



FLORISSANT CITY COUNCIL AGENDA

City Hall

955 rue St. Francois

Monday August 24, 2020

7:30 PM

Karen Goodwin, MMC/MRCC



Due to COVID-19 pandemic and by Order of the Governor of the State of the Missouri and by Order of the St. Louis County Executive, the Council meeting will be conducted remotely with the City Council, Mayor, City Attorney, City Clerk, staff and residents being allowed to attend through a Zoom platform. The meeting will also be available to watch via live streaming on Facebook.

The public will be allowed to speak during “Hearing from Citizens” by attending via the Zoom link and typing your name and address in the “Chat” tab prior to or during that portion of the meeting. The public is also invited to submit written comments via email to kgoodwin@florissantmo.com prior to 3 pm on Monday August 24, 2020. Such public comments, provided they comply with the City’s guidelines found in section 110.090 of the Florissant City Code, will be read during the meeting and made a part of the official record of the meeting.

There are several Public Hearings scheduled during this meeting. The public is invited to provide comments on any Public Hearing in the following ways:

- Written comments sent prior to 3 pm on Monday August 24, 2020 to kgoodwin@florissantmo.com. Provided such comments comply with the City Code section 110.090, they will be read as a part of the public hearing for which the comment is addressed.
- Participate in the virtual meeting by offering comments when the public hearing is opened for that application. Participants will be prompted by the Council President after they submit their **name and address** in the “Chat” tab during that public hearing.

Residents are invited to attend the zoom meeting by the following methods:

As a matter of precaution, the Zoom meeting ID number and Password will be made available at Florissantmo.com, on the City of Florissant Facebook page at <https://www.facebook.com/Florissant.mo.us/>, and on the bulletin board in the Lobby at City hall, at 6pm on Monday August 24, 2020. If you need additional assistance please contact the City Clerk at kgoodwin@florissantmo.com.

Thank you for your patience and understanding regarding our meeting format change. It is extremely important that extra measures be taken to protect, employees, residents and elected officials during these challenging times.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- City Council Meeting minutes of August 10, 2020

IV. SPECIAL PRESENTATION

- Clean Energy

V. HEARING FROM CITIZENS

VI. COMMUNICATIONS

VII. PUBLIC HEARINGS

20-08-023 (Ward 9) Application Staff Rpt Plans	Request to authorize a Special Use Permit to A&C Happy Hour, LLC to allow for a Wine and Spirits establishment located at 3425 N. Hwy 67. (Planning and Zoning Commission recommended approval on 8/3/2020)	Chantelle Nickson-Clark
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VIII. OLD BUSINESS

A. BILLS FOR SECOND READING

9610	Ordinance authorizing an amendment to B-5 ordinance no. 6266 as amended for the property located at 3180 N. Hwy 67 to allow for a self-storage establishment.	Siam
9611	Ordinance authorizing an amendment to B-5 ordinance no. 5239 as amended to allow for a change in the location of an ATM at Grandview Plaza Shopping Center located at 1491 Dunn Road.	Pagano
9612	Ordinance to approve a final subdivision plat of “Subdivision of 3200 N. Lindberg Blvd” for the property located at 3200 N. Highway 67.	Siam

IX. NEW BUSINESS

A. BOARD APPOINTMENTS

B. BILLS FOR FIRST READING

9614 Memo	Ordinance authorizing supplemental re-appropriations of Fiscal Year 2019 outstanding purchase orders in various funds.	Schildroth
9615	Ordinance to authorize a Special Use Permit to A&C Happy Hour, LLC to allow for a Wine and Spirits establishment located at 3425 N. Hwy 67.	Siam

X. COUNCIL ANNOUNCEMENTS

XI. MESSAGE FROM THE MAYOR

XII. ADJOURNMENT

THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON AUGUST 21, 2020 AT 12:00 PM ON THE BULLETIN IN THE LOBBY AT CITY HALL. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, AUGUST 24, 2020.

CITY OF FLORISSANT



COUNCIL MINUTES

August 10, 2020

Due to the Coronavirus (COVID-19) Pandemic, the Florissant City Council met in a virtual meeting through a Zoom platform on Monday, August 10, 2020 at 7:30 p.m. with Council President Schildroth presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Mulcahy, Pagano, Parson, Siam, Harris, Manganelli, Eagan, Caputa and Schildroth. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

The City Attorney explained that the meeting was being conducted remotely because of the Coronavirus (COVID-19) Pandemic emergency. He stated that under the Sunshine Law, Section 610.015, when an emergency existed, the members of the City Council who are not physically present in the Council Chambers, can participate and vote remotely on all matters.

Councilman Siam moved to approve the Work Session Minutes of July 13, 2020, seconded by Caputa. Motion carried.

The next item on the Agenda was *Hearing from Citizens*.

City Attorney, John Hessel, stated that the Mayor formed a subcommittee consisting of himself, Chief Fagan, Councilmen Schildroth, Eagan and Parson. The purpose of the committee was to formulate legislation to create a Civilian Police Review Board to make recommendations to the City Council. Citizens will be allowed to participate once the legislation comes before the Council. Mr. Hessel stated that he has studied review boards from across the country and has not found much continuity between the various ordinances. The subcommittee has met once in closed session to discuss legal matters. The next meeting is scheduled for 8/12/2020. He further explained that once the board had been formed, it will consist of seven citizen members. He asked everyone for their patience on the initial review process.

Thomas Baird, Florissant resident, stated that he felt the police needed additional equipment because the criminals have gotten more aggressive with their own weapons. He appreciated the equipment that law enforcement can use if necessary.

32 Josh Privot, Ferguson resident and pastor, stated that he was excited about the formation of Citizen
33 Review Board (CRB). He expressed his concern that there were no citizens on the exploratory committee. He
34 reiterated the questions he had asked at the last Council Meeting to which he has not received answers:

35 How many Florissant police officers, within the last 10 years, have had complaints of racism or violence
36 brought against them?

37 How much tax payer money has been spent over the last 10 years on complaints against Florissant police
38 officers concerning violence, racism and misconduct, including any judgements, lawsuits or settlements?

39 Marvin Tobias thanked the Council for forming the CRB. He added that there is a web site for civil
40 review boards to get guidance on policy, oversight and training. He also stated that he thought it would be
41 beneficial for the board to review the data on traffic stops. He feels that it would be beneficial for the CRB to
42 review the body cams.

43 Mark Behlmann, resident, stated that the Florissant police department is one of the best, is CALEA
44 certified, and is very involved in the schools and community. He is against eliminating the SRO officers in the
45 schools. Mr. Behlmann believes many social problems arise from socioeconomic issues and lack of education.
46 Although the older residents are being very patient, they are very concerned about the recent unrest.

47 Tim Lee, resident, thanked Chief Fagan and the entire police department for their dedication, hard work,
48 and community service. They keep the entire city, city property and the streets safe and open. He understands
49 that the council and staff need to set ground rules before the committee can function. Once established, civilians
50 will serve on the board.

51 Rick Phillips thanked the Mayor, Council and Police Department for all their efforts dealing with the
52 recent stressful situations.

53 Omar Lee, St. Louis resident, stated that the CRB must be comprised of members from the community,
54 be bi-partisan and have a historical component. The history of the city's civil rights and the Florissant police
55 department must be taken into account.

56 Curtis Barks, business owner, has had a relationship with the Florissant Police Department for many
57 years. Florissant's CALEA certification is extremely important for the residents and for the level of safety and
58 services the police department provides. He thanked the Mayor and Council.

59 Nichole Gipson reminded everyone about the guarantee of the Freedom of Speech, especially in light of
60 the recent incident involving Florissant Police Officer Smith which she felt started sparked the recent protests.
61 She stated that her questions presented at the last Council Meeting had not been answered. She was asking them
62 again and would like them answered on the record:

63 Did the last Florissant State Audit, which she understood to be 10 years ago, include an audit of the
64 police department budget?

65 How much was spent on military style weaponry and chemicals?

66 Could some of the police department funding be shifted to housing, mental health and education?

67 How many surrounding police departments have been called in to assist in the protests and is there a
68 mutual funding pool? What is the cost to taxpayers? Which cities contribute?

69 What is the cost to Florissant for officers in military garb to stand outside Police Department?

70 What percent of the city budget is spent on the police?

71 How much of the city budget has been spent on overtime for police?

72
73 The City Clerk read written comments that had been presented:

74 1) Letter, Jeannie DeShon, regarding including more citizens on the Citizens Review Board.

75 2) Letter, May Elsie, regarding speeding on Lindbergh and Halls Ferry Roads and what is being done to
76 encouraging people to wear face masks.

77
78 Councilman Schildroth moved to amend the agenda to add a letter from Marvin Tobias, seconded by
79 Eagan. Motion carried.

80 The next item on the Agenda was *Communications*.

81 1. Email dated July 13, 2020 from Nichole Gipson regarding the police department

82 2. Email dated July 15, 2020 from Robin Brown regarding the protests

83 3. Email dated August 6, 2020 from Dr. Cathy Daniels regarding the Citizens Review Board

84 4. Email dated July 13, 2020 from Marvin Tobias regarding the protests

85
86 The next item on the Agenda was *Public Hearings*.

87 The City Clerk reported that Public Hearing #20-08-020 to amend B-5 Ordinance No. 6266, as amended,
88 for the property located at 3180 Highway 67 to allow for a self-storage establishment had been advertised in
89 substantially the same form as appears in the foregoing publication and by posting the property. The Chair
90 declared the Public Hearing to be open and invited those who wished to be heard to come forward.

91 Alice Benner, petitioner, stated that they would like to redevelop the old Lowe's site on N Highway 67
92 into a self-storage facility. Cubesmart will be the managing group for the self-storage establishment. The facility
93 will be a climate controlled interior storage facility. There will be no interior storage of any flammable
94 substances or any type of vehicles. There will be extensive interior and exterior security.

95 In response to Councilman Siam's question, Ms. Benner stated that the Lowe's building will not be
96 razed. The inside will be redeveloped. They will likely have another retail tenant to be determined at a later
97 date. Outlot 1 will be a carwash. Before being approved for a sign package, they will be back before Council for
98 approval.

99 Councilman Caputa encouraged the developer to use union and minority contractors.

100 In response to the Mayor's question regarding the gym indicated on the site plan, Ms. Benner stated that
101 with the onset of COVID 19, businesses are hesitant to sign any new contracts for gymnasiums. The Mayor
102 stated that he appreciated they were locating in Florissant but disappointed that there was not more retail
103 businesses as had previously been discussed.

104 Being no citizens who wished to speak, Councilman Siam moved to close P.H. #20-08-020, seconded
105 by Manganelli. Motion carried.

106 The City Clerk reported that Public Hearing #20-08-021 to amend B-5 Ord. No. 5239, as amended, to
107 allow for a change in the location of an ATM at Grandview Plaza Shopping Center at 1491 Dunn Road had been
108 advertised in substantially the same form as appears in the foregoing publication and by posting the property.
109 The Chair declared the Public Hearing to be open and invited those who wished to be heard to come forward.

110 Mr. Hymer, petitioner, explained that the Council had already approved this request earlier in the year.
111 The landlord has since asked that they relocate the ATM to a slightly different location at the request of
112 Walgreens. In order to do so, they simply flipped the location to one parking row to the south.

113 Councilman Caputa encouraged the petitioner to use union and minority contractors if possible.

114 Councilwoman Pagano stated she had no problem with the new location as long as the lighting and trash
115 receptacle remained the same.

116 The Chair asked if there were any citizens who would like to speak on said public hearing. Being no
117 citizens who wished to speak, Councilwoman Pagano moved to close P.H. #20-08-021, seconded by Eagan.
118 Motion carried.

119 The City Clerk reported that Public Hearing #20-08-022 to approve the final subdivision plan of
120 "Subdivision of 3200 N. Lindbergh" for the property located at 3200 N Hwy 67 had been advertised in
121 substantially the same form as appears in the foregoing publication and by posting the property. The Chair
122 declared the Public Hearing to be open and invited those who wished to be heard to come forward.

123 Mr. Wildhaber, Engineer, explained that the site is one acre in size and will be divided into Lots A & B.
124 One section of the acre is zoned B-5 and the other portion B-3.

125 The Chair asked if there were any citizens who would like to speak on said public hearing. Being no
126 citizens who wished to speak, Councilman Siam moved to close P.H. #20-08-022, seconded by Harris. Motion
127 carried.

128 The Chair stated that the next item on the agenda was Second Readings of which there are none.

129 The next item on the Agenda was Board Appointments.

130 Councilwoman Pagano moved to reappoint Rev. G. Robinson, 1105 Derhake, to the Parks & Recreation
131 Advisory Board, seconded by Eagan. Motion carried.

132 Councilman Harris moved to approve the Mayor's reappointment of Donna Smith-Pupillo, 1275 Dawn,
133 to the Traffic Commission, seconded by Eagan. Motion carried.

Councilman Harris moved to approve the Mayor's appointment of Kain Penton, 4025 Highwillow Dr., to the Youth Advisory Commission, seconded by Eagan. Motion carried.

The next item on the agenda was First Readings.

Councilman Siam introduced Bill No. 9610 an Ordinance authorizing an amendment to B-5 Ord. No. 6266, as amended, for the property located at 3180 N Hwy 67 to allow for a self-storage establishment and said Bill was read for the first time by title only.

Councilwoman Pagano introduced Bill No. 9611 an Ordinance authorizing an amendment to B-5 Ord. No. 5239, as amended, to allow for a change in the location of an ATM at Grandview Plaza Shopping Center located at 1491 Dunn Road and said Bill was read for the first time by title only.

Councilman Siam introduced Bill No. 9612 an Ordinance to approve a final subdivision plat of "Subdivision of 3200 N Lindbergh" for the property located at 3200 N Hwy 67 and said Bill was read for the first time by title only.

Councilman Mulcahy introduced Bill No. 9613 an Ordinance amending Title III of the Florissant City Code, Schedule XIII "Parking Prohibited at all times on Certain Streets" by adding thereto the north side of Rissant Drive said Bill was read for the first time. Councilman Mulcahy moved that Bill No. 9613 be read for a second time, seconded by Schildroth. Motion carried and Bill No. 9613 was read for a second time. Councilman Mulcahy moved that Bill No. 9613 be read for a third time, seconded by Caputa. On roll call the Council voted: Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes and Schildroth yes. Having received the unanimous vote of all members present Bill No. 9613 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes and Schildroth yes. Whereupon the Chair declared Bill No. 9613 to have passed and said Bill became Ordinance No. 8625.

The next item on the Agenda was Council Announcements.

Councilman Siam thanked the administration and Council for establishing the Civil Review Board and asked everyone to continue to wear masks and social distance.

Councilman Parson also thanked everyone for the establishment of the CRB and asked the citizens to be patient. He too has researched the establishment of CRBs across the country and it takes time to "get it right". He asked residents to keep the streets litter free by taking their trash home or putting it into a trash receptacle.

Councilwoman Pagano asked residents to fill some of the vacancies on the various Boards & Commissions. She also reminded everyone what a great organization the Neighborhood Watch was and please consider joining.

Councilman Caputa reminded everyone to secure their firearms and not leave guns in their vehicles. He also stressed to residents to leave their porch lights on as a deterrent to crime. And finally, consider joining their local Neighborhood Watch Program.

Councilman Eagan encouraged residents to contribute to TEAM Food Pantry as the pandemic and need continues. He commended the City's media department on their excellent coverage of the community garden at Black Foot Park. He also thanked the Valley of Flowers Committee and the Knights of Columbus for their hard work in attempting to bring the Valley of Flowers to fruition, which unfortunately has now been cancelled. He thanked the outgoing Valley of Flowers Queen and her court for their service over the past year and congratulated the incoming Queen, Brooks Strutman and her court.

Councilman Manganelli noticed residents driving around their neighborhoods in golf carts and it seemed to him to build a sense of community. He encouraged residents to meet their neighbors, new and old.

Councilman Harris agreed with Councilman Eagan on the success of the community garden at Black Foot Park. He thanked Councilman Eagan for facilitating the neighborhood event. He thanked those involved in the electronics recycling event last week, including the members of CERT. Councilman Harris thanked the Community Development Office for the recent survey they distributed and he is interested in seeing the results. He appreciated all the comments made tonight and the efforts to work together for a successful dialogue.

Councilman Schildroth also thanked the outgoing queen and her court for representing the city in such a positive manner and welcomed the new queen and her court. He thanked the Valley of Flowers Committee for all the work they have done over the past year. He congratulated Tim Lemp on his retirement after working 26 years for the city in the Park Maintenance Department. The resurfacing project on Graham Road was progressing and he asked residents to continue to be patient. The electronic recycling at St. Ferdinand last weekend was well run and he thanked the city staff. He noted that St. Louis County will recycle paint. Information is on their website.

The next item was Mayor Announcements,

The Mayor congratulated the new Valley of Flowers Queen and her court. They recently had a crowning before the Valley of Flowers house on St. Francois. They will miss the outgoing queen and her court and wished them well. The upcoming shredding event will be held at St. Ferdinand Park on Saturday. They are currently looking into what they will do for the City's 9-11 ceremony.

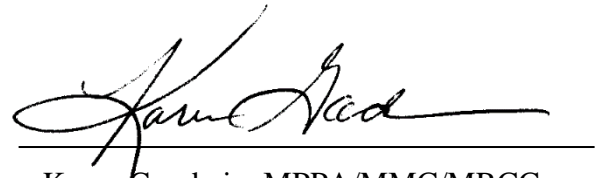
200 The Council President stated that the next regular City Council Meeting will be Monday, August 24, 2020 at
201 7:30 pm.

202 Councilman Caputa moved to adjourn the meeting, seconded by Pagano. Motion carried. The meeting
203 was adjourned at 8:44 p.m.

204

205

206



Karen Goodwin, MPPA/MMC/MRCC
City Clerk

207

208

209 The following Bills were signed by the Mayor:

210

Bill No. 9613

Ord. 8625

CITY OF FLORISSANT

Public Hearing



In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, August 24, 2020 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit to A & C Happy Hour, LLC to allow for a Wine and Spirits establishment for the property located at 3425 N Highway 67 (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**

Receipt
7.27.2020
621068
300-



**City Of Florissant – Public Works
314-839-7648**

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SPECIAL PERMIT FOR Operation of Retail wine + spirits and tobacco.
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT # _____ TO ALLOW FOR _____
ordinance # _____ Statement of what the amendment is for.

LOCATION 3405 North Highway 67, Florissant, MO 63033
Address of property.

1) Comes Now Chantelle Nickson-Clark DBA A + C Happy Home, LLC
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Lease
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for VACANT and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:

(If more space is needed, separate sheets maybe attached)

Chantelle Nickson-Clark Chantelle Nickson-Clark AandC Happyhour@gmail.com
PRINT NAME SIGNATURE email and phone

FOR A & C Happy Hour, LLC
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

☒ I (we) have a legal interest in the herein above described property.

2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Chantelle Nickson-Clark

ADDRESS 4579 Richmond Forest Dr. Florissant, MO 63034
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL (314) 441-9088 AandC Happyhour@gmail.com
BUSINESS

I (we) the petitioner (s) do hereby appoint Chantelle Nickson-Clark as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

Chantelle Nickson-Clark
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:

Individual ☒ Partnership _____ Corporation _____

(a) If an individual:

- (1) Name and Address A & C Happy Hour 3425 N. Highway 67 63033
(2) Telephone Number (314) 441-9088
(3) Business Address 3425 N. Highway 67, Florissant, MO 63034
(4) Date started in business 7/16/2020
(5) Name in which business is operated if different from (1) N/A
(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
(2) Telephone numbers _____
(3) Business address _____
(4) Name under which business is operated _____
(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
(2) Telephone numbers _____
(3) Business address _____
(4) State of Incorporation & a photocopy of incorporation papers _____
(5) Date of Incorporation _____
(6) Missouri Corporate Number _____
(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
(8) Name in which business is operated _____
(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name A & C Happy Hour
Address 3425 N. Highway 67, Florissant, MO 63034
Property Owner Chantelle Nickson-Clark
Location of property 3425 N. Highway 67, Florissant, MO 63034
Dimensions of property 1050 sq ft
Property is presently zoned Requests Rezoning To
Proposed Use of Property Retail Wine, Spirits, & Tobacco
Type of Sign ENCASED BOX Height 11' 7"
Type of Construction N/A Number Of Stories 1
Square Footage of Building 10,190 sq ft Number of Curb Cuts N/A
Number of Parking Spaces 96 Sidewalk Length
Landscaping: No. of Trees 2 Diameter UNKNOWN
No. of Shrubs 0 Size 0
Fence: Type N/A Length N/A Height N/A

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

3425 N. Highway 67, part of Lindbergh Plaza

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

Please see Attached

OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____

Building Commissioner or Staff Signature

1
2
3 **MEMORANDUM**



4
5 **CITY OF FLORISSANT- Building Division**

6 *"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant;*
7 *while at the same time maintaining property values and improving the quality of life in the City of Florissant."*
8

9 To: Planning and Zoning Commissioners Date: July 29, 2020

10
11 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
12 Director Public Works
13 Deputy City Clerk
14 Applicant
15 File
16

17 Subject: **3425 N. Highway 67 (A&C Happy Hour, LLC)** Request Recommended
18 Approval of a Special Use to allow for a Wine and Spirits establishment
19 (with tasting) in a 'B-3' Extensive Business District.
20

21 **STAFF REPORT**
22 **CASE NUMBER PZ-080320-1**
23

24 **I. PROJECT DESCRIPTION:**

25 This is a request for **recommended approval** of a Special Use, to allow for a Wine & Spirits
26 establishment at **3425 N. Highway 67**, in an existing 'B-3' Planned Commercial District.
27

28 **II. EXISTING SITE CONDITIONS:**

29 The existing property at **3425 N. Highway 67** is a property which is a 2.31 acre site with a
30 shopping center in a 'B-3' Extensive Business District.
31

32 The subject property is approximately 1050 s.f. in the shopping center which is about
33 10,190 s.f.. There is a survey attached which shows the boundary limits and existing
34 parking.
35

36 The existing building was built in 1983 per County record, which lists the portion of the
37 Shopping Center that currently houses other Uses.
38
39
40

41 **III. SURROUNDING PROPERTIES:**

42 The property to the West is an auto repair facility at 14150 Sunswept Park Ct, zoned
43 similarly in the 'B-3' Extensive Business District. The properties to the North are 3267
44 and 3270 Churchill Dr Celeste in a County Single Family Dwelling District.

45
46 **IV. STAFF ANALYSIS:**

47 Plans received from the applicant include architect's plans from the previous tenant, 1, 2,
48 6 and 8 dated 12/17/15 with no proposed changes.

49
50 Comments on Drawings:

51 Detailed description of the business includes a square foot report of 3 major spaces. 700
52 s.f. sales, 200 s.f. storage and 100 s.f. tasting area. It appears that 3 major areas exist on
53 the previous tenant plans.

54
55 Site Plan: A site plan was requested indicating compliance with the parking code and an
56 ALTA Survey was provided, see attached.

57
58 Parking required for the center as calculated by staff, using the info. provided:

3401 Regional Finance	Banking/ Finance	2300
3403 Spartan Staffing	Employment Services Majority of services done online and via the phone	830
3405 Favor Barber Shop	Outstanding community Member/ Waiting room now closed.	1010
3421 Curves/ Vacant		2000
3425 Cricket Wireless/Vacant Proposed Liquor Store		1050
3433 Our Urgent Care	Medical services.	3000
Total s.f.		10190

59
60 Staff Calculations:

61 Offices are calculated at 3/1000 s.f. x 2130 s.f.= 6.4

62 Commercial Service Retail Centers are calculated at 4/1000 s.f.x 4150= 16.6

63 Medical Offices are calculated at 4.5/1000 s.f.= 13.5

64 **Total parking required 36, total provided 84, complies.**

65
66
67 **III. STAFF RECOMENDATIONS:**

68 Tasting Events are mentioned in descriptive materials, however, tasting area is also
69 described as 100 s.f., so perhaps 'Events' should be more fully described by the
70 petitioner as anticipated.

71
72 **Suggested Motion:**

73 I move for Recommended Approval of a Special Use to allow for a Wine and Spirits
74 establishment (with tasting) in a 'B-3' Extensive Business District as shown on plans 1,
75 2, 6 and 8 dated 12/17/15, subject to the conditions set forth below with these conditions
76 being part of the record:

77
78
79 (End of report and suggested motion)

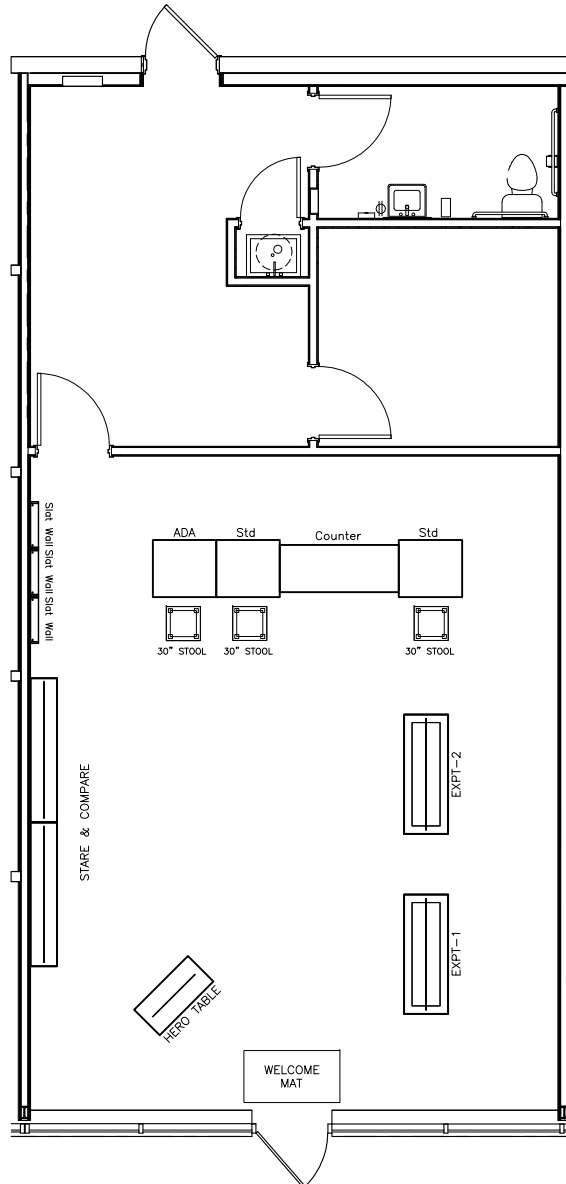
STORE #
70175 125

NABALIE INC - 3425 N HIGHWAY 67, FLORISSANT, MO

Cricket Wireless

*FINAL CRICKET RETAIL DESIGN PLAN
**9'-0" MINIMUM CEILING HEIGHT
REQUIRED

NOTE: GC TO DEMO ANY EXISTING WALLS,
OBSTRUCTIONS OR ARCHITECTURAL FEATURES
IN SALES AREA THAT WOULD FACILITATE
LAYOUT



APPROVED

By Scott LaBarge at 10:01 am, Dec 21, 2015

600 FT²

SPACE PLAN

SCALE: $1/8" = 1'-0"$

SITE PHOTOS

** ALL EXISTING WALL FIXTURES
(E.G., CABINETS, SLATWALL, ETC..) MUST BE REMOVED / PATCH AND PAINT DRYWALL.



Exterior



Interior

STORE TYPE:

Exclusive

Fixture Schedule

QTY	DESCRIPTION
2	POS-Standard
1	POS-ADA
1	Common Counter Standard
2	Experience Table
1	Hero Table
0	Kid Conversation Table
1	Store and Compare Wall Fixture
0	Store and Compare Access Cabinet
1	Slot Wall Brackets
0	Bill Pay Station
1	Impact Regular Store Kit
1	MTI Full Store Kit
0	Chairs for Center Seating
3	30" Stools
3	2ft Wall Merchandiser

principle

2035 Lakeside Centre Way, Suite 250
Knoxville, TN 37922 USA
© 865.602.4058 • 865.602.4104
www.p7rncipluglobal.com

All fishings to be determined on site by site basis.

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principle 

DRAWN BY: NDR	SCALE: AS NOTED
---------------	-----------------

REVISION LOG

No	DATE	BY	REVISION
1	12/17/15	JGK	Revised Fixtures

DATE:	Sheet:
12/11/15	

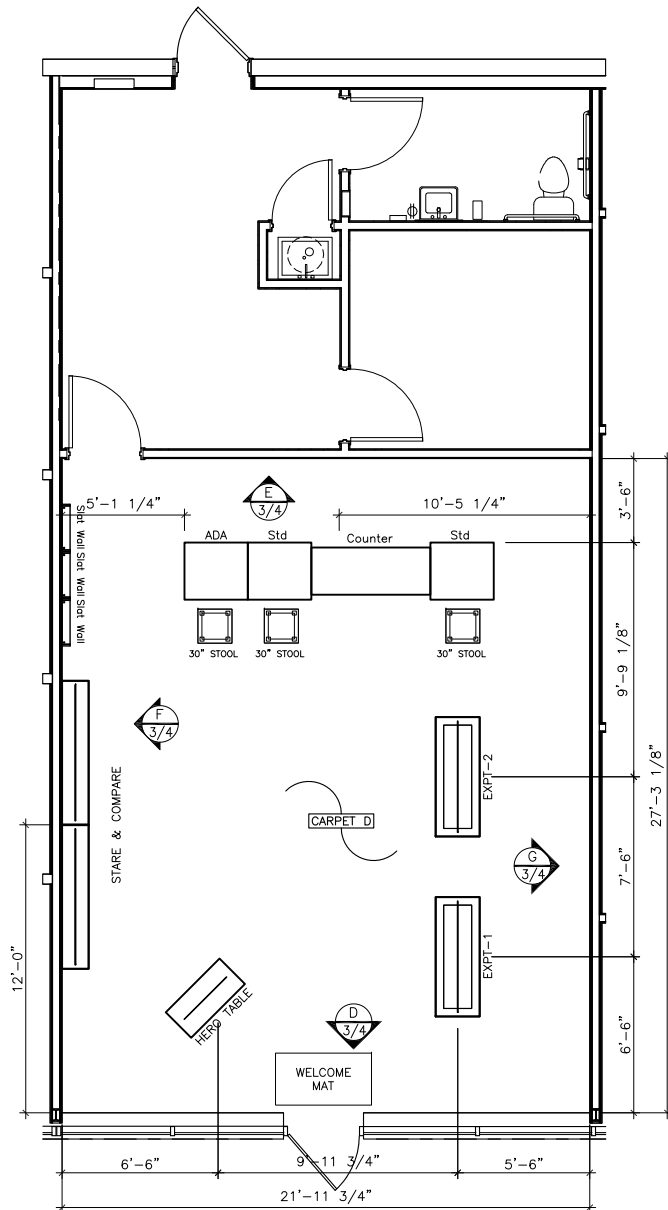
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STORE #
70175 125

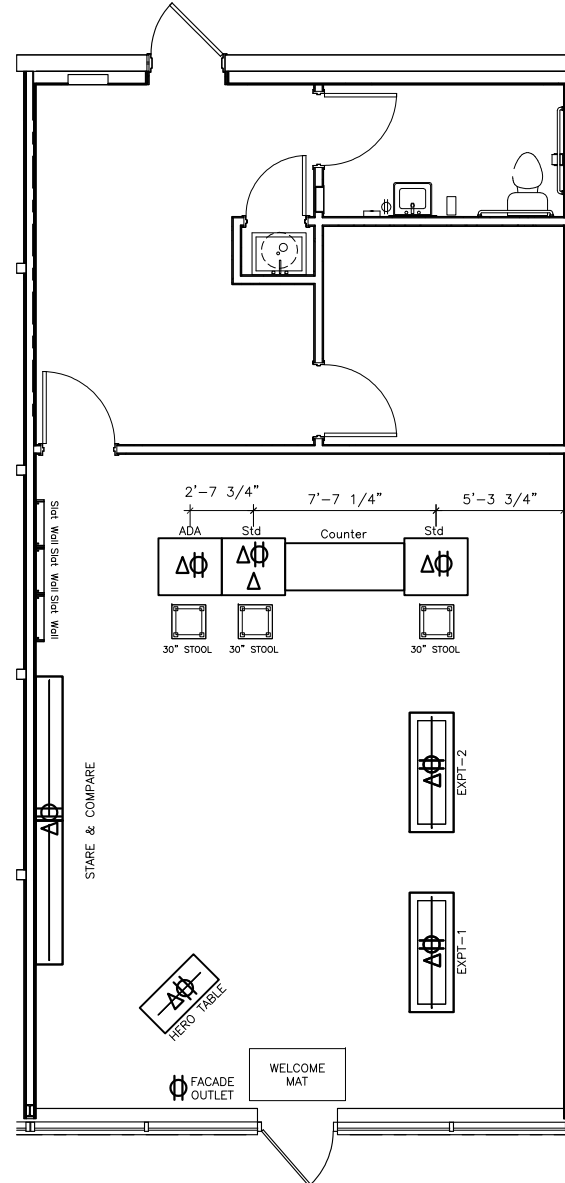
NABALIE INC - 3425 N HIGHWAY 67, FLORISSANT, MO

Cricket Wireless

*FINAL CRICKET RETAIL DESIGN PLAN



(B) DETAIL & DIMENSION PLAN
SCALE: 1/8" = 1'-0"



(C) POWER & DATA PLAN
SCALE: 1/8" = 1'-0"

All data runs need to be terminated in the back office - See page 7

Notes:

Power & Data Specifications:

DSL Business Class service with bandwidths greater than 15MB download and 5MB upload required at all locations.
All trenched power requires a dedicated circuit.

BAR / POS:

Duplex floor outlet and 2 data ports center unit. Duplex floor outlet and 1 data port right and left unit.
Feed power via and data via floor trench.

HERO TABLE:

Duplex floor outlet and 1 data port.
Feed power and data via floor trench.

EXPERIENCE TABLE:

Duplex floor outlet and 1 data port.
Feed power and data via floor trench.

STARE & COMPARE FIXTURE (SIDEWALL):

Duplex wall quad outlet and 1 data port.
Mount junction box inside wall at 36" AFF.

Open Sign Duplex Outlet:

1. Acoustical or Hard Ceiling - mount duplex box into ceiling near facade window.
2. Facade Wall - mount duplex outlet above facade window.

WALL OUTLETS:

Duplex wall outlets as required.

Carpet Specifications:

CARPET D:

Mohawk Carpet Tile
Style: Riot #BT355
Color: #983 Roust About
Construction: Tufted
Installation Method: Brick Pattern

RUBBER BASE:

Roppe or similar
Color: Black
Number: 100
Size: 4"

Contacts:

Carpet:
Harris-Global Solutions Partner
Mohawk
800-622-6228 ext. 24739
richard_harris@mohawkind.com
Fax # 706-422-6079

Sheet:

2

principle

2025 Lakeland Circle Hwy, Suite 226
Kennesaw, TN 37115
P 404.602.4058 F 404.602.4154
www.principleglobal.com

All fixtures to be referenced on site by site details.
Final connections to be made by Certified Electrical contractor on site.

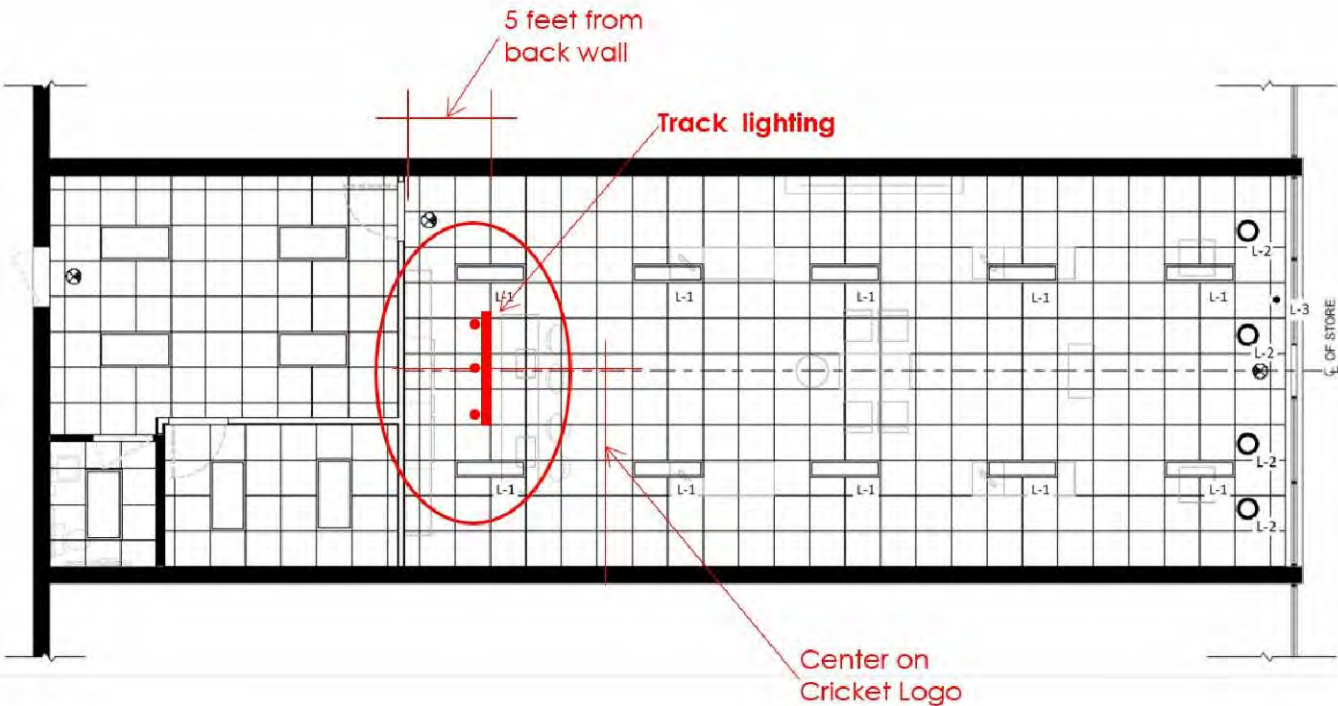
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***FINAL CRICKET RETAIL DESIGN PLAN**

Lighting – Required

Track lighting is required at the Cricket branded logo wall.
 Mount track directly to the suspended or hard ceiling 5'
 away from back wall on center of the Cricket logo.
 If location has an exposed deck the recommendation is
 to mount on a suspended “I” bar at 10’ above finished
 floor
 The specified track lighting and bulbs are available off
 the shelf at Home Depot or Lowes hardware stores.

The example Ceiling & Lighting Plan below shows a
 prototypical store.



Notes:

Specifications:
 All specifications are prototypical. GC should refer to site specific space plan for all power & data locations.

Track:
 Hampton Bay 4 ft. White Track Lighting
 Track
 Model # EC750WH
 1 required



Power Feed:
 Hampton Bay White Conduit Power
 Feed for Linear Track Lighting
 Mode # EC705WH
 1 required



Light Fixture:
 Hampton Bay PAR30 75W Perforated
 Double Arm Gimbal Fixture
 Model #EC934WH
 3 required



Bulb:
 Philips EcoVantage 53W Halogen
 PAR30S Indoor/Outdoor Dimmable
 Flood Light Bulb
 Model #421438
 3 required

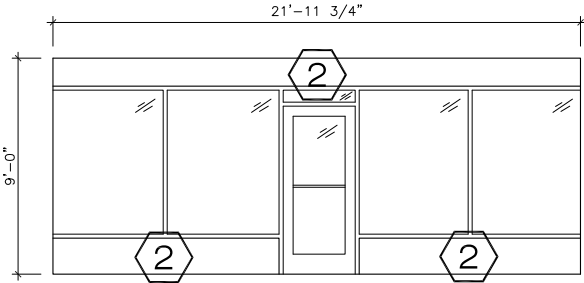


Contacts:

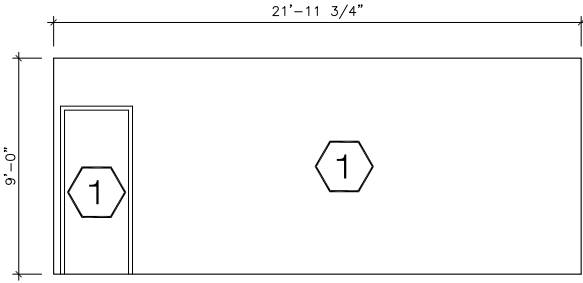
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2A

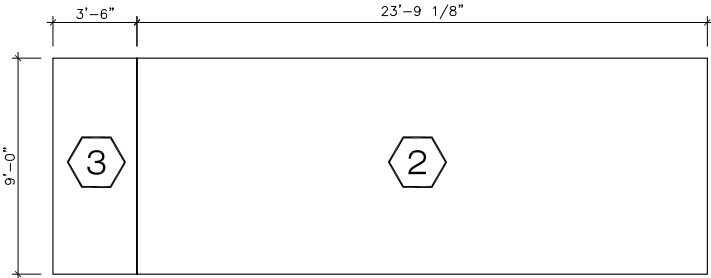
*FINAL CRICKET RETAIL DESIGN PLAN



D FRONT ELEVATION
SCALE: 1/8" = 1'-0"

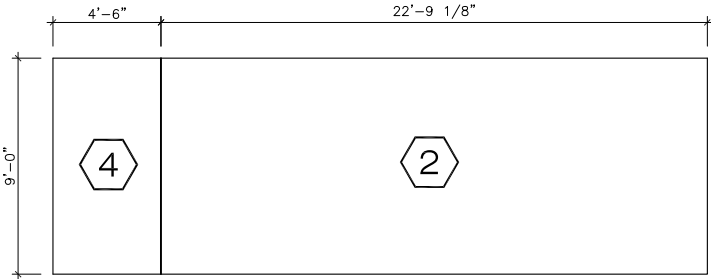


E BACK WALL ELEVATION
SCALE: 1/8" = 1'-0"



F LEFT WALL ELEVATION
SCALE: 1/8" = 1'-0"

FRONT TO BACK



G RIGHT WALL ELEVATION
SCALE: 1/8" = 1'-0"

BACK TO FRONT

Notes: PAINT SCHED

PAINT SPECIFICATIONS:
Cricket paint is available at any local Sherwin-Williams store. The custom paint mix is captured in the Sherwin-Williams database under:

Cricket division of AT&T
Account number: 5530-0478-9
Name/Color

PAINT 1:
Name/Color: Cricket Green
Manufacturer: Sherwin-Williams
Finish: Eggshell

PAINT 2:
Name/Color: Cricket White
Manufacturer: Sherwin-Williams
Finish: Eggshell

PAINT 3:
Name/Color: Cricket Yellow
Manufacturer: Sherwin-Williams
Finish: Eggshell

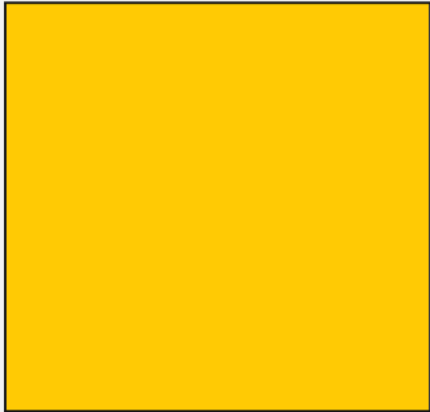
PAINT 4: BLACKBOARD
Name: BLACKBOARD
Manufacturer: Sherwin-Williams
Number: 958-995
Finish: Eggshell

PAINT 5:
Name: Cricket Blue
Manufacturer: Sherwin-Williams
Finish: Eggshell

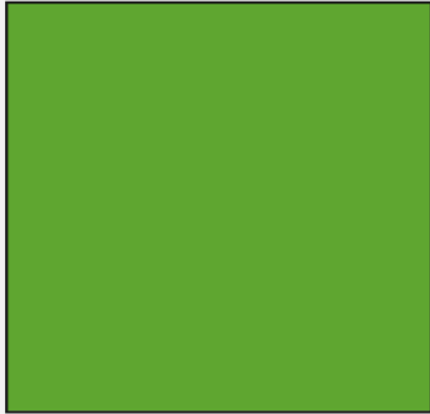
Contacts:

Sheet:
3

*FINAL CRICKET RETAIL DESIGN PLAN



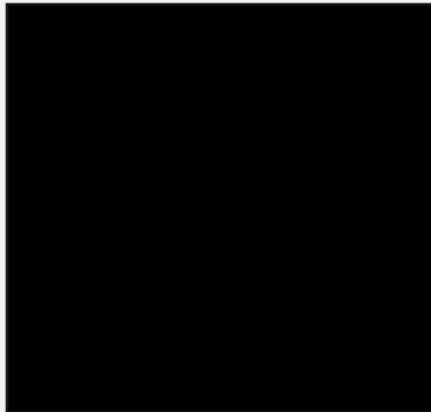
Cricket Yellow



Cricket Green



Cricket White



Chalkboard

Notes: PAINT SCHED

PAINT SPECIFICATIONS:
Cricket paint is available at any local Sherwin-Williams store. The custom paint mix is captured in the Sherwin-Williams database under:

Cricket division of AT&T
Account number: 5530-0478-9
Name/Color

PAINT 1:
Name/Color: Cricket Green
Manufacturer: Sherwin-Williams
Finish: Eggshell

PAINT 2:
Name/Color: Cricket White
Manufacturer: Sherwin-Williams
Finish: Eggshell

PAINT 3:
Name/Color: Cricket Yellow
Manufacturer: Sherwin-Williams
Finish: Eggshell

PAINT 4: BLACKBOARD
Name: BLACKBOARD
Manufacturer: Sherwin-Williams
Number: 958-995
Finish: Eggshell

PAINT 5:
Name: Cricket Blue
Manufacturer: Sherwin-Williams
Finish: Eggshell

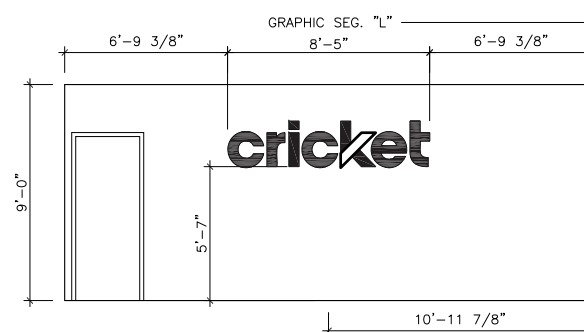
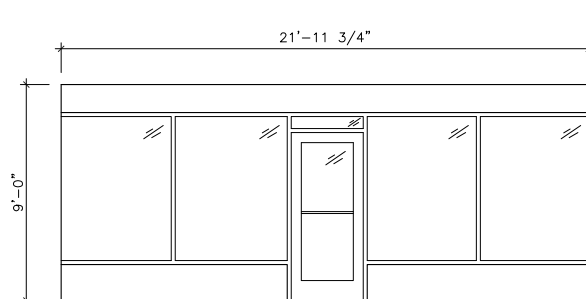
Contacts:

Sheet:

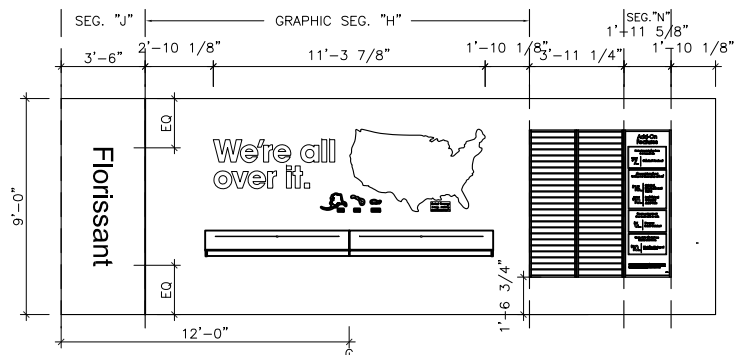
3A

*ACTUAL GRAPHICS MAY DIFFER FROM FINAL INSTALLATION

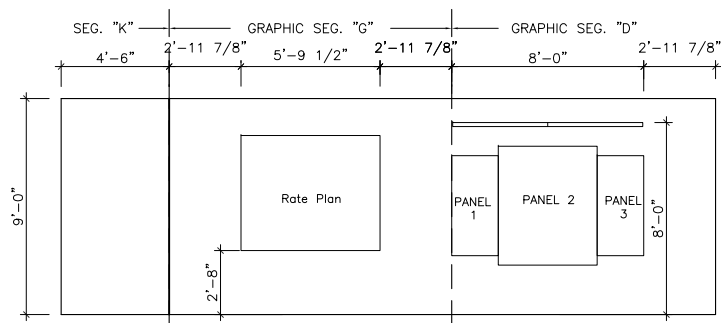
NOTE: SEE INSTALLATION
INSTRUCTIONS FOR GRAPHIC
PLACEMENT / DIMENSIONS
ABOVE FINISHED FLOOR



(E) BACK WALL ELEVATION
SCALE: 1/8" = 1'-0"



(F) LEFT WALL ELEVATION
SCALE: 1/8" = 1'-0"



(G) RIGHT WALL ELEVATION
SCALE: 1/8" = 1'-0"

QTY	DESCRIPTION
	GRAPHIC SEGMENT "A"
	Happy Cloud Set - 3mm SINTRA
	GRAPHIC SEGMENT "C"
	Phones Graphics -6mm Sintra Letters
	GRAPHIC SEGMENT "D"
1	HRS Right Set Nationwide 4G
1	HRS Right Set Yellow Background
	GRAPHIC SEGMENT "E"
	GRAPHIC SEGMENT "F"
	Heart & Phone Set 3 mm Sintra
	GRAPHIC SEGMENT "G"
1	Magnetic Rate Plan -printed graphic and backer
1	Magnetic Rate Plan Frame
	GRAPHIC SEGMENT "H"
1	Small Footprint Map Board Wall
	GRAPHIC SEGMENT "J"
1	City Locator Letters 6mm Sintra
	GRAPHIC SEGMENT "K"
1	
	GRAPHIC SEGMENT "L"
1	Cricket Back Wall Letters 24" (Standard)
	GRAPHIC SEGMENT "M"
	HRS Left Set Good Phone Day
	HRS Left Set Skyline Background
	GRAPHIC SEGMENT "N"
1	Wall Accessory Cabinet Graphic

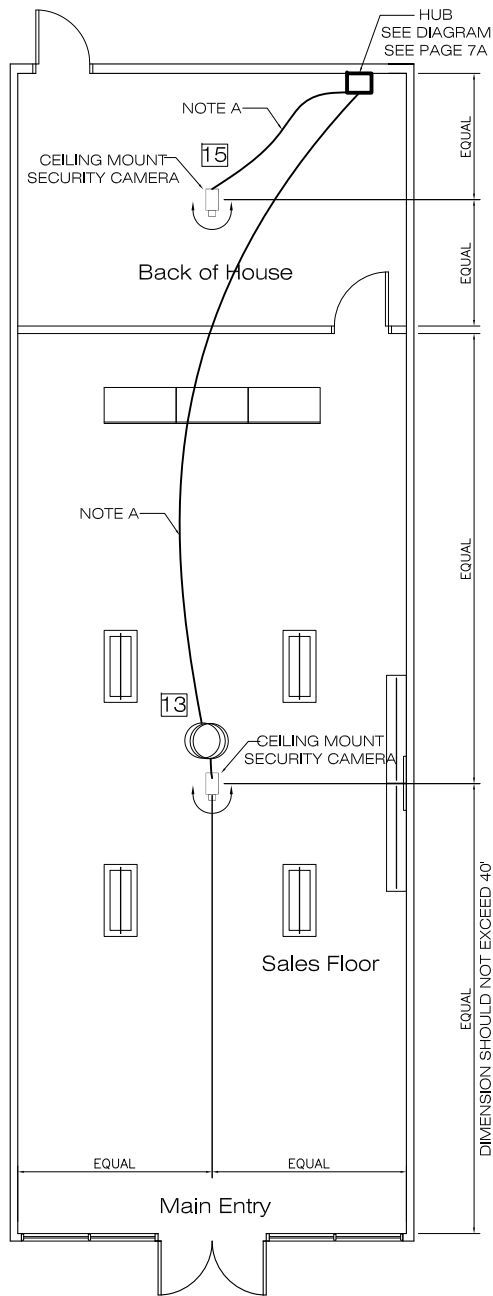
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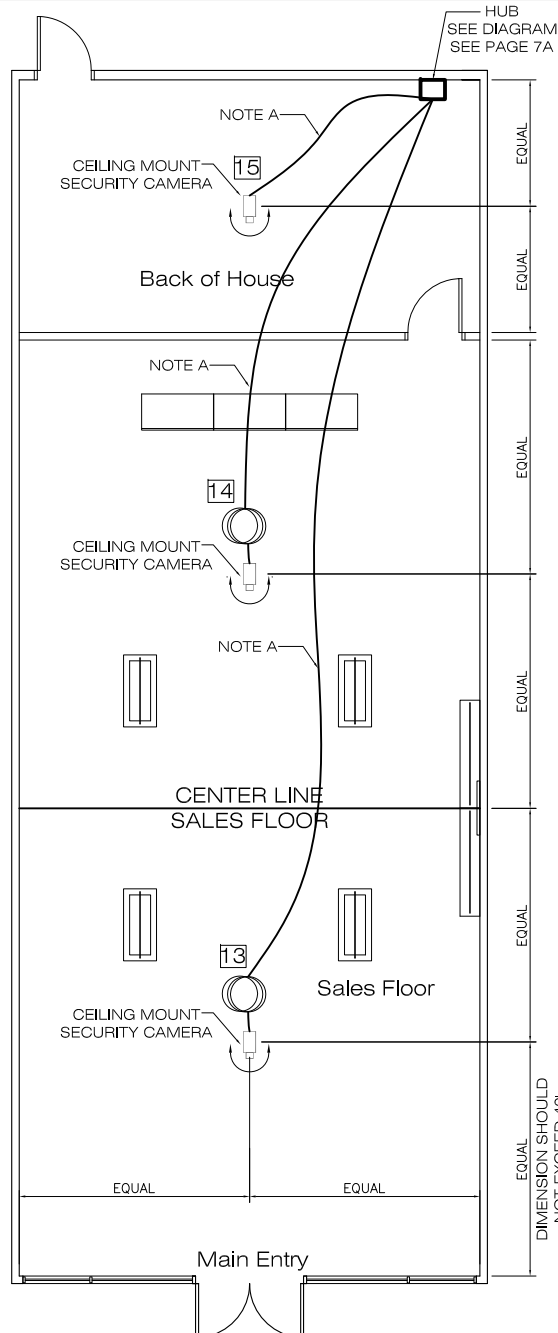
STORE #
70175 125

NABALIE INC - 3425 N HIGHWAY 67, FLORISSANT, MO

Cricket Wireless



A Security Camera Plan.
Sales Floor LESS than 1,000 sq. feet
Packet Page 23 of 69



B Security Camera Plan.
Sales Floor GREATER than 1,000 sq. feet

NOTE:

All cat 5E cables need to be terminated in the back office (MDF room or dedicated wall space)

See page 7A

Use tags to identify all cat 5E cables at termination point.

If a unit is not used in a site, skip the data number for that particular unit

X = CAT 5E TAG NUMBER

NOTE: SEE YOUR SITE SPECIFIC DRAWING PACKAGE FOR LOCATION OF STARE & COMPARE FIXTURE ON WALL.

Camera Deployment:

Sales Floors Less than 1,000 sq. feet.

Sales Floor:

Locate (1) security camera in the center of the sales floor ceiling. If an electrical or mechanical fixture prevents center location, locate camera as close as possible to intended location.

Back of House:

Locate (1) security camera in the center of the Back of House ceiling. Adjust location as required by site conditions.
SEE PLAN A THIS SHEET.

Sales Floors greater than 1,000 sq. feet.

Sales Floor:

Determine the over all Center Line of the Sales Floor.

Locate (1) security camera from the centerline of the sales floor forward to the store front wall. Center camera in this area. Locate a 2nd security camera from the centerline of the sales floor to the back wall. Center camera in this area.

If an electrical or mechanical fixture prevents center location, locate camera as close as possible to intended location

Back of House:

Locate (1) security camera in the center of the Back of House ceiling. Adjust location as required by site conditions.
SEE PLAN B THIS SHEET.

Notes:

NOTE A:

G.C. to run "home run" cat 5E cables to each camera location.

At Sales Floor camera location, provide 12' of slack cable, coiled in ceiling, for location adjustment as required.

Sheet:

6

principle

2025 Lelandia Cintas Way, Suite 226
Kennesaw, TN 37115
P 405.602.1058 F 405.602.1154
www.principlegroup.com

All fabric to be attached
on site by site install.
Final connections to be made by
Certified Electrical contractor on site

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STORE #
70175 125

NABALIE INC - 3425 N HIGHWAY 67, FLORISSANT, MO

Cricket Wireless

Notes:

NOTE:

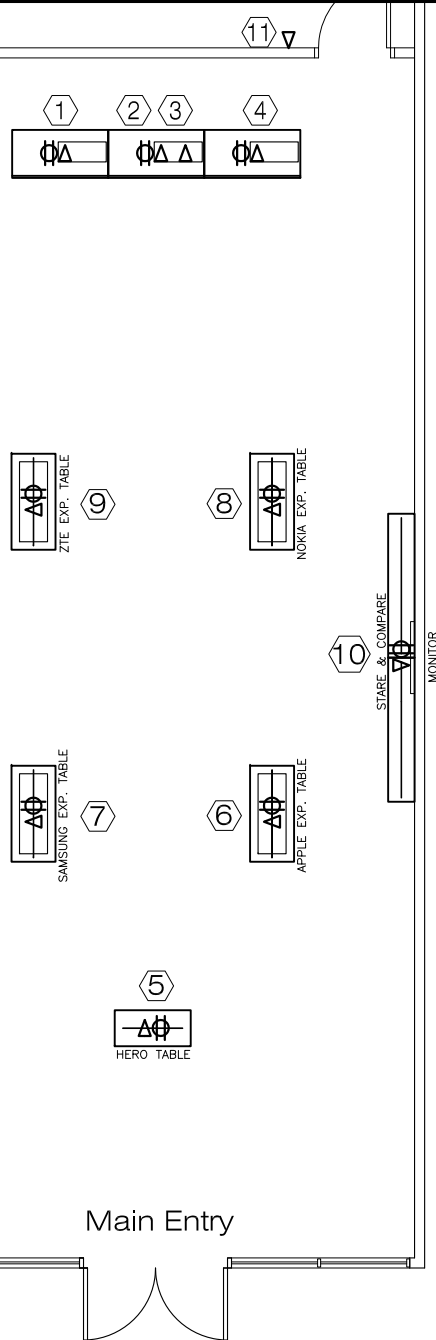
All data runs need to
be terminated in the
back office (MDF room
or dedicated wall space)
See page 7A

Use tags to identify all data
run cables at termination point.

If a unit is not used in a site,
skip the data number for that
particular unit

 = DATA TAG NUMBER

NOTE: SEE YOUR SITE
SPECIFIC DRAWING PACKAGE
FOR LOCATION OF STARE &
COMPARE FIXTURE ON WALL.



DATA/PHONE PORT SCHEDULE	
TAG #	DESCRIPTION
① ② ④	DATA PORT FOR POINT OF SALE SYSTEM
③	DATA PORT FOR POINT OF SALE PRINTER
⑤	DATA PORT FOR HERO TABLE
⑥ ⑦ ⑧ ⑨	DATA PORT FOR EXPERIENCE TABLE
⑩	DATA PORT FOR STARE AND COMPARE WALL
⑪	PHONE LAND LINE - TYP LOCATION AT DEALER'S DESCRETION IN BACK OF HOUSE

Sheet:

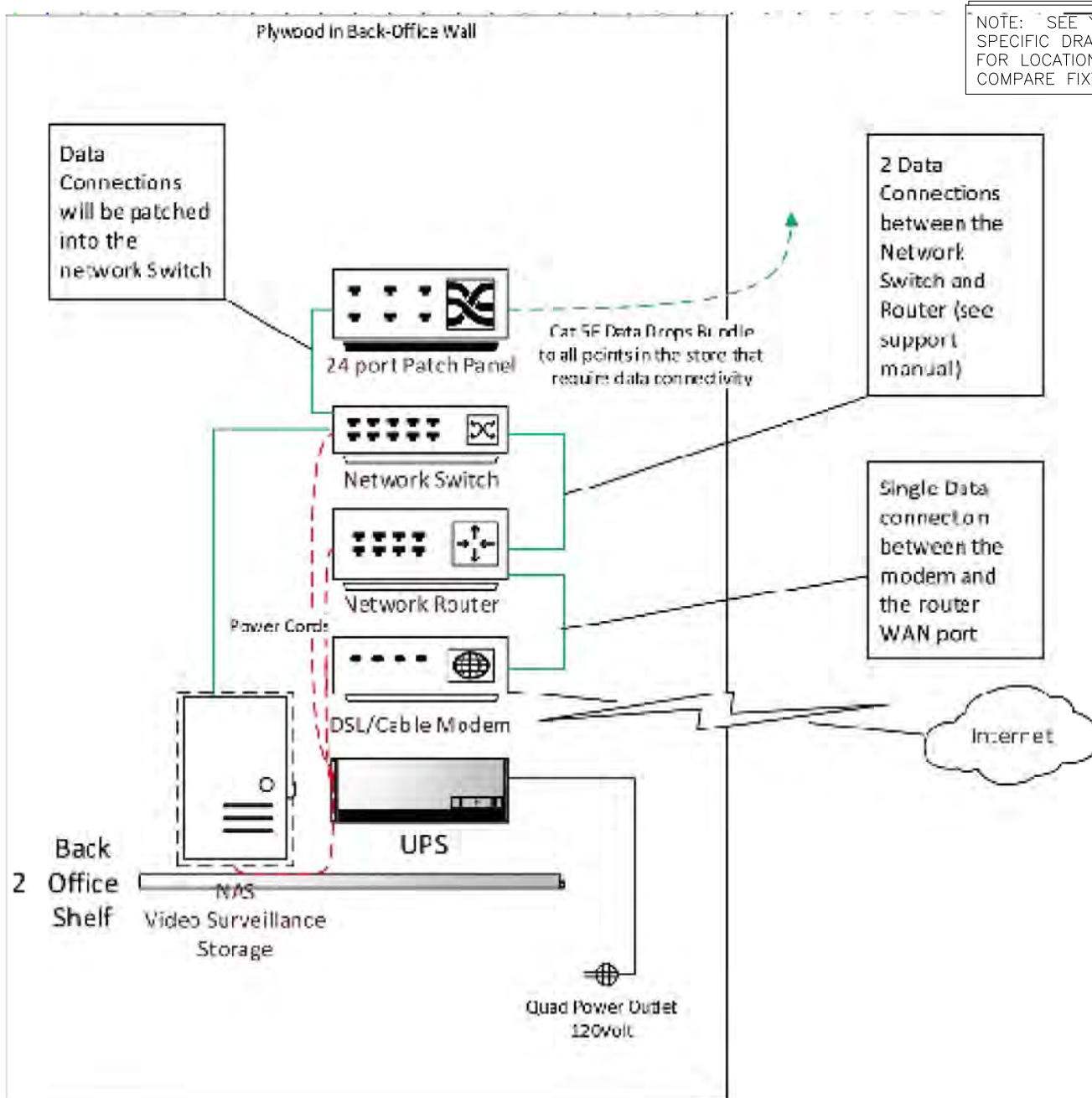
7

TYPICAL ELEC. LAYOUT

STORE #
70175 125

NABALIE INC - 3425 N HIGHWAY 67, FLORISSANT, MO

Cricket Wireless



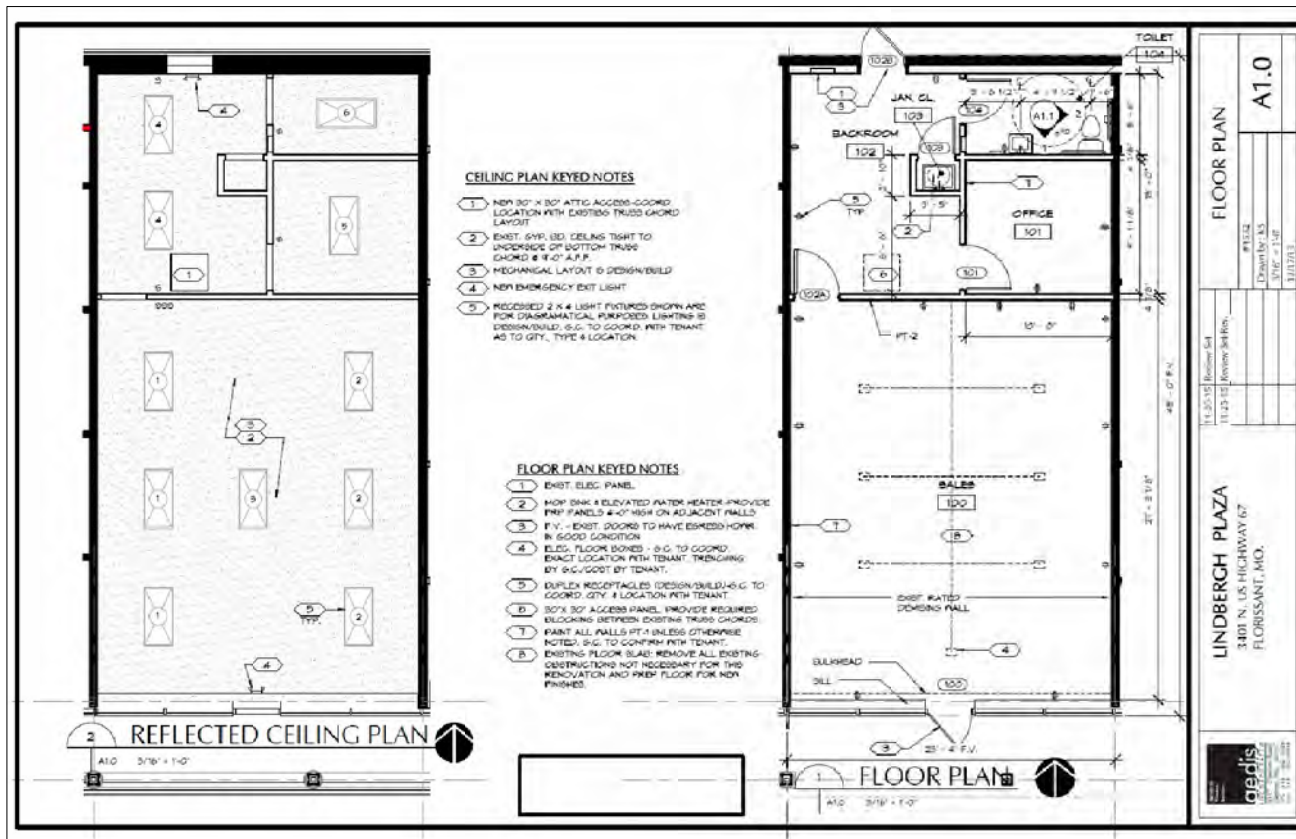
A TYPICAL HUB DIAGRAM

MDF Schematic Notes:

DSL Business Class Service with bandwidths greater than 15 MB download and 5 MG upload required.
All runs need to be terminated in the back office (MDF room or dedicated wall space).

Sheet:

7A



1 INTRODUCED BY COUNCILMAN SIAM
2 AUGUST 10, 2020

3
4 BILL NO. 9610

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO B-5 ORDINANCE**
7 **NO. 6266 AS AMENDED FOR THE PROPERTY LOCATED AT 3180 N.**
8 **HWY 67 TO ALLOW FOR A SELF-STORAGE ESTABLISHMENT.**
9

10 WHEREAS, the City Council passed and approved Ordinance No.6266 which
11 authorized a proposed development at 3180 N. Hwy 67; and

12 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
13 recommended to the City Council at their meeting of July 20, 2020 that Ordinance No. 6266 (as
14 amended by Ordinance Nos. 6380, 8064, 8224 and 8616) to allow for additional ‘Permitted
15 Uses’ in a B-5 Zoning District for the property located at 3180 N Highway 67; and

16 WHEREAS, due and lawful notice of a public hearing no. 20-08-020 on said proposed
17 change was duly published, held and concluded on 10th of August, 2020 by the Council of the
18 City of Florissant; and

19 WHEREAS, the Council, following said public hearing, and after due and careful
20 deliberation, has concluded that the amendment of Ordinance No. 6266 (as amended by
21 Ordinance Nos. 6380, 8064, 8224 and 8616), as hereinafter set forth, to be in the best interest of
22 the public health, safety and welfare of the City of Florissant; and

23
24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
26
27

28 Section 1: ‘B-5’ Ordinance No. 6266 (as amended by Ordinances Nos. 6380, 8064, 8224
29 and 8616), at 3180 N. Highway 67 is hereby amended to allow for a Self-Storage establishment
30 (Cubesmart) and exterior alterations, in an existing ‘B-5’ District as indicated on Preliminary
31 Plans A2 dated 7/7/20, A1 and AS1, dated 6/16/20 and color rendering by Uhlig Architecture
32 and J101 dated 11/7/19 by Janis International., subject to the conditions set forth below and the
33 regulations of the ‘B-5’ Planned Commercial District:

34 1.Ordinance No. 6266, Section 2, Paragraph 1, shall be changed to read as follows:

35 “The uses permitted in the ‘B-5’ Planned Commercial District shall be **for a Self Storage**
36 **facility of 97,932 s.f.** and any other Uses listed as permitted in the ‘B-3’ Extensive Business

37 District, with a structural height not to exceed 45 feet, 0 inches, as depicted on Exhibit “A”
38 provided, however that the portion of the property described as a “wetland” shall be used
39 and maintained exclusively as wetland with no development of any kind without approval of
40 the City Council.”

41 2.The painting of any exposed brick is prohibited.

42 3.Wall signage 100 s.f. or smaller are recommended in locations shown on the rendering, and
43 as permitted by the sign code, Chapter 520.

44
45 Section 3: This ordinance shall become in full force and effect immediately upon its
46 passage and approval.

47
48 Adopted this _____ day of _____, 2020.

49
50 _____
51 Keith Schildroth
52 President of the Council

53
54 Approved this _____ day of _____, 2020.

55
56
57 _____
58 Timothy J. Lowery
59 Mayor, City of Florissant

60
61 ATTEST:

62
63 _____
64 Karen Goodwin, MPPA/MMC/MRCC
65 City Clerk

CITY OF FLORISSANT



PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, August 10, 2020 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to the B-5 Ordinance to allow for a self-storage establishment for the property located at 3180 North Highway 67 (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

**Application to the City of Florissant Planning & Zoning Commission (P&Z) to
Establish a 'B-5' Planned Commercial District (Re-Zoning) or to Amend the
Provisions of an Existing 'B-5' Ordinance**



PLANNING & ZONING ACTION:

Address of Property:

3180 N HWY 67

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____
(Staff to complete Ward, Zoning & Date filed)

**PETITION TO REZONE OR AMEND CONDITIONS OF A 'B-5' PLANNED COMMERCIAL DISTRICT
ORDINANCE # 6266**

Enter ordinance number or number(s) if requesting to amend.

- 1) Comes Now Dejan (Dan) Dokovic, Manager of Bamboo Equity Partners, Manager of FAVS HWY 67 LLC
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described in this petition.

Legal interest in the Property owner of the property

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to sponsor such a bill.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned, by giving bearings & distances (metes and bounds). Not required if legal description is found identical on requirements of "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which 'B-5' is proposed 21.285
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a 'B-5' District and is presently being used as VACANT Lowe's Home Improvement Center

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify this 'B-5' petition: In order to redevelop the site into a viable project, we are requesting to allow Self Storage at this location.

List reason for this request, i.e. "to allow for..."

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S REPRESENTATIVE Dejan Dokovic ddokovic@bambooequity.com
Print Name Email address

PETITIONER(S) SIGNATURE (S) 

FOR FAVS HWY 67 LLC, Bamboo Equity Partners, Manager
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
() I (we) have a legal interest in the herein above described property.
() I am (we are) the duly appointed agent(s) of the petitioner (s), and
that all information given here is true and a statement of fact.

Petitioner may assign an agent to present this petition to the Planning & Zoning Commission and Council. The agent must be approved by the owner to present the petition in this section, and provide address and telephone number

NAME _____
Name of Petitioner(s) Authorized Agent, Firm Name

ADDRESS _____
STREET CITY STATE ZIP CODE

PHONE _____
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
my (our) duly authorized agent to represent me (us) in regard to this petition.
Print name of agent. Email address

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporation registration.

1) Type of Operation: Individual: ☐ Partnership: ☒ Corporation: ☐

(a) If an individual:

- (1) Name and Address _____
- (2) Phone Number _____ Email _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners Dejan (Dan) Dokovic
- (2) Phone Number 314-270-5992 Email ddokovic@bambooequity.com
- (3) Business address 600 Emerson Rd., Ste. 210 Creve Coeur, MO 63141
- (4) Name under which business is operated FAVS HWY 67, LLC (Bamboo Equity Partners, Manager)
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Phone Number _____ Email _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Dejan (Dan) Dokovic
Address 600 Emerson, Suite 210, Creve Coeur, MO, 63141
Property Owner Bamboo Acquisitions, LLC
Location of property 3180 N. Hwy 67, Florissant, MO,
Dimensions of property 910' x 663'
Property is presently zoned B-5 per ordinance # 6266
Current & Proposed Use of Property Lowe's; self storage; retail gym; retail TBD
Type of Sign _____ Height _____
Type of Construction Masonry Number Of Stories 1
Square Footage of Building 135,197 SF Number of Curb Cuts 2
Number of Parking Spaces 724 Sidewalk Length _____
Landscaping: No. of Trees _____ Diameter _____
No. of Shrubs _____ Size _____
Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

SEE ATTACHED.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

SEE ATTACHED.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

1) a. Uses - Are uses stipulated _____ Yes / No

b. What current District would this proposal be a permitted use: _____

c. Proposed uses for out lots: _____

2) Performance Standards:

a) Vibration: Are there any foreseen vibration problems at the property line? _____ Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? _____ Yes / No

c) Odors: Is there any foreseen problem with odor? _____ Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? _____ Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? _____ Yes / No

f) Is there foreseen emissions of dirt, dust, fly ash, and other forms of particle matter? _____ Yes / No

g) Is there any dangerous amount of radiation produced from the operation? _____ Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? _____ Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc., shown? _____ Yes / No

j) Is building(s) screened from adjoining residential? _____ Yes / No

3) Is the height of structures shown? _____ Yes / No

4) Are all setbacks shown? _____ Yes / No

5) Are building square footages shown? _____ Yes / No

6) What are the exterior construction materials on the building(s)? _____

7) Is off street loading shown? _____ Yes / No

8) Parking:

a) Does parking shown meet the ordinance? _____ Yes / No

b) Is a variance required in accordance with the ordinance? _____ Yes / No

c) Ratio shown _____ to _____

d) Total Number _____

e) Will cross access and cross parking agreements be required? _____ Yes / No

f) Is the parking lot adequately landscaped? _____ Yes / No

9) Are there any signs? _____ Yes / No

Number of signs shown _____

Type of Signs _____

Are sizes, heights, details, and setbacks shown? _____ Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? _____ Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? _____ Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient accessibility on the site plan shown? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

- 25) Staff Comments: _____

Date Application reviewed

Building Commissioner or Staff Signature

Exhibit A

LEGAL DESCRIPTION
[~~NTD: SUBJECT TO SECTION 3 OF THE CONTRACT~~]

Parcel 1:

Lot 1A of the "RESUBDIVISION OF LOT 1 OF LOWE'S SUBDIVISION", according to the plat thereof recorded in Plat Book 363 page 422 of the St. Louis County Records, St. Louis County, Missouri. Excepting therefrom that portion of the above described property taken by Condemnation, according to Report of Commissioners recorded in Book 15631 page 1006 of the St. Louis County Records.

Parcel 2:

Lot 3 of Lowe's Subdivision, according to the plat thereof recorded in Plat Book 348 pages 601 and 602 of the St. Louis County Records, St. Louis County, Missouri.

Together with the following easements:

Parcel 3:

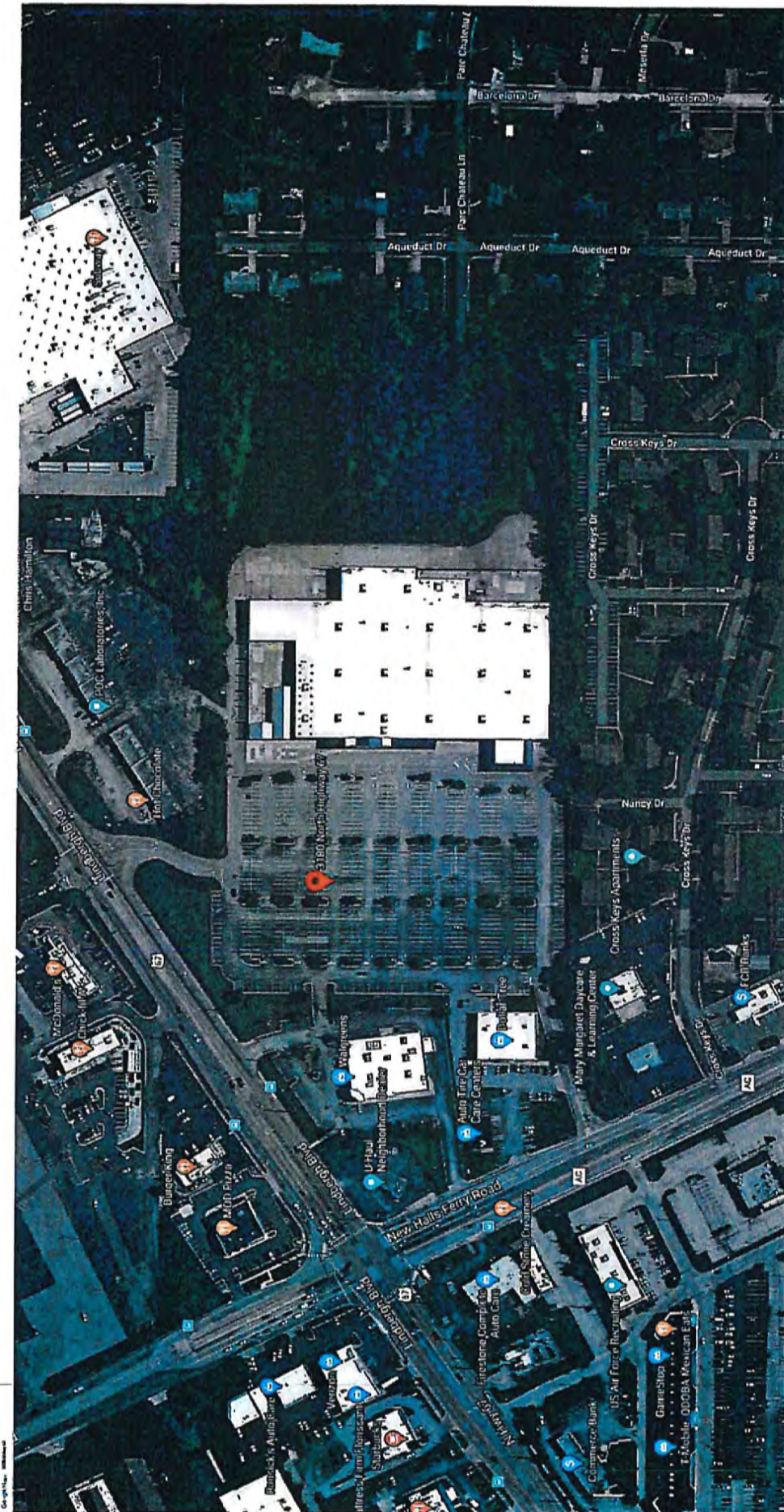
Appurtenant Drainage Easement dated August 13, 1999 executed by Donald R. Zykan Trust (grantor) to Lowe's Home Centers, Inc. and The Metropolitan St. Louis Sewer District (grantees), according to instrument recorded September 1, 1999 in Book 12265 page 1900.

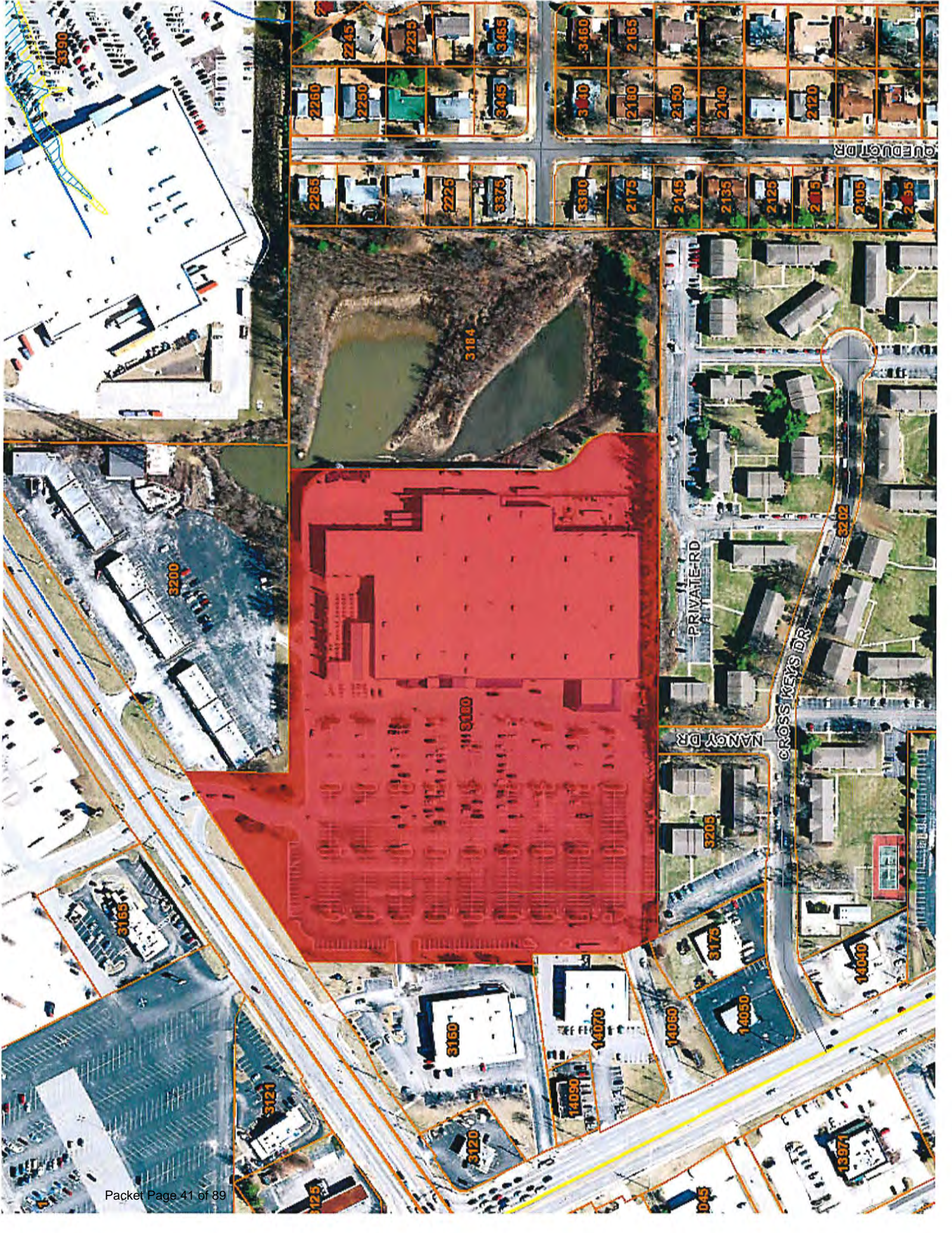
Parcel 4:

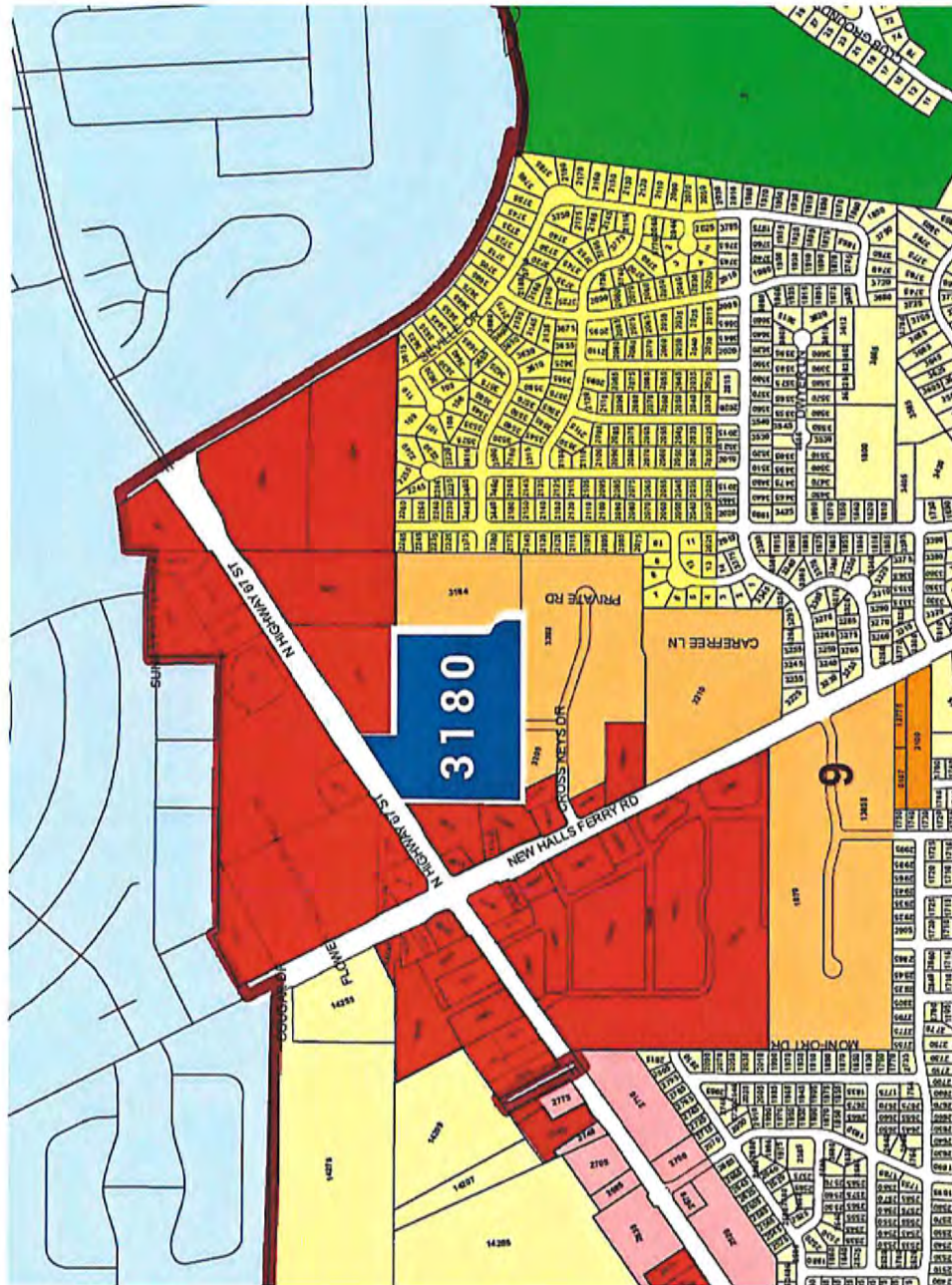
Cross Access Easement dated September 21, 1999 by and between Lowe's Home Center's, Inc. and Walgreen Co., according to instrument recorded September 21, 1999 in Book 12290 page 201.

Parcel 5:

Cross Access Easement dated January 5, 2000 by and between Lowe's Home Centers . Stallings Development, L.L.C., according to instrument recorded May 5, 2000 in Book 12536 page 1171.







A Recreation	04 Highway Commercial	08 Historical Residential	02 Planned Environmental	04 Duplex Dwelling 1,000 sq ft
01 Local Shopping	05 Planned Commercial District	01 Limited Industrial	02 Single Family 1/4 Acre	05 Multiple Family Dwelling
02 Central Business	06 Historical Business	02 Industrial District	03 Single Family 1/2 Acre	Right of Way
03 Extensive Commercial	07 Historical Multiple	03 Non-Urban	04 Single Family 1/2 Acre	



Preliminary/Not approved
☐ APPROVED

- 5 x 5
- 5 x 6.5
- 5 x 10
- 10 x 5
- 8.5 x 14
- 10 x 7.5
- 10 x 6.5
- 10 x 8.5
- 10 x 10
- 10 x 12.5
- 10 x 15
- 10 x 16.5
- 10 x 25
- 10 x 20
- 10 x 30



1st Unit Mix Schedule			
Count	Name	Rent As	%
59	5 x 5	1475	9%
1	5 x 6.5	32.5	0%
47	5 x 10	2350	7%
1	8.5 x 14	119	0%
69	10 x 5	3450	11%
6	10 x 6.5	390	1%
1	10 x 7.5	75	0%
22	10 x 8.5	1870	3%
251	10 x 10	25100	39%
2	10 x 12.5	250	0%
72	10 x 15	10800	11%
17	10 x 16.5	2805	3%
48	10 x 20	9600	8%
11	10 x 25	2750	2%
33	10 x 30	9900	5%
640		70966.5	100%

JANUS INTERNATIONAL
 134 East Lake Road
 Suite 100, Lake Park, GA 30143
 (770) 562-2500
 www.janusintl.com

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Florissant, MO

Customer: G.S. & S Construction
 Proposed Self Storage

Project #	36317
Rev #	1
Date	03-16-20
	03-17-20
	04-27-20
Drawn On	11.07.19
Drawn By	B. Johnson
Checked By	M. Hedges

J101
 First Floor
 Unit Mix

1
2
3
MEMORANDUM



4
5
6
7
8
CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

9 To: Planning and Zoning Commissioners Date: July 15, 2020

10
11 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
12 Director Public Works
13 Deputy City Clerk
14 Applicant
15 File
16

17 Subject: **3180 N. Highway 67** Request recommended approval to amend a 'B-5'
18 Ord. 6266 (as amended by Ordinances Nos. 6380, 8064, 8224 and 8616),
19 to allow for a Self Storage establishment (Cubesmart) and exterior
20 alterations, in a 'B-5' District.
21

22
23
24
25
STAFF REPORT
CASE NUMBER PZ-072020-1

26 **I. PROJECT DESCRIPTION:**

27 This is a request for recommended approval to amend the provisions of a 'B-5', to allow
28 for a Self Storage establishment (Cubesmart), in a 'B-5' District.
29

30 **II. EXISTING SITE CONDITIONS:**

31 The existing property at **3180 N. Highway 67** is a lot of 15 acres, including wetlands and
32 has been vacant since the closing of the Lowe's.
33

34 The proposed amendment proposes to utilize a portion of the existing building. The
35 application is accompanied by Site maps and Preliminary Plans A2 dated 7/7/20, A1
36 dated 6/16/20 by Uhlig Architecture and J101 dated 11/7/19 by Janis International.
37

38 **III. SURROUNDING PROPERTIES:**

The adjacent property to the North is 3200 N. Highway 67 in a B-3 District. Properties to the West are 14070 New Halls Ferry in a B-3 District and 3160 N. Highway 67 in a B-5 District. The adjacent property to the East is 3184 N highway 67 Lowe's Retention areas in a B-5 District. The properties to the South include 3175 Cross Keys in a B-3 District , 3205 and 3202 Cross Keys Dr. for Cross Keys Apartments in an R-6 Zoning District.

IV. **STAFF ANALYSIS:**

The Petitioner has responded to staff instructions for a 'B-5' amendment with drawing revisions. Staff comments are:

1. Drawing Comments:

- a. **Current Parking for the Ordinance 6266:** 709 spaces were approved in an amendment with the outlot for Dollar Tree, but are no longer required. Parking calcs indicate plenty of existing parking, 423.
- b. Parking ratios for Self Storage are quite low. The Use proposed is required to have 3.33 spaces per 1000 s.f. of office. The office is shown but not dimensioned. Judging from the size of adjacent storage units, the office is at least 30'x40'. AS1 indicates a calculation of the office max at 2000 s.f. so only 5 spaces are actually required. Parking calcs shown for the fitness center in the future are shown on AS1, but this Use is not being considered as yet.
- c. Landscape calculations: The amendment does not seek to address landscape changes.
- d. Traffic Pattern: Site circulation will be unchanged if parking spaces are left striped. Again, the developer proposes this to free up space for future tenant spaces and possible outlots shown on the site plan.
- e. The proposed Use is intended to free up space on the site for other Uses that will have their own associated parking demand.
- f. Signage shown on the renderings have no dimensions.
- g. Fitness Center shown on one of the renderings is not currently being considered.
- h. Elevations A2: Building changes proposed is the trimming off of the EIFS gable which was above the former Lowe's signage and color change. A tower for the CubeSmart space replaces the former Lumberyard canopy. Note that all elevations noted to be painted on the left (north) side of the demising wall would be illegal per the masonry ordinance. An EIFS area accents the second vestibule. The office vestibule has an overhead door and man doors. Seven accent doors are located between the two vestibules along with one furred out existing double door surrounded by EIFS.

VI. **STAFF RECOMMENDATIONS:**

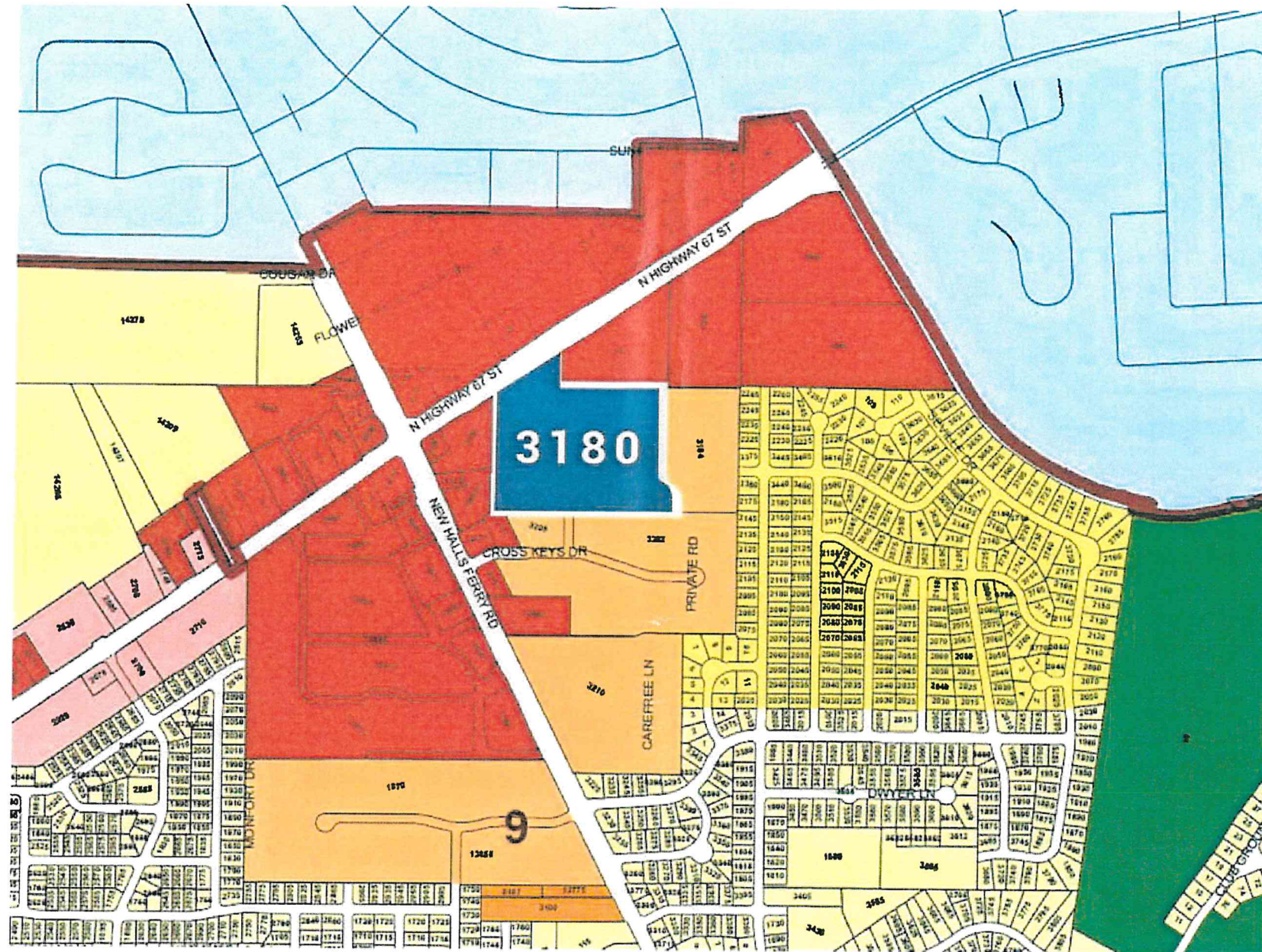
Suggested Motion for 3180 N. Highway 67:

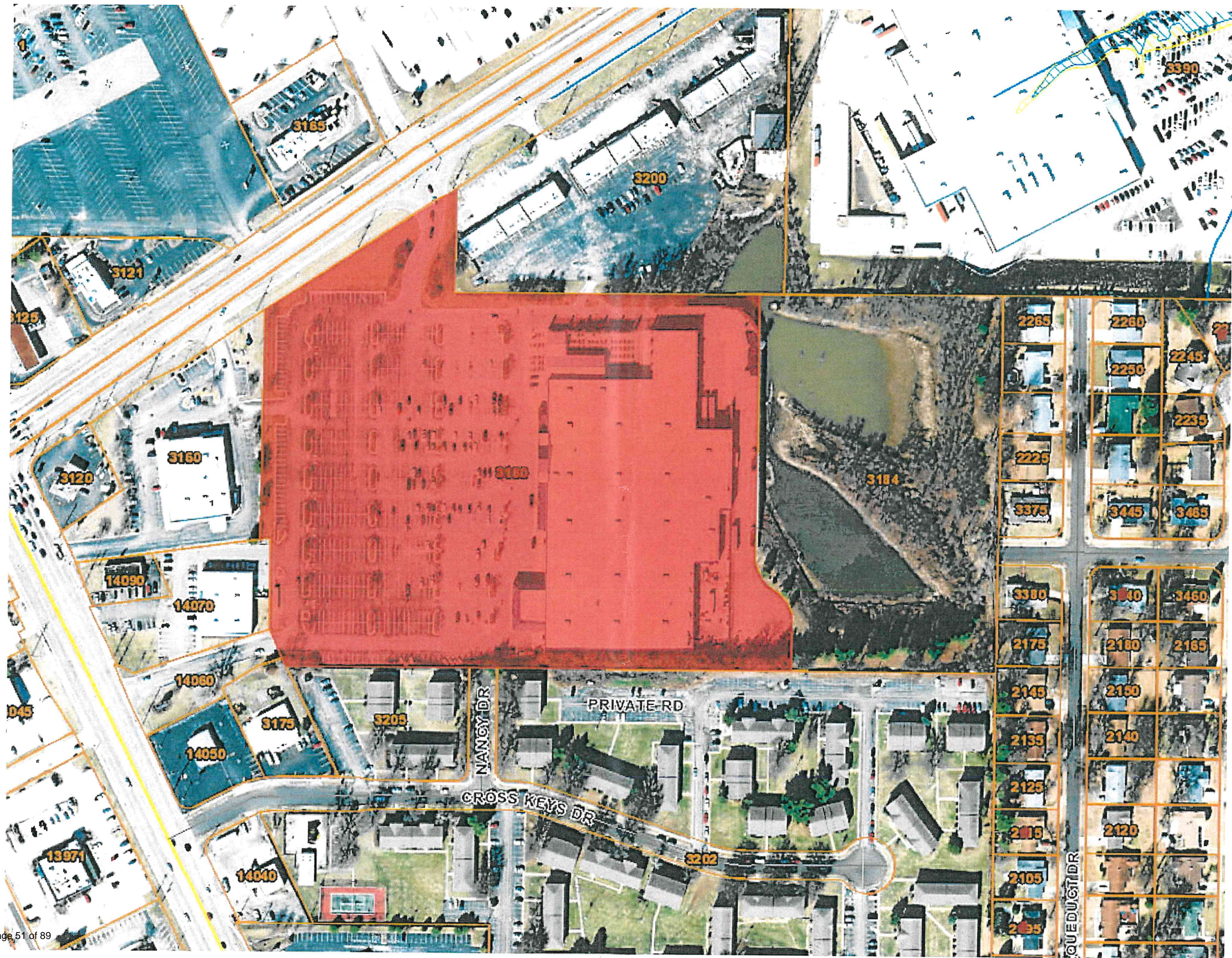
"I move to recommend the approval to amend a 'B-5' Ordinance No. 6266 (as amended by Ordinances Nos. 6380, 8064, 8224 and 8616), to allow for a Self Storage establishment (Cubesmart) and exterior alterations, in an existing 'B-5' District as indicated on Preliminary Plans A2 dated 7/7/20, A1 and AS1, dated 6/16/20 and color

rendering by Uhlig Architecture and J101 dated 11/7/19 by Janis International., subject to the conditions set forth below and the regulations of the 'B-5' Planned Commercial District:

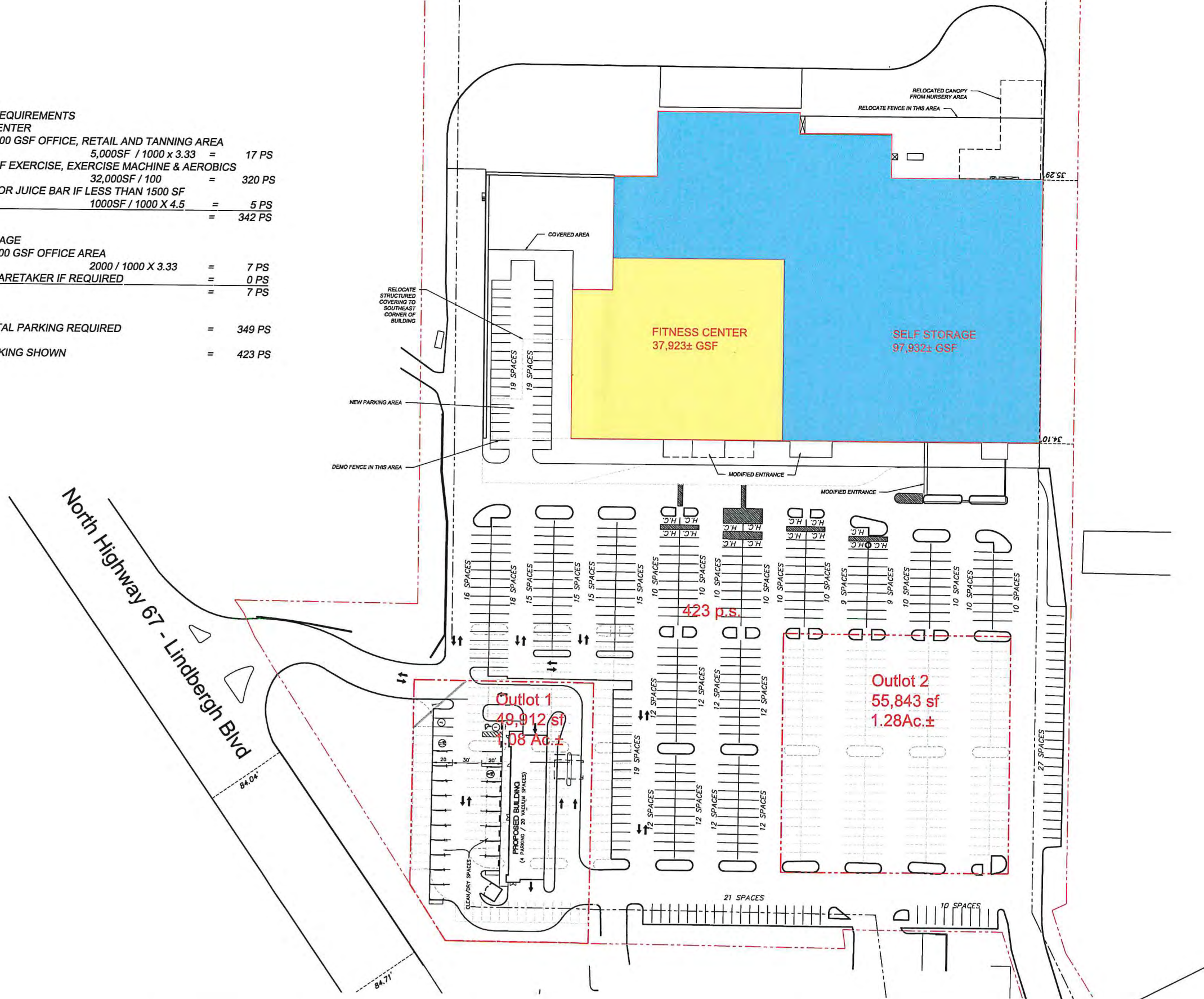
1. Ordinance No. 6266, Section 2, Paragraph 1, shall be changed to read as follows:
"The uses permitted in the 'B-5' Planned Commercial District shall be **for a Self Storage facility of 97,932 s.f.** and any other Uses listed as permitted in the 'B-3' Extensive Business District, with a structural height not to exceed 45 feet, 0 inches, as depicted on Exhibit "A" provided, however that the portion of the property described as a "wetland" shall be used and maintained exclusively as wetland with no development of any kind without approval of the City Council."
2. The painting of any exposed brick is prohibited.
3. Wall signage 100 s.f. or smaller are recommended in locations shown on the rendering, and as permitted by the sign code, Chapter 520.

(End of report and suggested motion)





PARKING REQUIREMENTS		
FITNESS CENTER		
3.33 PS / 1000 GSF OFFICE, RETAIL AND TANNING AREA		
5,000SF / 1000 x 3.33	=	17 PS
1 PS / 100 SF EXERCISE, EXERCISE MACHINE & AEROBICS		
32,000SF / 100	=	320 PS
4.5 / 1000 FOR JUICE BAR IF LESS THAN 1500 SF		
1000SF / 1000 X 4.5	=	5 PS
TOTAL		= 342 PS
SELF STORAGE		
3.33 PS / 1000 GSF OFFICE AREA		
2000 / 1000 X 3.33	=	7 PS
1 PS FOR CARETAKER IF REQUIRED	=	0 PS
TOTAL		= 7 PS
GRAND TOTAL PARKING REQUIRED	=	349 PS
TOTAL PARKING SHOWN	=	423 PS



Existing Floor Plan for

3180
North
Highway
67

Florissant, MO

6-12-20
6-16-20

Architectural Site Plan
AS1

3180 N. Highway 67
Florissant, MO
2019.184

Existing Floor Plan for

3180
North
Highway
67

Florissant, MO

6-12-20
6-16-20

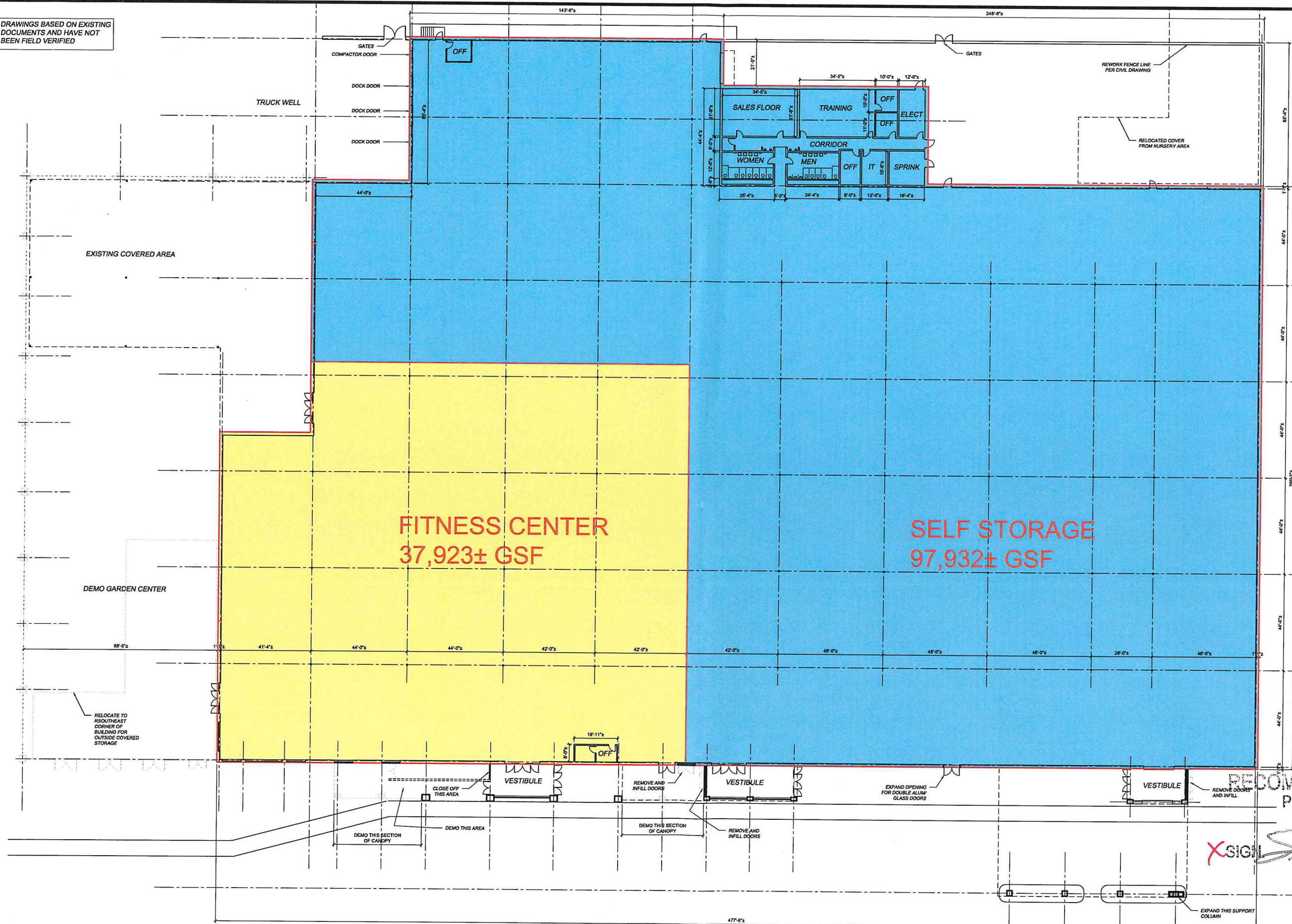
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

DATE: 7-27-11

X-sign

Existing Plan
A1

3180 N. Highway 67
Florissant, MO
2019.184



EXISTING COVERED AREA

DEMO GARDEN CENTER

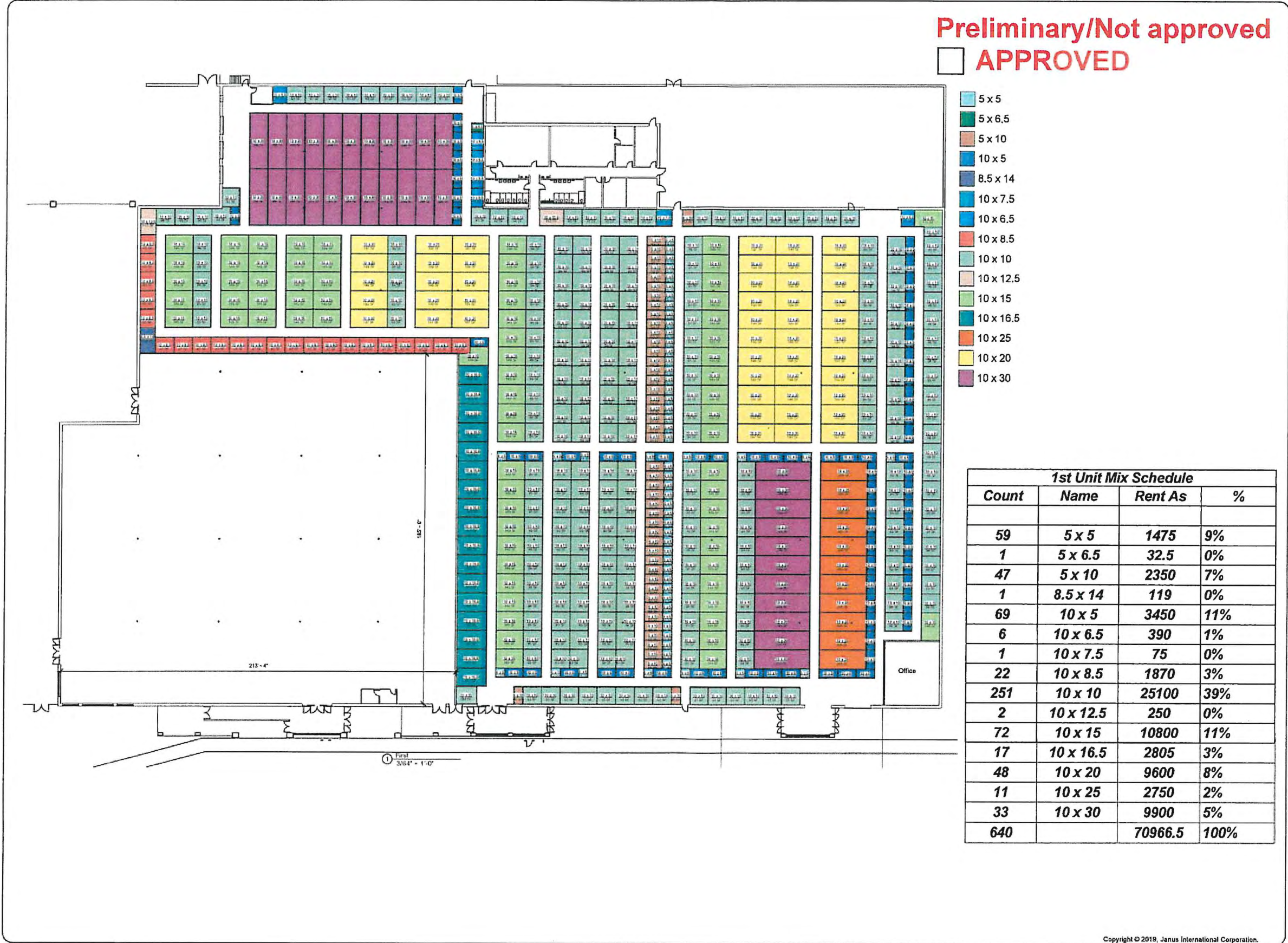
— RELOCATE TO
RSOUTHEAST
CORNER OF
BUILDING FOR
OUTSIDE COVERED
STORAGE

FITNESS CENTER
37,923± GSF

SELF STORAGE
97,932± GSF

477-5

EXPAND THIS SUPPORT COLUMN



JANUS
INTERNATIONAL

134 East Lake Road
Temple, Georgia 30179
(866) 562-2580 Toll-Free
(770) 567-6646
www.janusintl.com

NOT TO SCALE. THIS IS A PRELIMINARY UNIT MIX SCHEDULE. IT IS NOT TO BE USED FOR ANYTHING OTHER THAN A GENERAL IDEA OF THE PROPOSED UNIT MIX. IT IS NOT TO BE USED FOR ANYTHING OTHER THAN A GENERAL IDEA OF THE PROPOSED UNIT MIX. IT IS NOT TO BE USED FOR ANYTHING OTHER THAN A GENERAL IDEA OF THE PROPOSED UNIT MIX.

Florissant, MO

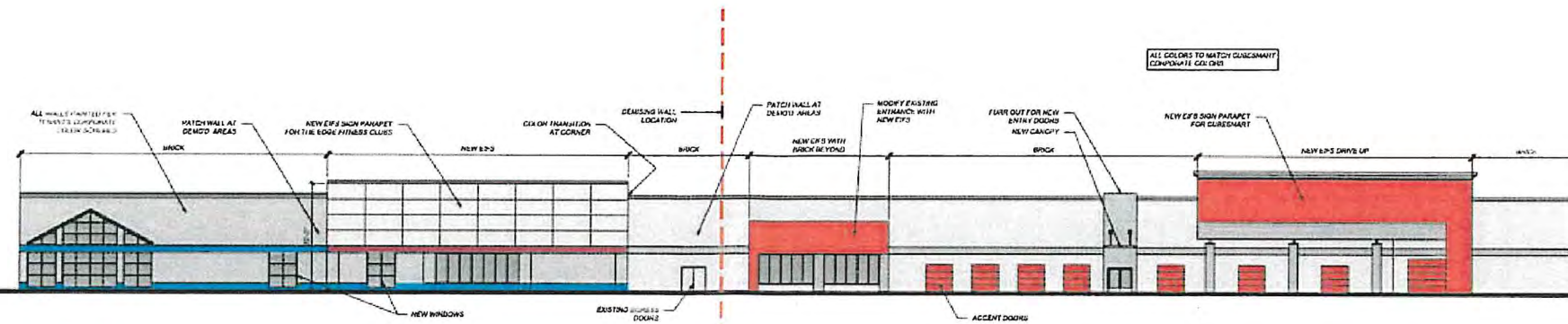
Customer: G. S. & S Construction
 Proposed Self Storage

Project #	
36317	
Rev #	Date
1	03-16-20
2	03-17-20
3	04-27-20

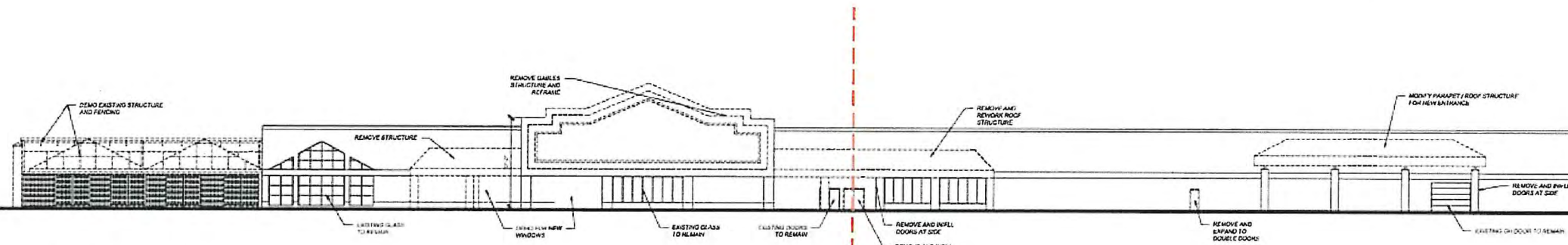
Drawn On: 11.07.19
 Drawn By: B. Johnson
 Checked By: M. Hodges

J101

First Floor
Unit Mix



Proposed Elevation
1" = 20'-0" (24x36 sheet size)



Existing Elevation
1" = 20'-0" (24x36 sheet size)

Existing Floor Plan for

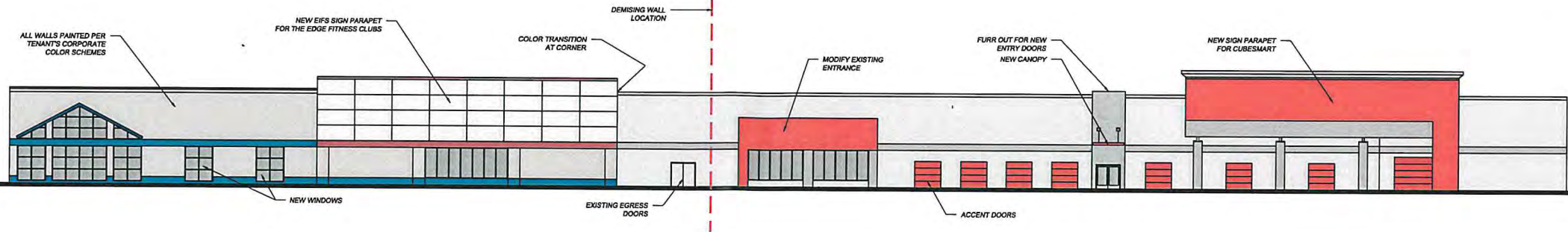
**3180
North
Highway
67**

Florissant, MO

6-12-20
6-16-20
6-24-20
7-6-20
7-7-20

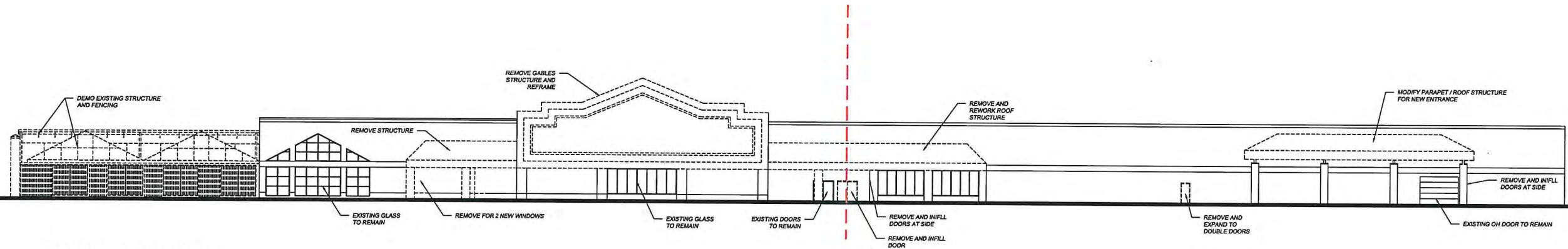
Elevations
A2

3180 N. Highway 67
Florissant, MO
2019.184



Proposed Elevation

1" = 20'-0" (24x36 sheet size)



Existing Elevation

1" = 20'-0" (24x36 sheet size)

Existing Floor Plan for

**3180
North
Highway 67**

Florissant, MO

6-12-20
6-16-20

Elevations

A2

3180 N. Highway 67
Florissant, MO
2019.184



1 INTRODUCED BY COUNCILMAN PAGANO
2 AUGUST 10, 2020

3
4 BILL NO. 9611

ORDINANCE NO.

5
6 **REQUEST TO AMEND B-5 ORDINANCE NO. 5239 AS AMENDED TO**
7 **ALLOW FOR A CHANGE IN THE LOCATION OF AN ATM AT**
8 **GRANDVIEW PLAZA SHOPPING CENTER LOCATED AT 1491 DUNN**
9 **ROAD.**

10
11 WHEREAS, the City Council passed and approved Ordinance No. 5239 authorized a
12 proposed development at 1491 Grandview Plaza Shopping Center; and

13 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
14 recommended to the City Council at their meeting of July 20, 2020 that Ordinance No. 5239 (as
15 amended by #5469, #5504, 5608, 5970, #6814 Old Time Pottery, and #7791) to allow for an
16 ATM installation; and

17 WHEREAS, due and lawful notice of a public hearing no. 20-08-021 on said proposed
18 change was duly published, held and concluded on 10th of August, 2020 by the Council of the
19 City of Florissant; and

20 WHEREAS, the Council, following said public hearing, and after due and careful
21 deliberation, has concluded that the amendment of Ordinance No. 5239 (as amended by #5469,
22 #5504, 5608, 5970, #6814 Old Time Pottery, and #7791), as hereinafter set forth, to be in the
23 best interest of the public health, safety and welfare of the City of Florissant; and

24
25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

27
28
29 Section 1: B-5 ordinance No. 5239 (as amended by #5469, #5504, 5608, 5970, #6814
30 Old Time Pottery, and #7791) **Grandview Plaza Shopping Center** is hereby amended to allow
31 for an ATM installation in a 'B-5' Zoning District as follows:

- 32
33 1. Add to the permitted Uses of Ordinance #5239, Section 2, para. 1 to include an ATM,
34 and it shall be as depicted as shown on attached by RMTA Architect's plans **A00,**
35 **A10, A11, A21, Details (A31) dated June 16, 2020.**

37 **PROJECT COMPLETION.**

38 Construction shall start within 60 days of the issuance of building permits, and the
 39 structure shall be completed in accordance with the plans within 180 days of start of
 40 construction.

41
 42 Section 3: This ordinance shall become in full force and effect immediately upon its
 43 passage and approval.

44
 45 Adopted this _____ day of _____, 2020.

46
 47 _____
 48 Keith Schildroth
 49 President of the Council

50
 51 Approved this _____ day of _____, 2020.

52
 53
 54 _____
 55 Timothy J. Lowery
 56 Mayor, City of Florissant

57
 58 ATTEST:

59
 60 _____
 61 Karen Goodwin, MPPA/MMC/MRCC
 62 City Clerk

CITY OF FLORISSANT



PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, August 10, 2020 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 5239 (as amended by Ord. Nos. 5469, 5504, 5608, 5970, 6814 and 7791) to allow for a change in the location of an ATM located at Grandview Plaza Shopping Center (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5
PLANNED COMMERCIAL DISTRICT ORDINANCE



PLANNING & ZONING ACTION:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Address of Property:

1491 Dunn Road

Council Ward 7 Zoning B-5

X SIGN. [Signature] DATE: 7-27-2008

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

PETITION TO AMEND B-5 ORDINANCE # 5239

Enter ordinance number or number requesting to amend.

1) Comes Now JP Morgan Chase (Leasee)

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal
interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Lease

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of
authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which
the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is
identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn
to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street
intersection; centerline of creek having a generally known name, etc., showing dimensions, bearings and
distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 0.1

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in
a B-5 District and is presently being used for commercial shopping center with the area of work for proposed

ATM and parking spaces.

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:
Provide access to banking resources for shopping center clientele.

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME

JACOB EGANHOUSE

Print Name

PETITIONER(S) SIGNATURE (S)

[Signature]

FOR JPMORGAN CHASE BANK NA.

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
- () I (we) have a legal interest in the herein above described property.
- (X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE

ADDRESS 2000 Shawnee Mission Pkwy Mission Woods KS 66205

STREET

CITY

STATE

ZIP CODE

TELEPHONE NUMBER 816-502-15-19

BUSINESS

I (we) the petitioner (s) do hereby appoint Skip Hymer

Print name of agent.

as

my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐ Partnership: ☐ Corporation: ☒

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners JPMORGAN CHASE BANK, NATIONAL ASSOCIATION
- (2) Telephone numbers 614-217-0080
- (3) Business address 1111 Polaris Parkway, Columbus, Ohio 43240-2050
- (4) State of Incorporation & a photocopy of incorporation papers Ohio
- (5) Date of Incorporation 12/29/2004
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name JP Morgan Chase (Leasee)

Address 1491 Dunn Road

Property Owner Broadway Sycamore Partners LLC Et Al

Location of property _____

Dimensions of property _____

Property is presently zoned B-5 per ordinance # 5239

Current & Proposed Use of Property Current use of project location is parking. Proposed project is for a drive through ATM.

Type of Sign Roof & Wall Height 10'-0"

Type of Construction IIB Number Of Stories N/A

Square Footage of Building N/A Number of Curb Cuts N/A

Number of Parking Spaces N/A Sidewalk Length N/A

Landscaping: No. of Trees N/A Diameter N/A

No. of Shrubs N/A Size N/A

Fence: Type N/A Length N/A Height N/A

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

1

MEMORANDUM



2

3

CITY OF FLORISSANT- Building Department

4

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

5

6

To: Planning and Zoning Commissioners Date: 7/15/20

7

8

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

9

10

11

12

13

14

Subject: Request Recommended Approval to amend a 'B-5' at Grandview Shopping Center to allow for a **change in location of an ATM** installation **1491ATM Dunn Rd (J P Morgan Chase)** in a 'B-5' Planned Commercial District.

15

16

17

18

19

STAFF REPORT **CASE NUMBER PZ-072020-2**

20

21

I. PROJECT DESCRIPTION:

22

This is a Request for Recommended Approval to amend a 'B-5' at Grandview Shopping Center to allow for a **change in location** of an ATM installation in a 'B-5' Planned Commercial District.

23

24

25

26

II. SITE CONDITIONS:

27

The existing property at **1491 Dunn Rd** Grandview Plaza Shopping Center This property is located within a 'B-5' Planned Commercial District.

28

29

30

31

Surrounding Properties and their zoning districts:

32

Parcel Locator#	Address	NSEW	Zoning District
09H130010	901 Wooden Drive	N	'R-6'
09H141340	1335 South Waterford Drive	E	'R-6'
09H120363	1397 South Waterford Drive	E	'R-6'
09H120413	1401 South Waterford Drive	E	'R-6'
09H120385	1357 Stonebury Ct.	E	'B-3'
1475 Dunn Road		W	'B-5'

33

34

35

36

37

38

39

The property was granted any variances, special exceptions, conditional use permits or zoning relief as follows:

40

41

42○ Ordinance #2443 as amended by #2687, 3028 and #5240 to allow for a ground sign.
43○ Ordinance #5239 as amended by #5469, #5504, 5608, 5970, #6814 Old Time Pottery and
44 #7791 for re-zoning to the 'B-5' Planned Commercial Development District.
45○ Ordinance #6431 issued to Subway for the operation of a restaurant
46○ Ordinance #6161 as amended by #7952 issued to Bradley Real Estate-CIS Communication
47 To allow for a Cellular Tower, transferred to Global Signal.
48○ Ordinance #6853 issued to Zu Yang-DBA Chins Wok for the operation of a restaurant
49
50 Per the parking ordinance for this use a retail center containing approximately 350,000
51 s.f. requires 2.85 spaces/1000 s.f. Required parking is estimated at 997 parking for the
52 shopping center buildings in addition to the parking required for Schnucks, if
53 approximately 100,000 s.f. at 4.5 spaces if another Food Market enters would be another
54 450. Total required with the Food Market is estimated at 997+450= 1447 Total
55 Required. About 1527 spaces exist.

56

57 **III. STAFF ANALYSIS:**

58 Permitted Uses already allow an ATM, but in another location.

59

60 The application is accompanied by RMTA Architect's plans revised A00, A10, A11,
61 A21, Details (A31) dated June 16, 2020, and a drawing indicating the new and previously
62 approved location of the Chase ATM. Comments on plans submitted are as follows:

63

64 Details remain the same.

65 The location flips the ATM to the other side of the row of parking due to Walgreen's
66 objections.

67

68 **VI. STAFF RECOMMENDATIONS:**

69 If the Commission recommends approval, staff recommends the attached suggested
70 motion, increasing the stacking depth.

71

72 **Suggested Motion for a Special Use at 1491 Dunn Grandview Plaza Shopping Center**

73

74 I move to recommend approval to amend a 'B-5', Ordinance #5239 (as amended
75 by #5469, #5504, 5608, 5970, #6814 Old Time Pottery, and #7791) **Grandview**
76 **Plaza Shopping Center** to allow for an ATM installation in a 'B-5' Zoning
77 District as follows:

78

- 79 1. Add to the permitted Uses of Ordinance #5239, Section 2, para. 1 to include
80 an ATM, and it shall be as depicted as shown on attached by RMTA
81 Architect's plans **A00, A10, A11, A21, Details (A31) dated June 16, 2020.**

82

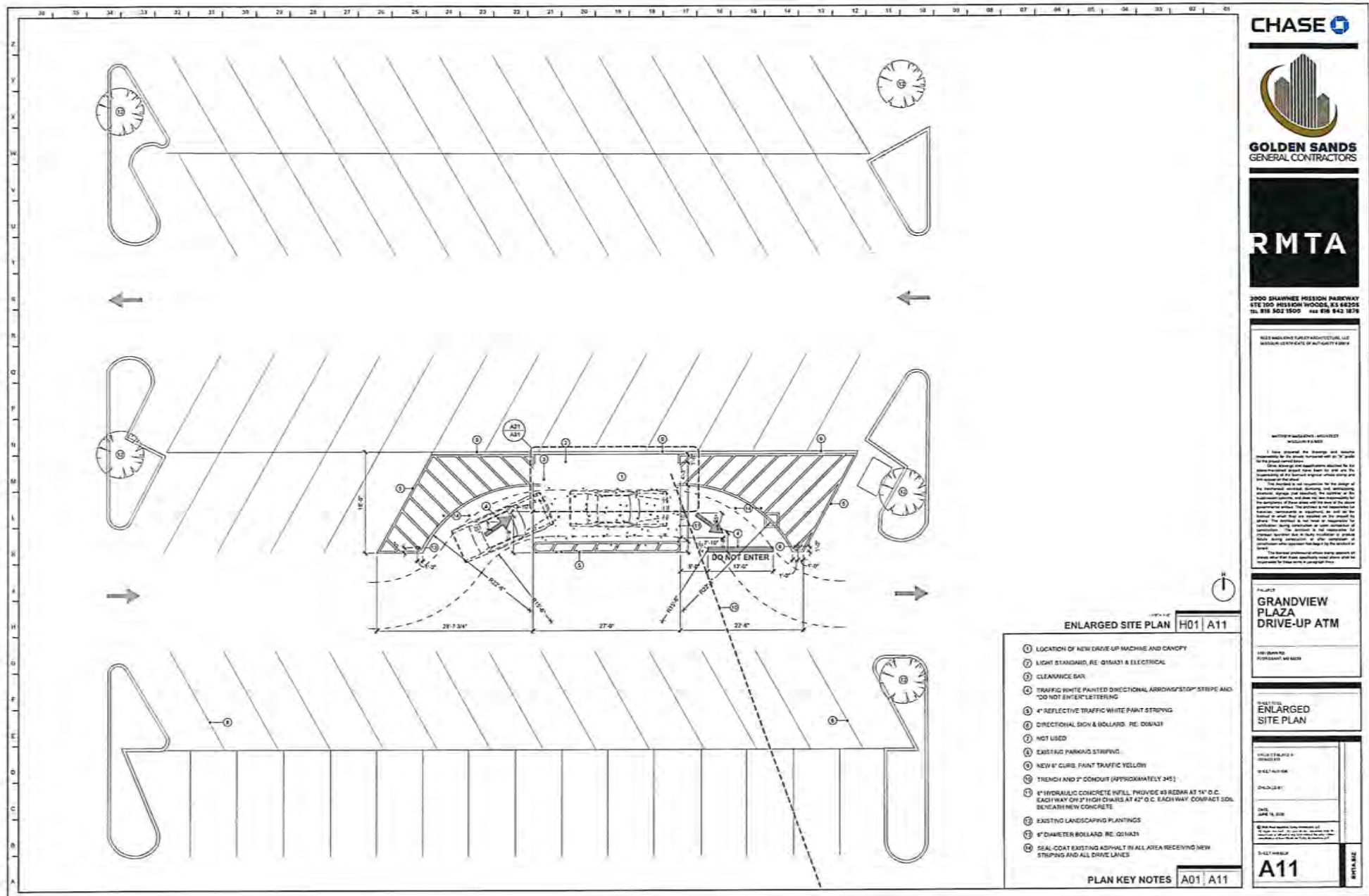
83 **PROJECT COMPLETION.**

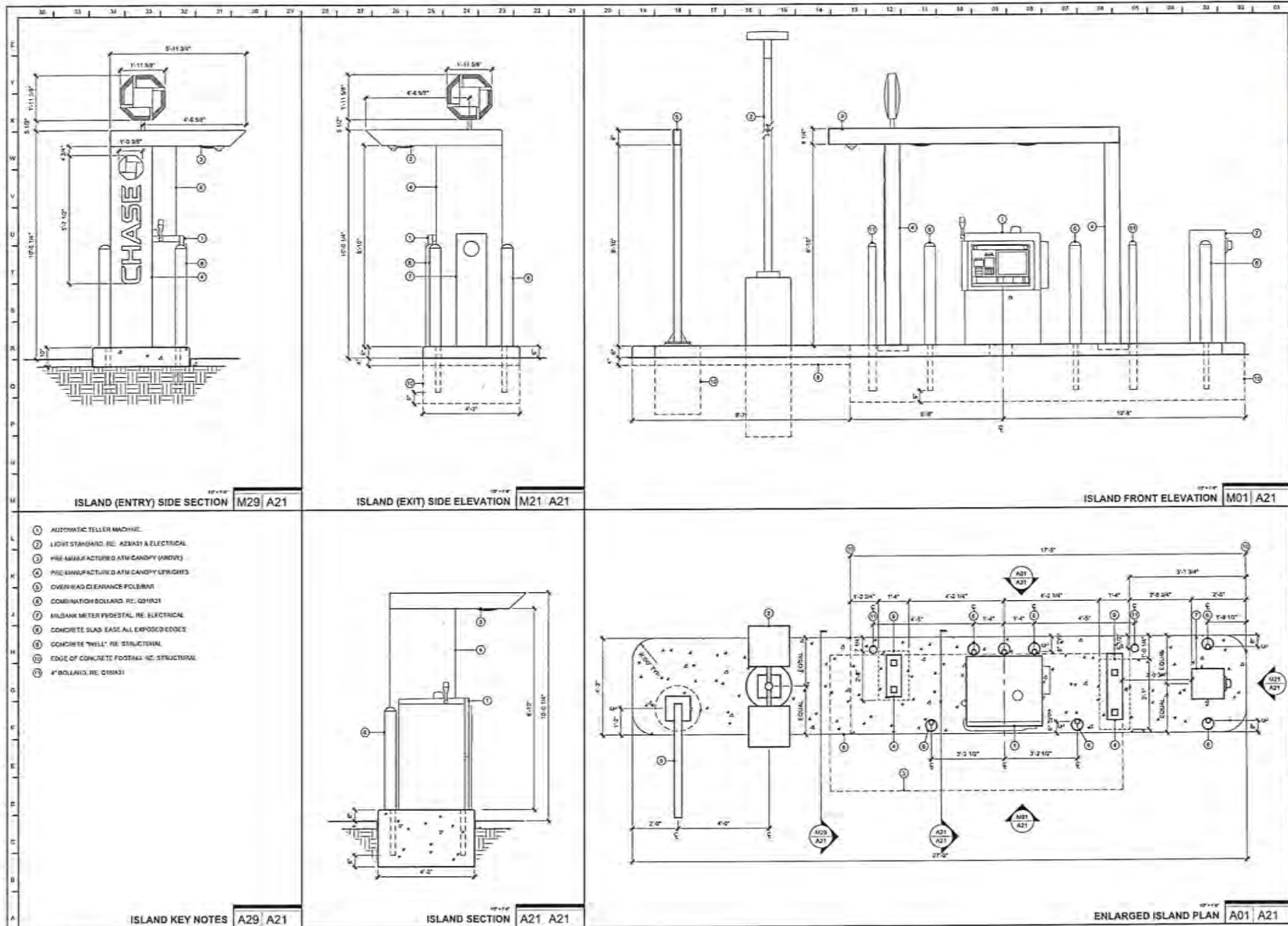
84

85 Construction shall start within 60 days of the issuance of building permits, and
the structure shall be completed in accordance with the plans within 180 days
of start of construction.

86

(end of Suggested Motion and Memo)





CHASE



**GOLDEN SANDS
GENERAL CONTRACTORS**

RMTA

2000 SHAWNEE MISSION PARKWAY
STE 100 MISSION WOODS, KS 66205
TEL 913 852 1500 FAX 913 852 3878

RETS BUILDING SMITH ARCHITECT, LLC
ARCHITECTS OF ARCHITECTURE

SMITH BUILDING SMITH ARCHITECT, LLC
ARCHITECTS OF ARCHITECTURE

I have prepared this drawing and certify that the design contained herein is the work of the architect and is not the work of any other person. I am a duly licensed architect in the State of Kansas and am the owner of the firm. I am not aware of any other person who has been authorized to prepare this drawing. I am not aware of any other person who has been authorized to prepare this drawing. I am not aware of any other person who has been authorized to prepare this drawing.

**PROJECT
GRANDVIEW
PLAZA
DRIVE-UP ATM**

DATE: 04/14/2011
DRAWN BY: J. H. HARRIS

ELEVATIONS

PLANS

SECTION

DETAILS

DATE: 04/14/2011

BY: J. H. HARRIS

DATE: 04/14/2011

BY: J. H. HARRIS

DATE: 04/14/2011

BY: J. H. HARRIS

DATE: 04/14/2011

BY: J. H. HARRIS

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DATE: 04/14/2011

BY: J. H. HARRIS

DATE: 04/14/2011

BY: J. H. HARRIS

DATE: 04/14/2011

BY: J. H. HARRIS



GOLDEN SANDS
GENERAL CONTRACTORS

RMTA

3000 SHAWNEE MISSION PARKWAY
STE 100 MISSION WOODS, KS 66205
TEL 913 602 1500 FAX 913 642 1878

MISSOURI CERTIFICATE OF AUTHORITY #0000

BRIAN WILLIAMS, MCHS '27
 (1927-1998)

After drawings and specifications submitted for the design of the project are approved, the responsibility of the licensed engineer whose drawing and design are on that design.

The architect is not responsible for the design of the structural components of the building or structural elements. Although (as specified), the architect or the owner may be responsible for the design of the structural components of the building or structural elements. The architect is not responsible for the design of the structural components of the building or structural elements. The architect is not responsible for the design of the structural components of the building or structural elements.

The largest professional firms have already set goals that are significantly more aggressive than those of the industry as a whole.

**GRANDVIEW
PLAZA
DRIVE-UP ATM**

SALES: 25,000,000
PUBLISHED MONTHLY, \$4.95

5427

PHILLIP D. KENNEDY
University of Illinois at Chicago

WALT 860-429

2000

APR 14, 2020

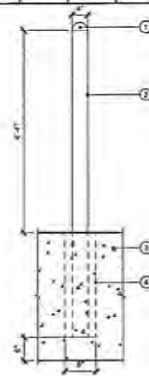
© 2005 Blackwell Publishing Ltd, *Journal of Internal Medicine* 258: 105–112

and estimate of β is $\hat{\beta} = \frac{1}{n} \sum_{i=1}^n \hat{\beta}_i$

9-627 (11-8-80)

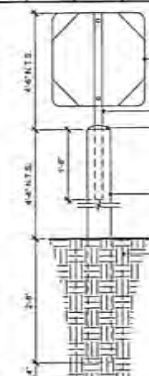
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11



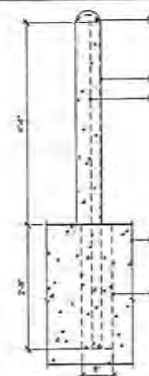
- ① ROUNDED CONCRETE CAP
- ② 4" STANDARD STEEL PIPE FILLED WITH CONCRETE PROVIDE GRADE BLUE POLYMER COVER
- ③ CONCRETE FOOTINGS RE-ADHESIVE AND STRUCTURAL
- ④ IF SOIL IS NOT IN MAIN ISLAND FOOTINGS PROVIDE 12" DIAMETER (MIN), 3'-0" DEEP (MIN) CONCRETE FOOTING

BOLLARD DETAIL Q15



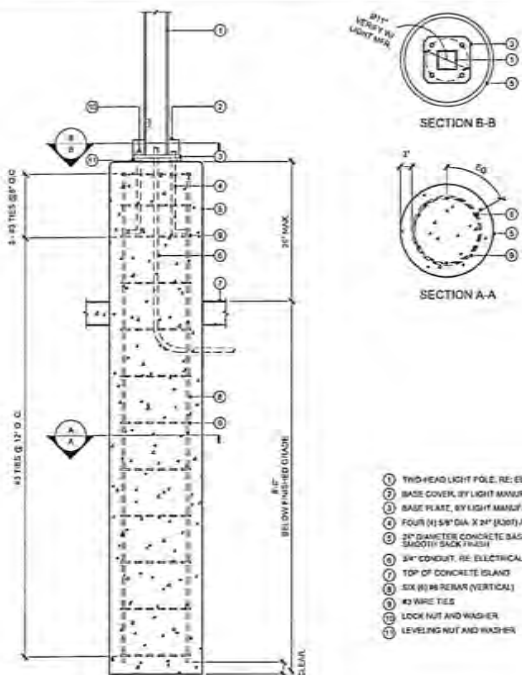
- ① ROUNDED CONCRETE CAP, DRILL HOLE IN CAP FOR SIGN POST
- ② 6" DIA. STANDARD STEEL PIPE, FILL WITH CONCRETE, PROVIDE CHROME BLUE POLYMER COVER
- ③ 12" DIAMETER (MIN.), 3'-2" DEEP (MIN.) CONCRETE FOOTING
- ④ SIGN POST EMBEDDED IN CONCRETE BOLLARD
- ⑤ DIRECTIONAL COUNCIL SIGNS: SIDE TO READ "STOP" OTHER SIDE TO READ "DO NOT ENTER" PROVIDED BY SIGNAGE VENDOR

DIRECTIONAL SIGN DETAIL	Q08
-------------------------	-----



- ① ROLLED CONCRETE CAP (85.0% POLYMER CAP)
- ② 6" NOMINAL (8.625 O.D.) STEEL PIPE, PLUG WELD TO INNER PIPE, FILL WITH CONCRETE, PROVIDE CHASE BLUE POLYMER COVER
- ③ 2 1/2" NOMINAL (2.875 O.D.) STEEL PIPE INTO FOOTING, FILL WITH CONCRETE
- ④ CONCRETE FOOTINGS, RE. ADMIX AND STRUCTURAL
- ⑤ IF ROLLER IS NOT IN MAINLINE FOOTING PROVIDE 12" DIAMETER BRASS, 3" DEEP (NEW) CONCRETE FOOTING

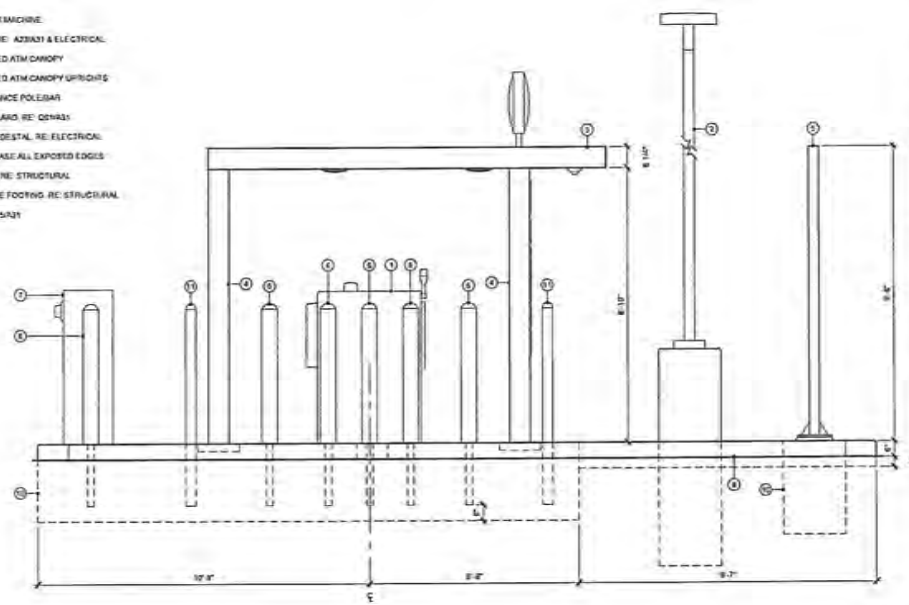
BOLLARD DETAIL	Q01
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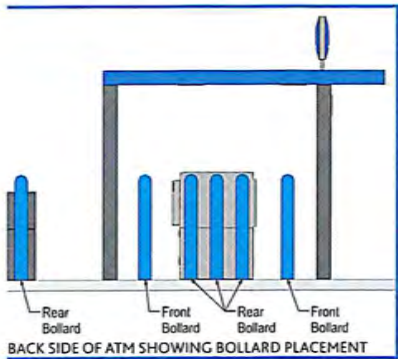
- ⑦ AUTOMATIC TELLER MACHINE.
- ⑧ LIGHT STANDARD. RE: A23131 & ELECTRICAL.
- ⑨ PRE-MANUFACTURED ATM CANOPY.
- ⑩ PRE-MANUFACTURED ATM CANOPY UPRIGHTS.
- ⑪ OVERHEAD CLEARANCE POLEBAR.
- ⑫ COINTEGRATION BOLLARD. RE: Q29433.
- ⑬ MILEBACK METER PEDESTAL. RE: ELECTRICAL.
- ⑭ CONCRETE SLAB BASE ALL EXPOSED EDGES.
- ⑮ CONCRETE "WELL". RE: STRUCTURAL.
- ⑯ EDGE OF CONCRETE FOOTING. RE: STRUCTURAL.
- ⑰ 4' BOLLARD. RE: Q15421.

- 1 TWO-HEAD LIGHT POLE, RE: ELECTRICAL
- 2 BASE COVER, BY LIGHT MANUFACTURER
- 3 BASE PLATE, BY LIGHT MANUFACTURER
- 4 FOUR (4) 5/8" DIA. X 24" (FOOT) ANCHOR BOLTS
- 5 2" DIAMETER CONCRETE BASE 3000 PSI CONCRETE SMOOTH SACK FINISH
- 6 5/4" CONDUIT, RE: ELECTRICAL
- 7 TOP OF CONCRETE ISLAND
- 8 SIX (6) #8 REBAR (VERTICAL)
- 9 #2 WIRE TIES
- 10 LOCK NUT AND WASHER
- 11 LEVELING NUT AND WASHER

34-117
LIGHT POLE DETAILS A23

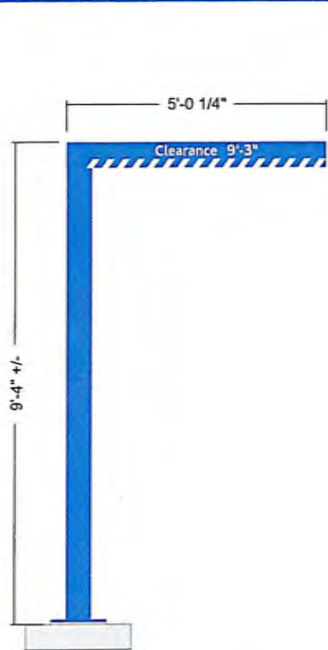


ISLAND REAR ELEVATION	A01
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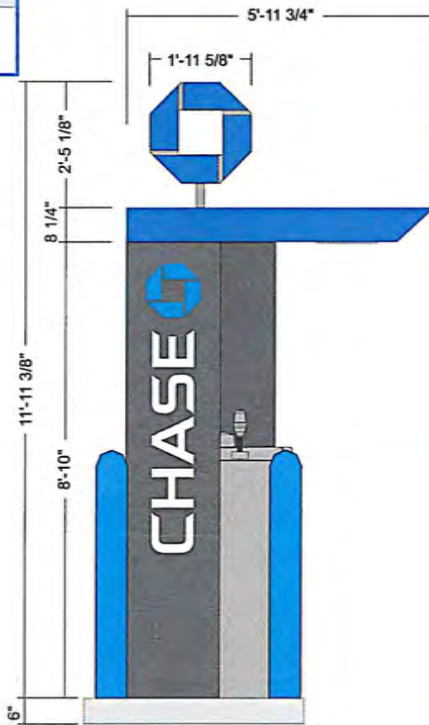


Chase blue Metallic
Matthews paints 40353

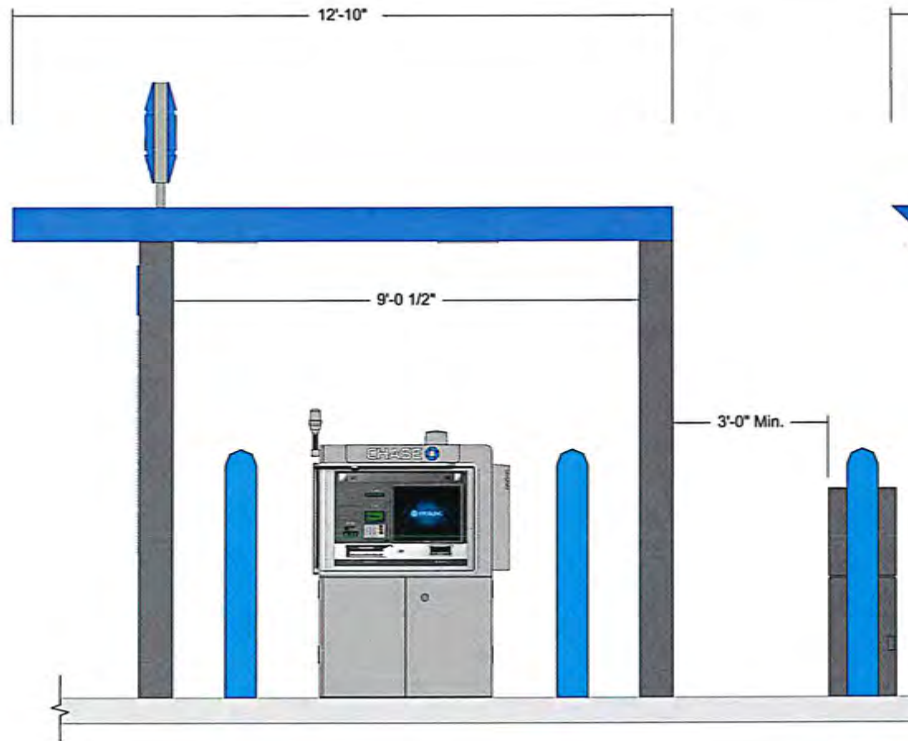
Chase ATM Nickel
Matthews paints 16101



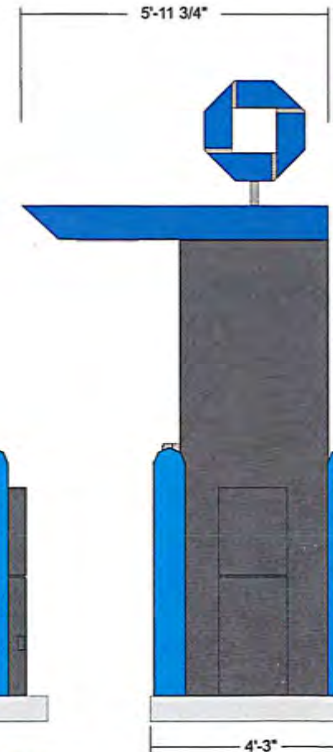
ELEVATION



APPROACH
ELEVATION



ELEVATION



DEPARTURE
ELEVATION

* Utility Pedestal
to be installed by GC

HB-U Headache Bar

E02 CAN-ATM-SIG-OCT ATM Signature Canopy w/ Octagon

1 INTRODUCED BY COUNCILMAN SIAM
2 AUGUST 10, 2020

3
4 BILL NO. 9612

ORDINANCE NO.

5
6 **REQUEST TO APPROVE A FINAL SUBDIVISION PLAT OF**
7 **“SUBDIVISION OF 3200 N. LINDBERGH BLVD” FOR THE**
8 **PROPERTY LOCATED AT 3200 N. HIGHWAY 67.**
9

10 **WHEREAS**, Chapter 410 of the Florissant City Code, known as the Subdivision
11 Ordinance, authorizes the subdivision of properties with in the City; and

12 **WHEREAS**, an application has been filed by Intelica Commercial Real Estate
13 requesting approval of Final Subdivision Plat for 3200 Lindbergh; and

14 **WHEREAS**, the Planning and Zoning Commission of the City of Florissant, at their
15 meeting of July 20, 2020 has recommended that said Final Subdivision Plat be approved; and

16 **WHEREAS**, due notice of public hearing no. 20-08-022 on said application to be held
17 on the August 10, 2020 at 7:30 pm by the Council of the City of Florissant was duly published,
18 held and concluded; and

19 **WHEREAS**, the Council, following said public hearing, and after due and careful
20 consideration, has concluded that the approval of the Final Subdivision Plat would be in the best
21 interest of the City of Florissant.
22

23 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
24 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**
25

26 Section 1: The Final Subdivision Plat for 3200 N Highway 67, City of Florissant, St.
27 Louis County, Missouri a copy of which is attached hereto and made a part hereof as if fully set
28 out herein, is hereby approved.

29 Section 2: This ordinance shall become in full force and effect immediately upon its
30 passage and approval.

31 Adopted this _____ day of _____, 2020.
32

33 _____
34 Keith Schildroth
35 President of the City Council

36 Approved this _____ day of _____, 2020.
37

38 _____
39 Timothy J. Lowery
40 Mayor

41 ATTEST:

42 _____
43 Karen Goodwin, MPPA/MMC/MRCC
44 City Clerk

CITY OF FLORISSANT



PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Chapter 410.020 of the Florissant Code of Ordinances, the Subdivision Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, August 10, 2020 at 7:30 p.m. on the following proposition:

To approve a final subdivision plat of “Subdivision of 3200 Lindbergh Blvd” for the property located at 3200 North Highway 67 (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, CMC, City Clerk.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



SECRETARY

X SIGN.

DATE:

City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 3200 & 3280 North Lindbergh Blvd.

Property Owners Name: 3200 N Hwy 67, LLC Phone/email: 314-270-5991 ddokovic@intcre.com

Property Owners Address: 600 Emerson, Suite 210, Creve Coeur, MO 63141

Business Owners Name: Intelica Commercial Real Estate Phone/email: 314-270-5991 ddokovic@intcre.com

Business Owners Address: 600 Emerson, Suite 210, Creve Coeur, MO 63141

DBA (Doing Business As) Intelica Commercial Real Estate

Authorized Agents Name: George M. Stock, P.E. President Co. Name: Stock & Associates Consulting Engineers, Inc
(Authorized Agent to Appear Before The Commission)

Agents Address: 257 Chester Field Business Parkway, St. Louis MO 63005 Phone/email: 636-530-9100 george.stock@stockassoc.com

Request Recommend Approval of the Subdivision Plat of 3200 Lindbergh

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Applicant's Signature

Date

OFFICE USE ONLY

Received by: Receipt # Amount Paid: Date:

STAFF REMARKS:

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED:

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

Planning & Zoning Application
Page 1 of 1 - Revised 7/15/15

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

X SIGN.

DATE: 7-27-2020

1

MEMORANDUM



2

3

CITY OF FLORISSANT- BUILDING DEPARTMENT

4 *"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant;*
5 *while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

6

7

8 To: Planning and Zoning Commissioners Date: July 15, 2020

9

10 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.
11 Director Public Works
12 Deputy City Clerk
13 Applicant
14 File

15

16 Subject: Request Recommended Approval of a **Final Plat for 3200 N Highway 67**
17 in an existing 'B-3' (and 'B-5') Zoning District.
18

19

STAFF REPORT

20

CASE NUMBER PZ-072020-4

21

I. PROJECT DESCRIPTION:

22

23 The request before the commission is for Recommended Approval of a Final Plat located
24 **3200 N Highway 67** in an existing 'B-3' (and 'B-5') Zoning District.. This site is
25 already partially re-zoned to a 'B-5' Planned Commercial District to allow for the
26 redevelopment of a Discount Tire establishment. **Drawings included the Final Plat**
27 **dated 2/28/20.**

28

29

II. EXISTING SITE CONDITIONS:

30 The existing property is currently undeveloped.

31

32

III. SURROUNDING PROPERTIES:

33 The adjacent property to the South is 3180 N. Highway 67 in a 'B-5' District. The
34 property to the East is Walmart at 3390 N. Highway 67 in a 'B-5' District.

35

36

IV. STAFF ANALYSIS:

37 A recommendation from the Commission is required per 410.020 of the Zoning Code:

38 3. *"Final plat.*

- 39 a. *After all public or common use improvement plans have been approved by the Director of Public*
40 *Works, the petitioner shall submit two (2) copies of the final plat for review and approval. The*

- Director of Public Works will review the final plat for conformity to the requirements of the subdivision and zoning ordinances and with current engineering practice and shall complete the applicable portion of the administrative review form. If the final plat does not comply with all requirements, one (1) copy will be returned, with deficiencies noted, for correction and resubmittal. Should more than one (1) resubmittal be required, an additional application fee will be charged.
- b. Upon approval of the final plat by the Director of Public Works, the petitioner shall submit the original of the final plat, fully signed and executed by all parties having a legal interest in the property, including mortgage holders, together with twenty-one (21) copies of the approved final plat. The date shown on the plat shall be the date of approval by the Director of Public Works. The original of the plat shall be on tracing cloth (linen), drafting film (mylar) or equivalent material suitable for recording and permanent recordkeeping.
- c. The petitioner shall also submit with the original of the approved final plat the following:
- 1) A copy of the indentures, if any, containing deed restrictions and establishing trusts, unless these items are set out in full text on the final plat. If separate indentures are to be recorded, they shall be referenced by notes on the final plat. If no indentures pertain to the subdivision, this fact shall be noted on the final plat.
 - 2) A certificate from St. Louis County showing that all taxes due have been paid.
 - 3) A set of plans for each type of building to be constructed in the subdivision, including floor plans, elevations, color scheme, materials of construction, landscaping and siting of the buildings on the lots. Such plans must be sufficient to allow review of the structural and landscaping improvements proposed against the standards of good architecture, civic design, the character of the neighborhood, and the requirements of all other ordinances of the City of Florissant. When the petitioner intends to sell improved lots in all or part of the subdivision without buildings erected thereon, he/she may certify this intent in writing in lieu of this requirement.
 - 4) A letter from the local postmaster approving the names of the proposed streets and the proposed system of addresses along such streets.
 - 5) A letter from the St. Louis County Recorder's office approving the proposed name of the subdivision.
 - 6) A completed and executed land subdivision surety bond, escrow agreement or certificate of completion of all required improvements as required by Sections 410.050(8)(a) and 410.050(8)(b).
 - 7) A completed and executed water main agreement, if the subdivision is to be served by the City of Florissant Water Company, or proof that water lines and hydrants have been or will be installed and maintained by another public utility in conformance with Sections 410.050(8)(c)(10) or 410.050(8)(c)(11).
- d. No final plat shall be placed on the agenda for review by the Planning and Zoning Commission until all above items have been received by the Director of Public Works. Upon receipt of the required documentation, the final plat shall be placed upon the next available agenda for consideration by the Planning and Zoning Commission.
- e. The Planning and Zoning Commission may recommend approval, approval with conditions or disapproval of the proposed final plat. If the Commission recommends approval with conditions and the conditions are acceptable to the petitioner, the petitioner shall make any necessary changes in the final plat and shall resubmit the original and twenty-one (21) copies of the revised plat to the Director of Public Works for verification that the conditions required have been incorporated. The date of the revisions shall be shown on the plat. The Commission may require that the revised final plat be resubmitted for their review, or they may elect to allow the plat to be presented to the City Council directly after verification of the revisions by the Director of Public Works.
- f. The recommendation of the Commission shall be noted on the original plat over the signatures of both the Chairman and the Secretary of the Commission. The original plat shall then be forwarded to the City Council for their consideration.
- g. Upon the issuance of a recommendation by the Planning and Zoning Commission, the City Council shall set a public hearing on such final plat provided that the petitioner has deposited funds with the City Clerk sufficient to cover the anticipated cost of advertising such public

- 97 *hearing. If no recommendation has been made by the Planning and Zoning Commission within*
98 *sixty (60) days of the first (1st) meeting of the Commission to consider such final plat, the*
99 *petitioner may request the City Council to set a public hearing on such final plat by filing a*
100 *written request thereof with the City Clerk together with any required deposit to cover the*
101 *anticipated costs of advertising such public hearing. Upon receipt of such written request and the*
102 *deposit for advertising costs, the City Council shall set a public hearing and in the absence of a*
103 *recommendation from the Planning and Zoning Commission, the Planning and Zoning*
104 *Commission shall be deemed to have made a recommendation of approval.*
105 h. *At least fifteen (15) days' notice of such public hearing shall have been published in a legal*
106 *newspaper of general circulation within the City of Florissant giving the time, date, place and*
107 *purpose of such hearing, but no public hearing shall be commenced until the petitioner has*
108 *provided payment for the notice of publication of such public hearing. If such payment is not*
109 *provided by the petitioner within sixty (60) days of submission of a bill thereto, the petition shall*
110 *be deemed abandoned and the request for public hearing withdrawn.*
111 i. *Upon enactment of an ordinance approving a final plat, the City Clerk shall certify such*
112 *enactment on the face of the original plat and shall return the plat to the petitioner for recording.*
113 *Two (2) copies of the final plat, with the book and page where recorded noted thereon, shall be*
114 *filed with the City Clerk after recording. No building permits shall be issued for any subdivision*
115 *until said two (2) copies of the recorded plat have been filed with the City Clerk."*
116

117 **V. STAFF RECOMMENDATIONS:**

118 The Final Plat was reviewed and approved by the City Engineer as part of the process and
119 as a condition required prior to submission for recording. Staff recommends the
120 Subdivision as submitted and any additional requirements the Commission would
121 entertain regarding this development.
122

123 **Suggested Motion**

124 I move to recommend approval the final plat as presented, per the **Final Plat drawing**
125 **dated 2/28/20** and recommend that the Final Plat be forwarded for consideration by the
126 City Council.

127 (end report and suggested motion)

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MEMORANDUM



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CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: July 15, 2020

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request Approval of a **Preliminary Plat for 3200 N Highway 67** in an existing 'B-3'(and 'B-5') Zoning District.

STAFF REPORT
CASE NUMBER PZ-072020-3

I. PROJECT DESCRIPTION:

The request before the commission is to Approve a Preliminary Plat located at **3200 N Highway 67** in an existing 'B-3'(and 'B-5') Zoning District. This site is already partially re-zoned to a 'B-5' Planned Commercial District, to allow for the redevelopment of a Discount Tire establishment. **Drawings included the Preliminary Plat dated 2/28/20.**

II. EXISTING SITE CONDITIONS:

The existing property is currently undeveloped.

III. SURROUNDING PROPERTIES:

The adjacent property to the South is 3180 N. Highway 67 in a 'B-5' District. The property to the East is Walmart at 3390 N. Highway 67 in a 'B-5' District.

IV. STAFF ANALYSIS:

1. The application is accompanied by professionally completed Plat, reviewed by the City Engineer to be placed before P&Z for **approval**.

2. Prelim and Final Plat Review: the Major Subdivision Administrative Review completed by Tom Goldkamp, City Engineer was completed. This review covers comments for both Preliminary Plat review and Final Plat Review. Mr. Goldkamp has informed us that all comments were answered in satisfactory manner by the revision drawings and both items were to be placed on the agenda.

The development with proposed sites meet the requirements of the District. Staff recommends dividing the lot by the Subdivision plans submitted and any additional requirements the Commission would entertain regarding this development pertinent to the subdivision.

If a motion is made for the Preliminary Subdivision Plat to be approved and is passed, the Commission may review the Final Plan and Recommend Approval of the Final Plat to the City Council, per 410.020:

- 1) *Generally. Every subdivision of land within the City of Florissant, or for which annexation to the City of Florissant has been requested, shall be by recorded plat, in addition to metes and bounds description, and no subdivision shall be made except according to the requirements and procedures set forth herein. Petitioners desiring to subdivide property shall first hold a preliminary conference with the Director of Public Works to discuss the requirements applicable to the proposed subdivision. Petitioners shall submit a completed and fully executed application to appear before the Planning and Zoning Commission, together with all fees, plats, plans and other required documentation, at least two (2) weeks in advance of the Planning and Zoning Commission meeting at which petitioner desires to present his/her petition. Such timely submittal, however, shall not constitute a guarantee that the subdivision will be placed on the agenda for the desired meeting.*
- 2) *Major Subdivision Procedure.*
 1. *Preliminary plat.*
 - a. *After holding the preliminary conference with the Director of Public Works, petitioners desiring a major subdivision must submit, together with their application to appear before the Planning and Zoning Commission and the proper fee, two (2) copies of a preliminary plat containing all information described in Section 410.030(A) below to the Director of Public Works for review and approval. The petitioner shall also submit at this time a copy of a certificate of title, or other documentation acceptable to the City Attorney, showing petitioner's legal interest in the property to be subdivided, together with any designation of agents desired by the petitioner. Preliminary plat review will not be started until the application, fee, plat and certificate of title have been received and dated by the Director of Public Works.*
 - b. *The Director of Public Works will review the preliminary plat for conformance to the requirements of the subdivision and zoning ordinances and to current engineering practices and shall complete the appropriate portion of the subdivision administrative review form. If the preliminary plat does not comply with all requirements, one (1) copy will be returned to the petitioner for correction and resubmittal with the deficiencies indicated. If more than one (1) resubmittal is required, an additional subdivision application fee shall be charged. When the Director of Public Works has approved the preliminary plat, the petitioner shall submit ten (10) additional copies of the approved preliminary plat. Upon receipt of the additional copies, the preliminary plat shall be placed on the next available agenda for consideration by the Planning and Zoning Commission. Petitioners should note that agendas are normally closed at 5:00 P.M. on the Wednesday preceding a Planning and Zoning Commission meeting.*
 - c. *The Planning and Zoning Commission shall approve, approve with conditions or disapprove the preliminary plat within sixty (60) days of the first (1st) meeting of the Commission to consider the plat, unless extensions for further consideration are mutually agreed upon by the*

Commission and the petitioner. Failure to approve or reject the preliminary plat within sixty (60) days shall be deemed approval of the Commission.

- d. The action of the Commission shall be noted on two (2) copies of the preliminary plat, along with the signatures of the Chairman and Secretary of the Commission and any conditions imposed by the Commission. One (1) copy shall be returned to the petitioner, and one (1) copy shall be retained by the Commission.
- e. Approval of a preliminary plat by the Commission constitutes authorization for the petitioner to complete engineering designs and began preparation of the final plat. If desired, petitioner may, at his/her own risk, begin tree removal, grading and improvements; but petitioner should note that only approval of the final plat by the City Council constitutes approval of the subdivision for recording, the sale of lots or any other purpose. Petitioners should note that changes may be required in the subdivision between approval of the preliminary plat and approval of the final plat, such as addition or relocation of utility easements, changes in the number, location or size of lots, or relocation of street rights-of-way, and must be prepared to make necessary corrections to any site construction already performed at their own cost.

Suggested Motion

I move to approve the preliminary plat as presented, per the **Preliminary Plat dated 2/28/20** and recommend that the Final Plat be presented and reviewed by the Planning & Zoning Commission.

(end report)

A TRACT OF LAND BEING PART OF LOT 12 OF ST. FERDINAND COMMONS
CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 AUGUST 24, 2020
3

4 BILL NO. 9614

ORDINANCE NO.

5
6 **AN ORDINANCE AUTHORIZING SUPPLEMENTAL RE-**
7 **APPROPRIATIONS OF FISCAL YEAR 2019 OUTSTANDING**
8 **PURCHASE ORDERS IN VARIOUS FUNDS.**
9

10 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
11 COUNTY, MISSOURI, AS FOLLOWS:
12

13 Section 1: There is hereby authorized an appropriation of \$60,805 from the General
14 Revenue Fund to various accounts listed as follows:
15

16 **General Fund Total \$ 60,805**

17 01-5-36-24000	Telephone – Land Line	\$ 8,661
18 01-5-40-32010	Office Exp – Office Furniture	\$ 1,584
19 01-5-48-50045	Prof Serv – Computer	\$ 48,309
20 01-5-49-30010	Vehicle Repairs	\$ 2,251

21

22 Section 2: There is hereby authorized an appropriation of **\$851,021** from the Capital
23 Improvement Fund to various accounts listed as follows:
24

25 **Capital Improvement Fund Total \$851,021**

26 03-5-03-50010	Professional Services	\$ 38,164
27 03-5-03-52000	Street Contracts	\$ 550,506
28 03-5-03-54020	Bridge Repair & Maint	\$ 129,362
29 03-5-03-61360	Capital Add's – IT	\$ 19,995
30 03-5-03-61400	Capital Add's – Admin	\$ 10,446
31 03-5-03-61480	Capital Add's - Public Works	\$ 102,548

32

33 Section 3: There is hereby authorized an appropriation of **\$2,231,801** from the Street
34 Improvement Fund to various accounts listed as follows:
35

36 **Street Improvement Fund Total \$ 2,231,801**

37 08-5-08-52000	Street Contracts – Other	\$ 206,478
38 08-5-08-52100	Contracts – N Lafayette	\$ 2,025,323

39

40 Section 4: There is hereby authorized an appropriation of **\$119,768** from the Park
41 Improvement Fund to various accounts listed as follows:
42

43 **Park Improvement Fund Total \$ 119,768**

44 09-5-09-61470	Capital Add's – Park Fencing	\$ 112,000
45 09-5-09-61560	Capital Add's – Koch Park Landscaping	\$ 7,768

46
47

48 Section 5: There is hereby authorized an appropriation of **\$ 1,395,441** from the Grant
49 Revenue Street Improvement Fund to various accounts listed as follows:

50
51 **Grant Revenue Street Improvement Fund Total \$ 1,395,441**

52 08-4-08510	Grant Revenue – St Ferdinand & 67	\$ 165,182
53 08-4-08511	Grant Revenue – N Lafayette	\$ 1,230,258

54
55 Section 6: There is hereby authorized an appropriation of **\$ 247,204** from the Public
56 Safety Fund to various accounts listed as follows:

57
58 **Public Safety Fund Total \$ 247,204**

59 17-5-17-61000	Capital Additions	\$ 247,204
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60
61 Section 7: There is hereby authorized an appropriation of **\$28,097** from the SOB
62 (Special Obligation Bond) Project Fund to various accounts listed as follows:

63
64 **2016 SOB (Special Obligation Bond) Project Fund Total \$ 28,097**

65 31-5-31-02000	Court Bldg Renovations	\$ 28,097
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66
67 Section 8: This ordinance shall become in force and effect immediately upon its passage
68 and approval.

69 Adopted this _____ day of _____, 2020.

70
71 _____
72 Keith Schildroth
73 President of the Council
74 City of Florissant
75

76 Approved this _____ day of _____, 2020.

77
78 _____
79 Timothy J. Lowery
80 Mayor, City of Florissant

81 ATTEST:

82
83 _____
84 Karen Goodwin, MPPA/MMC/MRCC,
85 City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: 8/06/2020

Mayor's Approval:

Agenda Date Requested:

8/6/2020

Description of request:

FY20 Supplemental Budget to roll over FY19 outstanding appropriations and associated revenue at 11/30/18.

Department: City Clerk

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation	x	Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N
Public Hearing needed: Yes / No		3 readings? : Yes / No	N

Back up materials attached:	Back up materials needed:
Minutes	Minutes
Maps	Maps
Memo	Memo
Draft Ord.	Draft Ord.

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

City of Florissant, Missouri
Memorandum

To: City Council

Date: August 20, 2020

Thru: Mayor Timothy Lowery

From: Kimberlee Johnson
Director of Finance

Subject: FY20 re-appropriation of FY19 encumbrance rollover

Prior accounting processes allowed encumbrances to be spent any time after the fiscal year and did not allow for proper representation of goods/services expensed in current year compared to the current budget.

To alleviate this issue and adhere to best practices, upon closing of the FY18 fiscal year the City adopted the accounting process change to roll and re-encumber, budgeting expenses in the year they will be spent. Additionally, the audit no longer requires a second financial statement in addition to the GAAP required financial statements.

Per this new process, FY19 appropriations not completed by November 30th 2019 rolled over into FY20 and require re-appropriation for FY20. These are not new appropriations, they merely move out of FY19 and into FY20 and have no effect on the fund balance.

This memorandum is to request the council to approve the appropriation of the following FY19 outstanding encumbrances and associated revenue:

General Fund Total \$ 60,805

01-5-36-24000	Telephone – Land Line	\$ 8,661
01-5-40-32010	Office Exp – Office Furniture	\$ 1,584
01-5-48-50045	Prof Serv – Computer	\$ 48,309
01-5-49-30010	Vehicle Repairs	\$ 2,251

Capital Improvement Fund Total \$851,021

03-5-03-50010	Professional Services	\$ 38,164
03-5-03-52000	Street Contracts	\$ 550,506
03-5-03-54020	Sidewalk Repairs	\$ 129,362
03-5-03-61360	Capital Add's – IT	\$ 19,995
03-5-03-61400	Capital Add's – Admin	\$ 10,446
03-5-03-61480	Capital Add's - Public Works	\$ 102,548

Park Improvement Fund Total \$ 119,768

09-5-09-61470	Capital Add's – Park Fencing	\$ 112,000
09-5-09-61560	Capital Add's – Koch Park Landscaping	\$ 7,768

Public Safety Fund Total \$ 247,204

17-5-17-61000	Capital Additions	\$ 247,204
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2016 SOB (Special Obligation Bond) Project Fund Total \$ 28,097

31-5-31-02000	Court Bldg Renovations	\$ 28,097
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Street Improvement Fund Total \$ 2,231,801

08-5-08-52000	Street Contracts – Other	\$ 206,478
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08-5-08-52100	Contracts – N Lafayette	\$ 2,025,323
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Grant Revenue Street Improvement Fund Total \$ 1,395,441

08-4-08510	Grant Revenue – St Ferdinand & 67	\$ 165,182
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08-4-08511	Grant Revenue – N Lafayette	\$ 1,230,258
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1 INTRODUCED BY COUNCILMAN SIAM
2 AUGUST 24, 2020

3
4 BILL NO. 9615

ORDINANCE NO.

5
6 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO A&C**
7 **HAPPY HOUR, LLC TO ALLOW FOR A WINE AND SPIRITS**
8 **ESTABLISHMENT LOCATED AT 3425 N. HWY 67.**
9

10 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
11 Florissant, by Special Permit, after public hearing thereon, to permit the location and operation
12 of package liquor stores in the City of Florissant; and

13 WHEREAS, an application has been filed by Chantelle Nickson-Clark d/b/a A&C Happy
14 Hour, LLC for the operation of a package liquor store operating as a retail wine and spirits
15 establishment located at 3425 N. Hwy 67; and

16 WHEREAS, the Planning and Zoning Commission at their meeting August 3rd, 2020,
17 recommended that a Special Permit be granted; and

18 WHEREAS, due notice of public hearing no. 20-08-023 on said application to be held on
19 the 24th of August, 2020 at 7:30 P.M. by the Council of the City of Florissant was duly
20 published, held and concluded; and

21 WHEREAS, the Council, following said public hearing, and after due and careful
22 consideration, has concluded that the issuance of a Special Permit for package liquor store would
23 be in the best interest of the City of Florissant.
24

25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
27

28 Section 1: Special Use to allow for a Package Liquor store operating as Wine and Spirits
29 establishment (with tasting) d/b/a A&C Happy Hour, LLC in a 'B-3' Extensive Business
30 District is hereby approved as shown on plans 1, 2, 6 and 8 dated 12/17/15.
31

32 Section 2: This ordinance shall become in force and effect immediately upon its passage
33 and approval.

34 Adopted this ____ day of _____, 2020.

35
36 _____
37 Keith Schildroth
38 President of the Council

39 Approved this ____ day of _____, 2020.

40
41 _____
42 Timothy J. Lowery
43 Mayor, City of Florissant

44 ATTEST:

45
46 _____
47 Karen Goodwin, MPPA/MMC/MRCC
City Clerk