Failure by Seller or listing broker to receive such objections to title or survey within such time will constitute a waiver by Buyer of any objections to the title so long as Buyer is able to obtain at Closing, an Owner's title insurance policy in the latest ALTA form including mechanics lien coverage. If Buyer does timely object to any title or survey defects, Seller has five (5) days from receipt of Buyer's notice of objection by Seller or listing broker, to agree in writing to correct the defects prior to Closing at Seller's expense. If Seller does not so agree, this contract is terminated unless Buyer, within two (2) additional days, agrees in writing to accept the title and survey "as is". If the contract is terminated in accordance with the provisions of this paragraph, Buyer's earnest money is to be returned, subject to paragraph 12 and Seller agrees to reimburse Buyer's cost to pay for title, survey, inspection(s) and appraisal. Seller shall be responsible for clearing any defects that arise between the date of the contract acceptance and Closing.

Note: Easements, subdivision indentures, and government regulations may affect Buyer's intended use of the property. Construction of improvements (for example: a room addition, fence or swimming pool), non-residential use of the property (for example: use of a room for a business), or the right to keep certain vehicles or animals on the property, all may be affected. Buyer is advised to review all easements, government regulations, and subdivision indentures before making an offer to purchase the property if he plans these or similar uses. If Buyer requires assistance in reviewing easements, surveys, indentures, or other matters affecting title or use of the property, Buyer should consult an attorney.

7. FRANCHISE DISCLOSURE.

Although one or more of the Brokers may be a member of a franchise, the franchisor is not responsible for the acts of said Broker(s).

8. ADJUSTMENTS AND CLOSING COSTS.

Adjustments, charges, and Closing costs are agreed to be paid by the parties (subject to Rider #2135fha or #2135va and current FHA and VA regulations) as follows:

Buyer shall pay for (where applicable):

- hazard insurance premium(s) and flood insurance premium, if required by lender;
- survey and title company charges (for example: Closing, recording, escrow, wire and closing protection letter fees) customarily paid by Buyer, subject to paragraph 8;
- any charges imposed by lender (for example: appraisal and credit report fees, loan discount points, loan origination fees, funding fees, and other loan expenses), unless specifically agreed to be paid by Seller;
- building, termite, and environmental inspections;
- the fair market value of any heating oil or propane gas in tank(s) on the property at Closing, based on supplier's current charges;
- real estate compensation to broker per separate written agreement;
- municipal occupancy permit; and
- agreed upon repairs.

Seller shall pay for (where applicable):

- existing loans on property (if not assumed by Buyer);
- any expenses of Buyer's loan agreed to in paragraph 4;
- title company charges (for example: Closing, release, escrow, wire and closing protection letter fees) customarily paid by Seller, subject to paragraph 8;
- municipal, Conservation District and fire district inspection fees;
- special taxes and special assessments levied before Closing; and
- real estate compensation to broker per separate written agreement; Seller authorizes selling portion of commission to be paid directly to selling broker; and
- agreed upon repairs.

Buyer and Seller shall have prorated and adjusted between them on the basis of thirty (30) days to the month as of the date of Closing (Seller to pay for last day):

- current rents whether collected or not by Seller (Seller to receive rent for day of Closing); rents which are delinquent over thirty (30) days to be collected by Seller and not adjusted;
- general taxes (based on assessment and rate for current year, if both are available, otherwise based on previous year);
- district improvement assessments for current year; Buyer to pay thereafter;
- subdivision upkeep assessments and monthly condominium fee;
- interest (when Buyer assumes existing loan); and
- flat rate utility charges (including water, sewer, and trash).

DS

BUYER BUYER

Initials BUYER and SELLER acknowledge they have read this page

SELLER SELLER

9. LOSS.

Risk of loss to the improvements of the property shall be borne by the Seller until title is transferred. If any improvements covered by this contract are damaged or destroyed, Seller shall immediately notify Buyer or selling broker in writing of the damage or destruction, the amount of insurance proceeds payable, if any, and whether Seller intends to restore the property prior to Closing, to its condition at the time of the contract. In the event Seller restores the property to its prior condition before scheduled Closing, and provides Buyer with proof of the repairs, Buyer and Seller shall proceed with Closing. In the event the property is not to be restored to its prior condition by the Seller before Closing, Seller shall immediately provide Buyer or selling broker with a copy of any policies of insurance, the name and number of the agent for each of said policies, and written authorization (if needed) for Buyer to communicate with the insurer. Buyer may either a) proceed with Closing and be entitled to the amount of insurance proceeds relating to real property improvements, if any, payable to Seller under all policies insuring the improvements plus receive a credit from the Seller at Closing in an amount equal to the deductible not covered by insurance, or b) terminate the contract, thereby releasing all parties from liability hereunder. If all of the aforementioned insurance information is received by the Buyer or selling broker more than ten (10) days prior to the scheduled Closing date, Buyer is to give written notification to Seller or listing broker as to his election of (a) or (b) above within ten (10) days after the Buyer or selling broker's receipt of such information; and if not received by Buyer or selling broker more than ten (10) days prior to the scheduled Closing date, Buyer may, at Buyer's option and by written notice to Seller or listing broker, extend the Closing date up to ten (10) days during which time Buyer may make his election as to (a) or (b) above. Failure by Buyer to notify Seller shall constitute an election to terminate the contract. If the contract is terminated in accordance with the provisions of this paragraph, Buyer's earnest money is to be returned, subject to paragraph 12. Seller agrees to reimburse Buyer's cost to pay for title, survey, inspection(s) and appraisal.

10. ASSIGNABILITY OF CONTRACT.

This contract is assignable by Buyer, but not without the written consent of Seller if: a) Seller is taking back a note and deed of trust as part of the purchase price, or b) Buyer is assuming the existing note. Assignment does not relieve the parties from their obligations under this contract.

11. MISCELLANEOUS PROVISIONS.

Time is of the essence in the performance of the obligations of the parties. All references to a specified time shall mean Central Time. This contract shall be binding on and for the benefit of the parties and their respective heirs, personal representatives, executors, administrators or assigns. This contract shall be considered a contract for the sale of real property and shall be construed in accordance with the laws of the State of Missouri. This contract constitutes the entire agreement between the parties hereto and there are no other understandings, written or oral, relating to the subject matter hereof. The contract may not be changed, modified or amended, in whole or in part, except in writing signed by all parties.

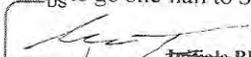
12. EARNEST MONEY.

Buyer and Seller agree that the earnest money received by the escrow agent in connection with this contract shall be deposited within ten (10) banking days after the "Acceptance Deadline" date. Additional earnest money, if applicable, is to be deposited by escrow agent within ten (10) banking days after receipt. Any earnest money received within ten (10) banking days prior to the scheduled Closing date, shall be in the form of a cashier's check or any other form acceptable to the escrow agent. If sale is closed, earnest money to apply to the purchase. If any earnest money is being returned to Buyer, Buyer agrees that any expenses for services requested by Buyer may be withheld by escrow agent and paid to the applicable service provider(s). In the event of a dispute over any earnest money held by the escrow agent, the escrow agent shall continue to hold said deposit in its escrow account until: 1) escrow agent has a written release from all parties consenting to its disposition; or 2) until a civil action is filed to determine its disposition (at which time payment may be made into court, and in such event, court costs and escrow agent's attorney fees will be paid from earnest money); or 3) until a final court judgment mandates its disposition; or 4) as may be required by applicable law. The parties specifically acknowledge and agree that whenever ownership of the earnest money or any other escrowed funds, received by a Missouri licensed real estate broker, is in dispute between the parties, said broker is required by Missouri Statute, Section 339.105.4 RSMo to report and deliver the monies to the State Treasurer within 365 days of the initial projected Closing date. Broker shall not report and deliver any such monies to the State Treasurer until at least sixty (60) days after the initial projected Closing date.

Note: An escrow agent who is not a licensed real estate broker is not bound by Missouri statutes and regulations which apply to earnest money deposits. If the escrow agent is not a licensed broker, the parties are urged to have the escrow agent agree in writing to be bound by the provisions of this contract before being named as the escrow agent.

13. REMEDIES.

If either party defaults in the performance of any obligation of this contract, the party claiming a default shall notify the other party in writing of the nature of the default and his election of remedy. The notifying party may, but is not required to, provide the defaulting party with a deadline for curing the default. If the default is by Buyer, Seller may either accept the earnest money as liquidated damages and release Buyer from the contract (in lieu of making any claim in court), or may pursue any remedy at law or in equity. If Seller accepts the earnest money, it shall be divided as follows: expenses of broker and Seller in this transaction will be reimbursed, and balance to go one-half to Seller, and one-half divided equally between listing broker and selling broker (if working


BUYER BUYER

Initials BUYER and SELLER acknowledge they have read this page

SELLER SELLER

08703564

216 as subagent of Seller) in lieu of commission on this contract. If the default is by Seller, Buyer may either release Seller from liability
217 upon Seller's release of the earnest money and reimbursement to Buyer for all direct costs and expenses, as specified in Buyer's notice
218 of default (in lieu of making any claim in court), or may pursue any remedy at law and in equity, including enforcement of sale.
219 Buyer's release of Seller does not relieve Seller of his liability to brokers under the listing contract. In the event of litigation between
220 the parties, the prevailing party shall recover, in addition to damages or equitable relief, the cost of litigation including
221 reasonable attorney's fee. This provision shall survive Closing and delivery of Seller's deed to Buyer.

222 **14. FOREIGN INVESTMENT IN REAL PROPERTY TAX ACT (FIRPTA).**

223 Seller represents that it is not a foreign person as described in the Foreign Investment in Real Property Tax Act [26 U.S.C §1445]
224 and agrees to deliver a certificate at Closing to that effect which contains Seller's tax ID number or Green Card.

225 **15. CONSTRUCTION.**

226 Words and phrases shall be construed as in the singular or plural number, and as masculine, feminine or gender neutral, according
227 to the context. When the term "listing broker" is used, it refers to one of the following: a) a broker working for the Seller under an
228 agency listing contract; or b) a broker assisting the Seller as a transaction broker, whichever is appropriate. When the term "selling
229 broker" is used, it refers to one of the following: a) a broker working for the Buyer under a buyer's agency agreement; b) a broker
230 assisting the Buyer as a subagent of the Seller; or c) a broker assisting the Buyer as a transaction broker, whichever is appropriate.
231 The term "broker" shall include the broker's affiliated licensees (referred to as "salespeople"). With the exception of the term
232 "banking days" as used in paragraph 12, a day is defined as a 24-hour calendar day, seven (7) days per week.

233 **16. FLOOD PLAIN.**

234 Buyer may terminate this contract if any portion of the property is located in a designated 100-year flood plain unless disclosed to
235 Buyer in writing prior to contract. If terminated, earnest money to be returned to Buyer, subject to paragraph 12. Failure by Buyer
236 to terminate within 10 days of actual knowledge of 100-year flood plain, or by Closing, whichever occurs first, shall be deemed a
237 waiver by Buyer of this contingency.

238 **17. ACCESS, FINAL WALK-THROUGH AND UTILITIES.**

239 Upon reasonable advance notice to Seller or listing broker, Seller agrees to provide access for appraiser(s) and other professionals
240 as may be provided for in the contract or required by Buyer's lender or insurer. Buyer and selling broker may be present. Seller
241 grants Buyer and selling broker the right to enter and walk-through the property and the right to have utilities turned on or
242 transferred, at Buyer's expense, within four (4) days prior to Closing. This right is for the Buyer to see that the property is in the
243 same condition, ordinary wear and tear excepted, as it was on the date of this contract. The Closing does not relieve Seller of his
244 obligation to complete improvements and repairs required by this contract.

245 **18. SPECIAL AGREEMENTS.**

246 Special agreements and Riders between Buyer and Seller forming a part of this contract: _____
247 As a condition of Buyer purchasing the Property, the Seller agrees to cooperate with the Buyer and transfer
248 the Special Use Permit to the Buyer on or before Closing.
249 Within 2 days from the Acceptance Deadline, Seller will provide a copy of the most recent survey and
250 appraisal.

251 _____
252 Seller to pay a commission at Closing of 6% of the purchase price splitting equally between the Brokers.

- 253 Special Sale Inspection Rider (Form #2184) Short Sale Rider to the Sale Contract (Form #2176)
254 Other # _____ Other # _____

255 **19. SQUARE FOOTAGE AND LOT SIZE DISCLOSURE.**

256 Broker is not an expert in measuring and does not measure the total square footage or lot size of the property. To the extent that
257 Broker provides or shares information about the property, the information comes from one or more other sources, is only an
258 approximation and is not verified by Broker. There may be differing standards used in Missouri for measuring total square footage
259 of property, and the available information about total square footage can vary depending upon the source, the measurement
260 standard that was used and the date of measurement. One source for total square footage is public information from the county
261 assessor's office, but the county assessor's office does not warrant the accuracy of the information and neither does Broker. If you
262 wish to have verifiable and accurate information about the total square footage of the property, you should retain a qualified
263 professional appraiser to measure the property according to the measurement standard that the appraiser deems appropriate. The
264 price per square foot for any property is a calculation based upon, among other things, total square footage, so price per square
265 foot also is only an approximation and is subject to the same uncertainties and limitations described in this paragraph. If you wish
266 to have verifiable and accurate information on lot size you should retain a licensed surveyor.

267 **20. SELLER'S DISCLOSURE STATEMENT. (Check one)**


BUYER BUYER Initials BUYER and SELLER acknowledge they have read this page _____ / _____
SELLER SELLER

- 268 Buyer confirms that before signing this offer to purchase, Buyer has read a copy of the Seller's Disclosure Statement for this
- 269 property. The Seller's Disclosure Statement is not a substitute for any inspection that Buyer may wish to obtain. Buyer is
- 270 advised to address any concerns Buyer may have about information in the statement by use of contingencies in the contract.
- 271 Seller agrees to provide Buyer with a Seller's Disclosure Statement within one (1) day after the "Acceptance Deadline" date.
- 272 Buyer shall have three (3) days after the "Acceptance Deadline" date to review said statements and to declare in writing that
- 273 the contract is terminated and the earnest money is to be returned to Buyer, subject to paragraph 12. Otherwise, this
- 274 contingency shall be deemed as waived by Buyer.
- 275 No Seller's Disclosure Statement will be provided by Seller.

By his signature, Seller confirms that the information in the Seller's Disclosure Statement is accurate as of the date of this contract. Seller will fully and promptly disclose in writing any new material information pertaining to the property that is discovered at any time prior to Closing. Seller states that if Seller knows or should have known that the property was a lab, production or storage site for methamphetamine, or was the residence of a person convicted of crimes related to methamphetamine, Seller will attach a written explanation.

Note: The Seller's Disclosure Statement is not in any way incorporated into the terms of this contract.

21. **RELATIONSHIPS AND COMMUNICATION DISCLOSURES.**

Buyer and Seller confirm that disclosure of the licensee's relationship was made no later than the first showing of the property, upon first contact, or immediately upon the occurrence of a change to the relationship.

Note: Under MREC Rules and Regulations, one box must be checked in each of the following two sections by the Selling Licensee.

Licensee assisting Seller is a: (Check appropriate box)

- Seller's Agent: Licensee is acting on behalf of the Seller.
- Buyer's Agent: Licensee is acting on behalf of the Buyer.
- Dual Agent: Licensee is acting on behalf of both Seller and Buyer.
- Designated Agent: Licensee has been designated to act on behalf of the Seller.
- Transaction Broker Assisting Seller: Licensee is not acting on behalf of either Seller or Buyer.

Licensee Personal Interest Disclosure: (Complete only if applicable)

_____ (insert name of licensee) is a real estate broker or salesperson licensed in the state of _____ and is (Check one or more, as applicable)
 a party to this transaction; a principal of and/or has a direct or indirect ownership interest with Seller Buyer; and/or
 an immediate family member of Seller Buyer Other Specify: _____

Licensee assisting Buyer is a: (Check appropriate box)

- Buyer's Agent: Licensee is acting on behalf of the Buyer.
- Seller's Agent: Licensee is acting on behalf of the Seller.
- Dual Agent: Licensee is acting on behalf of both Buyer and Seller.
- Designated Agent: Licensee has been designated to act on behalf of the Buyer.
- Transaction Broker Assisting Buyer: Licensee is not acting on behalf of either Buyer or Seller.
- Subagent of Seller: Licensee is acting on behalf of the Seller.

Licensee Personal Interest Disclosure: (Complete only if applicable)

_____ (insert name of licensee) is a real estate broker or salesperson licensed in the state of _____ and is (Check one or more, as applicable)
 a party to this transaction; a principal of and/or has a direct or indirect ownership interest with Seller Buyer; and/or
 an immediate family member of Seller Buyer Other Specify: _____

Sources of compensation to Broker(s), including commissions and/or other fees: Seller Buyer

DS

 BUYER BUYER

Initials BUYER and SELLER acknowledge they have read this page

SELLER SELLER

0870 3564

311 Buyer and Seller acknowledge that they have received and read the Missouri Real Estate Commission Broker Disclosure Form.
312 By signing below, the licensees confirm making disclosure of the brokerage relationship to the appropriate parties.
313 All Parties agree that this transaction can be conducted by electronic/digital signatures, according to the Uniform Electronic
314 Transaction Act as adopted by the state Missouri.

315 Cornerstone Commercial Realty, Inc.
316 Brokerage Firm Name Assisting Buyer

NAI Desco
Brokerage Firm Name Assisting Seller

317 Broker's Firm State License ID#: _____
DocuSigned by:

Broker's Firm State License ID#: _____

318 By (Signature): Jason Morgan
5AFB31C8D1A7421...

By (Signature): _____

319 Printed Name: _____

Printed Name: _____

320 Licensee State License ID#: _____

Licensee State License ID#: _____

321 Date: _____ MLS ID: _____

Date: _____ MLS ID: _____

322 OFFER to be accepted by Seller by: _____ 5:00 p m of _____

August 21, 2020

323 Jason Morgan 8/20/2020
DocuSigned by:

324 BUYER SIGNATURE _____ DATE

BUYER SIGNATURE _____ DATE

325 _____
326 Buyer Printed Name

Buyer Printed Name

327 SELLER ACCEPTS THE TERMS SET FORTH IN THIS CONTRACT.

328 _____
329 SELLER SIGNATURE _____ TIME and DATE

SELLER SIGNATURE _____ TIME and DATE

330 _____
331 Seller Printed Name

Seller Printed Name

332 OR _____ (initials) WE REJECT THIS OFFER AND MAKE A COUNTEROFFER.
333 (use Form #2164 Sale Contract Counteroffer Form).

334 OR _____ (initials) WE REJECT THIS OFFER.

335 Note: Unless otherwise agreed in writing, "Acceptance Deadline" is defined as the date for acceptance which was provided to
336 the last party whose signature resulted in a contract (even if that signature was obtained before the deadline).

INTRODUCED BY COUNCIL AS A WHOLE
SEPTEMBER 28, 2020

RESOLUTION NO. 1018

**A RESOLUTION ENDORSING THE ST. LOUIS AUDUBON SOCIETY'S BRING
CONSERVATION HOME PROGRAM**

WHEREAS, the intent of the Zoning Code's Landscaping Design Standards is to promote the use of Missouri native plants that are more adaptable to the local climate extremes, are drought tolerant, low maintenance, and thus provide a sustainable, ecologically balanced environment; and

WHEREAS, the City recognizes that many landowners are interested in creating and maintaining landscapes that encourage the preservation, restoration, and management of native plant communities and wildlife habitats within City limits; and

WHEREAS, the City supports the Bring Conservation Home Program, which is an urban land habitat restoration assistance and certification program coordinated by the St. Louis Audubon Society. The Certification Program supports the restoration of native plant and animal habitat on urban properties by encouraging sustainable plantings, removal of invasive plant species and promotion of healthy habitat for birds, pollinators, and native wildlife; and

WHEREAS, the City supports the goal of the Bring Conservation Home Certification Program to address native and non-native invasive plants, water conservation, and stewardship practices for the benefit of animals, birds, butterflies, and people; and

WHEREAS, the City understands that the program is a voluntary, property owner paid-for-certification program for small, private landowners in the St. Louis area; and

WHEREAS, there are no costs to the City of Florissant and residents voluntarily participating in the program will receive the service for a reduced fee of \$30 (normally \$60). The fee covers the landowner's participation and one year support from the St. Louis Audubon Society. The fee includes one initial site assessment and consultation visit plus one optional follow-up certification visit; and

WHEREAS, the City will publicize the program to residents through the website, city newsletters, and other media outlets as space allows.

NOW THEREFORE, BE IT RESOLVED by the Council of the City of Florissant, Missouri, that the St. Louis Audubon Society's Bring Conservation Home Program be endorsed through this resolution by the City of Florissant, Missouri, with the understanding that this endorsement commits the City of Florissant to take responsibly for marketing the availability of the Bring Conservation Home to its residents. With this endorsement, landowners within City limits will be eligible to participate in the program for a reduced fee.

Passed and approved this 28th day of September 2020.

Keith Schildroth, Council President

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN SIAM
2 SEPTEMBER 28, 2020

3
4 BILL NO. 9623 ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO B-5 ORDINANCE**
7 **NO. 7657, AS AMENDED, TO ALLOW FOR THE REDEVELOPMENT**
8 **OF A NEW BANKING FACILITY FOR THE PROPERTY LOCATED AT**
9 **2895 N. HWY 67.**

10
11 WHEREAS, the City Council passed and approved Ordinance No.7657 which
12 authorized a proposed development at 2895 N. Highway 67; and

13 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
14 recommended to the City Council at their meeting of September 7, 2020 that Ordinance No.
15 7657 to allow for the redevelopment of a new banking facility for the property located at 2895 N
16 Highway 67; and

17 WHEREAS, due and lawful notice of a public hearing no. 20-09-027 on said proposed
18 change was duly published, held and concluded on 28th of September by the Council of the City
19 of Florissant; and

20 WHEREAS, the Council, following said public hearing, and after due and careful
21 deliberation, has concluded that the amendment of Ordinance No. 7657, as hereinafter set forth,
22 to be in the best interest of the public health, safety and welfare of the City of Florissant; and

23
24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

26
27 Section 1: ‘B-5’ Ordinance No. 7657 located at 2895 N. Highway 67 is hereby amended to
28 allow for a new banking facility with the following stipulations:

29
30 **1. PERMITTED USES**

31
32 The use permitted in this B-5 Planned Commercial District shall be limited to a
33 bank facility.

34
35 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

36
37 a. The building shall be limited to a single story building with a total square
38 footage of approximately 3564 square feet. The main building shall not exceed 22
39 feet in height. The building shall be constructed of as depicted on the plans
40 presented: **C1 and C7 dated rev 8/31/20, C6, C7, C8, C9, C13, C14, C15, and C16,**

41 **dated 8/3/20 ~~SUV-1~~, LP-1, LP-2, TP-1 TP-2, Proposed Exterior Elevations dated**
 42 **7/20/20 by Core States Group and New Build Program by ICON pages 1-21 dated**
 43 **Rev 8/4/20.**

44
45 **3. PERFORMANCE STANDARDS**

46
47 Uses within this B-5 Planned Commercial District identified herein shall conform
48 to the most restrictive performance standards as set forth in Article VII of the
49 Florissant Zoning Code.

50
51
52 **5. FINAL SITE DEVELOPMENT PLAN GENERAL CRITERIA**

53
54 The above Final Site Development Plan shall include the following:

- 55
56 a. Location and size, including height of building, landscaping and general use of the
57 building.
- 58
59 b. Gross square footage of building.
- 60
61 c. Existing and proposed roadways, drives, and sidewalks on and adjacent to the
62 property in question.
- 63
64 d. Location and size of parking areas and internal drives.
- 65
66 e. Building and parking setbacks.
- 67
68 f. Curb cut locations.
- 69
70 g. Existing proposed contours at intervals of not more than two (2) feet.
- 71
72 h. Preliminary storm water and sanitary sewer facilities.
- 73
74 I. Identification of all applicable cross-access and cross-parking agreements.

75
76 **6. FINAL SITE DEVELOPMENT PLAN CRITERIA**

77
78 The above Final Site Development Plan shall adhere to the following specific
79 design criteria:

- 80
81 a. Structure Setbacks.
- 82
83 (1) No building, excluding retaining walls and light standards shall be located
84 within forty (40) feet of the right-of-way of North Highway 67.
- 85 (2) The setbacks shall be as approved by the Planning and Zoning Commission.
- 86
87 b. Parking, Loading and Internal Drives Setbacks.

88

- 89 (1) Parking, loading spaces, internal drives and roadways shall be located in
- 90 accordance with the plans attached **C7 dated rev 8/31/20** by Core States Group.
- 91 (2) All of the setbacks depicted on the Preliminary Development Plan are
- 92 approved but may be modified with the approval of the Planning and Zoning
- 93 Commission.

94

95 c. Minimum Parking/Loading Space Requirements.

96

- 97 (1) Parking regulations shall be as required by 405.225 of the Florissant Zoning
- 98 Code, except as otherwise varied herein. There shall be a minimum of 33
- 99 parking spaces. Parking spaces shall comply with the Florissant parking
- 100 requirements.

101

102 d. Road Improvements, Access and Sidewalks.

103

- 104 (1) The Director of Public Works, the Missouri Department of Transportation
- 105 (MODOT) and St. Louis County Department of Highways shall approve any
- 106 new work in the North Highway 67 right-of-way. The property owner shall
- 107 comply with all requirements for roadway improvements as specified by the
- 108 Director of Public Works and MODOT in approving new work.

109

110 e. Lighting Requirements.

111

112 Lighting of the property shall comply with the following standards and

113 requirements:

- 114
- 115 (1) All site lighting shall be as shown in accordance with the lighting plan marked
- 116 **C13, C14, C15, C16, dated 8/3/20** by Core States Group..
- 117 (2) The maximum height of any lights, including base, light fixture and light
- 118 standard, shall be 28 feet above grade.
- 119 (3) All lot lighting shall be directed downward and inward to reduce glare onto
- 120 the adjacent properties and roads.

121

122 f. Sign Requirements.

123

- 124 (1) There shall be one directional sign “E12” located as shown on ICON New
- 125 Build Program drawings 1-21 dated May 4, 2020.
- 126 (2) There shall not be one Post Sign “E4” located as shown on ICON New Build
- 127 Program drawings 1-21 dated May 4, 2020.
- 128 (3) All other signage shall comply with the City of Florissant sign ordinance.

129

130 g. Landscaping and Fencing.

131

- 132 (1) Landscaping shall be in accordance with the landscaping plan marked LP-1,
- 133 LP-2 dated 7/20/20 by Core States Group, except as amended herein.

134 (2) The grass areas and landscaped areas shall have a fully operation underground irrigation
135 system.

136 (3) Any modifications to the landscaping plan shall be reviewed and approved by
137 the Planning and Zoning Commission.

138
139 h. Storm Water.

140 Storm Water and drainage facilities shall comply with the following standards and
141 requirements:
142

143
144 (1) Written approval of any required below ground storm water detention by the
145 Metropolitan St. Louis Sewer District shall be filed with the Department of
146 Public Works.

147
148 (2) The Director of Public Works shall review the storm water plans to assure that
149 storm water flow will have no adverse effect the neighboring properties or
150 roads.

151
152 i. Miscellaneous Design Criteria.

153
154 (1) All applicable parking, circulation, sidewalks, and all other site design features
155 shall comply with the Florissant City Code.

156
157 (2) The minimum yard requirements shall be as shown on the preliminary site
158 plan marked C7 dated 7/20/20 by Core States Group.

159
160 (3) All dumpsters shall be contained within a trash enclosure constructed of
161 material to match the building with gates that are solid metal, metal reinforced
162 vinyl or metal picket type with a maximum spacing of the pickets of 2 inches.
163 The trash enclosure shall be located as shown on the preliminary site plan
164 marked C7 dated 7/20/20 by Core States Group.

165
166 (5) All storm water and drainage facilities shall be constructed, and all
167 landscaping shall be installed, prior to occupancy of the building, unless
168 remitted by the Director of Public Works due to weather related factors.

169
170 (6) All mechanical equipment shall be roof mounted and screened from view by
171 the building parapet walls. All electrical equipment shall be properly screened
172 with landscaping as required by section 405.245 of the Florissant Municipal
173 Code.

174
175 (7) Unless and except to the extent otherwise specifically provided herein, the
176 Final Site Development Plan shall comply and be in accordance with all other
177 ordinances of the City of Florissant.

178
179 **7. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

180 Any changes to the approved plans attached hereto must be reviewed by the Building
181 Commissioner. The Building Commissioner must make a determination as to the extent
182 of the changes per the following procedure:
183

- 184 1. The property owner or designate representative shall submit in writing a request
185 for an amendment to the approved plans. The building commissioner shall
186 review the plans for consistency with the purpose and content of the proposal as
187 originally or previously advertised for public hearing and shall make an advisory
188 determination.
- 189 2. If the building commissioner determines that the requested amendment is not
190 consistent in purpose and content with the nature of the purpose as originally
191 proposed or previously advertised for the public hearing, then an amendment to
192 the special use permit shall be required and a review and recommendation by the
193 planning and zoning commission shall be required and a new public hearing shall
194 be required before the City
195 Council.
- 196 3. If the building commissioner determines that the proposed revisions are
197 consistent with the purpose and content with the nature of the public hearing then
198 a determination of non-necessity of a public hearing shall be made.
- 199 4. Determination of minor changes: If the building commissioner determines that an
200 amendment to the special use permit is not required and that the changes to the
201 plans are minor in nature the Building Commissioner may approve said changes.
- 202 5. Determination of major changes: If the Building Commissioner determines that
203 an amendment to the 'B-5' is not required but the changes are major in nature,
204 then the owner shall submit an application for review and approval by the
205 Planning and Zoning commission.

206
207 **12. VERIFICATION PRIOR TO OCCUPANCY PERMIT**

208 Submit Final Development Plan for approval prior to recording per City Code Section
209 405.135.
210

211 **13. GENERAL DEVELOPMENT CONDITIONS.**

- 212 a. Unless, and except to the extent, otherwise specifically provided herein,
213 development shall be effected only in accordance with all ordinances of the City
214 of Florissant.
215
- 216 b. The Department of Public Works shall enforce the conditions of this ordinance in
217 accordance with the Final Site Development Plan approved by the Planning &
218 Zoning Commission and all other ordinances of the City of Florissant.
219

220
221 **7. PROJECT COMPLETION.**
222

223 Construction shall start within 120 days of the issuance of building permits, and
224 the development shall be completed in accordance of the final development plan
225 within 540 days from start of construction.

226

227

228 Section 3: This ordinance shall become in full force and effect immediately upon its
229 passage and approval.

230

231 Adopted this _____ day of _____, 2020.

232

233

234

235

236

237

238

239

240

241

242

243

244

245

246

247

248

Keith Schildroth
President of the Council

Approved this _____ day of _____, 2020.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

**INTRODUCED BY COUNCIL AS A WHOLE
SEPTEMBER 28, 2020**

BILL NO. 9624

ORDINANCE NO.

AN ORDINANCE REQUESTING THAT ST. LOUIS COUNTY DISTRIBUTE \$47 MILLION OF CARES ACT FUNDS ON A PER CAPITA BASIS TO THE MUNICIPALITIES WITHIN THE COUNTY TO BE USED FOR ELIGIBLE EXPENSES, AUTHORIZING THE MAYOR OF THE CITY OF FLORISSANT, MISSOURI, TO ACCEPT CARES ACT FUNDING AND EXECUTE A MUNICIPALITY RELIEF PROGRAM FUNDING AGREEMENT, AND CONFIRMING AGREEMENT TO INDEMNIFY AND HOLD HARMLESS ST. LOUIS COUNTY FROM SUCH DISTRIBUTION

WHEREAS, the United States Congress enacted the Coronavirus Aid, Relief and Economic Security Act (the “CARES Act”) providing a \$2 trillion economic relief package to provide assistance for American workers, families, and small businesses; to provide assistance to state and local governments; and to preserve jobs for American industry; and

WHEREAS, the State of Missouri received \$1.9 billion from The CARES Act, a portion of which was subsequently distributed in part to Missouri counties proportionally based on population, except those counties that received a direct payment under the CARES Act, along with a recommendation from the Governor that counties that received funds directly from the State of Missouri in turn distribute CARES Act funds to local governments located within their jurisdictions; and

WHEREAS, the US Department of the Treasury distributed funds from the CARES Act proportionally based on 2019 census data directly to certain local governments, including cities and counties with a population greater than 500,000 and to state governments; and

WHEREAS, based on St Louis County’s population, which includes the residents of municipalities located in the County, the County received \$173.5 million directly from the United States Treasury designated to cover necessary expenses incurred due to the public health emergency caused by the COVID-19 pandemic; and

WHEREAS, the US Department of the Treasury has issued eligibility guidelines for use of the CARES Act funds which includes, in part, that payroll expenses for public safety may be presumed to be costs for services substantially dedicated to mitigation or responding to the COVID-19 public health emergency from and after the effective date of the CARES Act from March 27, 2020 thru December 30, 2020 (the “Eligibility Period”); and

WHEREAS, the County Executive has allocated \$47 million for distribution to municipalities for use for eligible expenditures.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT, MISSOURI AS FOLLOWS:

1. The City of Florissant hereby requests a per capita distribution of the above referenced \$47 million allocated by St. Louis County for eligible COVID-19 related expenses.
2. The Mayor of the City of Florissant, Missouri, is hereby authorized to accept Coronavirus Aid, Relief and Economic Security Act (the "CARES Act") funding from and execute a Municipality Relief Program Funding Agreement with St. Louis County, Missouri, for and on behalf of the City of Florissant.
3. Upon receipt of such funds and to the extent thereof, The City of Florissant agrees to indemnify and hold harmless St. Louis County from and against any claims of misuse thereof and repay such funds (or portion thereof) immediately upon notice that the U.S. Treasury Department has made a final determination that such distribution (or portion thereof) was not lawful pursuant to its above referenced guidance or otherwise.
4. This Ordinance shall be in full force and effect from and after its passage and approval.

Adopted this _____ day of _____, 2020.

Keith Schildroth, Council President

Approved this _____ day of _____, 2020.

Timothy J. Lowery, Mayor

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 SEPTEMBER 28, 2020

3
4 BILL NO. 9625

ORDINANCE NO.

5
6 **AN ORDINANCE TO AMEND TITLE II, CHAPTER 245 SECTION**
7 **254.030 “PARK HOURS” OF THE FLORISSANT CITY CODE TO**
8 **ALLOW FOR CHANGES IN PARK HOURS.**
9

10 WHEREAS, with the recommendation of the administration, the City Council feels that
11 amending the park hours is necessary to keep the parks safe and enjoyable for all residents; and
12

13 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
14 COUNTY, MISSOURI, AS FOLLOWS:
15

16 **Section 1:** Section 245.030 “Park Hours” is hereby deleted in its entirety and
17 replaced with a new section to read as follows:
18

19 **Section 245.030 Parks and Facility Hours**
20

- 21 1. James J. Eagan Civic Center, JFK Community center, and Sunset
22 Nature Lodge shall close by 9 p.m., with the exception of a previous
23 approved scheduled event and shall stay open no later than 12 a.m.
24 2. Park hours are dawn until ½ hour after sunset, or ½ hour after the
25 last scheduled ball game on lit fields.
26 3. Tower Court Park is open dawn until 10 p.m.
27

28 Persons are prohibited on park grounds at night one (1) hour after sunset
29 continuing until one (1) hour before sunrise. These hours and regulations are in
30 effect unless previous approval from the Director of Parks and Recreation is
31 given through written request.
32
33

34 **Section 2:** Except as herein amended Section 245 shall remain in full force and
35 effect.

36 **Section 3:** This ordinance shall become in full force and effect immediately upon its
37 passage and approval.

38 Adopted this _____ day of _____, 2020.
39
40

41 _____
42 Keith Schildroth
43 President of the Council
City of Florissant

44
45
46
47
48
49
50
51
52
53

Approved this _____ day of _____, 2020.

Timothy J. Lowery
Mayor, City of Florissant

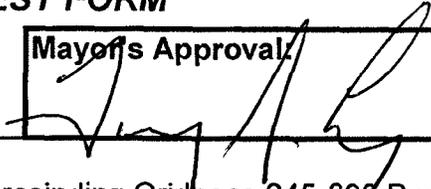
ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: September 23 2020

Mayor's Approval: 

Agenda Date Requested: September 28-2020

Revisions to Ordinance 245.030 Closing Hours and resinding Oridhace 245-390 Park Hours
combining all into ordiance 245.030 Park and Facility Closing Hours

Department: Parks and Recreation

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment	X		

Public Hearing needed: Yes / No

Yes

3 readings? : Yes / No

YES

Back up materials attached:

Minutes	
Maps	
Memo	
Draft Ord.	

Back up materials needed:

Minutes	
Maps	
Memo	
Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

**CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum**

Date: September 23, 2020
To: City Council
Thru: Mayor Timothy J. Lowery
From: Cheryl A. Thompson-Stimage
Subject: Park Closing and Facility hours

7/9, 23, 2020
Cheryl A. Thompson-Stimage
9/23/2020

Attached is the Ordinance that is going to be submitted to the council on September 28, 2020 that will reflect the change in park hours and facility hours. With your approval this will be submitted for passing at that time in 3 readings. I did check with Chief Fagan this morning also and he was in agreement that this will help to resolve any problems that have been arising in the parks.

Please advise if additional information is needed. Thank you for your understanding and consideration on these matters.

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 SEPTEMBER 28, 2020

3
4 BILL NO. 9626

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING TRANSFERS WITHIN VARIOUS PARK**
7 **IMPROVEMENT FUND ACCOUNTS FOR THE PARKS**
8 **DEPARTMENT.**
9

10 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
11 COUNTY, MISSOURI, AS FOLLOWS:
12
13

14 Section 1: There is hereby authorized the following transfers within the Park Improvement Fund
15 to various accounts listed as follows:
16
17

Amount	From Account no.	To Account
\$4000	09-5-09-29460 Building & Grounds-Bangert	09-5-09-29442 Building & Grounds-JJE Pool
\$20,000	09-5-09-33470 Materials & Supplies Parks	09-5-09-29030 Building & Grounds-trees
\$10,000	09-5-09-29470 Park Pavement Repairs	09-5-09-29030 Building & Grounds-trees
\$2,000	09-5-09-52440 Program & Event Expenses - JJE	09-5-09-52440 Program & Event Expenses- Parks
\$10,000	09-5-09-361440 Capital Additions-JJE	09-5-09-61470 Capital Additions -Parks
\$1,000	09-5-09-42450 Travel, Training, Certification – summer camp	09-5-09-43470 Dues & Subscriptions
\$590	09-5-09-50010 Professional Services	09-5-09-44460 Lic, permit, inspections-Bangert pool
\$2000	09-5-09-29460 Building & Grounds-Bangert	09-5-09-29440 Building & Grounds-JJE
\$1000	5-09-24470 Radio & Walkie Maintenance	5-09-24070 Software Purchase & Maintenance
\$3000	5-09-30440 Equipment Repairs & Maintenance- JJE	5-09-29470 Building & Grounds Maintenance

CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum

Date: September 23, 2020

To: City Council

Thru: Mayor Timothy J. Lowery

From: Cheryl A. Thompson-Stimage

Subject: Transfer of Funds – Park Improvement Fund

I am requesting to move money in various accounts to cover additional expenses in various park improvement accounts. The requests are as follows:

- Move \$4,000 from 5-09-29460 Building and grounds – Bangert into 5-09-29442 Building and grounds – JJE Pool.
- Move \$30,000 into 5-09-29030 Building and Grounds – Trees \$10,000 from 5-09-29470 Park Pavement Repairs and \$20,000 from 5-09-33470 Material and Supplies - Parks.
- Move \$2,000 into 5-09-52470 Program and event expenses – Parks from 5-09-52440 Program and event expenses JJE.
- Move \$10,000 into 5-09-61470 Capital Additions Park Improvements Parks for expenses on the Koch Park enhancements from Park due to material and supplies expenses due to a 30% increase in supplies from 5-09-61440 Capital Additions – JJE.
- Move \$1,000 into 5-09-43470 Dues and subscriptions from 5-09-42450 Travel, training cert. – summer camp.
- Move \$590 into 5-09-44460 License, permits and inspections – Bangert Pool from 5-09-50010 Professional Services – Other.
- Move \$2,000 into 5-09-29440 Buildings and grounds – JJE from 5-09-29460 Building and grounds – Bangert.
- Move \$1,000 into 5-09-24070 Software Purchase & maintenance from 5-09-24470 Radio & walkie maintenance.
- Move \$3,000 into 5-09-29470 Building and Grounds Maintenance from 5-09-30440 Equipment Repairs and Maintenance – JJE.

Please advise if additional information is needed. Thank you for your understanding and consideration on these matters.