FLORISSANT CITY COUNCIL AGENDA
City Hall
955 rue St. Francois
Monday August 26, 2019
7:30 PM
Karen Goodwin, MMC/MRCC

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- Meeting minutes and Executive minutes of August 12, 2019

IV. SPECIAL PRESENATION

- POW MIA

V. POLICE COMMENDATIONS

- Officer Kohnen
- Officer Phil Busby – Mr. Phil Garrett
- Police Explorer Sergeant Riles Nilges

VI. HEARING FROM CITIZENS

(Speaker cards are available at the entrance to the Council Chambers)

VII. COMMUNICATIONS

VIII. PUBLIC HEARINGS

19-08-023 (Ward 3) Application Staff Rpt Plans	Request to issue an amendment to B-5 ordinance no. 6166, as amended to allow for a car detailing bay addition for the property located at 225 N. Lindbergh.	Joe Dale

19-08-024 (Ward 2) Application Staff Rpt Plans	Request to authorize a Special Use Permit to LaShay's LLC, d/b/a La Shay's Banquet Center to allow for a catered banquet center for the property located at 47 Florissant Oaks Shopping Center Road.	Sean Isaac

IX. OLD BUSINESS

A. *BILLS FOR SECOND READING*

9517 Memo	Ordinance authorizing a transfer of $40,000 from Capital Improvement fund Account no. 03-5-03-6148 "Capital Additions" to Account no. 03-5-03-30010 "Equipment Repairs-vehicles" to cover anticipated vehicle repair costs for the Public Works Department.	2nd Reading Caputa
S9518	Ordinance to authorize a Special Use Permit to 102 Venyou, LLC d/b/a 102 Venyou to allow for a catered banquet center located at 1815-1817 Dunn Road.	2nd Reading Pagano
9519	Ordinance to authorize a Special Use Permit to Legends Academy, LLC d/b/a Legends Academy to allow for a Child Day Care Center located at 1645 N. New Florissant Road.	2nd Reeading Henke
9520	Ordinance to authorize an amendment to Special Use Permit No. 8398 to allow for expansion of an existing restaurant/bar located at 125 & 129 Flower Valley Shopping Center.	2nd Reading Siam
9521	Ordinance to amend B-5 Ordinance No. 7073 to allow for a carry-out restaurant for the property located at 8239 N. Lindbergh.	2nd Reading Eagan

X. NEW BUSINESS

A. *BOARD APPOINTMENTS*

B. *BILLS FOR FIRST READING*

9528	Ordinance to authorize an amendment to B-5 ordinance no. 6166, as amended to allow for a car detailing bay addition for the property located at 225 N. Lindbergh.	Eagan
9529	Ordinance to authorize a Special Use Permit to LaShay's LLC, d/b/a La Shay's Banquet Center to allow for a catered banquet center for the property located at 47 Florissant Oaks Shopping Center Road.	Jones

9530 Memo	Ordinance amending chapter 600 "alcoholic beverages" by adding a new section to allow for the addition of a consumption of liquor (COL) license**.**	Caputa
9531 P&Z Draft minutes	Ordinance amending Chapter 520 “Signs and Billboards” to allow for digital signs.	Caputa
9532 Memo	Ordinance authorizing transfers within various General Fund accounts for the Parks Department.	Caputa
9533 Memo	Ordinance authorizing transfers within various Park Improvement Fund accounts for the Parks Department.	Caputa

XI. COUNCIL ANNOUNCEMENTS

XII. MESSAGE FROM THE MAYOR

XIII. ADJOURNMENT

THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL AUGUST 23, 2019 AT 12:00 PM ON THE BULLETIN BOARD OUTSIDE THE COUNCIL CHAMBERS. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK’S OFFICE AT 839-7630 OR TDD 839-5142 BY NOON ON MONDAY AUGUST 26, 2019.

CITY OF FLORISSANT
CITY COUNCIL
OPEN EXECUTIVE SESSION
August 12, 2019

The City Council of the City of Florissant met in open Executive Session on Monday, August 12, 2019 at 6:30 pm. in the Council Chambers at 955 rue St. Francois, with President Caputa presiding. On Roll Call the following Council members were present: Schildroth, Henke, Pagano, Parson, Siam, Harris, Jones, Eagan, Caputa. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, City Attorney John Hessel, Public Works Director Todd Hughes and Building Commissioner Phil Lum.

Council President Caputa stated that the item on the agenda was a discussion of the amendment to the Medical Marijuana ordinance that was on the regular agenda.

Mr. Hessel gave an overview of the medical marijuana issue explaining the path of approval to this point. He stated that the city could not prohibit medical marijuana uses or unduly burden facilities. The city can restrict medical marijuana facilities to certain distances from churches, schools or daycares.

Mr. Hessel explained that the first recommendation to the Planning and Zoning commission from staff was 750 feet from a church, school or daycare for both dispensaries and manufacturers. Planning and Zoning recommended approval of 300 ft. for dispensaries and 750 ft. for manufacturing as a special use in B-3 zoning districts. At a special meeting the Planning and Zoning Commission was asked to revisit the regulation and staff recommended changing medical marijuana from a special use to a permitted use. The Planning and Zoning Commission recommended approval of the change from special use to permitted use and further recommended that the distance be reduced to 100 ft. and the addition of the B-2 zoning district. Mr. Hessel added that the staff is recommending to remain at the 300 ft. distance with a permitted use and does not have any issues with adding the B-2 zoning district.

Mr. Lum presented maps showing where medical marijuana dispensaries would be allowed at what distances.

Mr. Hessel reviewed the procedure for the Council meeting if the Council chose to allow medical marijuana as a permitted use or if they chose not to change it.

Council discussed the variance distance recommendations and asked if the current applicants would be affected if the distance was increased. Mr. Hughes stated that they would work to provide that information for the Public Hearing.

Council discussed the addition of the B-2 zoning district.

There being no further business to discuss, Councilwoman Pagano motioned to adjourn, seconded by Henke. Motion carried and the meeting adjourned at 7:20 p.m.

_____

Karen Goodwin
City Clerk

P O Kohnen

On Mary 23, 2019 Officer Kohnen responded to a call regarding a returned runaway juvenile at the Mary Grove Residential Facility. While he was enroute to the call he was informed by dispatch that the juvenile had become armed with a hammer and throwing knives. The juvenile was making serious threats to harm members of the facility's staff. Upon his arrival he confronted the distraught youth and recognized him to be the same subject that he had handled in a previous mental health crisis. Since Officer Kohnen had established a prior rapport with this youth in crisis he calmly developed a dialog with him. Officer Kohnen eventually talked the subject into dropping the hammer, steel pipe and the throwing knives and was able to take him into protective custody with no one sustaining any injury. The subject later admitted that he had stolen the weapons and had several other weapons hidden at Mary Grove. Because of the trust Officer Kohnen gained with the youth, he showed him the locations of the other weapons and he was able to transport him to mental health professionals for treatment. Because of your compassionate caring, calm demeanor and the excellent handling of this mental health crisis you are hereby officially commended.

Officer Phil Busby – Mr. Phil Garrett

On May 8, 2019 Officer Busby was on a routine traffic stop at the McDonalds on Pershall Road in the City of Hazelwood when he was approached by the manager of the McDonalds restaurant and informed that a patron inside had collapsed. Officer Busby rushed inside to find Mr. Phil Garrett totally unresponsive, with no pulse and no respiration. Officer Busby immediately began CPR and continued this life saving technique until relieved by the Hazelwood Fire Department. Mr. Garrett survived the event and was released from the hospital on May 17th. Without his quick reactions and the application of CPR Mr. Garrett may not have survived. For his quick response, immediate application life saving techniques and his professional conduct in a life and death emergency Officer Busby is officially commended.

Police Explorer Sergeant Riley Nilges

Police Explorer Sergeant Riley Nilges participated in the 2019 Greater St. Louis Law Enforcement Explorer Academy where she significantly distinguished herself by being awarded the Best Level 1 Explorer and the Best Physical Training Female Level 1 participant. Police Explorer Sergeant Nilges was also recognized as an outstanding student at Hazelwood West High School by maintaining a 3.8 GPA. Police Explorer Sergeant Nilges was also an outstanding athlete by competing in varsity soccer and softball. During the summer she was able to work 35 hours per week as a lifeguard and still maintain her required duties for the Explorer Post.

For her outstanding accomplishments, for presenting the most favorable light on the Florissant Police Department Explorer Post and for her truly professional conduct you are officially awarded this Certificate of Recognition.

CITY OF FLORISSANT

PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, August 26, 2019 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to the B-5 Ordinance No. 6166, as amended, to allow for a car detailing bay addition for the property located at 225 North Lindbergh (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION

City Of Florissant – Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 225 N. HIGHWAY 67

Property Owners Name: MISSION HILLS DEVELOPMENT Phone #: 314 830 2138

Property Owners Address: 620 CHANOONIER

Business Owners Name: GLENN TRAVERS Phone #: 314 830 2138

Business Owners Address: 620 CHANBONIER

DBA (**Doing Business As**) GMT AUTO SALE

Authorized Agents Name: JOE DALE CO. Name:
(Authorized Agent to Appear Before The Commission)

Agents Address: 743 ST. MARY'S ROAD, VILLA RIDGE, MO. Phone #: 314 517 5101

Request TO BUILD A 24' x 25' ADDITION TO THE EXISTING BUILDING.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Glen Travers 7/8/19
Applicant's Signature **Date**

OFFICE USE ONLY

Received by: RD Receipt # 620049 Amount Paid: $125.00 Date: 7/8/19

STAFF REMARKS:

DATE APPLICATION REVIEWED: 7/10/19

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

COMMISSION ACTION TAKEN:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. DATE: 8-5-19

Planning & Zoning Application
Page 1 of 1 – Revised 9/28/10

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5 PLANNED COMMERCIAL DISTRICT ORDINANCE

PLANNING & ZONING ACTION:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. DATE: 8-15-15

Address of Property:

225 N. HIGHWAY 67

Council Ward _____ Zoning B-5

Initial Date Petitioner Filed_____
Building Commissioner to complete ward, zone & date filed

PETITION TO AMEND B-5 ORDINANCE # 6166
Enter ordinance number or number requesting to amend.

1) Comes Now GLENN TRAVERS (GMT AUTO SALES)
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property OWNER
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 1.47 ACRES

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for AUTOMOTIVE SALE & REPAIR

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:
OWNER NEEDS TO ADD 1 MORE DETAILING BAY.

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME GLENN TRAVERS
Print Name

PETITIONER(S) SIGNATURE (S) Glenn Travers

FOR GMT AUTO SALES
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
(✓) I (we) have a legal interest in the herein above described property.
( ) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE Joe A. Dale

ADDRESS 743 ST. MARY'S ROAD, VILLA RIDGE, MO 63089
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 314 517 5101
BUSINESS

I (we) the petitioner (s) do hereby appoint JOE A. DALE as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

Glenn Travers
Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicabe section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐ Partnership: ☐ Corporation: ☑

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners GLENN TRAVERS

(2) Telephone numbers 314 266 5980

(3) Business address 225 N. HIGHWAY 67

(4) State of Incorporation & a photocopy of incorporation papers MISSOURI

(5) Date of Incorporation 3/5/1995

(6) Missouri Corporate Number _____

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. N/A

(8) Name in which business is operated N/A

(9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name GMT AUTO SALES

Address 225 N. LINDBERGH (HIGHWAY 67)

Property Owner GLENN TRAVERS

Location of property 225 N. LINDBERGH (HIGHWAY 67)

Dimensions of property ± 289' x 216'

Property is presently zoned B-5 per ordinance # _____

Current & Proposed Use of Property AUTOMOBILE SALES & SERVICE

Type of Sign N/A Height N/A

Type of Construction V B Number Of Stories. 1

Square Footage of Building 4,328 Number of Curb Cuts 1

Number of Parking Spaces N/A Sidewalk Length N/A

Landscaping: No. of Trees N/A Diameter N/A

No. of Shrubs N/A Size N/A

Fence: Type NONE PROPOSED Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.

2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.

3. Drawing showing measurement of tract and overall area of tract.

4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY 225 N. LINGBERGH CURRENT ZONING B-5

PROPERTY OWNER OF RECORD GLENN TRAVERS PHONE NO. 314 830 2738

AUTHORIZED AGENT JOE DALE PHONE NO. 314 517 5101

PROPOSAL 24' X 25' BUILDING ADDITION

I) a. Uses - Are uses stipulated Yes / No

b. What current District would this proposal be a permitted use: B-5

c. Proposed uses for out lots: CAR SALES

2) Performance Standards:

a) Vibration: Is there any foreseen vibration problems at the property line? Yes / No
b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No
c) Odor is there any foreseen problem with odor? Yes / No
d) Smoke: Will the operation emit any smoke which could exceed a density described as No. I on the Ringleman Chart? Yes / No
e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No
f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? Yes / No
g) Is there any dangerous amount of radiation produced from the operation? Yes / No
h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No
I) Is screening of trash dumpsters, mechanical equipment.incinerators, etc, shown? Yes / No
j) Is buildings screened from adjoining residential? Yes / No

3) Are height of structures shown? Yes / No

4) Are all setbacks shown? Yes / No

5) Are building square footages shown? Yes / No

6) What is the exterior construction of the buildings? FACE BRICK

7) Is off street loading shown? Yes / No

8) Parking:
a) Does parking shown meet the ordinance? Yes / No
b) Is a variance required in accordance with the ordinance? Yes / No
c) Ratio shown N/A to N/A
d) Total Number N/A
e) Will cross access and cross parking agreements be required? Yes / No
f) Is the parking lot adequately landscaped? Yes / No

9) Are there any signs? EXISTING TO BE USED IN PLACE Yes / No
Number of signs shown
Type of Signs
Are sizes, heights, details. and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No

13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No

14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No

15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No

16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No

17) Is an out-boundary plat of the property submitted? Yes / No

18) Suggested time limitations of construction: Start SEPTEMBER '19 Finish DECEMBER '19

19) Is parking lot lighting shown? EXISTING TO REMAIN AS IS. Yes / No

20) Are new walkways required? Yes / No

21) Is there sufficient handicapped access? Yes / No

22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? N/A Yes / No

23) Will this project require any street improvements? Yes / No

24) Staff recommendations for site development plans: _____

25) Staff Comments: _____

_____
Date Application reviewed

_____
Building Commissioner or Staff Signature

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

LEGAL DESCRIPTION: LOT A+B

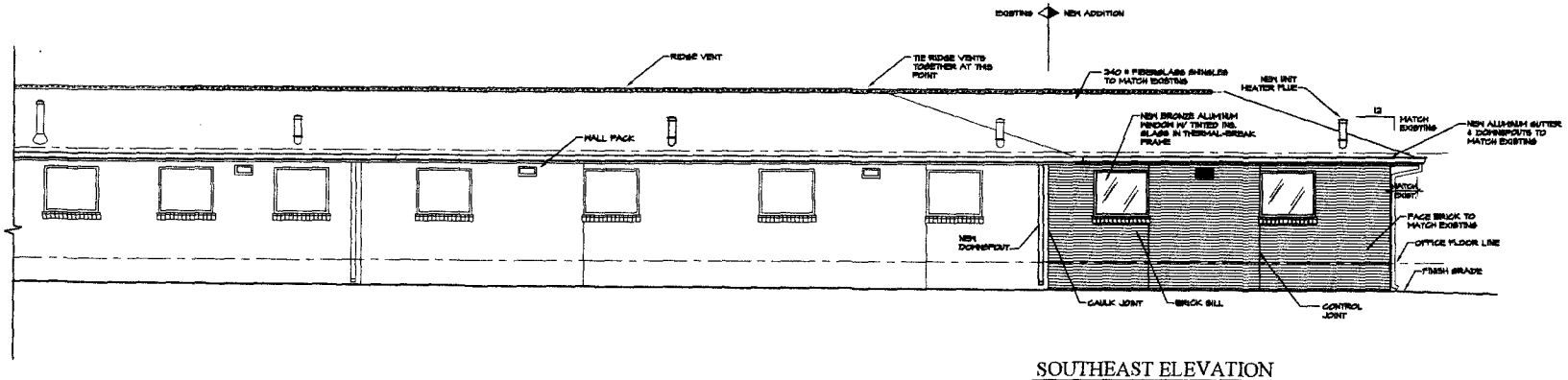
LOT A+B OF SENSEMAN PLACE, A RESUBDIVISION OF LOTS A AND B OF OPPEAU SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 347 PAGE 53 OF THE ST. LOUIS COUNTY RECORDERS OFFICE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIPE AT THE INTERSECTION OF THE NORTHEAST CORNER OF LOT B OF IMPERIAL CROWN, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 249 PAGE 9 OF THE ST. LOUIS COUNTY RECORDERS OFFICE AND THE WEST LINE OF NORTH LINDBERGH BOULEVARD (VARIABLE WIDTH); THENCE ALONG THE NORTH LINE OF SAID IMPERIAL CROWN SUBDIVISION, NORTH 52 DEGREES 19 MINUTES WEST 211.85 FEET TO THE SOUTHEAST CORNER OF PROPERTY NOW OR FORMERLY OWNED BY THE FLORISSANT PRESBYTERIAN CHURCH BY DEED RECORDED IN BOOK 3428 PAGE 449; THENCE ALONG THE EAST LINE OF SAID CHURCH PROPERTY, NORTH 36 DEGREES 56 MINUTES 52 SECONDS EAST 289.59 FEET TO THE SOUTHWEST CORNER OF LOT 2 OF BEHLMANN WEST, A SUBDIVISION ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 344 PAGE 25 OF SAID COUNTY RECORDERS OFFICE; THENCE ALONG THE SOUTH LINE OF THE AFORESAID, SOUTH 52 DEGREES 48 MINUTES 44 SECONDS EAST 216.86 FEET TO AN IRON PIPE AT THE SOUTHEAST CORNER THEREOF, SAID PIPE ALSO BEING ON THE WEST LINE OF SAID LINDBERGH BOULEVARD; THENCE ALONG SAID WEST LINE SOUTH 37 DEGREES 16 MINUTES 22 SECONDS WEST 193.36 FEET TO A POINT OF CURVE; THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 5679.65 FEET AN ARC DISTANCE OF 98.12 FEET TO THE POINT OF BEGINNING AND CONTAINING 62610.88 SQ. FT. OR 1.437 ACRES, MORE OR LESS.

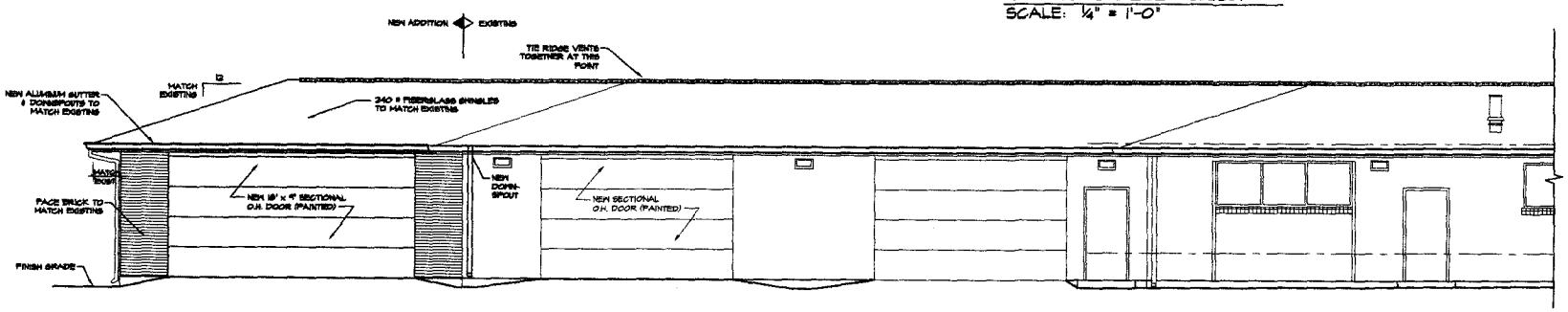
PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

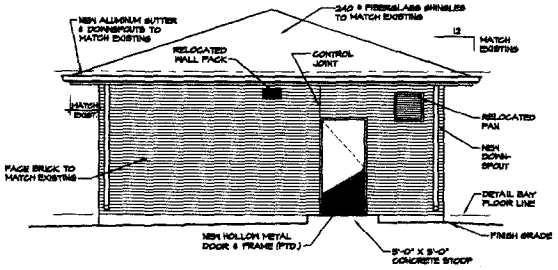
SEE SITE PLAN



SOUTHEAST ELEVATION
SCALE: ¼" = 1'-0"



NORTHWEST ELEVATION
SCALE: ¼" = 1'-0"



NORTHEAST ELEVATION
SCALE: ¼" = 1'-0"

revisions

ARCHITECT
JOE A. DALE, NCARB
743 Saint Mary's Road
Ville Ridge, Missouri 63089
314-517-5101
joedale@theglobal.net

a proposed addition to:
GMT AUTO SALES
225 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63031

project number	
file name	auto-2
date	07/05/09
sheet no.	A-2

AMENDED DEVELOPMENT PLAN

LOT A+B OF SENSEMAN PLACE
A RESUBDIVISION OF LOTS A AND B OF
OPPEAU SUBDIVISION
PLAT BOOK 347 PAGE 53
St. Louis County, Missouri

_____ the Owner of the property shown on this plan for and in consideration of granting a permit to develop the property under the provisions of City of Florissant Ordinance No. _____ do hereby agree and declare that said property from the date of recording this plan shall be developed and maintained only as shown thereon, unless said plan is amended in accordance with the B-5 amendment procedures of the Florissant Zoning Code.

_____
Glenn Travers,
Owner

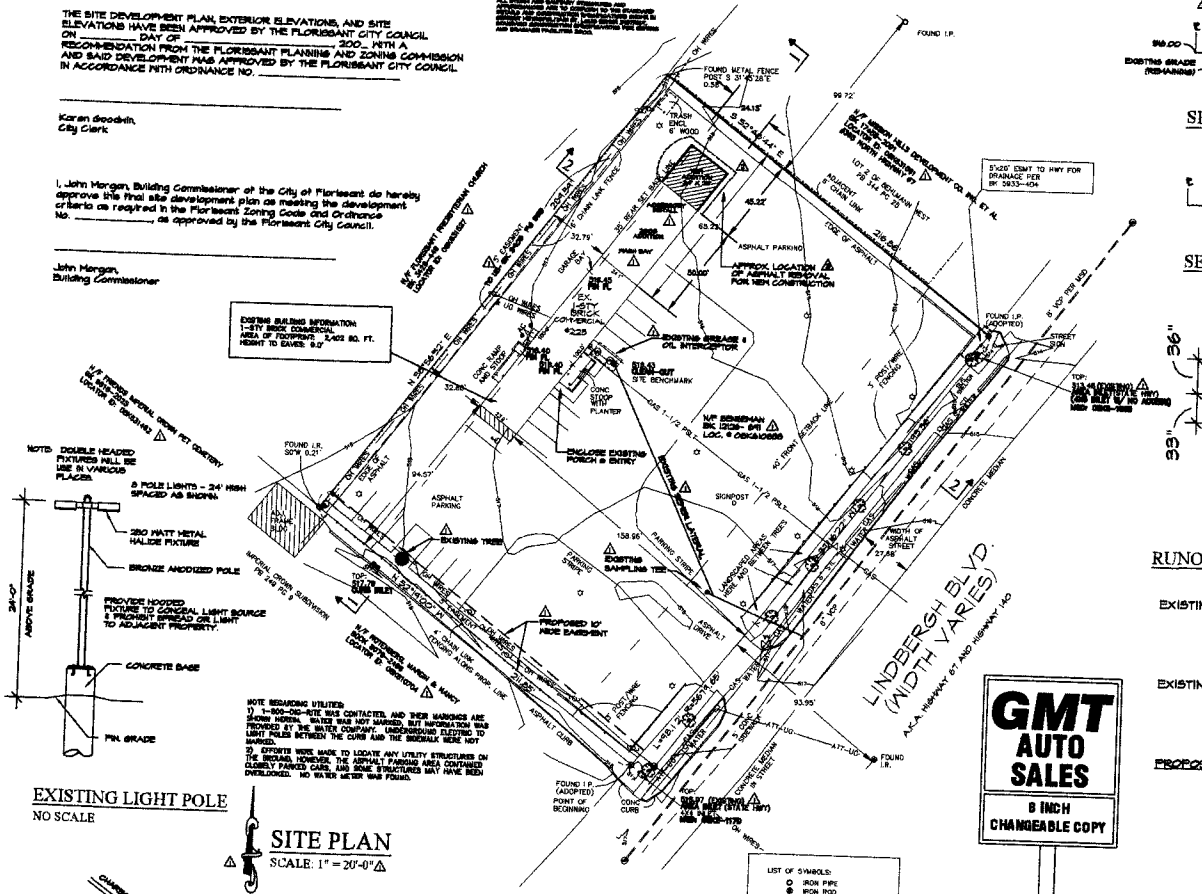
THE SITE DEVELOPMENT PLAN, EXTERIOR ELEVATIONS, AND SITE ELEVATIONS HAVE BEEN APPROVED BY THE FLORISSANT CITY COUNCIL ON _____ DAY OF _____, 200_, WITH A RECOMMENDATION FROM THE FLORISSANT PLANNING AND ZONING COMMISSION AND SAID DEVELOPMENT HAS APPROVED BY THE FLORISSANT CITY COUNCIL IN ACCORDANCE WITH ORDINANCE NO. _____

_____
Karen Goodwin,
City Clerk

I, John Morgan, Building Commissioner of the City of Florissant do hereby approve this final site development plan as meeting the development criteria as required in the Florissant Zoning Code and Ordinance No. _____, as approved by the Florissant City Council.

_____
John Morgan,
Building Commissioner

MSD NOTES



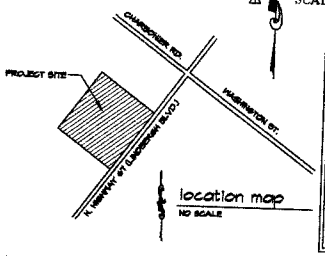
SITE PLAN

SCALE: 1" = 20'-0"

EXISTING LIGHT POLE

NO SCALE

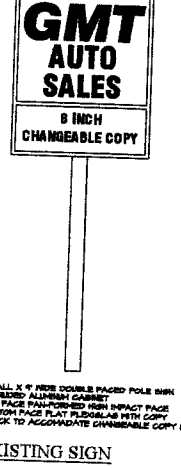
NOTE REGARDING UTILITIES:
1) 1-800-DIG-RITE WAS CONTACTED, AND THEIR MARKINGS ARE SHOWN HEREIN. WATER WAS NOT MARKED, BUT INFORMATION WAS PROVIDED BY THE WATER COMPANY. UNDERGROUND ELECTRIC TO LIGHT POLES BETWEEN THE CURB AND THE SIDEWALK WERE NOT MARKED.
2) EFFORTS WERE MADE TO LOCATE ANY UTILITY STRUCTURES ON THE GROUND. HOWEVER, THE ASPHALT PARKING AREA CONTAINED CLOSELY PARKED CARS, AND SOME STRUCTURES MAY HAVE BEEN OVERLOOKED. NO WATER METER WAS FOUND.



location map
NO SCALE

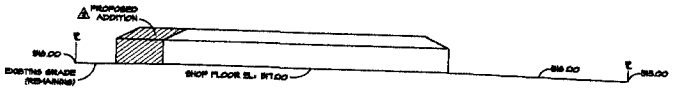
NOTES:
I.P. = IRON PIPE I.R. = IRON ROD
EASEMENTS/BUILDING LINES SHOWN ARE PER THE RECORD PLAT, UNLESS OTHERWISE NOTED.
A CURRENT TITLE COMMITMENT REPORT HAS NOT BEEN FURNISHED TO THE LAND SURVEYOR BY THE CLIENT, AND NO RESEARCH HAS BEEN CONDUCTED AS TO THE STATUS OF THE SUBJECT PROPERTY, OR EXISTENCE OF ANY EASEMENTS.
BENCHMARK: USGS- BASED MSD 94-28 ELEV. 520.29 "DG" ON BASE OF SIGN ON THE SOUTHEAST CORNER OF ROSETTA DRIVE AND CHAMBONNET ROAD.
SITE BENCHMARK: MIDDLE TOP OF SEWER CLEAN-OUT NEAR FRONT STOOP. ELEV. 518.49
CONTOURS = 1'
BASE MAP: B & K 2

LIST OF SYMBOLS:
- IRON PIPE
- IRON ROD
- BENCHMARK
- AREA INLET
- CURB INLET
- UTILITY POLE
- GUY
- WATER METER
- HYDRANT
- GAS VALVE
- SANITARY MANHOLE
- LIGHT POLE
- WATER VALVE
- 4"-8" LOCUST TREES
- 4" PLUM
- BOLLARD
- CLEAN-OUT
- SIGNAL BOX

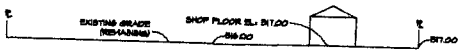


8' TALL X 4' WIDE DOUBLE FACED POLE MWN
EXTRUDED ALUMINUM CABINET
TOP FACE PAN-FORMED HIGH IMPACT FACE
BOTTOM FACE FLAT FLEXGLAS WITH COPY
TRACK TO ACCOMODATE CHANGEABLE COPY 8" LETTERS

EXISTING SIGN



SECTION 1 - 1



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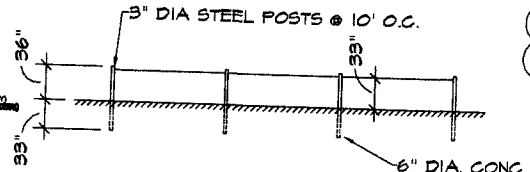
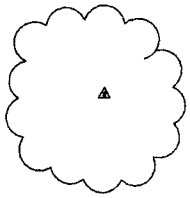


EXISTING FENCE DETAIL



RUNOFF (ORIGINAL)

EXISTING: PAVED + ROOF $\frac{46,990\ SF}{48,560\ SF} \times 9.54 = 9.71\ CFS$

GRASS $\frac{62060SF - 46,990SF}{48,560} \times 1.70 = 0.62\ CFS$

4.34 CFS

EXISTING: GRASS $\frac{3570\ SF}{48,560\ SF} \times 1.70 = 0.14\ CFS$

PVED + ROOF $\frac{62060SF - 3570SF}{48,560} \times 9.54 = 4.73\ CFS$

4.87 CFS

INCREASE 0.52 CFS

PROPOSED ADDITION WILL NOT ALTER OR INCREASE CURRENT RUN-OFF

CODE DATA

ZONING:	B-5
BUILDING CODE:	IBC / 2015
USE GROUP:	B AUTOMOTIVE SALES/ F-2 MOTOR VEHICLE REPAIRS
CONSTRUCTION TYPE:	V-B (WOOD FRAME W/ BRICK VENEER)
ALLOWABLE:	AREA 9,000 S.F. ACTUAL: 4,328 S.F. HEIGHT 2 STORIES/40 FEET ACTUAL: 19 FEET
OCCUPANCY LOAD:	BUISINESS/INDUSTRIAL 100 S.F./PERSON = 98 PERSONS
EXITS REQUIRED:	TWO - THREE HAVE BEEN PROVIDED
FIRE SEPARATION:	EXTERIOR WALLS (GREATER THAN 30') 0 HOUR

MSD P-0022445-01
MAP: BK-2

no.	date	description
1	08/15/08	REVISED PER MSD
2	09/08/08	REVISED PER NEW ADDITION

revisions

ARCHITECT
JOE A. DALER, NCARB
743 Saint Mary's Road
Villa Ridge, Missouri 63089
314-517-5101
joedaler@sbcglobal.net

a proposed addition to:
GMT AUTO SALES
225 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63031

project number	27-08
file name	autoc-1
date	08/30/08
sheet no.	C-1
of	

MEMORANDUM

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: July 9, 2019, **rev. 7/30/19**

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Subject: **225 N Highway 67 (GMT)-** Request recommended approval to amend a 'B-5', Ordinance No. 6166 (as amended by Ord. No's 7536, Ord. 7631 Ord. 7941, Ord. 8080 and Ord. 8218) to allow for a Car Detailing Bay addition in a 'B-5' Planned Commercial District.

STAFF REPORT
CASE NUMBER PZ-071519-5

I. PROJECT DESCRIPTION:

This is a request for recommended approval to amend a 'B-5', Ordinance No. 6166 (as amended by Ord. No's 7536, Ord. 7631 Ord. 7941, Ord. 8080 and Ord. 8218) to allow for a Car Detailing Bay addition in a 'B-5' Planned Commercial District.

II. EXISTING SITE CONDITIONS:

The property at 225 N Highway 67 is an Auto Sales lot owned by Mission Hills Development Co. in a 'B-5 District'. It has been in operation car sales establishment in its current configuration and then re-zoned to a 'B-5' in 2010 for a building addition. The existing site has multiple buildings on the property.

III. SURROUNDING PROPERTIES:

The property to the South is 111 N Highway 67 Batteries Plus in a 'B-3' District. The property to the Northwest at 660 Charbonier is a Presbyterian Church in an 'R-4' District.

IV. STAFF ANALYSIS:

The application is accompanied by civil plan C-1 Amended Development Plan dated 6/30/19 and architectural elevations A-2 dated 7/5/19.

Comments on C-1 Amended Development Plan

1. Building Addition is shown shaded some corrections needed prior to recording a Final Development Plan:
    a. Scale of plan appears to be 1"=30'-0", but does not show the consolidated lot. This is a partial plan, not showing the property along Charbonier.
    b. Building appears to be correct, approximately 24' x 174'= 4176, plan states 4328 s.f.
    c. GMT sign changeable letter sign has been replaced by a digital sign, **which was approved by a 'B-5' amendment, Ord no. 7941, attached.** Digital sign along Charbonier must comply with ord. no. 8080 restrictions of static images and 10 seconds display.
    d. Fences and gates have been revised.
    e. Site displays "premium reusable balloons". Balloons have been long deemed to be illegal portable signs, except under a free Grand Opening or Anniversary Permit, **owner cited.**

Comments on A-2 Amended Development Plan

1. Building Addition is shown having full masonry, asphalt shingles, bronze finish windows and sectional door, all to match existing.

VI. STAFF RECOMMENDATIONS:

Suggested Motion 225 N highway 67:

I move to recommend approval to amend Ordinance No. 6166 (as amended by Ord. No's 7536, Ord. 7631 Ord. 7941, Ord. 8080 and Ord. 8218) to allow for a Car Detailing Bay addition in a 'B-5' Planned Commercial District, subject to the conditions set forth below with these conditions being part of the record:

Changes to Section 2. **REQUIREMENTS FLOOR AREA, HEIGHT AND BUILDING**

Change Section 2, paragraph a. to read: The auto sales facility shall be of masonry brick with a total gross floor area not exceeding 4328 square feet and amaximum height of nineteen (19) feet as depicted on sheets C-1 dated rev. 7/5/19 and A-2 attached, dated 7/5/19 by Joe A. Dale, NCARB- Architect.

Changes to Section 6. **REQUIREMENTS FLOOR AREA, HEIGHT AND BUILDING**

Change Section 6, paragraph e. (1) to read:

e. <u>Sign Requirements</u>

(1) There shall be one (1) freestanding sign as shown in Exhibit "A", **one post sign with digital display under Ord no. 7941** and all other signage shall be in accordance with the code of ordinances of the City of Florissant.

a. **The digital sign under Ord no. 7941, attached** shall have the following restrictions:

i. Digital sign shall display only static images for a minimum of 10 second intervals, Digital sign shall display no glare, flashing, scrolling or animation.

ii. There shall be no affects between static images displayed.

iii. The sign shall be dimmable at night to prevent glare.

iv. Digital sign shall conform to the City's ordinance regarding digital sign code once adopted.

~~Balloons shall not be displayed at the site unless duly authorized under an Anniversary Permit.~~ > omit

(end report and suggested motion)

1st - Olk
2nd - Nelke

AMENDED DEVELOPMENT PLAN

LOT A+B OF SENSEMAN PLACE
A RESUBDIVISION OF LOTS A AND B OF
OPPEAU SUBDIVISION
PLAT BOOK 347 PAGE 53
St. Louis County, Missouri

_____, the Owner of the property shown on this plan for and in consideration of granting a permit to develop the property under the provisions of City of Florissant Ordinance No. _____ do hereby agree and declare that said property from the date of recording this plan shall be developed and maintained only as shown thereon, unless said plan is amended in accordance with the B-3 amendment procedures of the Florissant Zoning Code.

_____
Glenn Travers,
Owner

THE SITE DEVELOPMENT PLAN, EXTERIOR ELEVATIONS, AND SITE ELEVATIONS HAVE BEEN APPROVED BY THE FLORISSANT CITY COUNCIL ON _____ DAY OF _____, 200_, WITH A RECOMMENDATION FROM THE FLORISSANT PLANNING AND ZONING COMMISSION AND SAID DEVELOPMENT HAS APPROVED BY THE FLORISSANT CITY COUNCIL IN ACCORDANCE WITH ORDINANCE NO. _____

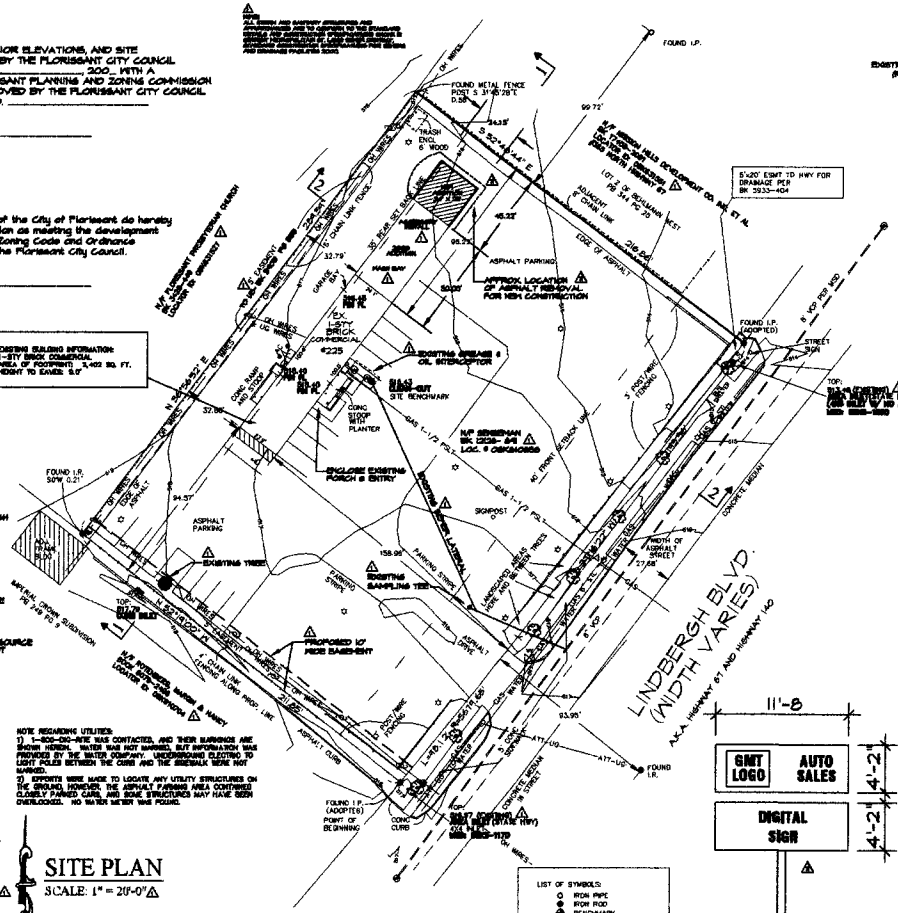
_____
Karen Goodwin,
City Clerk

I, John Morgan, Building Commissioner of the City of Florissant do hereby approve this final site development plan as meeting the development criteria as required in the Florissant Zoning Code and Ordinance No. _____, as approved by the Florissant City Council.

_____
John Morgan,
Building Commissioner

MSD NOTES

[illegible]



SITE PLAN
SCALE: 1" = 20'-0"

NOTES:

I.P. = IRON PIPE I.R. = IRON ROD
EASEMENTS/BUILDING LINES SHOWN ARE PER THE RECORD PLAT, UNLESS OTHERWISE NOTED.

A CURRENT TITLE COMMITMENT REPORT HAS NOT BEEN FURNISHED TO THE LAND SURVEYOR BY THE CLIENT, AND NO RESEARCH HAS BEEN CONDUCTED AS TO THE STATUS OF THE SUBJECT PROPERTY, OR EXISTENCE OF ANY EASEMENTS.

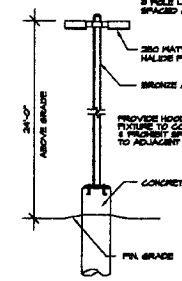
BENCHMARK USED: BASED MSD 94-38 ELEV. 530.84
"MB" ON BASE OF SIGN ON THE SOUTHEAST CORNER OF ROSETTA DRIVE AND CHARBONIER ROAD.

SITE BENCHMARK: MIDDLE TOP OF SEWER CLEAN-OUT NEAR FRONT STOOP. ELEV. 516.49

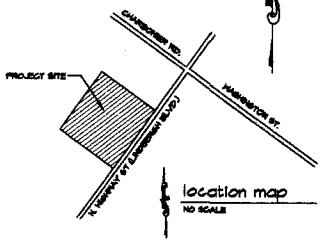
CONTOURS = 1'

BASE MAP: B K 2

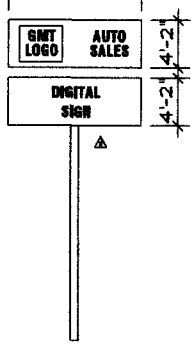
LIST OF SYMBOLS:
- IRON PIPE
- IRON ROD
- BENCHMARK
- AREA INLET
- CURB INLET
- UTILITY POLE
- GUY
- WATER METER
- HYDRANT
- GAS VALVE
- SANITARY MANHOLE
- LIGHT POLE
- WATER VALVE
- 4"-6" LOCUST TREES
- 4" PLUM
- BOLLARD
- CLEAN-OUT
- SIGNAL BOX



EXISTING LIGHT POLE
NO SCALE

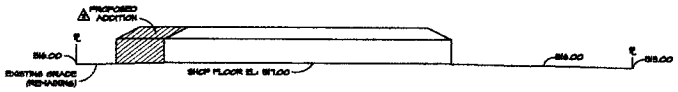


location map
NO SCALE

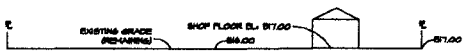


8'-8" TALL X 5'-4" WIDE DOUBLE FACED POLE SIGN
EXTRUDED ALUMINUM CABINET
TOP FACE PAN-FORMED HIGH IMPACT FACE
BOTTOM SECTION DIGITAL SIGN W/ MINIMUM 10 SECOND INTERVALS BETWEEN STILL IMAGES

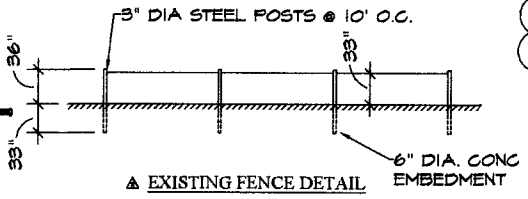
EXISTING SIGN



SECTION 1 - 1



SECTION 2 - 2



EXISTING FENCE DETAIL

RUNOFF (ORIGINAL)

EXISTING: PAVED + ROOF $\frac{46,990\ SF}{48,560\ SF} \times 9.54 = 9.77\ CFS$

GRASS $\frac{620605SF - 46,990SF}{48,560} \times 1.70 = 0.82\ CFS$

4.59 CFS

EXISTING: GRASS $\frac{3510\ SF}{48,560\ SF} \times 1.70 = 0.14\ CFS$

PVED + ROOF $\frac{620605SF - 3510SF}{48,560} \times 9.54 = 4.75\ CFS$

4.57 CFS

INCREASE 0.52 CFS

PROPOSED ADDITION WILL NOT ALTER OR INCREASE CURRENT RUN-OFF

CODE DATA

ZONING:	B-3	
BUILDING CODE:	IBC / 2015	
USE GROUP:	B AUTOMOTIVE SALES/ F-2 MOTOR VEHICLE REPAIRS	
CONSTRUCTION TYPE:	V-B (WOOD FRAME W/ BRICK VENEER)	
ALLOWABLE:	AREA 9,000 S.F.	ACTUAL: 4,528 S.F.
	HEIGHT 2 STORIES/40 FEET	ACTUAL: 14 FEET
OCCUPANCY LOAD:	BUISINESS/INDUSTRIAL	100 S.F./PERSON = 56 PERSONS
EXITS REQUIRED:	TWO - THREE HAVE BEEN PROVIDED	
FIRE SEPARATION:	EXTERIOR WALLS (GREATER THAN 30') 0 HOUR	

MSD P-0022448-01
MAP: BK-2

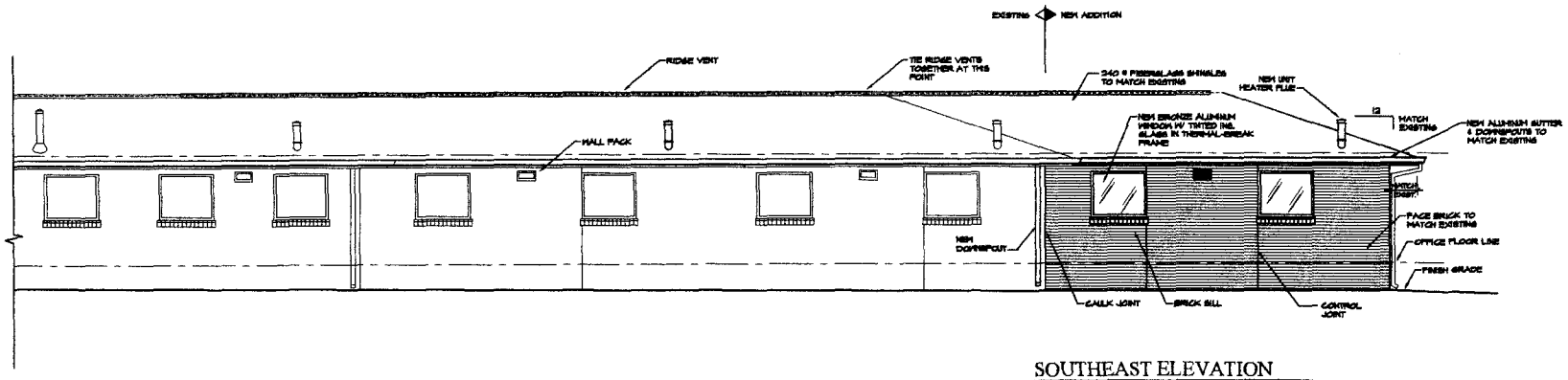
no.	date	description
1	08/05/08	[illegible]
2	07/30/08	[illegible]
3	06/30/08	REVISED SIGN TO CURRENT DIMENSIONS & STYLE

revisions

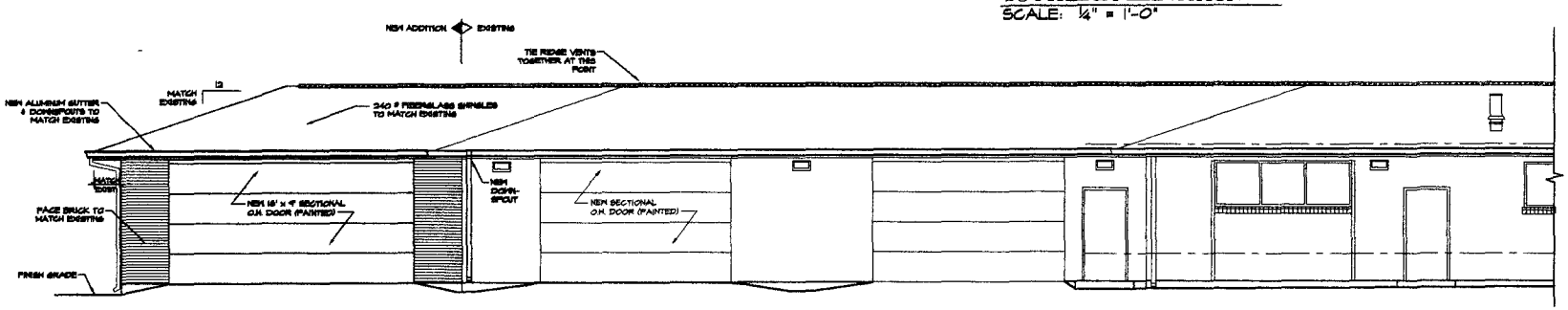
ARCHITECT
314-517-5101
joedale@sbcglobal.net
JOE A. DALE, NCARB
743 Saint Mary's Road
Villa Ridge, Missouri 63089

a proposed addition to:
GMT AUTO SALES
225 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63031

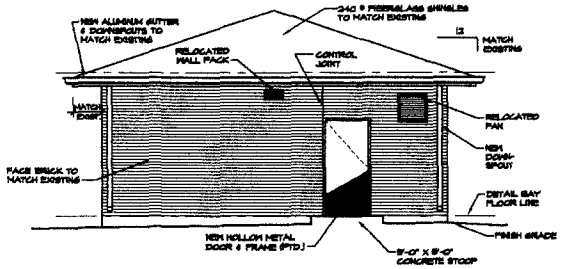
project number	27-08
file name	autoc-1
date	06/30/08
sheet no.	C-1
of	



SOUTHEAST ELEVATION
SCALE: ¼" = 1'-0"



NORTHWEST ELEVATION
SCALE: ¼" = 1'-0"



NORTHEAST ELEVATION
SCALE: ¼" = 1'-0"

revisions

JOE A. DALE, NCARB
743 Saint Mary's Road
Villa Ridge, Missouri 63089
ARCHITECT
314-517-5101
joedale@sbcglobal.net

a proposed addition to:
GMT AUTO SALES
225 NORTH HIGHWAY 67
FLORISSANT, MISSOURI 63031

project number	
file name	auto-2
date	07/05/18
sheet no.	A-2
of	

posted 8-14
KR/BK

CITY OF FLORISSANT

Public Hearing

In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, August 26, 2019 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit to LaShay's, LLC, d/b/a LaShay's Banquet Center to allow for a catered banquet center in a B-3 Zoning District for the property located at 47 Florissant Oaks Shopping Center Road (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

ZONING AUTHORIZATION

CITY OF FLORISSANT- BUILDING DIVISION

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

I, as the owner or authorized agent for the property described below, do hereby certify that I have the authority to make this application for zoning authorization for the activity described below and as shown on any attached plans, documents or descriptions, that the information provided is correct and that any use or construction will conform to the regulations of the Florissant Zoning Code, Chapter 405, as applicable: https://www.ecode360.com/28082280?highlight=405&searchId=13635529016766742#28082280

Property Address: 47 - Florissant Oaks Shopping Center Zoning District: B-3

Applicant's Name: Sean Isaac Applicant's Email seanisaac7@gmail.com

Applicant' Address: 1938 Red Clover dr Phone #: 314-359-1512

Property Owner's Name: Dorothy F. Coleman Owner's Email

Property Owner's Address: Florissant OAKS Shopping Center 3709 Bluff Spring - St. Charles MO 63303 Phone #: 636-477-7337

Proposed Use: Event Venue Detailed description of Use:

(Provide attachments necessary to adequately describe the proposed Use of the property.)

This application authorizes the Building Commissioner or designee to perform reasonable site inspections as required to determine compliance with the conditions applicable to this application. Further, I understand that any deviation from the application as requested shall require the express written approval of the Zoning Administrator.

Signature	Printed Name	Date
Sean A. Isaac	Sean Isaac	7-11-19

OFFICE USE ONLY BELOW

Received by: KH Date: 7/11/2019 Authorization Conditions: Requires Special Use Permit from Council - send letter/packet

Signature of Building Commissioner or Designee: Philip E. [illegible] Date: 7/11/19

Rev. June 11, 2019

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION

City Of Florissant – Public Works
314-839-7648

PLANNING & ZONING ACTION

Council Ward _____ Zoning 2

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN: DATE: 8-5-19

Initial Date Petitioner Filed_____
Building Commissioner to complete ward, zone & date filed

SPECIAL PERMIT FOR Operation of a Event Venue
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant.

AMEND SPECIAL PERMIT #-_____ TO ALLOW FOR _____
ordinance # **Statement of what the amendment is for.**

LOCATION 47- Florissant Oaks shopping center-3709 Bluff Springs - St. Charles Mo 6330
Address of property.

1) Comes Now Sean A Isaac
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Lease the property for Event Venue
State legal interest in the property. (i.e., owner of property, lease.
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for VACANT and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) can comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, List in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and / or site plans (preliminary and / or final), plan approval for sign, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Sean A. Isaac Sean A. Isaac
PRINT NAME SIGNATURE

FOR Lashays
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that (indicate one of the following):

(X) I (we) have a legal interest in the herein above described property.

(X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in below, and provide address and telephone number

SIGNATURE Sean A. Isaac

ADDRESS 1938 Red clover dr Florissant MO 63031
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 314/359/1512
BUSINESS

I (we) the petitioner (s) do hereby appoint Sean Isaac as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

Sean A. Isaac
Petitioner or authorized agent's signature

<u>NOTE</u>: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council.

IF DESCRIPTIONS OF PLATS OR SURVEYS ARE INCORRECT, OR IF THE PETITION FORM IS NOT CORRECTLY AND COMPLETELY FILLED OUT, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS AND WILL HAVE TO BE RE-SUBMITTED.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation then fill in applicabe section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation X

(a) If an individual:

(1) Name and Address N/A

(2) Telephone Number

(3) Business Address

(4) Date started in business

(5) Name in which business is operated if different from (1)

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners N/A

(2) Telephone numbers

(3) Business address

(4) Name under which business is operated

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners Sean + April Isaac

(2) Telephone numbers 314/359/1512

(3) Business address 47- Florissant Oaks Shopping Center Florissant MO 63031

(4) State of Incorporation & a photocopy of incorporation papers MO

(5) Date of Incorporation 08 July 2019

(6) Missouri Corporate Number 12156703

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. N/A

(8) Name in which business is operated Lashays

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a strip center, give the dimensions of your space under square footage and do not give landscaping information.

Name Sean Isaac

Address 1938 Red Clover dr - Florissant Mo - 63031

Property Owner Dorothy Coleman

Location of property 47 - Florissant Oaks Shopping Center - Florissant MO 63031

Dimensions of property 2400 sq ft

Property is presently zoned B-3 Requests Rezoning To

Proposed Use of Property Event Venue

Type of Sign NONE Height N/A

Type of Construction NONE Number Of Stories. 1

Square Footage of Building 2400 sq ft Number of Curb Cuts N/A

Number of Parking Spaces 205 Sidewalk Length N/A

Landscaping: No. of Trees 0 Diameter N/A

No. of Shrubs NONE Size N/A

Fence: Type N/A Length N/A Height N/A

PLEASE SUBMIT THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting and trash enclosure.
5. If Special Permit is for a sign show location of sign on plot plan.

MEMORANDUM

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: July 9, 2019

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request Recommended Approval for a Special Use at **47 Florissant Oaks SC (LaShay's)** to allow for a Cater-in Banquet Facility in an existing 'B-3' Zoning District.

STAFF REPORT
CASE NUMBER PZ-080519-3

I. PROJECT DESCRIPTION:

This is a Request for Recommended Approval for a Special Use at **47 Florissant Oaks SC (LaShay's)** to allow for a Cater-in Banquet Facility in an existing 'B-3' Zoning District.

II. SITE CONDITIONS:

The existing property at **47 Florissant Oaks** is in an existing Shopping Center built in 1970 according to County records. The previous occupant has vacated for over 1 year.

The existing property is currently occupied by several tenants. The site meets the definition of a Shopping Center having two or more establishments under separate management.

The subject property has an L-shaped building which is a strip center with some restaurant (assembly) tenants. The total area of the building is approximately 37,860 square feet and constructed of masonry. The walls of the buildings have aluminum and glass storefront, brick and flat roofs. There are 2 Special Uses for restaurants, Stix and Ice at 35 Florissant Oaks and Fresh Italy (currently vacant) at 119 Florissant Oaks.

The number of existing parking is shown on the attached plan/aerial photo and appears to be (291) if all spaces are striped. Per the parking ordinance for this use a retail center containing less than 100,000 s.f. requires 4 spaces/1000 s.f. Required parking is, therefore= 151 if occupied by retail, but the effect of the current restaurants had driven the number of required to 191. Restaurant and banquet hall uses usually affect this number and is dependent on seating. The 2 rows of parking behind the building are calculated. The row to the west contains 36 spaces and the one to the north contains 48 spaces, leaving about 207 in the main parking area.

III. **SURROUNDING PROPERTIES:**

The properties to the North are in an 'R-4 Single' Family Dwelling District and include 1025 Patterson, 20, 30, 50, 60, 70 80 Ruth and to the West corner of the site, 675 Lindsay Lane, also in an 'R-4 Single' Family Dwelling District. 15 Florissant Oaks, adjacent to the site is in a 'B-5' Planned Commercial District.

IV. **STAFF ANALYSIS:**

Special Uses for this zoning district include: Assembly Halls not associated with a church or School, Private Clubs and Lodges, Restaurants, Taverns, Nightclubs and Lounges. Therefore, staff determined that a Special Use Permit is in order, technically as a for profit "assembly hall" since the proposal is to include only outside caterers. The application is accompanied by a floor plan SK.0 showing 11 tables of 8 in the gathering space with overall size of 2400 s.f. with proposed 100 seats.

The applicant indicates a hall for hire type business only with no cooking equipment, no alcohol.

No exterior changes to the site are anticipated. No outside equipment is anticipated.

No new signage is proposed, therefore signs must meet 40 s.f. max. size requirement.

Occupant Load: The architectural plan shows one room with 11 tables. This would result in 88 plus staff. Therefore the total number of occupants proposed is limited to 100 as proposed, otherwise additional toilet fixtures will be required

VI. **STAFF RECOMMENDATIONS:**

The applicant will need design professionals to submit building plans to confirm occupancy. A "change in use classification" per the 2009 International Building Code and 2009 International Existing Building Code was completed in 2017. Based upon a maximum occupant load of 100, this would require at minimum check for: 2 hour separation walls from mercantile uses, panic hardware, 2 ADA restrooms (one women and one men), drinking fountain (depending on Uses anticipated) and service sink.

The residences behind this use would only be affected by use of the rear parking or rear door, staff suggests that the rear door be kept closed at all times, perhaps since a panic

bar is required, an audible alarmed panic bar was the suggested solution for the last tenant.

Hours of operation should be discussed to identify which businesses remain in use during the operation of this proposed business.

If the Commission recommends approval, staff recommends the suggested motion:

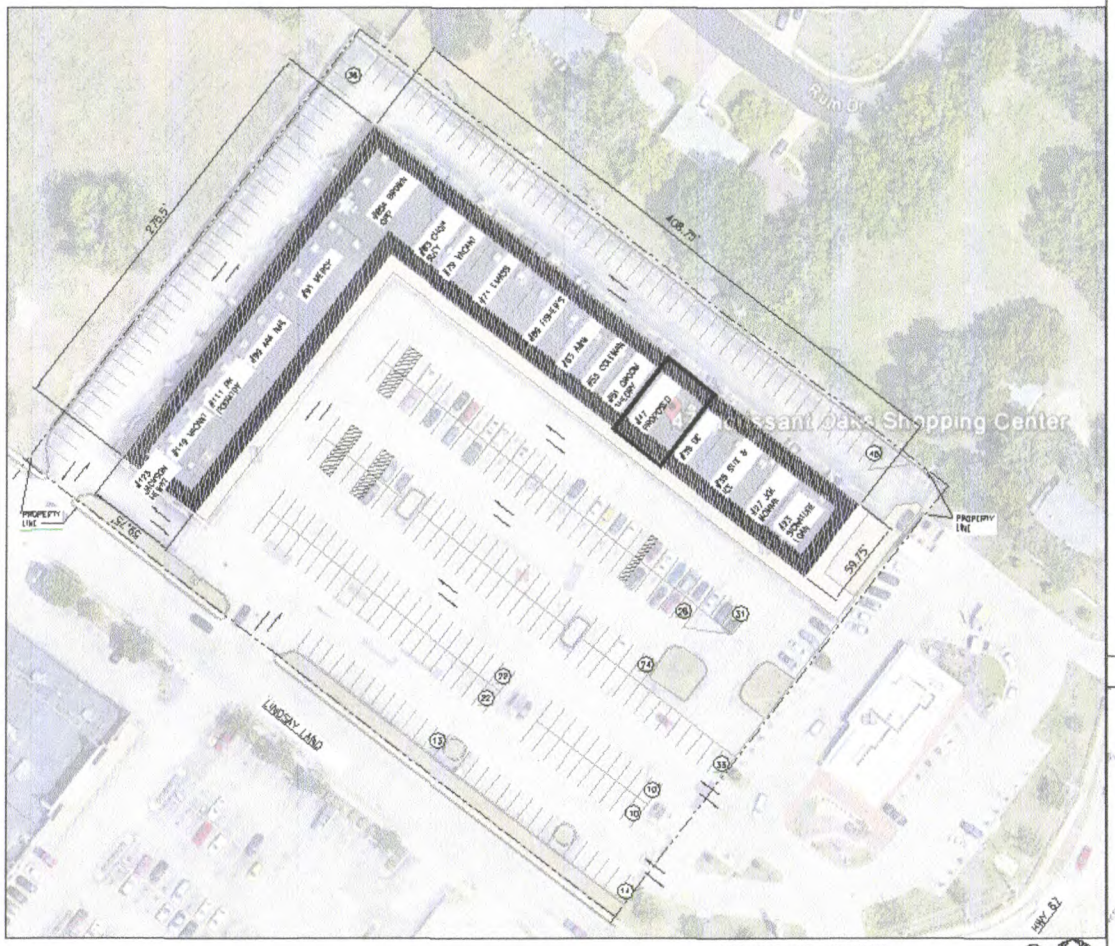
Suggested Motion for 47 Florissant Oaks

I move to recommend approval of a Special Use to allow for a Banquet Center in an existing 'B-3' Zoning District at **47 Florissant Oaks**, with the following stipulations being part of the record:

PROJECT COMPLETION.

Construction shall start within 60 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 180 days of start of construction.

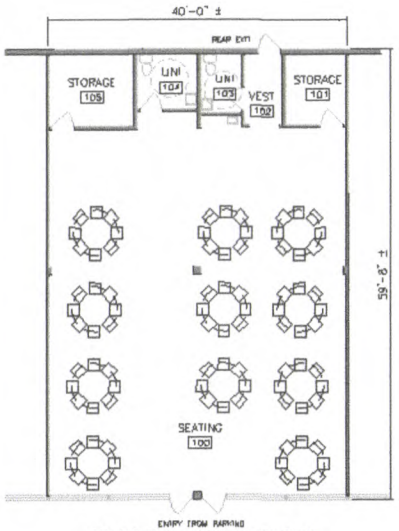
(end of Suggested Motion and Memo)



ARCHITECTURAL SITE PLAN
SCALE ON 22"x34": 1"=60'
SCALE ON 11"x17: 1:60

PARKING REQUIRED PER ZONING						
NO.	BUSINESS	USE TYPE	CODE	UNIT	PARKING REQUIRED
23	SIGNATURE LOANS	OFFICES	3.0 PER 1,000SF	2400 SF ±	8 SPACES
27	JOE MOMMA'S BAR	RESTAURANTS, LESS THAN 1,500 SF	4.5 PER 1,000SF	1200 SF ±	6 SPACES
35	9TH AND ICE	RESTAURANTS, BAR, COCKTAIL LOUNGE	12 PER 1,000SF	2400 SF ±	29 SPACES
39	DC LIQUOR AND CONVENIENCE	CONVENIENCE STORE	3.3 PER 1,000SF	1200 SF ±	4 SPACES
51	GROOM THEORY	RETAIL SALES (BARBER)	4.0 PER 1,000SF	1200 SF ±	5 SPACES
55	COLEMAN REALTY COMPANY	OFFICES	3.0 PER 1,000SF	1200 SF ±	3 SPACES
63	ABW PRINTING	RETAIL SALES	4.0 PER 1,000SF	1200 SF ±	5 SPACES
69	FIREMEN'S UNIFORMS	RETAIL SALES	4.0 PER 1,000SF	2400 SF ±	10 SPACES
71	C MARS	OFFICES	3.0 PER 1,000SF	1200 SF ±	4 SPACES
79	VACANT	RETAIL SALES	4.0 PER 1,000SF	1200 SF ±	5 SPACES
83	CHEAP SUEY	RESTAURANTS, LESS THAN 1,500 SF	4.5 PER 1,000SF	1200 SF ±	6 SPACES
85A	BROWN OPTICAL	MEDICAL OFFICE	4.5 PER 1,000SF	4400 SF ±	20 SPACES
91	MERCY	MEDICAL OFFICE	4.5 PER 1,000SF	6000 SF ±	27 SPACES
99	AAA NAILS	RETAIL SALES	4.0 PER 1,000SF	1200 SF ±	5 SPACES
111	PK PODIATRY	MEDICAL OFFICES	4.5 PER 1,000SF	2400 SF ±	11 SPACES
119	VACANT	RETAIL SALES	4.0 PER 1,000SF	2400 SF ±	10 SPACES
123	JACKSON HEWITT	OFFICES	3.0 PER 1,000SF	1200 SF ±	4 SPACES
	REQUIRED BEFORE BANQUET HALL				166 SPACES
47	PROPOSED BANQUET HALL	BANQUET HALL	1 SPACE PER 4 SEATS	100 SEATS	25 SPACES
TOTAL PARKING REQUIRED BASED ON ZONING USE					191 SPACES < 281 SPACES PROVIDED

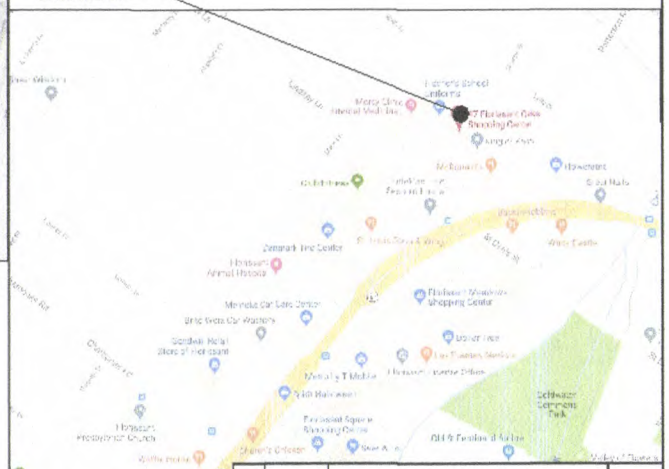
EXISTING PARKING COUNTS	
REAR LOT--	36
REAR LOT--	49
FRONT LOT--	13
FRONT LOT--	14
FRONT LOT--	22
FRONT LOT--	22
FRONT LOT--	10
FRONT LOT--	10
FRONT LOT--	33
FRONT LOT--	24
FRONT LOT--	28
FRONT LOT--	31
TOTAL	281 SPACES



BANQUET HALL SEATING= >100 SEATS

#47- LASHAYS BANQUET HALL FLOOR PLAN
SCALE ON 22"x34: 1/8"=1'-0"
SCALE ON 11"x17: 1/16" = 1'-0"

LOCATOR MAP:



REV.	DATE	DESCRIPTION	APPROVED
D	7/27/19	ISSUE FOR OCCUPANCY	CAC

CLOSSER
Charles Closser, Registered Architect
7200 Bonhomme
St. Louis, Missouri 63105
T. 314-721-4400
FAX. 314-721-4401
Missouri State Lic. # 201-029935

DRAWN BY: CAC
CHECKED BY:
SCALE: AS SHOWN
DATE: 1/18/2018

LASHAYS
#47 FLORISSANT OAKS SHOPPING CENTER
FLORISSANT,MO
SPECIAL OCCUPANCY APPROVAL

PROJECT NO. 19007
DRAWING NO. SK.0

C:\Users\chuck\Documents\BB - ftp(ftp)\19195\19007---Banquet Hall\19007---base.dwg CHUCK

INTRODUCED BY COUNCILMAN CAPUTA
AUGUST 12, 2019

BILL NO. 9517 ORDINANCE NO.

ORDINANCE AUTHORIZING A TRANSFER OF $40,000 FROM CAPITAL IMPROVEMENT FUND ACCOUNT NO. 03-5-03-6148 "CAPITAL ADDITIONS" TO ACCOUNT NO. 03-5-03-30010 "EQUIPMENT REPAIRS-VEHICLES" TO COVER ANTICIPATED VEHICLE REPAIR COSTS FOR THE PUBLIC WORKS DEPARTMENT.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: There is hereby authorized a transfer of $40,000 from Capital Improvement fund Account no. 03-5-03-6148 "Capital Additions" to Account no. 03-5-03-30010 "Equipment Repairs-vehicles" to cover anticipated vehicle repair costs for the Public Works Department.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____day of _____,2019.

_____
Jeff Caputa
President of the Council
City of Florissant

Approved this_____ day of _____, 2019.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC,
City Clerk

FLORISSANT CITY COUNCIL
AGENDA REQUEST FORM

Date: 8/8/2019

Mayor's Approval:

Agenda Date Requested: 8/12/2019

Description of request: Budget Transfer from capital additions to vehicle repair

Transfer of Funds from

(See Attached Memo)

Department: Public Works

Recommending Board or Commission: N/A

Type of request:

Ordinances	X	Other	
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N
Public Hearing needed: **Yes / No**	**N**	3 readings? : **Yes / No**	**n**

Back up materials attached:		Back up materials needed:	
Minutes		Minutes	
Maps		Maps	
Memo	X	Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

cc to Cesa 8/4/19

City of Florissant
Public Works Department
Interoffice Memo

Memo To: City Council

Date: August 5, 2019

Thru: Mayor Timothy J. Lowery

From: Todd M. Hughes, P.E.
Director of Public Works and Health

Copy: Kimberlee Johnson

Subject: **Budget Transfer for Building and Equipment Maintenance – Capital Improvement Fund**

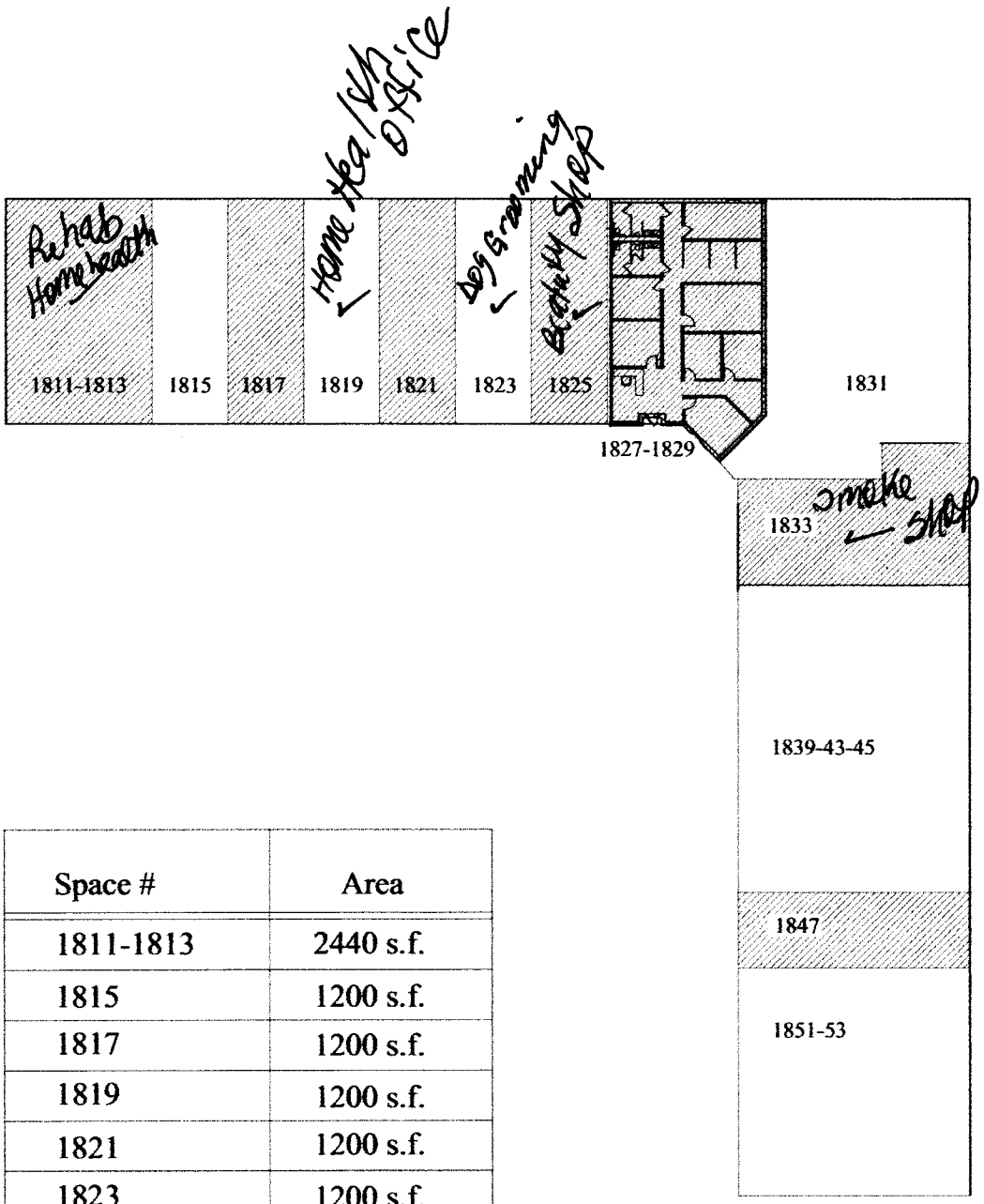
Due to higher than forecasted expenditures the Equipment Repairs – Vehicles account need more money to cover anticipated repair costs.

Therefore, I respectfully request that $40,000 be transferred from Capital Improvement Fund Account 03-5-03-6148 – Capital additions – Public Works to be transferred to Account 03-5-03-30010 –Equipment Repairs - Vehicles.

Thank you in advance.

Respectfully submitted,

Todd M Hughes, P.E.



Space #	Area
1811-1813	2440 s.f.
1815	1200 s.f.
1817	1200 s.f.
1819	1200 s.f.
1821	1200 s.f.
1823	1200 s.f.
1825	1200 s.f.
1827-1829	2539 s.f.
1831	3921 s.f.
1833	1907 s.f.
1839-43-45	5660 s.f.
1847	1230 s.f.
1851-1853	3630 s.f.

WATERFORD PLAZA

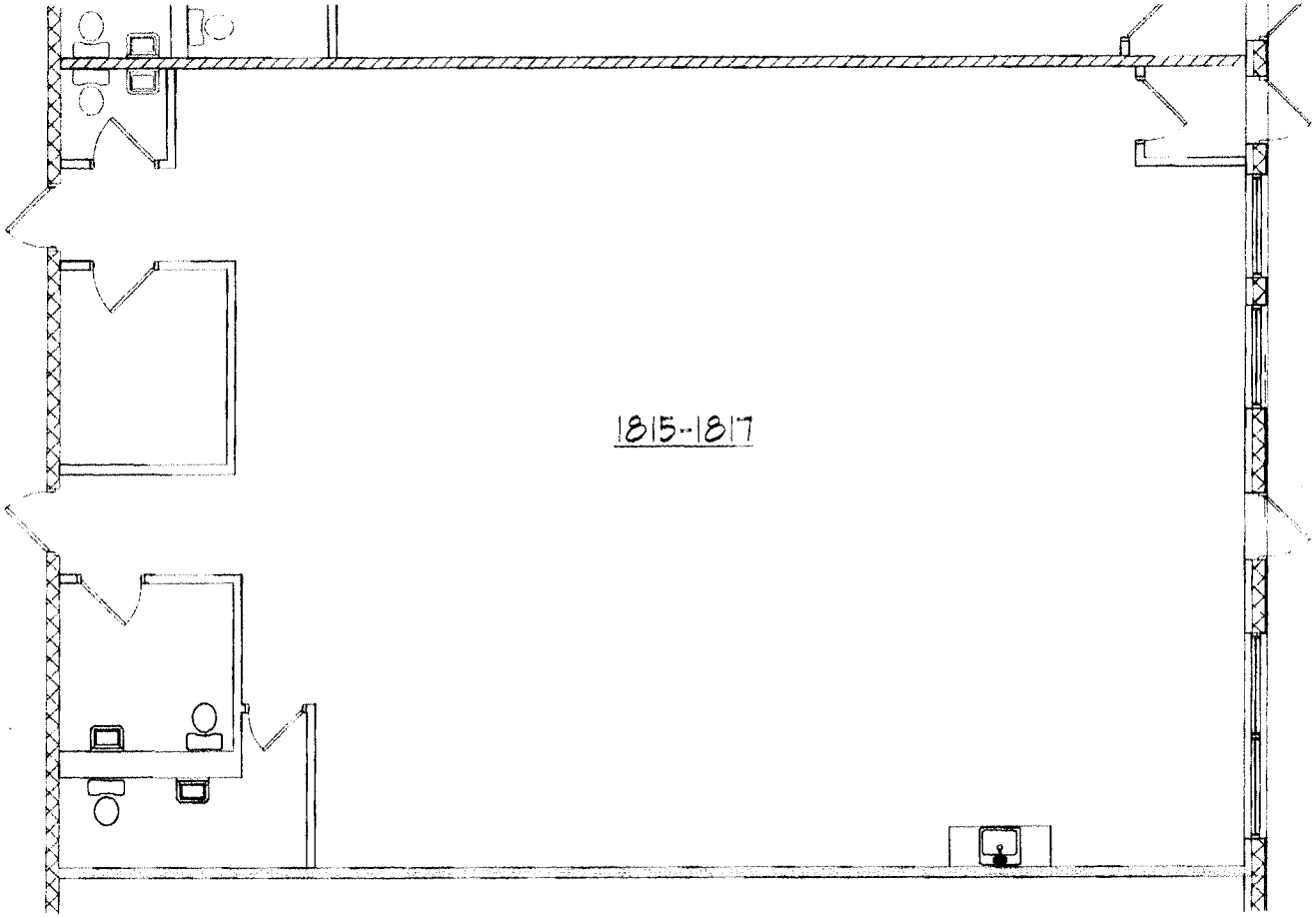
1811-1853 Dunn Road Florissant, MO. 63033

Schematic Plan

SUDA ARCHITECTS & ASSOCIATES
15 N. 10th St. Suite 202
Saint Louis, MO 6310
telephone: 314-241-515
telefax: 314-241-9837

DANIELS REALTY GROUP, INC.

Daniels Realty Group Inc.
8710 Manchester Rd.
St. Louis, MO 63144



1 Proposed Floor Plan
1/8" = 1'-0"

SUDA
ARCHITECTS
& ASSOCIATES
415 N. 10th St. Suite 202
Saint Louis, MO 63101
telephone: 314-241-5151
telefax: 314-241-9837

Waterford Plaza Shopping Center
1815-1817 Dunn Road
Florissant, MO 63033

Proposed Floor Plan

Job Number: 0405

Date: 02-13-04

Revisions:

Sheet No. A-1

CITY OF FLORISSANT

Public Hearing

In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, August 12, 2019 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit to 102Venyou, LLC d/b/a 102 Venyou to allow for a catered banquet center in a B-3 Zoning District for the property located at 1815-1817 Dunn Road (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

INTRODUCED BY COUNCILWOMAN PAGANO
AUGUST 26, 2019

SUBSTITUTE BILL NO. 9518 ORDINANCE NO.

ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO 102VENYOU, LLC D/B/A 102 VENYOU TO ALLOW FOR A CATERED BANQUET CENTER LOCATED AT 1815-1817 DUNN ROAD.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Use Permit, after public hearing thereon, to permit the operation of a banquet centers; and

WHEREAS, an application has been filed by 102 Venyou for the operation of a catered banquet center located at 1815-1817 Dunn Road; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting of July 15, 2019 recommended approval of said Special Use Permit; and

WHEREAS, due notice of public hearing no.19-08-015 on said application to be held on the 12th of August, 2019 at 7:30 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the granting of the Special Use Permit as hereinafter provided would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section l: A Special Use Permit is hereby granted to 102 Venyou, LLC for a Cater-In Banquet Facility in an existing B-3 Zoning District at 1815-1817 Dunn Road subject to the drawing submitted dated 6/26/19, with the following stipulation:

1. No outdoor dining permitted, without amendment to the Special Use.
2. Hours of operation shall end at midnight.

Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2019.

_____
Jeff Caputa
President of the Council

Approved this _____ day of _____, 2019.

_____
Timothy J. Lowery
Mayor

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

INTRODUCED BY COUNCILWOMAN PAGANO
AUGUST 12, 2019

BILL NO. 9518 ORDINANCE NO.

ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO 102VENYOU, LLC D/B/A 102 VENYOU TO ALLOW FOR A CATERED BANQUET CENTER LOCATED AT 1815-1817 DUNN ROAD.

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Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2019.

_____
Jeff Caputa
President of the Council

Approved this _____ day of _____, 2019.

_____
Timothy J. Lowery
Mayor

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION

City Of Florissant – Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 1815-1817 DUNN RD

Property Owners Name: GEOFFREY DANIELS Phone #: 314-909-7700

Property Owners Address: 15400 S. OUTER FORTY ROAD Chesterfield MO. 63017

Business Owners Name: Lisha Bell Phone #: 314-629-5754

Business Owners Address: 2220 Wedgwood Dr. W. Florissant MO. 63033

DBA **(Doing Business As)** 102 VENYOU

email: bell.lisha@att.net

Authorized Agents Name: Lisha BELL CO. Name:
(Authorized Agent to Appear Before The Commission)

Agents Address: 2220 Wedgwood Dr. W 63033 Phone #: 314-629-5754

Request Banquet hall - catering only no Kitchen

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Lisha Bell 5/31/19
Applicant's Signature **Date**

OFFICE USE ONLY

Received by: pel Receipt # 103554 Amount Paid: 300 - Date: 6-19-19

STAFF REMARKS: Re-submit floor plan to scale with serving tables/seating/chairs.

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: 6/19/19

pel
SIGNATURE OF STAFF WHO REVIEWED APPLICATION

Planning & Zoning Application
Page 1 of 1 – Revised 9/28/10

$300 receipt # 103554

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION

City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN
SIGN. DATE: 7-15-15

Council Ward 7 Zoning B-3

Initial Date Petitioner Filed_____
Building Commissioner to complete ward, zone & date filed

SPECIAL PERMIT FOR Caterin Banquet Facility
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #-_____ TO ALLOW FOR _____
ordinance # **Statement of what the amendment is for.**

LOCATION 1815-1817 DUNN Road
Address of property.

1) Comes Now Lisha Bell (IdaVENYou) LLC
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) lease
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for vacant and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Lisha Bell Lisha Bell / bell.lisha@att.net 314-629-5754
PRINT NAME SIGNATURE email and phone

FOR 102VENYOU LLC
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Lisha Bell

ADDRESS 2220 Wedgwood Dr. West Florissant MO. 63033
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314-629-5754 /
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

_____
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual X Partnership _____ Corporation _____

(a) If an individual:

(1) Name and Address 102 VENYOU LLC 2220 Wedgwood Dr. W.

(2) Telephone Number 314-629-5754

(3) Business Address 2220 Wedgwood Dr. West Florissant MO. 63033

(4) Date started in business 1/22/2019

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration. See Attached

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) State of Incorporation & a photocopy of incorporation papers _____

(5) Date of Incorporation _____

(6) Missouri Corporate Number _____

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____

(8) Name in which business is operated _____

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Lisha Bell - 102VENYOU LLC

Address 2220 Wedgwood Dr. West Florissant MO. 63033

Property Owner Geoffrey M. Daniels

Location of property 1815-1817 Dunn Road

Dimensions of property _____

Property is presently zoned _____ Requests Rezoning To _____

Proposed Use of Property Cater-In Banquet facility

Type of Sign _____ Height _____

Type of Construction _____ Number Of Stories. _____

Square Footage of Building 2400 SQFT Number of Curb Cuts _____

Number of Parking Spaces _____ Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.

2. Show location of property in relation to major streets and all adjoining properties.

3. Show measurement of tract and overall area of tract.

4. Proposed parking layout and count, parking lighting.

5. Landscaping and trash screening.

5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

Waterford Plaza 27600 sq.ft. facility
1815-1817 Dunn Rd.
Florissant MO. 63303

(see map attached)

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

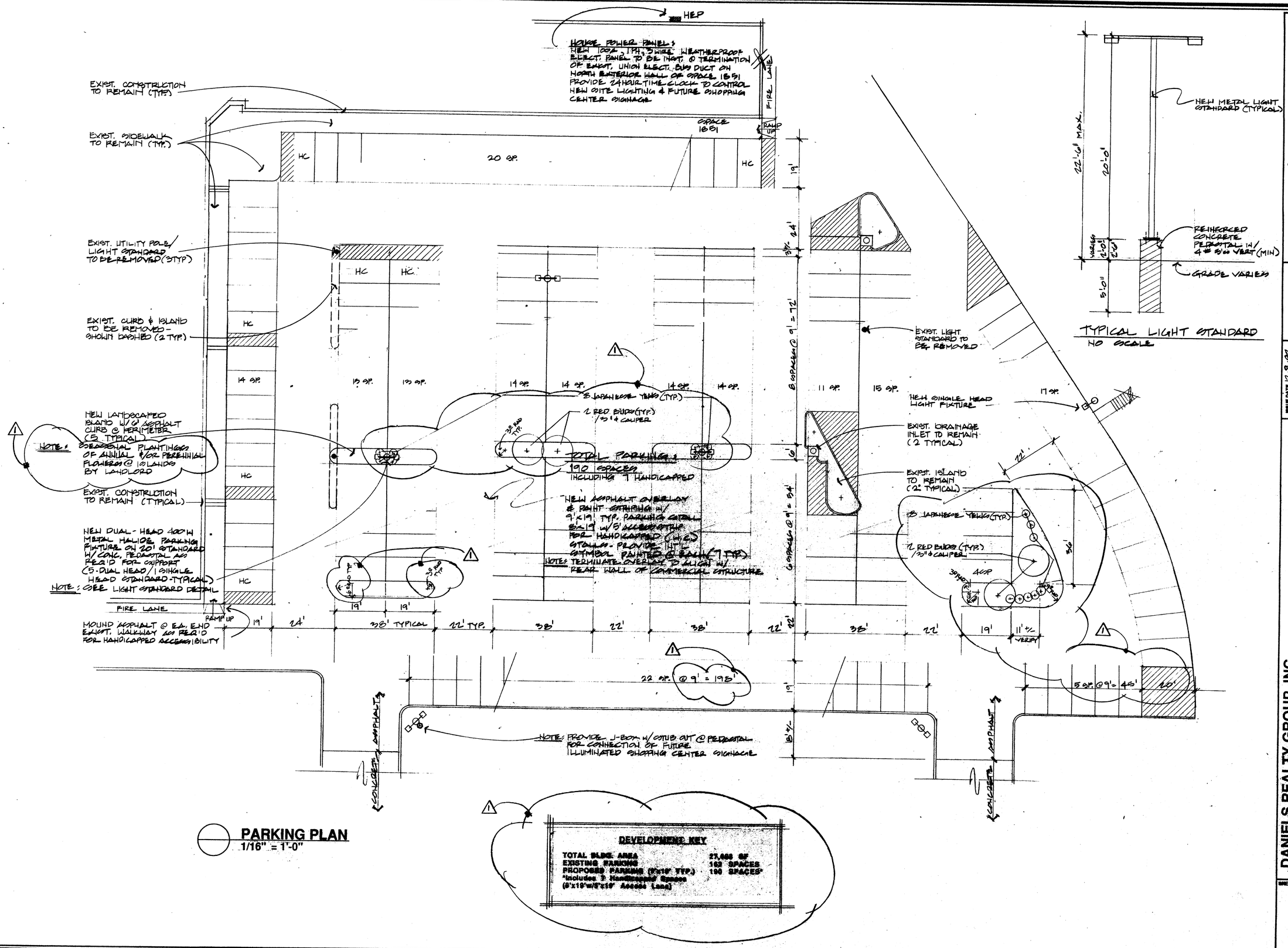
Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed originally, revised 7/10/19

STAFF REMARKS: See Staff report

Building Commissioner or Staff Signature



PARKING PLAN
1/16" = 1'-0"

SLDA
ARCHITECTS & ASSOCIATES
517 NORTH ELEVENTH STREET • SUITE 1100 • SAINT LOUIS MISSOURI • 63101
314 • 241 • 5151 FAX • 314 • 241 • 5527

ISSUE DATE 12.9.92
REVISIONS
1 12.14.92

DANIELS REALTY GROUP, INC.

PARKING FACILITIES
WATERFORD PLAZA
DUNN ROAD
FLORISSANT, MISSOURI 63033

SHEET NUMBER
1

MEMORANDUM

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: July 9, 2019

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request Recommended Approval for a Special Use at **1815-1817 Dunn Road** to allow for a Cater-in Banquet Facility in an existing 'B-3' Zoning District.

STAFF REPORT
CASE NUMBER PZ-071519-2

I. **PROJECT DESCRIPTION:**
This is a Request for Recommended Approval for a Special Use at **1815-1817 Dunn Road (102Venyou)** to allow for a Cater-in Banquet Facility in an existing 'B-3' Zoning District.

II. **SITE CONDITIONS:**
The existing property at **1815-1817 Dunn** is an existing 27600 s.f. facility built in 1976 according to County records.

The proposed use is that of a Banquet Facility, which is a Special Use per 405.125.

The subject property has a building which is constructed of brick in front and concrete block rear with flat roof.

The number of existing parking on a staff parking survey at 191. Per the parking ordinance for this property used as retail, required parking would be 110 for the shopping center. This establishment would increase the total number required by 25 spaces.

III. **SURROUNDING PROPERTIES:**

The properties to the North and East are in an 'R-6' Multiple Family Dwelling District and includes Stonebridge Apartments at 1357 and 1476 Dunn Road. The adjacent site to the North 1501 S Waterford, is also in an 'R-6' Multiple Family Dwelling Zoning District.

IV. **STAFF ANALYSIS:**

Special Uses for this zoning district include: Restaurants, Taverns, Nightclubs and Lounges. Therefore, staff determined that a Special Use Permit is in order as a similar establishment.

The application is accompanied by a floor plan showing interior remodeling and the lease showing 2057 s.f. The plan indicates a 1 accessible restroom, storage, 2 inaccessible restrooms, serving counters and 12 tables with 8 seats each which would result in the number of seats, a total of 96. Two accessible restrooms will be required by building code.

There is a partial parking plan submitted dated 12/9/92, however, No exterior changes to the site are anticipated. No outside equipment or signage is presented.

Occupant Load: The plan shows seating of 96 at tables and chairs. Staff of 3 would result in the following parking:
Parking required for 96 max. seating = 96/3 = 32
Employees 2 spaces for every 3 employees max. shift = 1
Total max. parking required 33 as compared to 8 required for retail.

VI. **STAFF RECOMMENDATIONS:**

If the Commission recommends approval, staff recommends the attached suggested motion.

Suggested Motion for 1815-1817 Dunn Road:

I move to recommend approval of a Special Use to allow for a Cater-in Banquet Facility in an existing 'B-3' Zoning District at **1815-1817 Dunn Road** subject to the drawing submitted dated 06/26/19, with the following stipulations:

1. No outdoor dining permitted, without amendment to the Special Use.

PROJECT COMPLETION.

Construction shall start within 60 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 180 days of start of construction.
(end of Suggested Motion and Memo)

INTRODUCED BY COUNCILMAN HENKE
AUGUST 12, 2019

BILL NO. 9519 ORDINANCE NO.

ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO LEGENDS ACADEMY, LLC D/B/A LEGENDS ACADEMY TO ALLOW FOR A CHILD DAY CARE CENTER LOCATED AT 1645 N. NEW FLORISSANT ROAD.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Use Permit, after public hearing thereon, to permit the operation of a child day care center; and

WHEREAS, an application has been filed by Legends Academy LLC for the operation of a child daycare center located at 1645 N. New Florissant Road; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting of July 15, 2019 recommended approval of said Special Use Permit; and

WHEREAS, due notice of public hearing no.19-08-016 on said application to be held on the 12th of August, 2019 at 7:30 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the granting of the Special Use Permit as hereinafter provided would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section l: A Special Use Permit is hereby granted to Legends Academy LLC for a Child Day Care Center at 1645 N. New Florissant Road as depicted on the Site Plan and Building Plans by Max Bemberg-Architect, subject to the regulations in the B-3 Zoning District and the following additional requirements:

a. Provide a protective barrier for the play area, i.e. bollards @ 5’ o.c.

Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2019.

_____
Jeff Caputa
President of the Council

Approved this _____ day of _____, 2019.

_____
Timothy J. Lowery
Mayor

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing

In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, August 12, 2019 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit to Legends Academy, LLC d/b/a Legends Academy to allow for a Child Day Care Center in a B-3 Zoning District for the property located at 1645 N New Florissant Road (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION

City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 1645 N. New Florissant Rd. Florissant, MO 63033

Property Owners Name: DCMTB Properties, LLC Phone/email: 6187918047, cdarr@1across dental.com

Property Owners Address: 1922 Edwardsville Club PLZ. Edwardsville, IL 62025

Business Owners Name: Jessica Carter Phone/email: 3146190305, carterjessica@gmail.com

Business Owners Address: 2245 Ainsworth Dr. St. Louis, MO 63136

DBA (**Doing Business As**) Legends Academy

Authorized Agents Name: Jessica Carter Co. Name:
(Authorized Agent to Appear Before The Commission)

Agents Address: Phone/email:

Request Child Day Care Center rec. app'l.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Jessica Carter — 6-17-19

Applicant's Signature **Date**

OFFICE USE ONLY

Received by: JB Receipt # 619748 Amount Paid: 300.00 Date: 6/17/19

STAFF REMARKS:

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: 7/9/19

pel

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

Planning & Zoning Application
Page 1 of 1 – Revised 7/15/15

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION

City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN
SIGN [signature] DATE: 7-15-19

Council Ward 6 Zoning B-3/pel

Initial Date Petitioner Filed_____
Building Commissioner to complete ward, zone & date filed

SPECIAL PERMIT FOR Childcare center
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #-_____ TO ALLOW FOR _____
ordinance # **Statement of what the amendment is for.**

LOCATION 1645 N. New Florissant Rd
Address of property.

1) Comes Now Jessica K. Carter DBA Legends Academy llc
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Lease
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for B-3 Extensive Business District and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation LLC

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners Jessica Carter, 2245 Ainsworth Dr. St. Louis, MO 63136

(2) Telephone numbers 3146190305

(3) Business address 2245 Ainsworth Dr. St. Louis, MO 63136

(4) State of Incorporation & a photocopy of incorporation papers LC001648046 Missouri

(5) Date of Incorporation May 14, 2019

(6) Missouri Corporate Number LC001648046

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____

(8) Name in which business is operated Legends Academy

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Legends Academy

Address 1645 N. New Florissant ~~Ave~~ RD

Property Owner DCMTB Properties, LLC

Location of property 085540756

Dimensions of property 0114/0114-0200/0200

Property is presently zoned B-3 Extensive business Requests Rezoning To

Proposed Use of Property Childcare Center

Type of Sign Ground sign Height

Type of Construction Wood Number Of Stories. 1

Square Footage of Building 1640 Number of Curb Cuts Ø

Number of Parking Spaces Ø Sidewalk Length Ø

Landscaping: No. of Trees ~~15~~ 3 Diameter 9 sq ft

No. of Shrubs 15 Size Small

Fence: Type Wood Length 88ft Height 6ft

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.

2. Show location of property in relation to major streets and all adjoining properties.

3. Show measurement of tract and overall area of tract.

4. Proposed parking layout and count, parking lighting.

5. Landscaping and trash screening.

5. Location, sizes and elevations of signage.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Jessica Carter, Jessica Carter / carterjessicaK@gmail.com 3146190305

PRINT NAME SIGNATURE email and phone

FOR Legends Academy, LLC
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE_____

ADDRESS _____
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL _____ / _____
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

_____
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

Lot 3 0855540592 5 2281

Lot Dimensions 0114/0114-0200/0200

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____

_____

_____

_____

_____

Building Commissioner or Staff Signature

ZONING COMPLIANCE

PARKING - PER 405.225

TABLE I - CHILD CARE CENTER
2.66 PARKING SPACE PER 1000 GFA OR 1 PER EVERY 10 CHILDREN PLUS 1 PER EMPLOYEE
20 CHILDREN - 2 SPACES & 5 FULL TIME EMPLOYEES - 5 SPACES
TOTAL 7 PARKING SPACES REQ. / 7 PROVIDED - COMPLIES

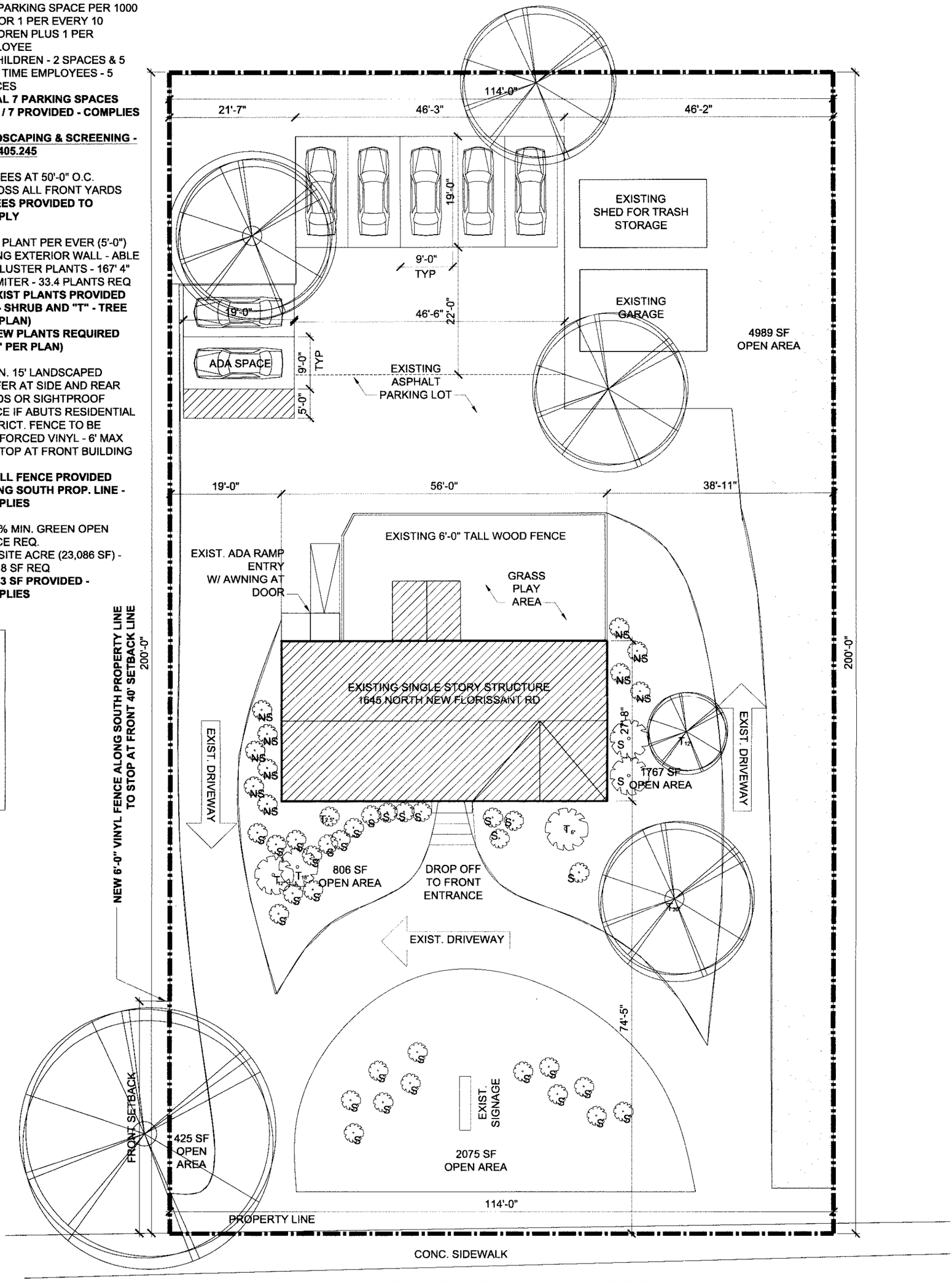
LANDSCAPING & SCREENING - PER 405.245

6) TREES AT 50'-0" O.C. ACROSS ALL FRONT YARDS
- TREES PROVIDED TO COMPLY

7) (1) PLANT PER EVER (5'-0") ALONG EXTERIOR WALL - ABLE TO CLUSTER PLANTS - 167' 4" PERMITER - 33.4 PLANTS REQ
24 EXIST PLANTS PROVIDED ("S" - SHRUB AND "T" - TREE PER PLAN)
10 NEW PLANTS REQUIRED ("NS" PER PLAN)

8) MIN. 15' LANDSCAPED BUFFER AT SIDE AND REAR YARDS OR SIGHTPROOF FENCE IF ABUTS RESIDENTIAL DISTRICT. FENCE TO BE REINFORCED VINYL - 6' MAX TO STOP AT FRONT BUILDING LINE.
6' TALL FENCE PROVIDED ALONG SOUTH PROP. LINE - COMPLIES

9) 30% MIN. GREEN OPEN SPACE REQ.
0.53 SITE ACRE (23,086 SF) - 6925.8 SF REQ
10,063 SF PROVIDED - COMPLIES

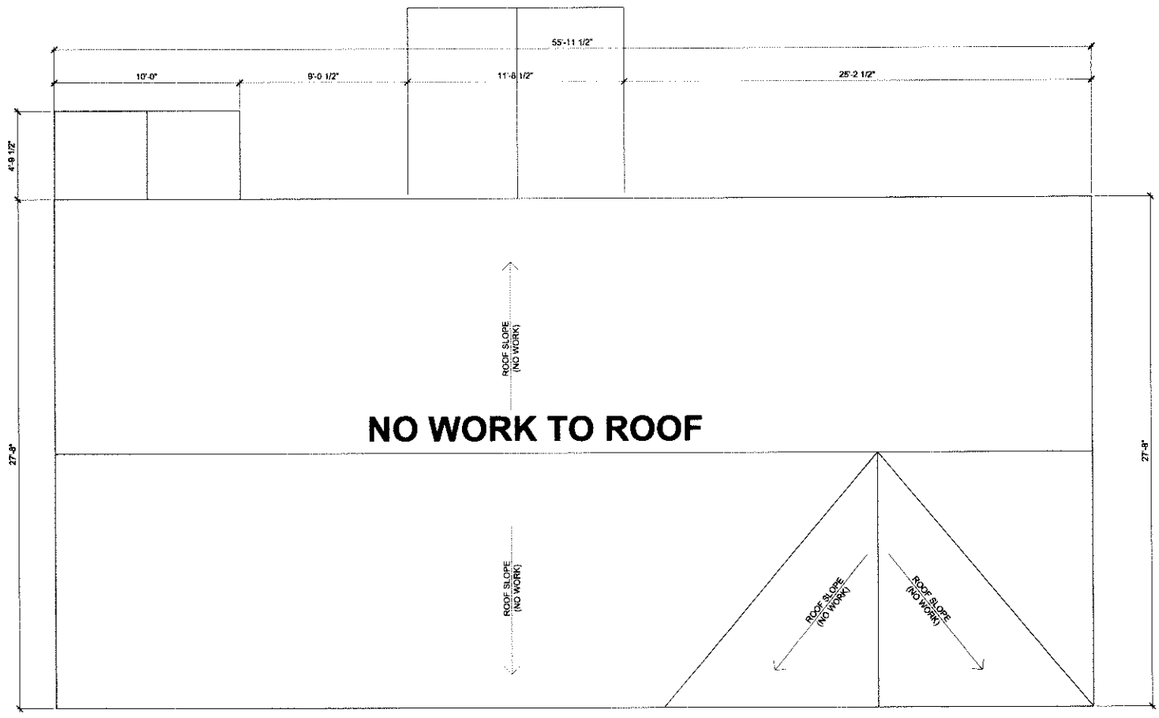


SITE PLAN

SCALE: 1/16" = 1'-0"

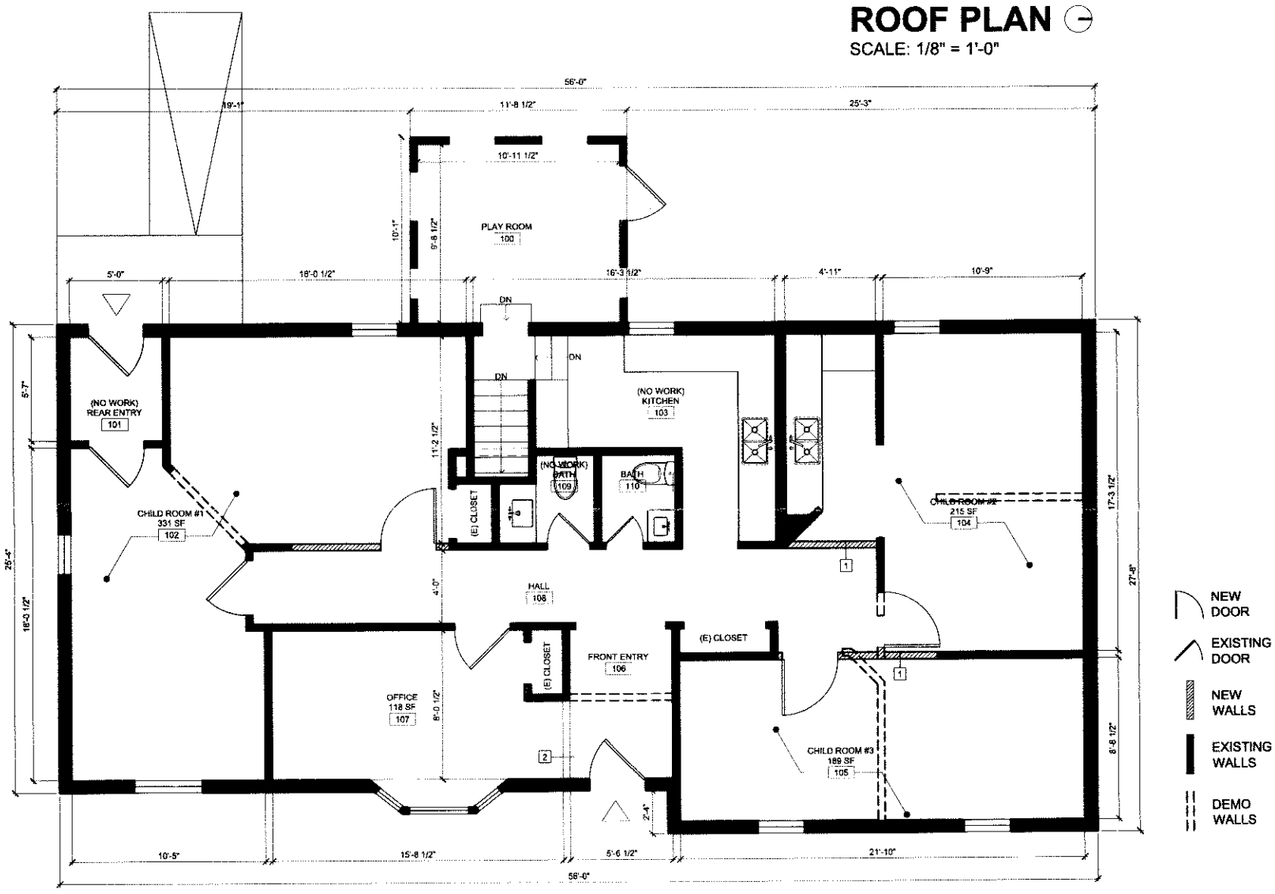
DAYCARE FACILITY
1645 N NEW FLORISSANT RD

mbA | max bemberg architect
bemberg.max@gmail.com | 314.626.3230



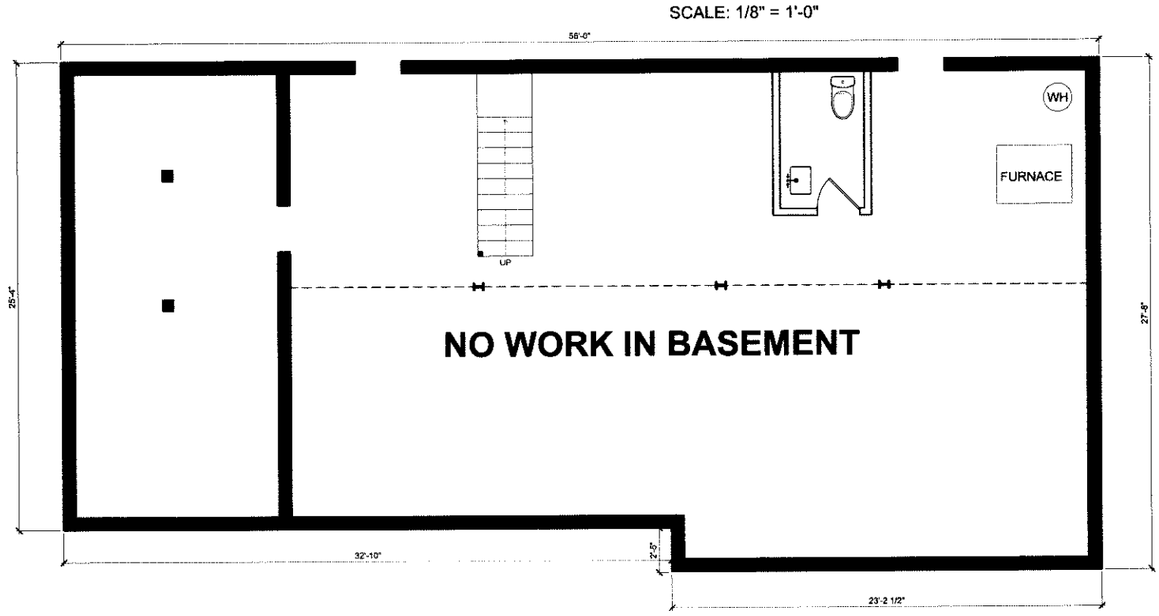
ROOF PLAN

SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN

SCALE: 1/8" = 1'-0"



BASEMENT PLAN

SCALE: 1/8" = 1'-0"

DAYCARE FACILITY
1645 N NEW FLORISSANT RD

mbA | max bemberg architect
bemberg.max@gmail.com | 314.626.3230

MEMORANDUM

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: July 9, 2019

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request Recommended Approval for a Special Use at **1645 N New Florissant Rd (Legends Academy)** to allow for a Child Day Care Center in an existing 'B-3' Zoning District.

STAFF REPORT
CASE NUMBER PZ-071519-3

I. PROJECT DESCRIPTION:

This is a request for recommended approval of a Special Use Permit for the operation of a Child Daycare Center, at **1645 N New Florissant Rd** in an existing 'B-3' Zoning District. The Child Day Care Center is Special Use within the restrictions of the 'B-3' Zoning District, therefore, the Commission must review the Special Use Permit and make recommendations to City Council.

Refer to the Site Plan and Floor Plans by Max Bemberg, Architect.

II. SITE CONDITIONS:

The existing property at **1645 N New Florissant Rd** is an existing site with one property between it and New Halls Ferry. This site is 0.52 acres approx. with an existing parking lot and structure. The structure has been used as a dental office in the past.

There are 7 existing off street parking, and a drop-off drive in the front, accessible parking and entry in the rear. Parking requirement is 2.66 per 1000 GSF or 1 per every 10 children and 1 per employee considering drop-off and pick up arrangements.

The design does include a 6 foot sightproof fence along the south property line abutting an 'R-4' Single Family Dwelling District.

III. **SURROUNDING PROPERTIES:**

The properties to the North, 1780 N Highway 67 and 1675 N New Florissant are both zoned 'B-3'. The property to the West is the Florissant Police Station, which is zoned 'R-4'. The property to the South is 1615 N New Florissant which is zoned 'R-4' Single Family Dwelling District.

IV. **STAFF ANALYSIS:**

1. This application is accompanied by professionally completed architectural site plan and building plans with Parking and Landscape Code information as shown on the plans. Comments are made by staff for each drawings:
    a. The existing property has a 6' wood fence existing which may serve as an enclosure for the play area. The proposed 200' fence on the South side of the property could be extended to the 40' building line about even with the front entry drive.
    b. The proposed floor plan contains s.f. for each day care area. The 'E' Use group and occupant load can be derived from classroom sizes listed on the plans. A Child Daycare in the 2018 IBC will have a max. occupant load of 35 net s.f Therefore, what code would allow, is approximately 20. The State may determine occupant load higher that this. Parking requirement 2.66 per 1000 s.f. based upon s.f. is 7 spaces, (based on 5 employees).
    c. Accessibility for this change in occupancy looks to be provided on the exterior. Issues involving access that will be addressed by the code officials include:
        i. A parking lot with 7 spaces shall have 1 accessible parking space, of which shall be van accessible with an 8' loading zone.
        ii. Any proposed infant rooms have to allow direct exit to the exterior.
        iii. An interior accessible route is required between levels less than 300 s.f. of this Use Group.
        iv. 5% of dining or eating surfaces shall be accessible.
        v. Other features and facilities: Toilet and drinking fountain facilities on the accessible floor shall be accessible. There is no drinking fountain shown.

    It is the intent of inclusion of this information to inform the Commission of the requirements that will be met in the event that the Council Grants a Special Use

permit for this petition. Reasons for recommended denial or approval to the Council should not include any of the above which are building code issues, but the information should help the Commission understand the intended use and flow of the site and assist the architect and petitioner.

2. Existing Building: The existing building is a 1952 masonry structure of 1640 s.f., according to County record.

3. Play Yard: Plan scales a fencing area about 46'x 22' with a shed of about 10' x 12' which would be about 890 s.f. State regulations require a min.750 s.f. play yard.

4. Landscape bold notes indicate that:
   a. Frontage trees are required.
   b. 10 new shrubs are required.

5. Technically, the Police Station is located in the 'R-4' District also, however, no fence is proposed. Also, there is a landscaped buffer, not required between this property and the car dealer property to the north.

VI. **STAFF RECOMMENDATIONS:**

1. The development meets the requirements of a Child Day Care Center as a Special Use in the B-3 District, not located in a Shopping Center.
2. Should a motion for recommended approval be made, staff suggests consideration the following:
   i. That a sight-proof fence or 15 foot landscape buffer be provided in accord with 405.245 along the Police Station property. Currently, there exists a landscaped area about 11 feet wide.

Suggested Motion:
I move to recommend approval of a Special Use Permit for a Child Day Care Center at **1645 N New Florissant Road** as depicted on the Site Plan and Building Plans by Max Bemberg- Architect, subject to the regulations in the 'B-3'- "Extensive Business District", and the following additional requirements:

~~a. Frontage trees are to be provided at 50' o.c.~~
~~b. 10 new shrubs are to be provided as building plantings.~~
c. provide a protective barrier for the play area, i.e. bollards @ 5' o.c.

PROJECT COMPLETION.
Construction shall start within 60 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 180 days of start of construction.

(end of Suggested Motion and Memo)

INTRODUCED BY COUNCILMAN SIAM
AUGUST 12, 2019

BILL NO. 9520 ORDINANCE NO.

ORDINANCE TO AUTHORIZE AN AMENDMENT TO SPECIAL USE PERMIT NO. 8398 TO ALLOW FOR EXPANSION OF AN EXISTING RESTAURANT/BAR LOCATED AT 125 & 129 FLOWER VALLEY SHOPPING CENTER.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Use Permit, after public hearing thereon, to permit the location and operation of restaurants; and

WHEREAS, the Florissant City Council has heretofore granted Special Use Permit no. 8398 to Flower Valley Group LLC d/b/a Privilege Lounge to allow for the operation of a cocktail lounge located at 125 & 129 Shopping Center; and

WHEREAS, an application has been filed by Flower Valley Group, LLC for an amendment to the said Special Use Permit heretofore granted under Ordinance No. 8398 and authorize the addition of certain conditions; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant at their meeting on July 15, 2019 has recommended that the said Special Use Permit be amended; and

WHEREAS, due notice of public hearing no. 19-08-017 on said application to be held on the 22nd day of August, 2019 at 7:30 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the granting of an amendment to the Special Use Permit authorized by Ordinance No. 8398, as hereinafter provided would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Special Use Permit no. 8398, is hereby amended to allow for the expansion of a to allow a restaurant bar at 125 & 129 Flower Valley Shopping Center (Privilege Cocktail Lounge) in a B-3 Zoning District subject to the following stipulations:

1. Bollards or some other type of vehicle barrier shall be installed between the patio and rear parking lot lanes.

2. The project shall be as shown on G-1, A-1, A-2, A-3, A-4 and E-1, dated 6/3/2019 by Philip Gomez-Architect, attached and subject to building code review.

Section 2: Said Special Permit shall be conditioned on and shall remain in full force and effect so long as the conditions set out in Ordinance 8398, are adhered to.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____day of _____, 2019.

_____
Jeff Caputa
President of the Council
City of Florissant

Approved this _____ day of _____, 2019.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing

In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, August 12, 2019 at 7:30 P.M. on the following proposition:

To authorize an amendment to Special Use Permit No. 8398, to allow for expansion of existing restaurant/bar in a B-3 Extensive Business District for the property located at 125 Flower Valley Shopping Center (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142. CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION

City Of Florissant – Public Works 314-839-7645

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 125 Flower Valley Shopping Ctr 63033

Property Owners Name: Flower Valley Shopping Ctr Phone/email:

Property Owners Address: 919 Bellerive Manor Dr.

Business Owners Name: Diane McNutt Phone/email: mcnuttdm@hotmail.com

Business Owners Address: 4576 Behlmann Farm Blvd. Florissant, Mo. 63034

DBA (**Doing Business As**) PRIVILEGE LOUNGE

Authorized Agents Name: Diane McNutt Co. Name: —

(Authorized Agent to Appear Before The Commission)

Agents Address: " Phone/email: "

Request To expand PRIVILEGE LOUNGE with DIVIDING WALL TO 125 Flower Valley Shopping Ctr as a bar/restaurant.

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Applicant's Signature **Date** 6-15-19

OFFICE USE ONLY

Received by: _____ Receipt # _____ Amount Paid: _____ Date: _____

STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

Planning & Zoning Application
Page 1 of 1 – Revised 7/15/15

Receipt 619790
6/19/19
$300

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION

City Of Florissant – Public Works
314-839-7648

"Promote and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward _____ Zoning _____

Initial Date Petitioner Filed_____
Building Commissioner to complete
ward, zone & date filed

SPECIAL PERMIT FOR Restaurant/BAR
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #-_____ TO ALLOW FOR Restaurant/BAR
ordinance # Statement of what the amendment is for.

LOCATION 125 Flower Valley Shoppe Ctr. Florissant, Mo. 63033
Address of property.

1) Comes Now LLC Pailye/Diane McNatt
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Flower Valley Group LLC
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for BAR and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. DATE: 7-15-19

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Diane McNutt Diane McNutt / mcnuttdm@hotmail.com
PRINT NAME SIGNATURE email and phone 314-744-0008

FOR PRIVILEGE LOUNGE
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Diane McNutt

ADDRESS 129 Flower Valley Shopping Ct. Florissant MO. 63033
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314-744-0008 / mcnuttdm@hotmail.com
BUSINESS

I (we) the petitioner (s) do hereby appoint Diane McNutt as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

Diane McNutt
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT COMPLETE OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual X Partnership _____ Corporation _____

(a) If an individual:

(1) Name and Address Diane McNutt

(2) Telephone Number 314-744-0008

(3) Business Address 129 Flower Valley Shopping Ctr Florissant Mo. 63033

(4) Date started in business 9-18-18

(5) Name in which business is operated if different from (1) PRIVILEGE LOUNGE

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) State of Incorporation & a photocopy of incorporation papers _____

(5) Date of Incorporation _____

(6) Missouri Corporate Number _____

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____

(8) Name in which business is operated _____

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Dave McNutt LLC/PRIVILEGE

Address 4526 Schlueter Farm Blvd. Florissant, Mo. 63034

Property Owner Flower Valley Shopping Ctr LLC.

Location of property 125 Flower Valley Shopping Ctr

Dimensions of property 2200 Sq Ft

Property is presently zoned Wig Shop Requests Rezoning To BAR/RESTAURANT

Proposed Use of Property BAR/RESTAURANT

Type of Sign LED Sign Height 18-24 inches

Type of Construction PAINT Drywall Rebar Number Of Stories 1

Square Footage of Building 2200 Sq Ft Number of Curb Cuts 0

Number of Parking Spaces 50-100 Sidewalk Length 30 yards

Landscaping: No. of Trees 0 Diameter 0

No. of Shrubs 0 Size 0

Fence: Type Length Height

REAR PATIO SEE DRAWINGS

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.

2. Show location of property in relation to major streets and all adjoining properties.

3. Show measurement of tract and overall area of tract.

4. Proposed parking layout and count, parking lighting.

5. Landscaping and trash screening.

5. Location, sizes and elevations of signage.

129 Flower Valley Shopping Center

GENERAL PROJECT NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING WORK.

2. DO NOT SCALE DRAWINGS.

3. "±" (PLUS-MINUS) DIMENSIONS INDICATE APPROXIMATE EXISTING CONDITIONS FOR REFERENCE ONLY, AND ARE NOT TO BE USED FOR LAYOUT OF NEW CONSTRUCTION.

4. ALL WALL DIMENSIONS ARE TO OUTSIDE EDGE OF FINISHED GYP. BD. U.N.O.

5. ALL NEW INTERIOR PARTITIONS TO BE MTL STUDS WITH 5/8" GYP. BD. B.S. U.N.O.

6. PROVIDE ALL TRIM, ACCESSORIES AND JOINT FINISHING AS REQUIRED FOR GYP. BD. ASSEMBLIES. PROVIDE CORNER BEADS AT ALL EXPOSED HORIZONTAL AND VERTICAL CORNERS. CAULK ALL UNTAPED JOINTS AT PERIMETER.

7. USE APPROVED WATER-RESISTANT GYP. BD. OR CEMENT BD. IN AREAS TO BE EXPOSED TO MOISTURE.

8. ALL DOORS 7'-0" HIGH U.N.O.

9. GLAZING IN ALL DOORS TO BE FULLY TEMPERED, LAMINATED SAFETY, OR APPROVED SHATTER RESISTANT PLASTIC.

10. INTERIOR FINISHES SHALL HAVE A FLAME SPREAD RATING OF 200 OR LESS.

11. ALL TOILET ROOMS TO HAVE MIN. 50 CFM EXHAUST FANS, VENTED TO THE EXTERIOR.

12. LEAD FREE SOLDER IS REQUIRED ON ALL COPPER WATER SUPPLY PIPING.

13. ALL ELECTRICAL WORK SHALL CONFORM TO THE NEC AND LOCAL REGULATIONS.

14. ALL WORK SHALL MEET OR EXCEED ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS.

VERIFICATION OF EXISTING CONDITIONS:

INASMUCH AS THE REMODELING AND/OR REHABILITAION OF THE EXISTING FACILITY REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE PRIOR TO CONSTRUCTION OR WITHOUT SIGNIFICANT COSTLY AND/OR DAMAGING INVESTIGATIONS, THE OWNER AGREES TO HOLD THE ARCHITECT HARMLESS AGAINST ALL DAMAGES, LIABILITIES OR COSTS ASSOCIATED WITH UNKNOWN CONDITIONS.

LIMITATION OF LIABILITY:

THE OWNER AGREES TO LIMIT THE ARCHITECT'S LIABILITY FOR ANY DAMAGES RELATING TO THIS PROJECT TO THE ARCHITECT'S FEE. THIS LIMITATION SHALL APPLY REGARDLESS OF THE CAUSE OF ACTION.

BUILDING CODE INFORMATION:

Project Description: New restaurant expansion build-out in an existing strip mall shopping center.

Code: 2018 International Building Code
2018 International Exist. Building Code

Use Group: A-2
Construction Type: II-A

Sprinkler System: None

OCCUPANCY

DINING: ACTUAL SEATING = 83
STAGE: 129 SF / 15 SF PER OCC. = 9
KITCHEN: 437 SF / 200 = 3
BACK BAR: 1
TOTAL = 96 OCC'S

EGRESS WIDTH REQUIRED

96 OCC's x .2"/OCC. = 19.2"

OF EXITS REQUIRED = 2

EGRESS WIDTH PROVIDED = 146" (4 EXITS)

TOTAL BUILDING AREA = 2121 SF

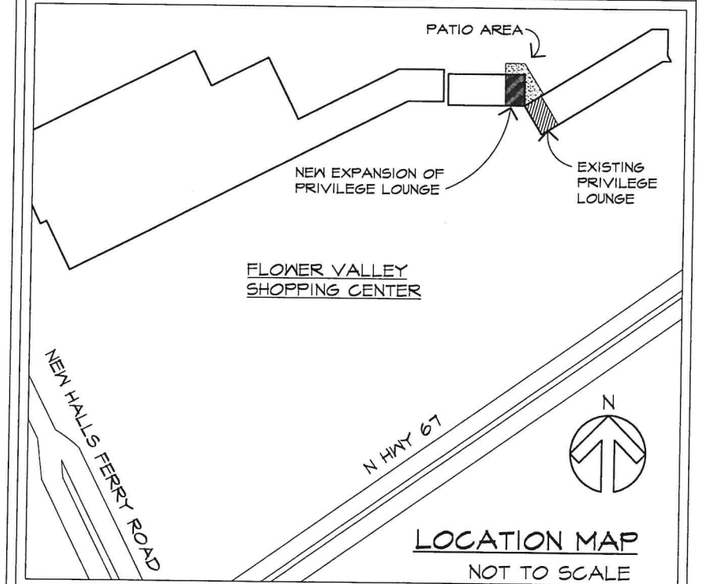
LEGEND

2 / A-3 — DETAIL NUMBER / DRAWING SHOWN ON

PORTION OF EXIST. WALL OR PARTITION TO BE REMOVED

NEW PARTITION, FURRING, OR INFILL

PATCH AND REPAIR EXIST. WALL WHERE PARTITION HAS BEEN REMOVED



LOCATION MAP
NOT TO SCALE

DRAWING LIST

PHILIP A. GOMEZ
ARCHITECT #A-6390
128 BIRKDALE CT.
ST. CHARLES, MO 63303
314-504-7559

STATE OF MISSOURI
PHILIP A. GOMEZ
NUMBER A-6390
6-3-19
REGISTERED ARCHITECT

Client:

Diane McNutt

129 Flower Valley Shopping Center, Florissant, MO 63033

Project:

Privilege Lounge
Restaurant Expansion

129 Flower Valley Shopping Center, Florissant, MO 63033

Prj #:

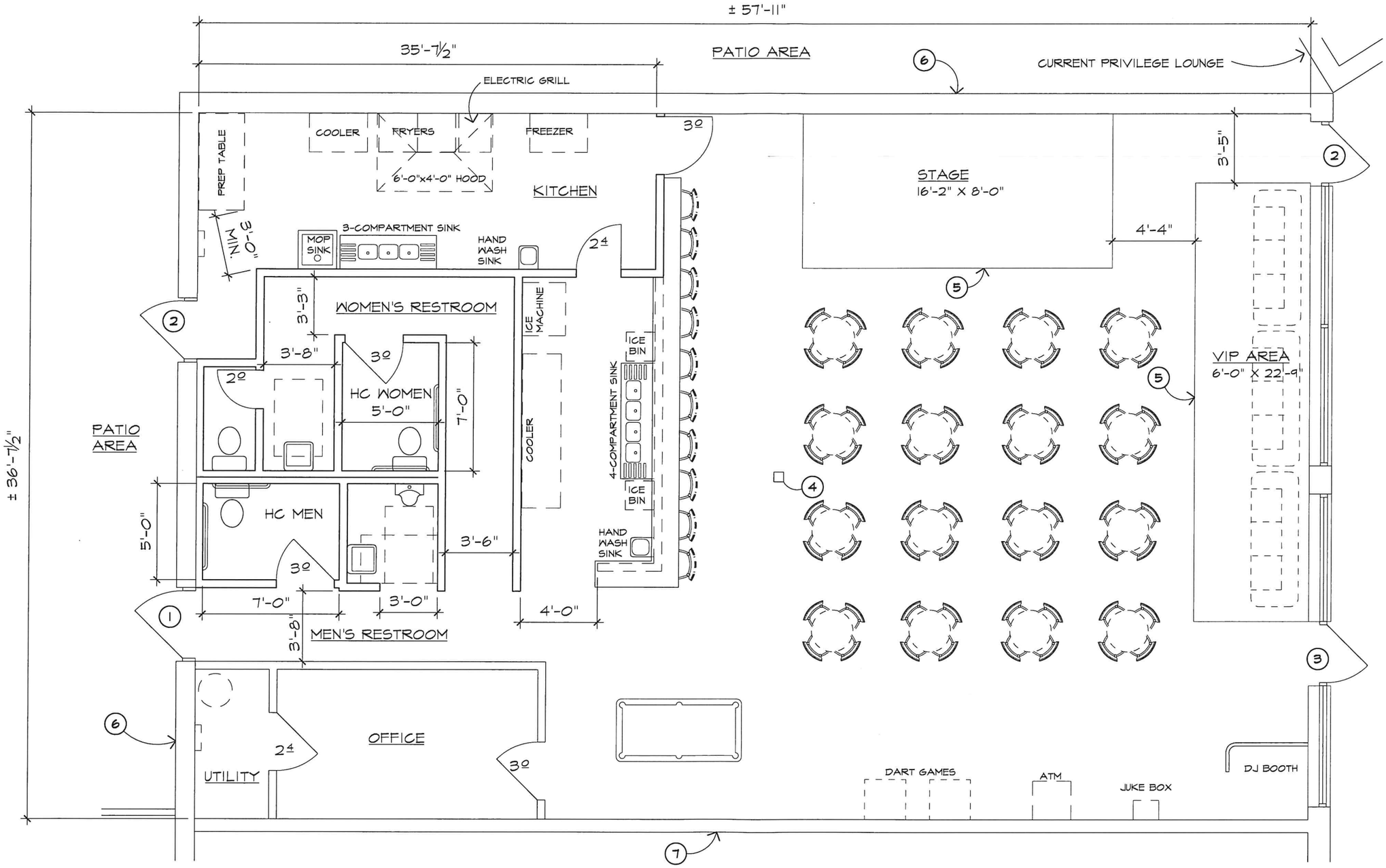
Date: 6-3-19

Sheet Contents:

Project Notes

Sheet No.:

G-1



KEYED NOTES:

1. EXISTIING 3'-6" x 7'-0" EMERGENCY EXIT DOOR
2. EXISTING 3'-0"x7'-0" EXIT DOOR
3. EXISTING 3'-0"x7'-0" MAIN ENTRANCE
4. EXISTING COLUMN W/ GYP. BD. COVERING
5. 6" STEP UP
6. EXISTING EXTERIOR WALL
7. EXISTING TENANT DEMISING WALL

FLOOR PLAN

3/16"=1'-0"

PHILIP A. GOMEZ
ARCHITECT #A-6390
128 BIRKDALE CT.
ST. CHARLES, MO 63303
314-504-7559

Client:

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Project:

Privilege Lounge
Restaurant Expansion

129 Flower Valley Shopping Center, Florissant, MO 63033

Prj #:

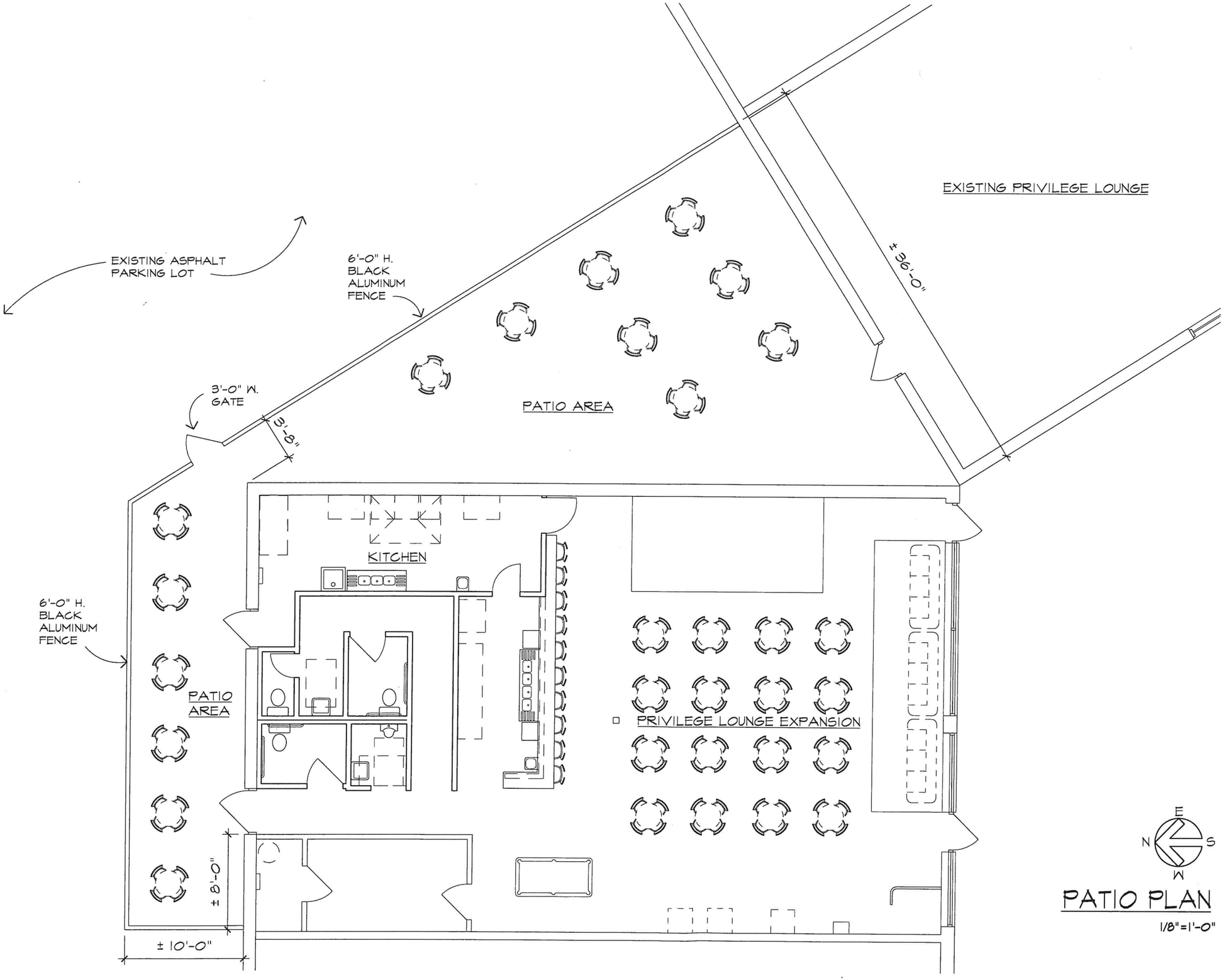
Date: 6-3-19

Sheet Contents:

Floor Plan

Sheet No.:

A-1



PATIO PLAN

1/8"=1'-0"

PHILIP A. GOMEZ
ARCHITECT #A-6390
128 BIRKDALE CT.
ST. CHARLES, MO 63303
314-504-7559

Client:

Diane McNutt

129 Flower Valley Shopping Center, Florissant, MO 63033

Project:

Privilege Lounge
Restaurant Expansion

129 Flower Valley Shopping Center, Florissant, MO 63033

Prj #:

Date: 6-3-19

Sheet Contents:

Patio Plan

Sheet No.:

A-2

GENERAL NOTES:

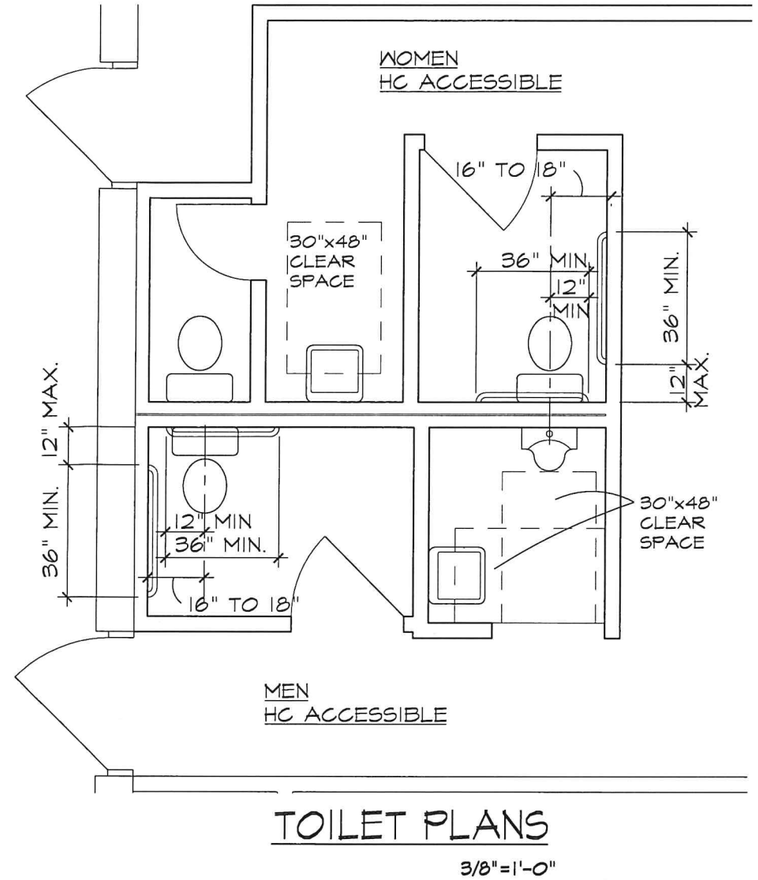
1. INSTALL PIPE INSULATION AT ALL EXPOSED HOT WATER AND DRAIN PIPES IN TOILET ROOMS.

2. PROVIDE BLOCKING AS REQUIRED BEHIND ALL TOILET ACCESSORIES AND TOILET PARTITIONS OCCURING AT GYPSUM BD. WALLS.

3. THE OPERATING PARTS OF ANY DISPENSING / DISPOSAL FIXTURE SHALL BE WITHIN 48" MAX. OF FINISHED FLOOR.

4. EACH TOILET ROOM SHALL HAVE HANDICAP STALL NOTED AS H.C. - HANDICAP SHALL MEET ALL LOCAL/ STATE CODES AND COMPLY W/ FEDERAL A.D.A. REQUIREMENTS.

5. MOUNT ALL HC ACCESSIBLE DISPENSERS SO THAT CENTER OF DISPENSING ORIFICE IS 3'-4" MAX AFF.

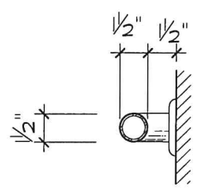


TOILET PLANS

3/8"=1'-0"

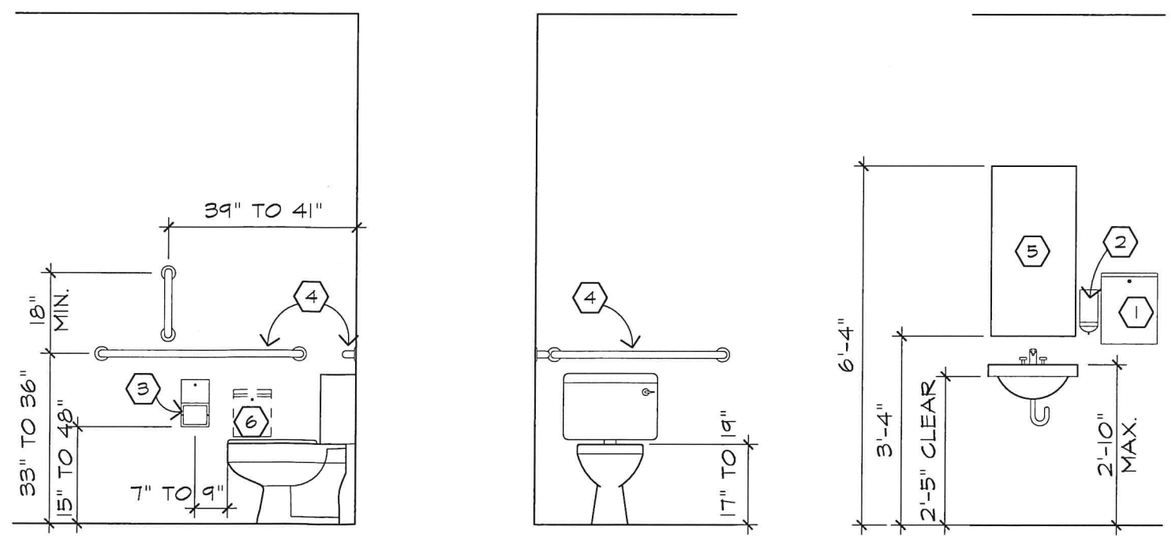
KEYED NOTES:

1. PAPER TOWEL DISPENSER
2. SOAP DISPENSER
3. TOILET TISSUE DISP.
4. GRAB BAR
5. FRAMELESS MIRROR
6. NAPKIN DISPENSER (WOMEN)



GRAB BAR

1-1/2"=1'-0"



TYPICAL TOILET ELEVATIONS

3/8"=1'-0"

PHILIP A. GOMEZ
ARCHITECT #A-6390
128 BIRKDALE CT.
ST. CHARLES, MO 63303
314-504-7559

STATE OF MISSOURI
PHILIP A. GOMEZ
NUMBER
A-6390
6-3-19
REGISTERED ARCHITECT

Client:

Diane McNutt

129 Flower Valley Shopping Center, Florissant, MO 63033

Project:

Privilege Lounge
Restaurant Expansion

129 Flower Valley Shopping Center, Florissant, MO 63033

Prj #:

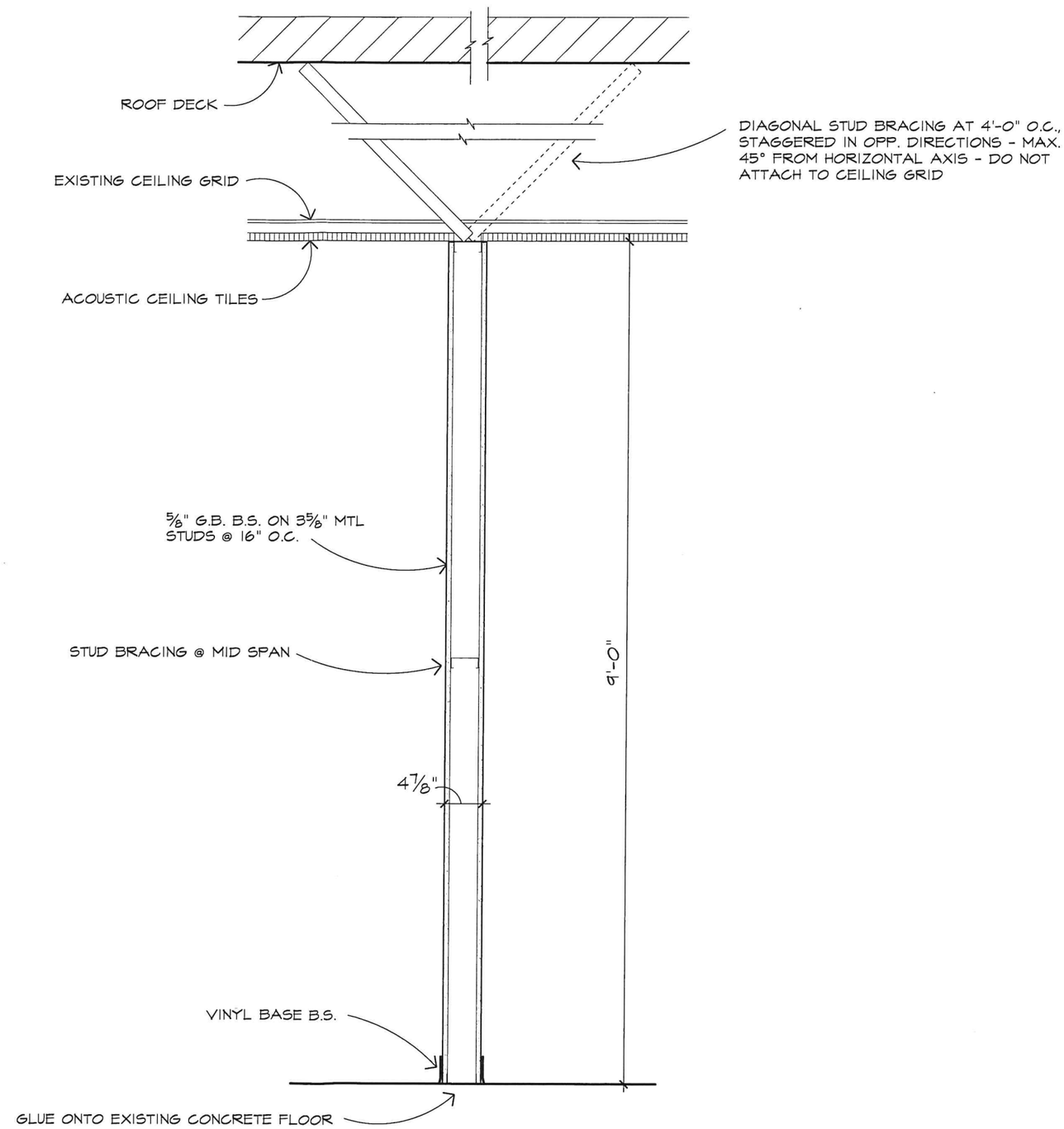
Date: 6-3-19

Sheet Contents:

Toilet Plans and Elevations

Sheet No.:

A-3



TYPICAL INTERIOR PARTITION SECTION

3/4"=1'-0"

PHILIP A. GOMEZ
ARCHITECT #A-6390
128 BIRKDALE CT.
ST. CHARLES, MO 63303
314-504-7559

Client:

Diane McNutt

129 Flower Valley Shopping Center, Florissant, MO 63033

Project:

Privilege Lounge
Restaurant Expansion

129 Flower Valley Shopping Center, Florissant, MO 63033

Prj #:

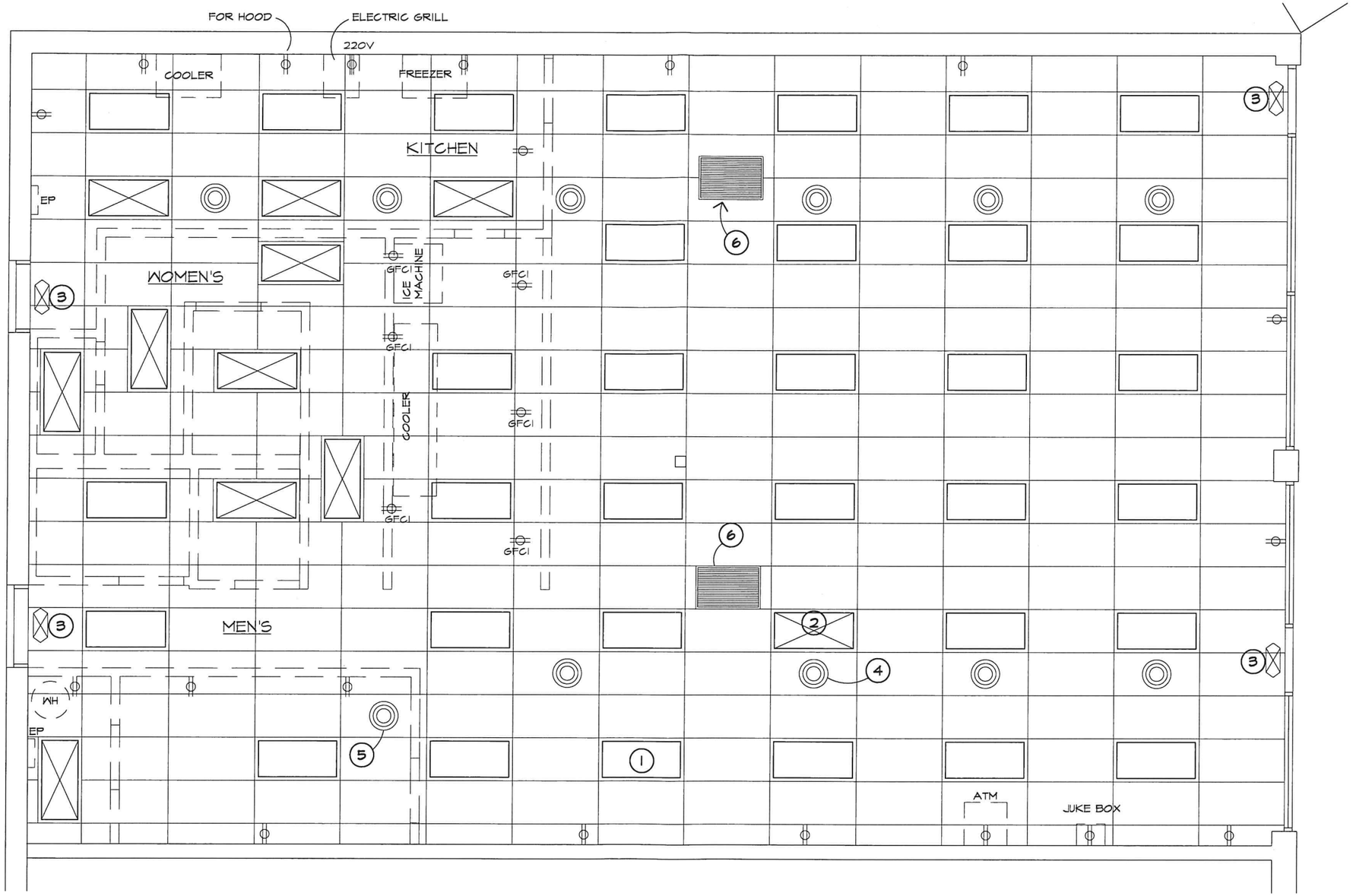
Date: 6-3-19

Sheet Contents:

Typical Partition Section

Sheet No.:

A-4



KEYED NOTES:

1. 2'x4' FLUORESCENT FIXTURE TO REMAIN, TYP.
2. NEW OR RELOCATED 2'x4' FLUORESCENT FIXTURE, TYP.
3. ILLUMINATED EXIT SIGN ABOVE DOOR
4. EXISTING SUPPLY AIR DIFFUSER TO REMAIN, TYP.
5. RELOCATED SUPPLY AIR DIFFUSER
6. EXISTING RETURN AIR GRILL TO REMAIN
7. LINE OF PARTITION WALL BELOW CLG., TYP. - SEE TYP. PARTITION SECTION SHEET A-4

ELECTRICAL LAYOUT/ REFLECTED CEILING PLAN

3/16"=1'-0"

E N S W

NOTE:
ALL CEILING GRID AND FIXTURES, LIGHTING AND AIR SUPPLY VENTS SHALL REMAIN. SOME LIGHTING FIXTURES TO BE RELOCATED AND GRID MODIFIED TO FIT NEW LAYOUT. DAMAGED CEILING TILES AND FIXTURES TO BE REPLACED AS NEC.

STATE OF MISSOURI
PHILIP A. GOMEZ
NUMBER A-6390
6-3-19
REGISTERED ARCHITECT

PHILIP A. GOMEZ
ARCHITECT #A-6390
128 BIRKDALE CT.
ST. CHARLES, MO 63303
314-504-7559

Client:

Diane McNutt

129 Flower Valley Shopping Center, Florissant, MO 63033

Project:

Privilege Lounge
Restaurant Expansion

129 Flower Valley Shopping Center, Florissant, MO 63033

Prj #:

Date: 6-3-19

Sheet Contents:

Elec. Layout / Refl. Clg. Plan

Sheet No.:

E-1

MEMORANDUM

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: July 9, 2019

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request **recommended approval to amend a Special Use, Ord. No. 8398** to allow for a Restaurant Bar at **125 & 129 Flower Valley Shopping Center (Privilege Cocktail Lounge)** in an existing 'B-3' Zoning District.

STAFF REPORT
CASE NUMBER PZ-071519-4

I. PROJECT DESCRIPTION:

This is a request for recommended approval to amend a Special Use to allow a Restaurant Bar at **125 & 129 Flower Valley Shopping Center (Privilege Cocktail Lounge)** in an existing 'B-3' Zoning District. Refer to Plans submitted: drawing: G-1, A-1, A-2, A-3, A-4 and E-1 dated 6/3/19 by Philip A Gomez- Architect, attached.

II. SITE CONDITIONS:

The existing property at 3-155 Flower Valley is a Shopping Center of 10.38 acres and 16,470 s.f. built in 1971 according to County records. The original tenant space was 36'-8"x 57'-7" gross s.f. The site contains 454 parking spaces for both Shop & Save and the Shopping Center, accounting for cart corral spaces used by the grocer.

III. SURROUNDING PROPERTIES:

The property to the West side is 1 Flower Valley in a 'B-3' Zoning District and an Outlot near the highway is the McDonald's restaurant at 3165 N Highway 67, in the 'B-3' Extensive Business District. The property is adjacent to a small section to the north of 14300 New Halls Ferry, a bank in the 'B-3' Extensive Business District and surrounds

the Shop & Save building at 175 Flower Valley Shopping Center in a 'B-5' Planned Commercial District. The property to the North is an Apartment complex in the County.

IV. **STAFF ANALYSIS:**

Site comments:

The Site locator picture indicates this is proposed in 2 separated buildings within Flower Valley Shopping Center. It appears that unit 125 Flower Valley is on the West side of the proposed patio and the building to the East of the the proposed paved patio is under Ordinance No. 8398 where occupancy is limited to 80 occupants.

Parking conditions have changed over the years. The approved Shop & Save Development Plan indicates 741 parking for both the grocery of 60,903 s.f. and the strip center of 16, 470 s.f., however, the area behind the building was striped for parking to meet the 1990 requirement.

Per today's parking code, the following would be the calculation:
Food markets over 5000 s.f. at 4.5/1000 s.f. x 60,903= 274
Commercial Retail centers under 100,000 s.f at 4/1000 s.f. x 16, 470 s.f. = 65*
Total spaces at current ratios = 339
Spaces currently striped = 454

The calculations for parking are:

129 Flower Valley SC
Cocktail Lounge 1 space for every 3 seats 80/3= 26
2 spaces for every 3 employees max. shift, say 4
Total for Cocktail Lounge required = 30

125 Flower Valley SC and patio
Cocktail Lounge 1 space for every 3 seats 130/3= 43
2 spaces for every 3 employees max. shift, say 4
Total for 125 Flower Valley SC = 47

Total parking required 77

Therefore, this use increases parking required by 21 + 39 = 60 spaces more than Retail space. Other uses such as bars, restaurants in the shopping center affect the required parking total. Technically, the development plan could include parking in the rear is to be included in the total and thereby increase the existing spaces to a number greater than 741. Since the Shop & Save is vacant currently, there is no shortage of parking.

G-1 Comments: These are the building permit plans with code information pertaining to the 2018 International Building Code noted. These are not to be confused with the

requirements for parking per the Florissant Zoning Code. The Location Map shows the relative location of the buildings and patio.

A1.0 Comments:
A bar is shown and required plumbing fixtures for the new space.
Building Code review note: Any occupant load over 100 per the IBC will trigger panic hardware on egress doors.

A stage is shown on the plan which implies live performances or other activity. A VIP area alongside the stage about 6' x 22' is shown.

A2.0 Comments:
The patio connecting 2 separate buildings is shown. The building code will require the patio to have greater egress capacity to accommodate exits from both buildings and the occupants of the patio. The separate buildings under one management is highly unusual. There may be additional building code research besides the means of egress that will take place under building code review. It is possible that each facility may function separately as well as the patio as long as the proper means of egress is provided.

A3.0 Comments:
This sheet applies to the new restrooms for 125 Flower Valley.

A4.0 Comments:
This sheet shows new interior partitions.

E-1 Comments: A reflected ceiling plan is required only for building code review. No exterior lighting or heaters are shown.

Construction set is included and is under plan review with a status letter sent to the owner, however, not all this information is required for a zoning review.

VI. **STAFF RECOMMENDATIONS:**
Suggested Motion for Recommended Approval to allow a restaurant bar at **125 & 129 Flower Valley Shopping Center (Privilege Cocktail Lounge)** in an existing 'B-3' Zoning District.

I move to **Recommended Approval** for a Special Use Permit to allow a Restaurant Bar at **125 & 129 Flower Valley Shopping Center (Privilege Cocktail Lounge)** in an existing 'B-3' Zoning District, subject to the following stipulations:

1. **GENERAL DEVELOPMENT CONDITIONS.**
   a. Unless, and except to the extent, otherwise specifically provided, development shall be effected only in accordance with all ordinances of the City of Florissant.

(B) Bollards

(C). The project shall be as shown on G-1, A-1, A-2, A-3, A-4 and E-1 dated 6/3/19 by Philip A Gomez- Architect, attached and subject to building code review.

PROJECT COMPLETION.

Construction shall start within 30 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 120 days of start of construction.

(end of Suggested Motion and report)

INTRODUCED BY COUNCILMAN SIAM
MARCH 12, 2018

BILL NO. 9370 ORDINANCE NO. 8398

ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO FLOWER VALLEY GROUP, LLC D/B/A PRIVILEGE LOUNGE TO ALLOW FOR THE OPERATION OF A COCKTAIL LOUNGE LOCATED AT 129 FLOWER VALLEY SHOPPING CENTER.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a cocktail lounge; and

WHEREAS, an application has been filed by Flower Valley Group, LLC d/b/a Privilege Lounge for the property located at 129 Flower Valley Shopping Center for the location and operation of a cocktail lounge; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting of February 20, 2018 has recommended that the said Special Use Permit be granted; and

WHEREAS, due notice of public hearing no. 18-02-010 on said application to be held on March 12, 2018 at 7:30 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the granting of the Special Use Permit as hereinafter provided would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A Special Use Permit is hereby granted to Flower Valley Group, LLC d/b/a Privilege Lounge for the property located at 129 Flower Valley Shopping Center for the location and operation of a cocktail lounge with the following additional requirements:

1. **GENERAL DEVELOPMENT CONDITIONS.**
   a. Unless, and except to the extent otherwise specifically provided, development shall be effected only in accordance with all ordinances of the City of Florissant.
   b. The project shall be as shown on CS, A1.0, A2.0, A3.0, A4.0 dated 1/16/18 and P1.0

dated January 28, 2018 by Deru & Associates, LLC attached, subject to building code review.

c. Occupant load shall be 80 people.

d. Signage shall comply with the City of Florissant regulations.

PROJECT COMPLETION

Construction shall start within 30 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 120 days of start of construction.

Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this 26 day of March, 2018.

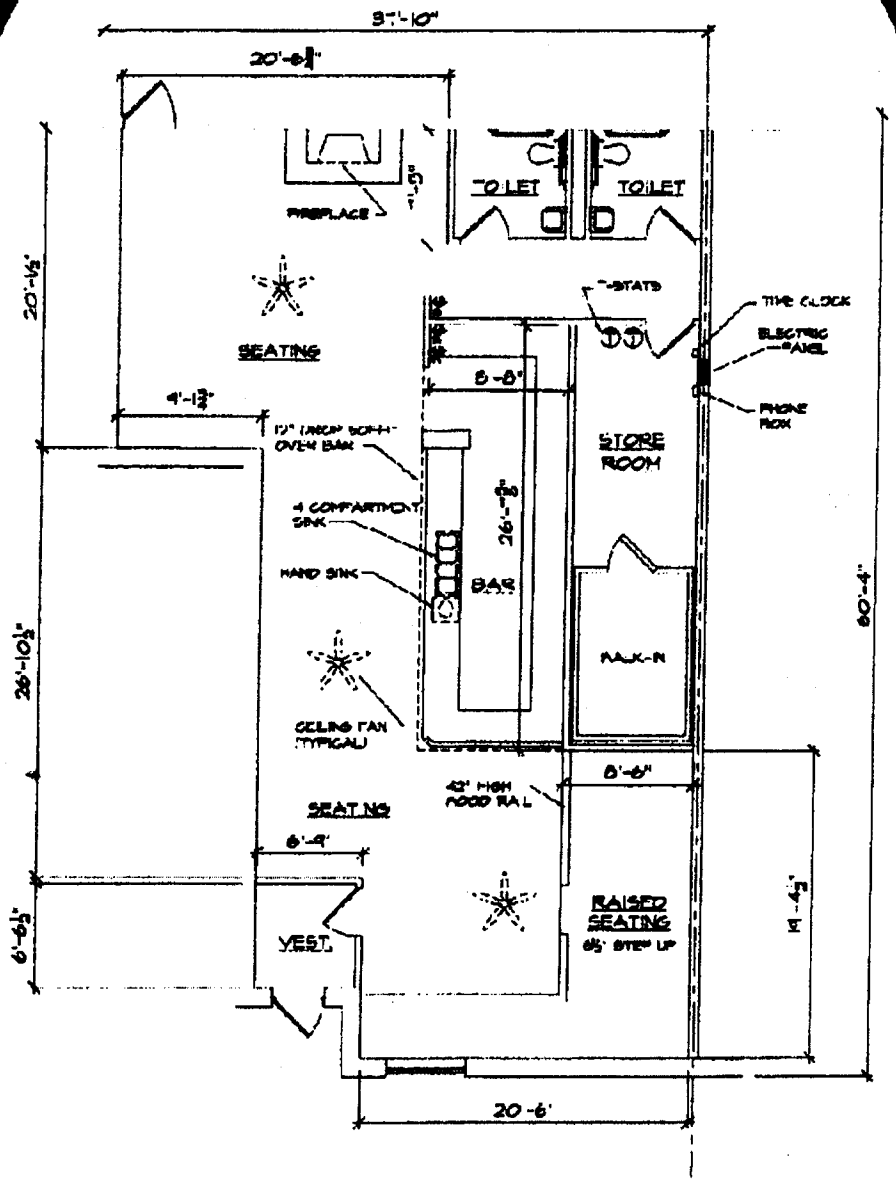
Jackie Pagano
President of the Council
City of Florissant

Approved this 28 day of March, 2018.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk



EXISTING FLOOR PLAN- SUITE 1033

SCALE: ¼" = 1'-0" 1,907 SQF

3-21-16

ALL DIMENSIONS ARE APPROXIMATE

ELECTRIC PANEL: CAT # G0642UF, SERIES 501

INTRODUCED BY COUNCILMAN EAGAN
AUGUST 12, 2019

BILL NO. 9521 ORDINANCE NO.

ORDINANCE TO AMEND B-5 ORDINANCE NO. 7073 TO ALLOW FOR A CARRY-OUT RESTAURANT FOR THE PROPERTY LOCATED AT 8239 N. LINDBERGH.

WHEREAS ordinance no. 7073 was passed in 2004 and authorized the rezoning of several properties to a B-5 development for the placement of a retail center; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of July 15, 2019 that B-5 ordinance no. 7073 be amended to allow for to allow for a restaurant located at 8239 N. Lindbergh; and

WHEREAS, due and lawful notice of public hearing no. 19-08-018 on said proposed change was duly published, held and concluded on 12th of August by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that the amendment of B-5 ordinance no. 7073, as hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: B-5 Ordinance No. 7073 is hereby amended to allow for a carry-out and delivery restaurant with no exterior changes at 8239 N. Lindbergh Blvd. in a B-5 Zoning District, according to the proposal prepared by the petitioner as described in related documents presented and according to the attached drawings: A1 dated 5/9/19 by Lickel Architecture, and the following additional requirements:

Change Section 2, paragraph 1, "Permitted Uses" to read as follows:

"The uses permitted by this B-5 Planned Commercial District shall be limited to uses as permitted in a B-3 Extensive Business District, and a carryout, delivery restaurant as depicted by plans A1 dated 5/9/19 by Lickel Architecture. Uses other than those permitted by this Ordinance shall require approval by amendment to this B-5."

GENERAL DEVELOPMENT CONDITIONS

a. Unless and except to the extent otherwise specifically provided therein, development shall be effected only in accordance with all ordinances of the City of Florissant.

b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Site Development Plan approved and all other ordinances of the City of Florissant.

PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project, and shall be developed in accordance of the approved final development plan within 6 months of start of construction.

Section 2: Except as herein amended the B-5 Ordinance no. 6669 shall remain in full force and effect.

Section 3: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2019.

_____
Jeff Caputa
President of the Council

Approved this _____ day of _____, 2019.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION

City Of Florissant – Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 8239 N Lindbergh

Property Owners Name: KG Premier, LLC Phone #:

Property Owners Address: 8239 N Lindbergh Blvd, Florissant, MO 63031

Business Owners Name: NPC International Phone #:

Business Owners Address: 4200 W. 115th. St. Ste 200, Leawood, KS 66211

DBA (**Doing Business As**) Pizza Hut #4920

Authorized Agents Name: Frank Shahlari CO. Name: Lickel Architecture
(Authorized Agent to Appear Before The Commission)

Agents Address: 14 W. 3rd Street, Kansas City, MO 64105 Phone #: 913.708.1665

Request

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Applicant's Signature **Date** 6.25.2019

OFFICE USE ONLY

Received by: jg Receipt # 619904 Amount Paid: 300.00 Date: 6.26.19

STAFF REMARKS:

DATE APPLICATION REVIEWED:

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

COMMISSION ACTION TAKEN:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. DATE: 7-15-19

Planning & Zoning Application
Page 1 of 1 – Revised 9/28/10

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5 PLANNED COMMERCIAL DISTRICT ORDINANCE

PLANNING & ZONING ACTION:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. DATE: 7-15-19

Address of Property:

8239 N Lindbergh Blvd Florissant, MO 63031

Council Ward 3 Zoning B-5

Initial Date Petitioner Filed 6/26/19
Building Commissioner to complete ward, zone & date filed

PETITION TO AMEND B-5 ORDINANCE # _____
Enter ordinance number or number requesting to amend.

1) Comes Now NPC International, Inc. (Tenant) d/b/a Pizza Hut #4920
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Leasehold/Tenant
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 0.57 acres

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for retail (Boost Mobile)/vacant

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:
proposed use as a delivery & carry-out Pizza Hut in an existing vacant end-cap bay.

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Renee Siebert
Print Name

PETITIONER(S) SIGNATURE (S) DocuSigned by: Renee Siebert 9FDCD247FEF04C2...

FOR NPC International, Inc.
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
(X) I (we) have a legal interest in the herein above described property.
( ) I am (we are) the duly appointed agent(s) of the petitioner (s),
and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE _____

ADDRESS _____
STREET **CITY** **STATE** **ZIP CODE**

TELEPHONE NUMBER _____
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

DocuSigned by: Renee Siebert 9FDCD247FEF04C2...
Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicabe section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: [ ] Partnership: [ ] Corporation: [X]

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners NPC International, Inc.

(2) Telephone numbers 620-231-3390

(3) Business address 720 W 20th Street Pittsburg, KS 66762

(4) State of Incorporation & a photocopy of incorporation papers Kansas

(5) Date of Incorporation 11/12/1974

(6) Missouri Corporate Number F00194323

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____

(8) Name in which business is operated NPC International, Inc. d/b/a Pizza Hut

(9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information. Approximately 48' 11 1/2" wide by 64' 9 1/4" long (usable space)

Please fill in applicable information requested.

Name NPC International, Inc. (Tenant)

Address 720 W 20th Street Pittsburg, KS 66762

Property Owner KG Premier, LLC

Location of property 8239 N Lindbergh Blvd, Florissant, MO 63031

Dimensions of property 3,550 square feet of shop space in an existing building

Property is presently zoned B-5 per ordinance # _____

Current & Proposed Use of Property Currently vacant retail - proposed Delivery & Carry-out Pizza Hut

Type of Sign no signs currently on storefront for this space Height NA

Type of Construction _____ Number Of Stories. 1

Square Footage of Building 4,480 Number of Curb Cuts _____

Number of Parking Spaces _____ Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

B-5 FILE COPY

INTRODUCED BY COUNCILMAN SCHNEIDER
OCTOBER 11, 2004

BILL NO. 7974 SUBSTITUTE ORDINANCE NO. 7073

AN ORDINANCE AUTHORIZING THE REZONING OF THE PROPERTY AT 604, 610 AND 614 LOYOLA DRIVE FROM R-5 DUPLEX DWELLING DISTRICT TO B-5 PLANNED COMMERCIAL DISTRICT FOR THE DEVELOPMENT OF A RETAIL CENTER

WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant district classifications for the purpose of regulating their construction and use of land, buildings and property within the said various districts, and said Ordinance provides the nature, kind and character of buildings that may be erected in each of the said districts and the use to which the land and buildings may be put; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of September 7, 2004 that Ordinance No. 1625 be amended to change the classification of the property at 604, 610 and 614 Loyola Drive R-5 Duplex Dwelling District to B-5 Planned Commercial District ; and

WHEREAS, due and lawful notice of a public hearing on said proposed zoning change was duly published, held and concluded on Monday, September 27, 2004 at 8:00 P.M. by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that the amendment of Ordinance No. 1625, as amended, as hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Ordinance No. 1625, as amended, is hereby further amended by changing the classification of the following described property from R-5 Duplex Dwelling District to B-5 Planned Commercial District:

Lots 115, 116 and 117 of DeSmet Circle Subdivision, Plat Book 83 Page 61 of the St. Louis County Records being more particularly described as follows:

Beginning at the southwest corner of lot 115 of DeSmet Circle Subdivision, Plat Book 83 Page 61 of the St. Louis County Records; thence North 18 degrees 5 minutes 9 seconds Eas4t 130.00 feet to the south line of Loyola Avenue (50'w); thence along south line of Loyola Avenue being a curve to the right having a radius of 590.00 feet an arc distance of 177.23 feet to a point; thence continuing along said south line of Loyola Avenue South 54 degrees 42 minutes 11 seconds East 10.00 feet to a point; thence along a curve to the right having a radius of 40.00 feet an arc distance of 27.01 feet to a point on the west line of Lindbergh Boulevard (80'w); thence along said west line of Lindbergh Boulevard South 35 degrees 17 minutes 49 seconds West 121.22 feet to an old iron rod; thence departing said west line of Lindbergh Boulevard North 54 degrees 42 minutes 11 seconds West 35.00 feet to a point; thence along a curve to the left, having a radius of 460.00 feet an arc distance of 138.15 feet to the point of beginning and continuing 0.57 acres more or less.

Section 2: The authority and approval embodied in this Ordinance is granted subject to all ordinances of the City of Florissant and on condition that the development and plan for the B-5 Planned Commercial District be carried out in accordance with the preliminary plans submitted, C(0), C(1), C(2), Landscape and Photometric, revisesd 8/25/04 filed with the Planning & Zoning Commission of the City of Florissant, and having received a recommended approval by the Planning & Zoning Commission on 9/7/2004 with certain conditions, and forwarded by said Planning & Zoning Commission to the Florissant City Council, and is attached hereto marked as Exhibit "A", adopted and incorporated herein by reference as if fully set out in this ordinance and made a part of this ordinance, subject to the following conditions:

1. **PERMITTED USES**

The uses permitted by this B-5 Planned Commercial District shall be limited to uses as permitted in a B-3 Extensive Commercial District. Uses other than those permitted by this Ordinance shall require approval by amendment to this B-5 Ordinance.

2. **FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

The total gross floor area of the building shall be approximately 4900 square feet.
The building shall not exceed 21 feet in height from grade.
The building shall be constructed of masonry as defined in the Florissant City Code of Ordinances.

3. PERFORMANCE STANDARDS

Uses within the B-5 Planned Commercial District identified herein shall conform to the most restrictive performance standards as set forth in Section 20 of the Florissant Zoning Ordinance to include screening of mechanical equipment.

The screening of the trash enclosure shall be of the same material as the masonry of the building, with the metal painted gates.

4. PLAN SUBMITTAL REQUIREMENTS

Within ninety (90) days of the effective date of this ordinance, and prior to issuance of any building or occupancy permit, the petitioner shall submit the Final Site Development Plan to the ~~Planning & Zoning Commission for review and approval thereby in accordance with Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance~~ **Building Commissioner** for review to determine compliance with this ordinance. Where due cause is shown by the developer, this time interval may be extended by the ~~Planning & Zoning Commission~~ **Building Commissioner**. The existing and proposed contours, profile, ingress and egress, shall be established as illustrated, per the plans submitted.

5. FINAL SITE DEVELOPMENT PLAN GENERAL CRITERIA

The above Final Site Development Plan shall include the following :

a. Location and size, including height of building, landscaping and general use of the building.

b. Gross square footage of building.

c. Existing and proposed roadways, drives, and sidewalks on and adjacent to the property in question.

d. Location and size of parking areas and internal drives.

e. Building and parking setbacks.

f. Curb cut locations.

g. Existing proposed contours at intervals of not more than two (2) feet.

h. Preliminary stormwater and sanitary sewer facilities.

i. Identification of all applicable cross-access and cross-parking agreements.

6. FINAL SITE DEVELOPMENT PLAN CRITERIA

The above Final Site Development Plan shall adhere to the following specific design criteria:

a. Structure Setbacks.

(1) No building, excluding retaining walls, light standards and fences, shall be located within 40 feet of the right of way off ~~North Highway 67~~ **North Lingbergh** and ~~Charbonier~~ **Loyola**, and shall meet all applicable requirements. The side yard setback along the southern property line shall be ten (10) feet, and the rear yard setback along the western property line shall be thirty-three (33) feet.

b. Parking, Loading and Internal Drives Setbacks.

(1) Parking, loading spaces, internal drives and roadways shall be located in accordance with the preliminary site development plan attached hereto as Exhibit "A", revision B, 8/25/04, or as subsequently approved by the Planning and Zoning Commission.

(2) All of the setbacks shall be approved by the Planning and Zoning Commission.

c. Minimum Parking/Loading Space Requirements.

(1) The parking regulations as required by Section 17 of the Florissant Zoning Ordinance shall be complied with except as may be varied by this Ordinance.

(2) Parking spaces shall total at least twenty-seven, with two handicapped parking spaces provided as shown on the Preliminary Development plan. The location of the handicap parking spaces shall be in accordance with the adopted building code of the City.

d. Road Improvements, Access and Sidewalks.

(1) Access to the property shall be substantially as shown on the preliminary development. plan dated 8/25/04 The Director of Public Works and the applicable highway department shall approve access to the roadways.

(2) A new five (5) foot sidewalk shall be installed along Loyola and connect to the existing sidewalk on North Lindbergh..

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) All lighting shall be as shown in accordance with the plan dated 8/25/04 Revision B, and or as otherwise approved by the Planning and Zoning Commission

(2) Lighting level in the parking lot shall be a maximum of one-foot candle with a uniform ratio.

(3) All exterior lights shall be directed inward into the building to minimize glare, and reviewed by the Building Commissioner.

(3) The Planning & Zoning Commission may authorize the repositioning of light standards and adjustments in lighting levels on the property in accordance with good planning practices and other standards and requirements as set forth herein. Repositioning and adjustments may be approved to accommodate landscaping and green space requirements.

f. Sign Requirements.

(1) All signage shall comply with the sign ordinance, unless approved otherwise herein.

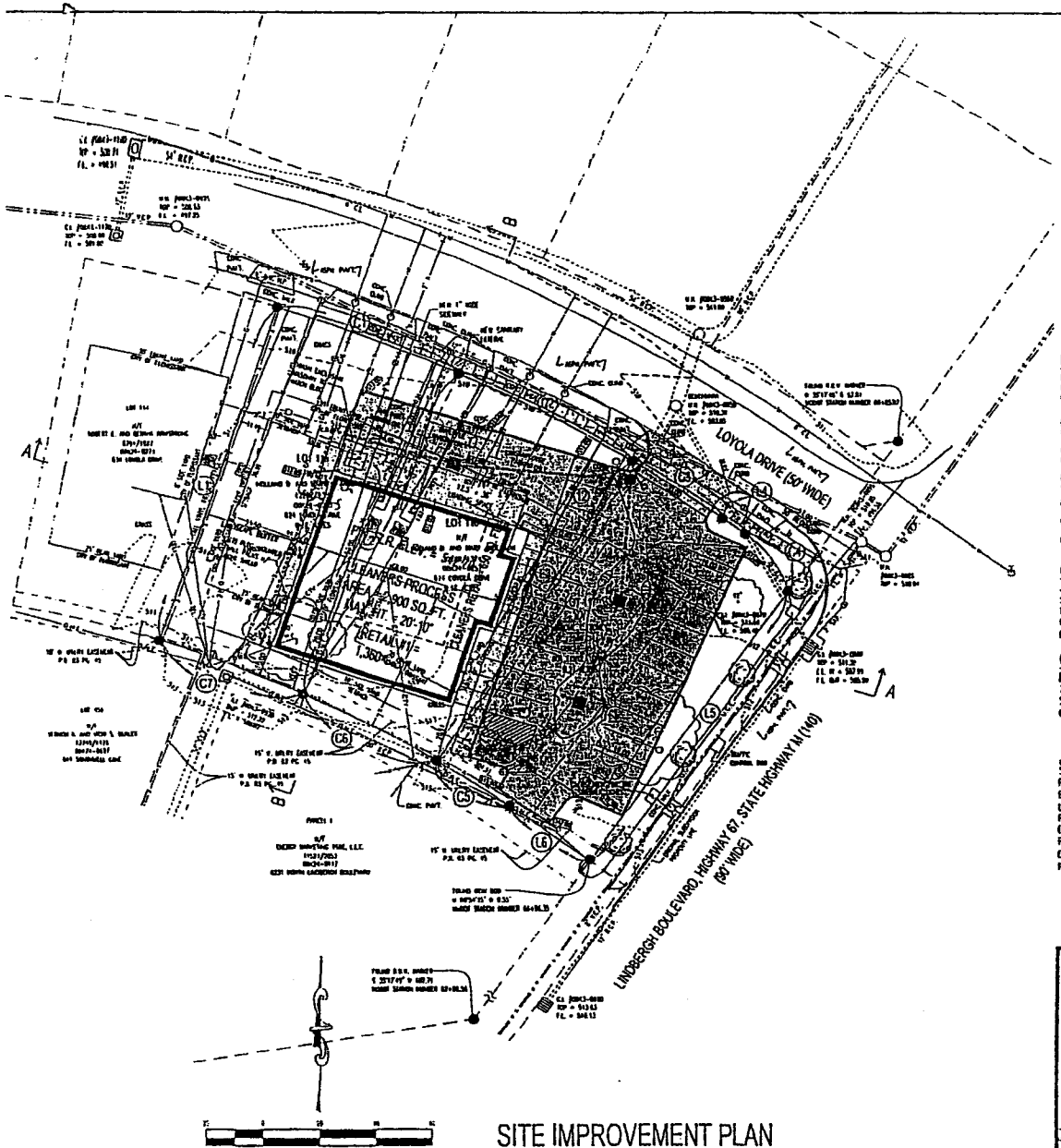
(2) There shall be no freestanding signs.

g. Landscaping and Fencing.

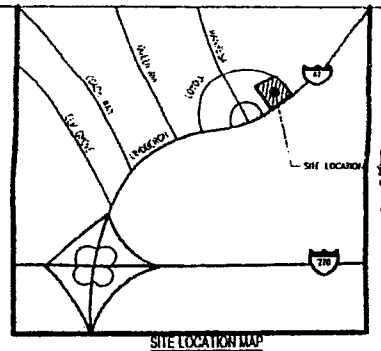
(1) Landscaping shall be installed in general accordance with the preliminary site plan dated 8/25/04, and attached hereto or as otherwise approved by the Planning & Zoning Commission.

(2) Landscaping shall be maintained in good condition and shall be subject to review by the Director of Public Works. In the event that such landscaping is not maintained in accordance herewith and with directives of the Director of Public Works of maintenance thereof, renewal of the business license for the property may be refused until, or conditioned on, correction of the maintenance problems, as determined by the Director of Public Works.

(3) The area between the building and the neighboring residential property along the western property line shall be landscaped in accordance with the Landscaping Plan and shall not be used for any purpose other than emergency escape from the building.



SITE IMPROVEMENT PLAN



SITE LOCATION MAP

REQUIRED PARKING

REQUIRED PARKING = 4910 S.F. ÷ 1 SP. / 150 G.S.F. = 33 SPACES
PROPOSED PARKING = 30 SPACES (9'-19') + 3 SPACES (9' × 36'-17') + 2 HANDICAP = 35 SPACES
REDUCTION FROM REQ'D PARKING = (33 - 35) / 33 = 6%

RETAIL 1
1,360 S.F. ÷ 1 SP/150 G.S.F. = 9 SPACES

CLEANERS RETAIL
450 S.F. ÷ 1 SP/150 G.S.F. = 4.33 = 5 SPACES

CLEANERS PROCESS AREA
4 EMPLOYEES MAX = 4 SPACES REQUIRED FOR USAGE

REQUIRED LOADING AREA = 1 - SPACE

PROPOSED LOADING AREA = 1 - 12'-0" × 30'-0"

BUILDING SETBACKS FROM = 40' SIDE + 40' REAR = 40'

OWNER:

JOHN BIO
SUPERCLEAN PROPERTIES
1302 WILDCREST WOODS DR.
CHESTERFIELD, MO. 63005
PHONE: (314) 566-6004

ARCHITECT:

MIKE SHEA ARCHITECT
1709 WALTER WAY
ST. CHARLES, MO. 63303
PHONE: (636) 947-0766

CONTRACTOR:

EARLE CONSTRUCTION
7410 EUGENE
ST. LOUIS, MO. 63116
PHONE: (314) 832-9090

ENGINEER:

FRONTENAC ENGINEERING GROUP
416 SUMMER DRIVE, SUITE 165
ST. LOUIS, MO 63143
PHONE: (314) 849-7200

SITE DEVELOPMENT DATA

PROPOSED ZONING = B-5 / PLANED DEVELOPMENT
EXISTING ZONING = R5
LOT AREA = 0.573 ACRES = 24,986 S.F. (TOTAL 3 LOTS)
PROPOSED BUILDING USAGE = RETAIL CLEANERS & RETAIL
EXISTING BUILDING AREA = 2,510 S.F.
PROPOSED BUILDING AREA = 4,760 S.F.
EXISTING PAVED AREA = 2,151 S.F. (.05 ACRES)
PROPOSED PAVED AREA = 11,086 S.F. (.25 ACRES)

GENERAL NOTES

1) [illegible]
2) [illegible]
3) [illegible]
4) [illegible]
5) [illegible]
6) [illegible]
7) [illegible]
8) [illegible]
9) [illegible]
10) [illegible]
11) [illegible]
12) [illegible]
13) [illegible]
14) [illegible]
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20) [illegible]
21) [illegible]
22) [illegible]
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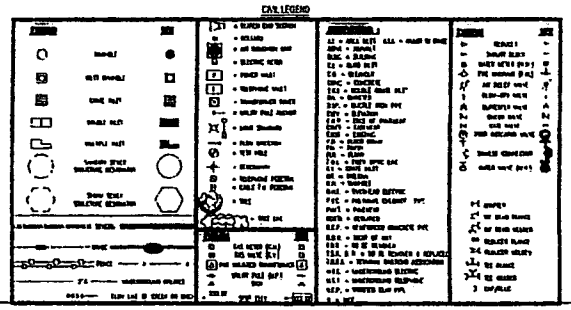


U.S.D. PK
U.S.D. BASE MAP 08A

1	9/12/04	REVISED 1st PLANNING & ZONING	
2	9/21/04	LOYOLA STREET TO 50'	

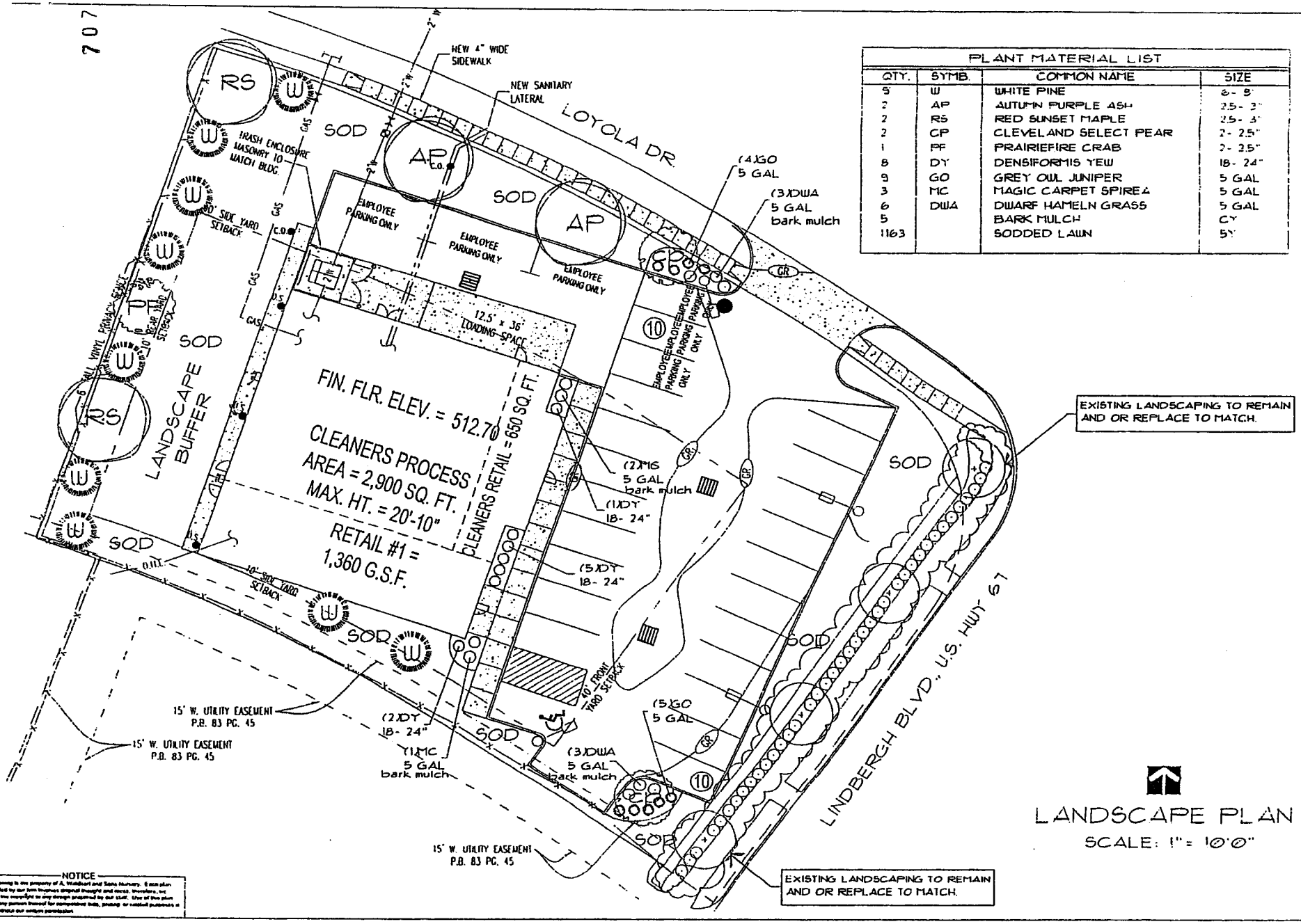
CIVIL / STRUCTURAL / LAND SURVEYING
416 SUMMER DRIVE, SUITE 165
ST. LOUIS, MISSOURI 63143
(314) 849-7200 FAX (314) 849-5425
EMAIL: FEG@FRONTENACENGINEERING.COM

DATE: 1/30/04
DESIGNED: R.L.K.
DRAWN: M.W. & J.P.

SITE IMPROVEMENT PLAN
AMERICAN CLEANERS
6614 LOYOLA
FLORISSANT, MO 63031

SHEET NO. C1

7073



PLANT MATERIAL LIST			
QTY.	SYMB.	COMMON NAME	SIZE
5	W	WHITE PINE	8- 9'
2	AP	AUTUMN PURPLE ASH	2.5- 3"
2	RS	RED SUNSET MAPLE	2.5- 3"
2	CP	CLEVELAND SELECT PEAR	2- 2.5"
1	PF	PRAIRIEFIRE CRAB	2- 2.5"
8	DT	DENSIFORMIS YEW	18- 24"
9	GO	GREY OWL JUNIPER	5 GAL
3	MC	MAGIC CARPET SPIREA	5 GAL
6	DWA	DWARF HAMELN GRASS	5 GAL
5		BARK MULCH	CY
1163		SODDED LAWN	SY

LANDSCAPE PLAN
SCALE: 1" = 10'-0"

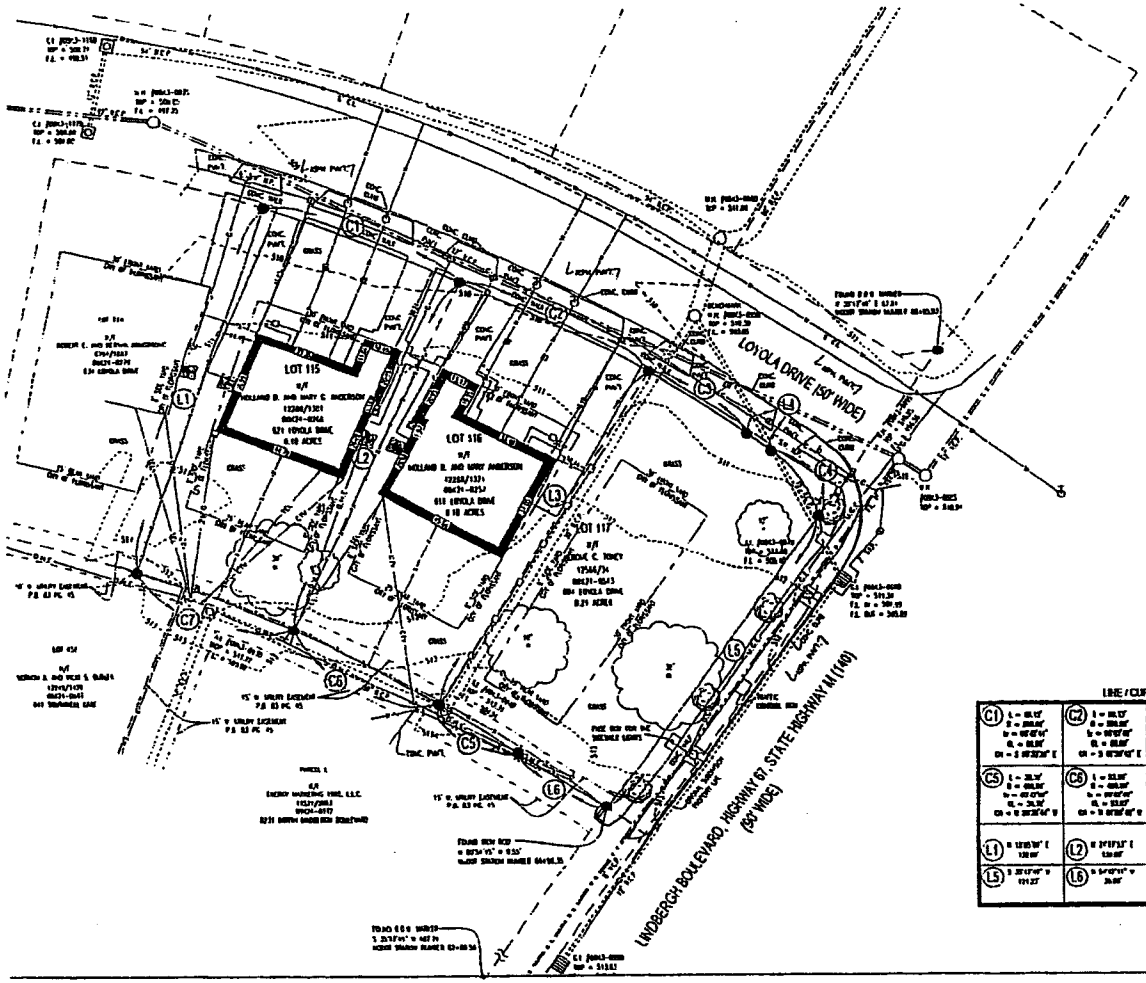
AMERICAN CLEANERS FLOR.
EARLL CONSTRUCTION
Date 08-15-04
Revised
Sheet L-1
Scale 1" = 10'-0"
Approved
Drawn By JFF

A. MALDBARI AND SONS
895-4589
Established 1872
Landscape Designers, Landscape Contractors & Nurserymen
1420 Tyson Rd., Maplewood, MO 63147

7073

ALTA / ACSM SURVEY

LOTS 115, 116, AND 117 OF DE SMET CIRCLE, PLAT BOOK 83 PAGE 61 OF THE ST. LOUIS COUNTY RECORDS, CITY OF FLORISSANT, MISSOURI.



SURVEYORS NOTES

1) SOURCE OF TITLE: GUARANTEE TITLE INSURANCE COMPANY
COMMITMENT NUMBER: [illegible] DATED [illegible] (LOT 117)
COMMITMENT NUMBER: [illegible] DATED [illegible] (LOTS 115 AND 116)

2) PROPERTY ZONED: "R-4" - SINGLE DWELLING

3) BEARING BASIS: MAGNETIC NORTH

4) BENCHMARK: [illegible] STRUCTURE [illegible] TOP ELEV = [illegible]

5) THE PROPERTY IS IN ZONE "X" - SPECIAL FLOOD HAZARD AREA DESIGNATED BY [illegible] FLOOD INSURANCE RATE MAPS, TO BE [illegible] THE FLOOD INSURANCE RATE MAP, [illegible] DATED AUGUST 21, [illegible]

6) THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND AS POINTED OUT OR MARKED BY UTILITY PERSONNEL. LOCATIONS AND SIZES OF UNDERGROUND UTILITIES / STRUCTURES ARE VARY FROM LOCATIONS SHOWN. ADDITIONAL BURIED UTILITIES / STRUCTURES MAY BE ENCOUNTERED. BURIED UTILITIES / STRUCTURES SHOWN HEREON MAY NOT EXIST. NO EXCAVATION WERE MADE DURING THE PROGRESS OF THIS SURVEY TO FIND OR VERIFY BURIED UTILITY LOCATIONS.

PROPERTY DESCRIPTIONS PER TITLE COMMITMENT

LOT 117
LOT 117 OF DESMET CIRCLE, RECORDED IN PLAT BOOK 83, PAGE 61 OF THE ST. LOUIS COUNTY RECORDER'S OFFICE. EXCEPT THAT PART DEDICATED TO STATE OF MISSOURI BY DEED RECORDED IN BOOK 6254 PAGE 1951

LOT 116
LOT 116 OF DESMET CIRCLE, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 83, PAGE 61 OF THE ST. LOUIS COUNTY RECORDERS.

LOT 115
LOT 115 OF DESMET CIRCLE, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 83, PAGE 61 OF THE ST. LOUIS COUNTY RECORDERS.

TO: JOSEPH MACH AND GUARANTEE TITLE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA, ACSM AND NSPS IN 1999, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7(a), AND 13 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION UNDERSIGNED FURTHER CERTIFIES THAT THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH DEFINE LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS."

JULY 9 2004

RICHARD J. BERGMAN, MO PLS 2003018283
FRONTIERS ENGINEERING GROUP, INC. 2003-9
[illegible]
ST. LOUIS, MISSOURI 63043
PH. 314-644-3200
FAX. 314-644-3645

Scale 1" = 20'

LINE / CURVE TABLE

C1 L = [illegible] R = [illegible] D = [illegible] A = [illegible] CH = S [illegible] E	C2 L = [illegible] R = [illegible] D = [illegible] A = [illegible] CH = S [illegible] E	C3 L = [illegible] R = [illegible] D = [illegible] A = [illegible] CH = S [illegible] E	C4 L = [illegible] R = [illegible] D = [illegible] A = [illegible] CH = S [illegible] E
C5 L = [illegible] R = [illegible] D = [illegible] A = [illegible] CH = S [illegible] E	C6 L = [illegible] R = [illegible] D = [illegible] A = [illegible] CH = S [illegible] E	C7 L = [illegible] R = [illegible] D = [illegible] A = [illegible] CH = S [illegible] E	
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L5 [illegible]	L6 [illegible]		

LEGEND

FLOW DIRECTION
FLARED END SECTION
SMALL GRATE INLET
MANHOLE
INLET MANHOLE
GRATE INLET
DOUBLE INLET
MULTIPLE INLET
SEWERS
GRADE
FENCE CHAIN-LINK
FENCE-WOODEN
FENCE-METAL
FLOW LINE OF CREEK OR DITCH
BALE HAY
WELL

U.S.D. FM
U.S.D. BASE MAP 08K

1	1/12/04	REVISED FOR ALTA/ACSM & TITLE	
0	1/7/04	INITIAL SURVEY PLACE	
NO.	DATE	REMARKS	

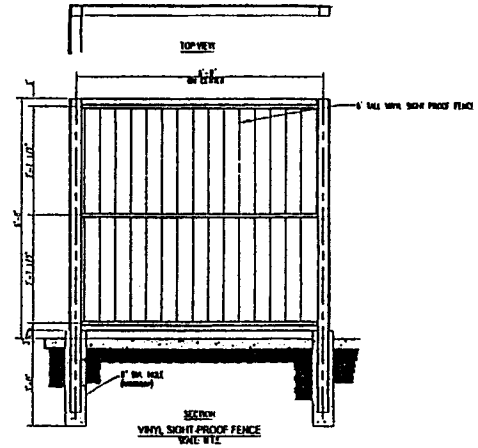
CIVIL / STRUCTURAL / LAND SURVEYING
8119 BURGER DRIVE, SUITE 100
ST. LOUIS, MISSOURI 63143
(314) 644-3200 FAX (314) 644-3645
EMAIL: [illegible]

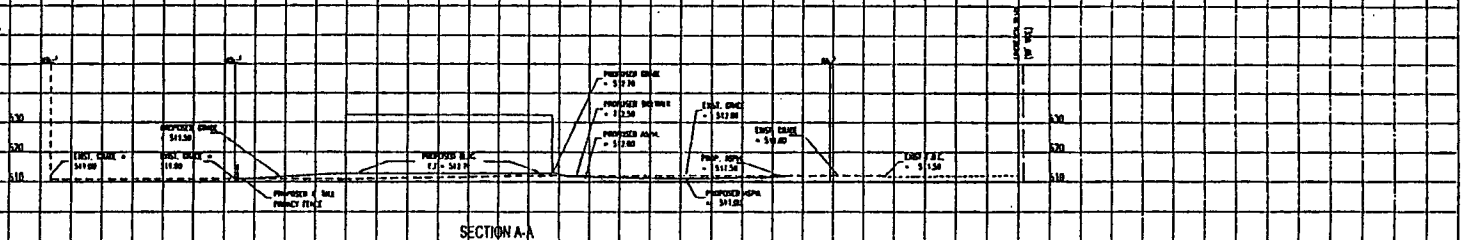
DATE 11/30/04
DRAWN [illegible]
CHECKED [illegible]
SCALE

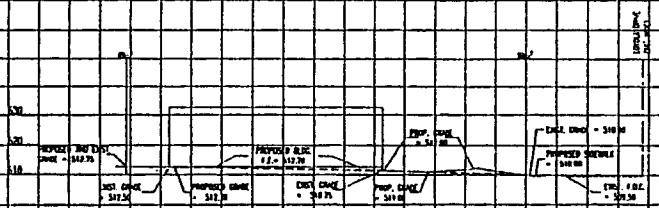
EXISTING SITE SURVEY
AMERICAN CLEANERS
[illegible]
FLORISSANT, MO. 63031

SHEET NO.

7073







M.S.D. PK
M.S.D. BASE MAP 08K

DATE	7/20/14
DRAWN BY	R.J.L.
SCALE	1" = 20'

DETAILS AND SECTIONS

AMERICAN CLEANERS
604 LOYOLA
Packet Pg. 145

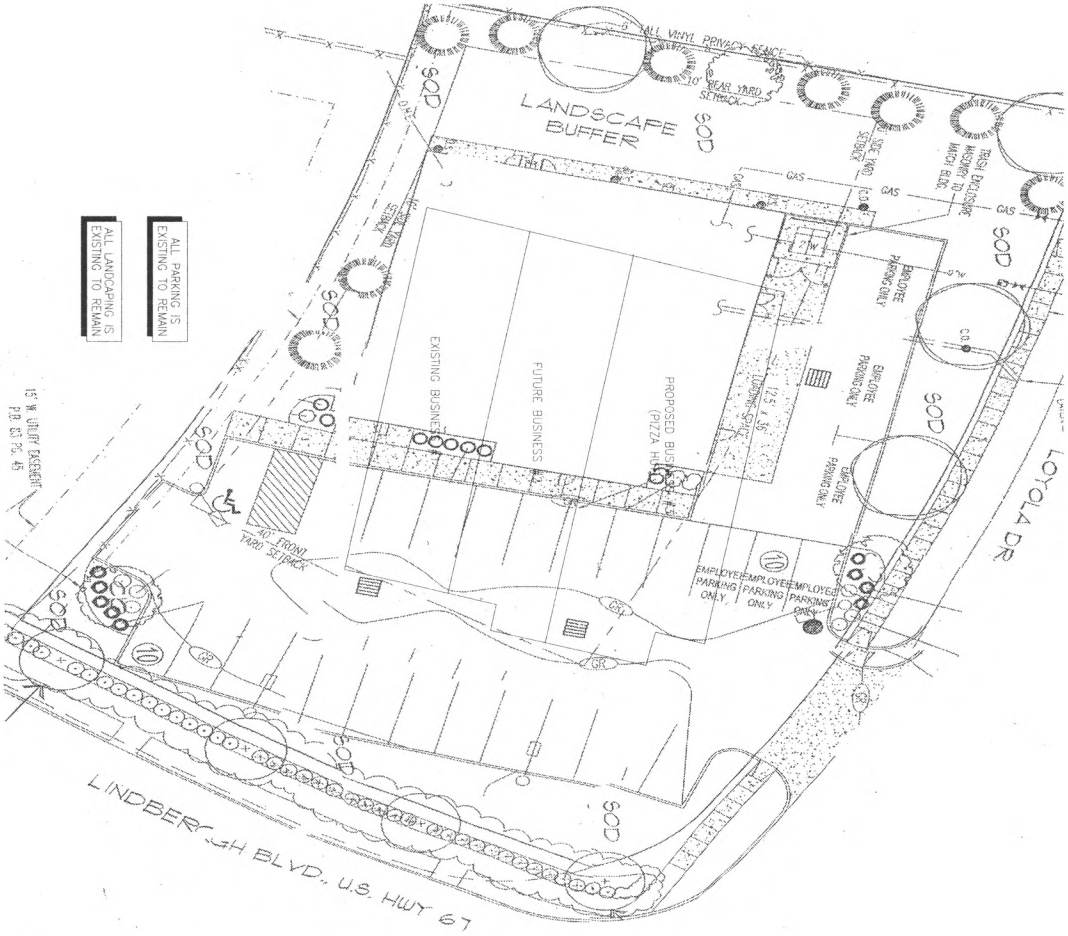
C2

CIVIL / STRUCTURAL / LAND SURVEYING
616 SOUTHERN DRIVE, SUITE 100
ST. LOUIS, MISSOURI 63129
(314) 894-5200 FAX (314) 894-5400
EMAIL: info@[illegible]

REV.	DATE	DESCRIPTION
1	5/7/14	REVISED TOP FLANGE & TRIMMING
2	5/13/14	UPDATED SITEPLAN REVISED

ISSUE / REVISION DESCRIPTIONS

SITE PLAN



N

1/8"=1'-0" A

REVISIONS:

N1
SHEET NUMBER

STATE OF MISSOURI
ARCHITECT

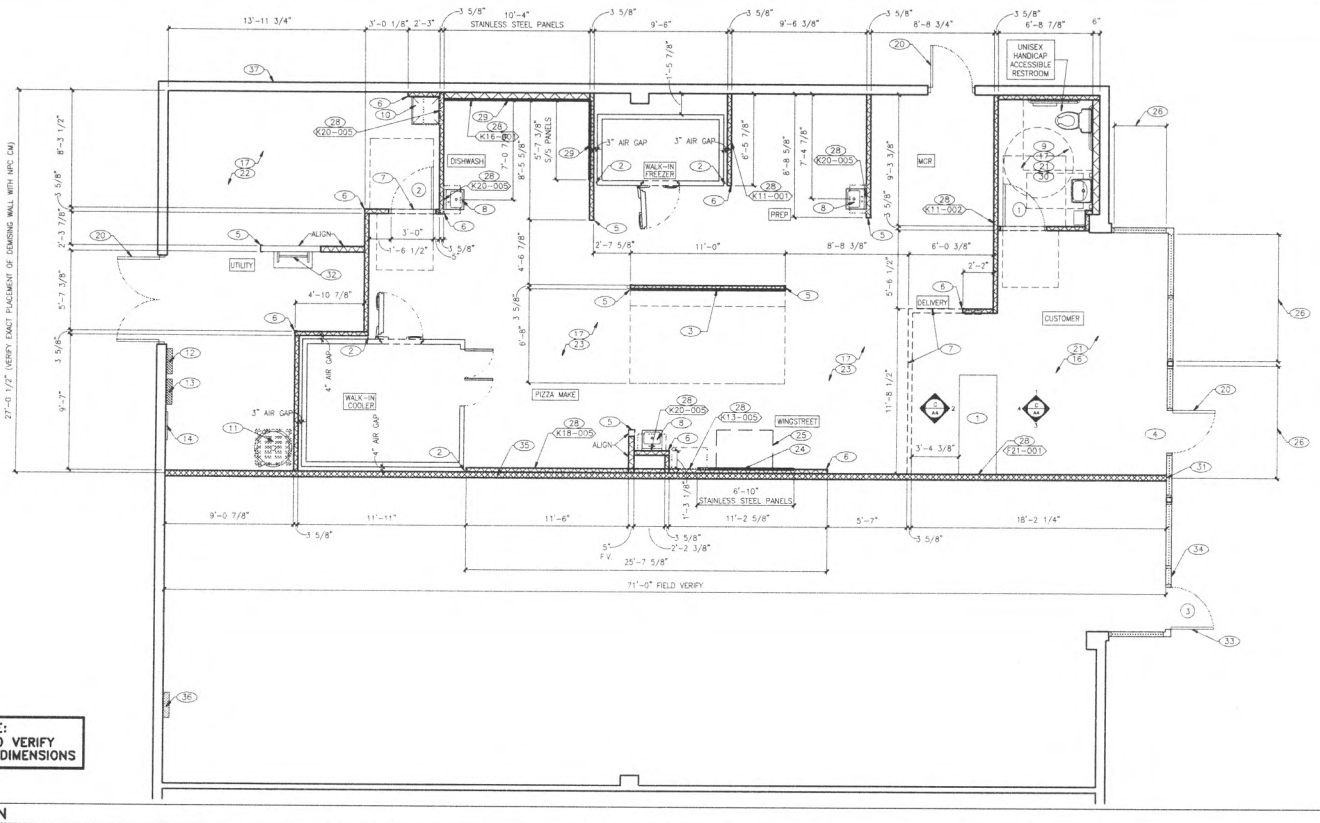
LICKEL

PIZZA HUT #4920
8239 N LINDBERGH BLVD.
FLORISSANT, MISSOURI

FRANCHISEE
4200 W. 115TH STREET
LEAWOOD, KANSAS 66211
PHONE (913) 327-5555
FAX (913) 327-5556

SITE PLAN

DATE: 5/9/19
JOB NO: 4920
DRAWN: FS
CHECKED: DL



NOTE:
FIELD VERIFY
ALL DIMENSIONS

ARCHITECTURAL FLOOR PLAN

1/4"=1'-0" A

DIMENSIONS

A. ALL DIMENSIONS ARE FROM FACE OF STUD AT NEW WALLS, UNLESS OTHERWISE NOTED.

B. ALL DIMENSIONS ARE FROM FACE OF FINISHED MATERIAL AT EXISTING WALLS, UNLESS OTHERWISE NOTED.

PARTITION

C. ALL INTERIOR WALL FRAMING SHALL BE 3 5/8" METAL STUDS @ 16" O.C. U.O.N.

D. PROVIDE 5/8" THICK EXPOSURE 1 PLYWOOD SUBSTRATE WHERE INDICATED. PLYWOOD SHALL BE FIRE RETARDANT TREATED IN ACCORDANCE WITH SECTION 603.1 OF THE 2009 IBC.

E. PROVIDE PROPER BLOCKING AT ALL RECESSED & WALL MOUNTED FIXTURES/ EQUIPMENT.

FINISH SUBSTRATES

F. ALL INTERIOR WALLS SHALL HAVE 5/8" GYP. BOARD SUBSTRATE, UNLESS OTHERWISE NOTED.

G. PROVIDE 5/8" THICK CEMENTITIOUS BOARD FROM FLOOR SLAB TO 12" A.F.F.

PROVIDE TYPE "X" CEMENTITIOUS BOARD FROM FLOOR SLAB TO 12" A.F.F. AT EXISTING DEMISING PARTITIONS. VERIFY TYPE "X" CEMENTIOUS BOARD WITH LOCAL FIRE MARSHAL.

H. ALL JOINTS, GAPS AND SPACES EXPOSING HOLLOW OR INACCESSIBLE SPACES SHALL BE SEALED WITH NSF APPROVED SEALANTS.

I. SEE SHEET A3 FOR FINISHES

CASEWORK

J. ALL CASEWORK SHALL BE SUPPLIED AND INSTALLED BY G.C.

WALLS

K. NON-BEARING WALLS SHALL BE ANCHORED TO STRUCTURE ABOVE @ 32" O.C. MAX. SEE 2-A8 FOR TYPICAL CONNECTIONS.

L. GYP. BD. SHALL EXTEND 6" ABOVE SUSPENDED CEILING.

FLOOR PLAN NOTES

TYPICAL INTERIOR WALL:
3 5/8" 25 GAUGE METAL STUDS @ 16" O.C. W/ 5/8" GYP. BOARD EA. SIDE. (6" METAL STUDS @ PLUMBING WALLS U.N.O. SEE 2/A8

INTERIOR WALL @ FRYER HOOD:
SEE KEY NOTE 24 THIS SHEET, FOR WALL AT FRYER HOOD.

SEE SECTION CUTS INDICATED ON DWG. FOR SPECIFIC WALL CONSTRUCTION DETAILS.

NEW 1-HOUR WALL. SEE 1/A8

EXISTING WALLS TO REMAIN

NOTE:
REFER TO FINISH SCHEDULE (SHT. A3) FOR INTERIOR FINISHES.

WALL LEGEND

1. FRONT COUNTER (2'-8" x 7'-0" LONG), SUPPLIED BY OWNER & INSTALLED BY GENERAL CONTRACTOR.
2. INSTALL PROPER BLOCKING/BACKER ROD AND SEALANT "GERMIN TIGHT" BETWEEN COOLER/FREEZER AND ADJACENT WALL SURFACES.
3. TYPE "1" HOOD WITH ANSUL SYSTEM AT THIS WALL. INSTALL OWNER PROVIDED STAINLESS STEEL PANELS OVER 5/8" TYPE "X" CEMENTIOUS BOARD. STAINLESS STEEL PANELS SHALL BE 18 GAUGE, #3 FINISH AND REQUIRED CONNECTORS. NO EXPOSED SCREWS/ ATTACHMENTS.
4. PROVIDE A SIGN STATING "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" (1" HIGH MIN. LETTERING USING A CONTRASTING COLOR)
5. STAINLESS STEEL FULL HEIGHT WALL GUARD. SEE DETAIL 6-A8
6. STAINLESS STEEL FULL HEIGHT CORNER GUARD (MARLITE F56055 CORNER GUARD)
7. FLOOR TILE TRANSITION.
   FT-1 PORCELAIN FLOOR TILE ON CUSTOMER SIDE @ FRONT OF STORE, AREA BETWEEN FUR DOWN AND FRONT COUNTER AND RESTROOM.
   SEE C-A4, ELEVATION 3 FOR TRANSITION @ FUR DOWN.
   FT-2 IN KITCHEN
   CLEANED AND SEALED SLAB IN UTILITY AREA
   SEE SHT. A3 - (FINISH SCHEDULE)
8. NEW HAND SINK. (SEE SHT. P1)
9. INSTALL NEW WATER CLOSET, LAVATORY, GRAB BARS, TOILET PAPER DISPENSER, SANITARY NAPKIN DISPOSAL, PAPER TOWEL DISPENSER AND MIRROR PER CODE REQUIREMENT. (SEE A,D/A4). PROVIDE BACKING IN WALL.
10. NEW MOPSINK. (SEE SHT. P1)
11. NEW WATER HEATER (SEE SHT. P1)
12. ELECTRICAL PANEL "A" (SEE SHT. E1)
13. ELECTRICAL PANEL "B" (SEE SHT. E1)
14. NEW TELEPHONE BOARD. (SEE SHT. E1 & E2)
15. GREASE INTERCEPTOR, REFER TO PLUMBING SHEET.
16. NEW 2'x2' SUSPENDED CEILING GRID W/NEW ACOUSTICAL CEILING TILES. RE: SHT A3 FOR TYPE.
    (SEE SHT. A7 - REFLECTED CEILING PLAN)
17. NEW 2'x4' SUSPENDED CEILING GRID W/ NEW ACOUSTICAL WASHABLE VINYL CEILING TILES. RE: SHT. A3 FOR TYPE.
    (SEE SHT. A7 - REFLECTED CEILING PLAN)
18. NOT USED.
19. NOT USED.
20. EXISTING DOOR AND DOOR HARDWARE APPEAR TO BE COMPLIANT WITH ACCESSIBILITY REQUIREMENTS AND/OR FIRE EXITING AS GATHERED IN FIELD BY OWNER.
    BY CONTRACT, THE ARCHITECT IS NOT RESPONSIBLE FOR GATHERING EXISTING FIELD INFORMATION. NOT ALL EXISTING CONDITIONS OF THE BUILDING WERE FULLY PROVIDED TO THE ARCHITECT BY THE OWNER.
    ALL EXISTING DOORS AND DOOR HARDWARE SHALL BE FIELD VERIFIED BY GENERAL CONTRACTOR AND NPC PROJECT MANAGER TO ENSURE COMPLIANCY WITH ACCESSIBILITY REQUIREMENTS AND/OR REQUIREMENTS FOR FIRE EXITING.
    GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL ANY ADDITIONAL DOOR HARDWARE IF REQUIRED.
21. NEW PORCELAIN FLOOR TILE FT-1. (SEE SHT. A3 - FINISH SCHEDULE)
22. CLEANED AND SEALED SLAB
23. NEW PORCELAIN FLOOR TILE (FT-2) (SEE SHT. A3 - FINISH SCHEDULE)
    NOTE:
    VERIFY PATTERN WITH NPC PROJECT MANAGER BEFORE INSTALLATION.
24. STAINLESS STEEL PANELS (18 GAUGE, #3 FINISH) OVER 5/8" TYPE "X" CEMENTITIOUS BOARD. STAINLESS STEEL PANELS WILL EXTEND A MIN. OF 18" ABOVE TOP OF HOOD DOWN TO TOP OF BASE TILE. NO EXPOSED SCREWS/ATTACHMENTS.
    STAINLESS STEEL PANELS PROVIDED BY OWNER AND INSTALLED BY GENERAL CONTRACTOR.
25. TYPE I HOOD WITH ANSUL SYSTEM. REF. M6
    G.C. TO INSTALL STAINLESS STEEL SKIRT (PROVIDED BY NPC) FROM WINGSTREET FRYER HOOD TO CEILING. COORDINATE WITH NPC PROJECT MANAGER.
26. RED THREAD GRAPHIC BY BIG IMAGE GRAPHICS INC. AT THE EXTERIOR WINDOWS AT THE SPECIFIED LOCATIONS.
27. NOT USED.
28. PROVIDE BACKING IN WALL FOR WALL MOUNTED EQUIPMENT ITEMS AS FOLLOWS:
    T27-001 K10-003 K11-001 K11-002
    K20-005 K16-001 K13-005
    COORDINATE EQUIPMENT ITEM NUMBERS WITH SHEET A2 AND A2.1
29. INSTALL OWNER FURNISHED STAINLESS STEEL PANELS (18 GAUGE, #3 FINISH) OVER 5/8" SHEETROCK/CEMENTIOUS BOARD. PANELS WILL EXTEND A MIN. OF 1" ABOVE CEILING AND DOWN TO 1" BELOW TOP OF BASE TILE. NO EXPOSED SCREWS/ATTACHMENTS.
30. PROVIDE FRTW BACKING IN WALL AS REQUIRED FOR TOILET FIXTURES IN THE RESTROOM. REFER TO SHEET A/A4.
31. PROVIDE 3M FILM ON INTERIOR SIDE OF WINDOWS AT THE SPECIFIED LOCATIONS. VERIFY TYPE/ COLOR OF WINDOW FILM WITH NPC PROJECT MANAGER.
32. EXISTING ROOF ACCESS LADDER TO REMAIN.
33. NEW STOREFRONT DOOR. MATCH EXISTING ADJACENT STYLE / FINISH.
34. NEW STOREFRONT WINDOW. MATCH EXISTING ADJACENT STYLE / FINISH.
35. NEW 1-HR DEMISING WALL. RE: 1/A8.
36. ELECTRICAL PANEL "N" (SEE SHT. E1)
37. PATCH IN BRICK WHERE LOUVER WAS REMOVED. MATCH EXISTING ADJACENT BRICK AND PATTERN.

KEY NOTES

1

REVISIONS:

DATE: 5/9/19
JOB NO: 4920
DRAWN: FS
CHECKED: DL

ARCHITECTURAL FLOOR PLAN

Pizza Hut
FRANCHISEE
NPC International
4200 W. 115TH STREET
SUITE 200
LEAWICOD, KANSAS 66213
PHONE: (913) 327-5555
FAX: (913) 327-5850

PIZZA HUT #4920
8239 N LINDBERGH BLVD.
FLORISSANT, MISSOURI

LICKEL
ARCHITECTS
ST. LOUIS, MISSOURI
314-231-4100

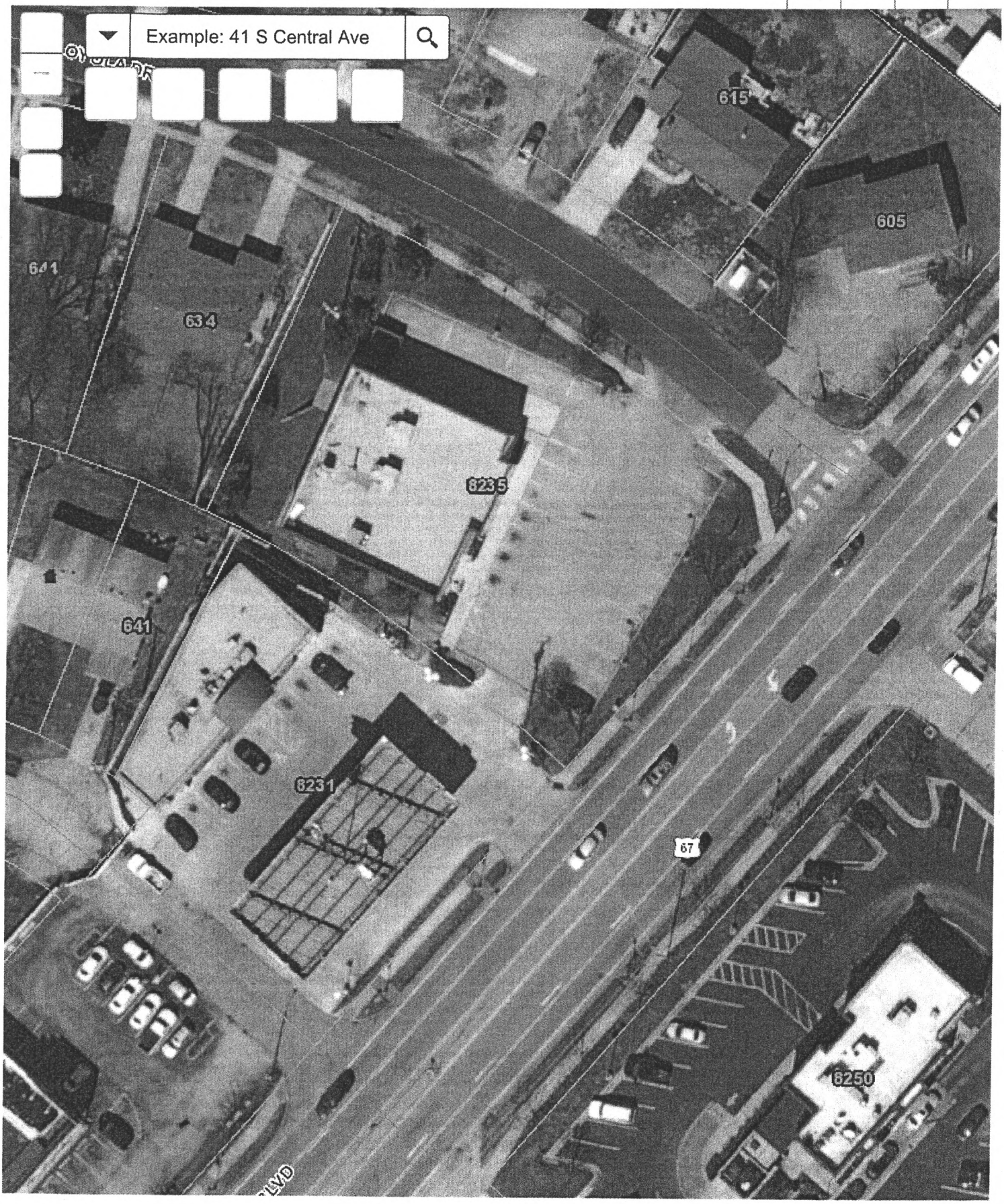
STATE OF MISSOURI
DANIEL J. LICKEL
NUMBER A-6000
REGISTERED ARCHITECT
05.9.2019

SHEET NUMBER
A1

Saint Louis COUNTY GIS Service Center

Property Lookup

St. Louis County Open Data Porta



60ft

MEMORANDUM

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: July 9, 2019

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request recommended approval to amend a 'B-5' to allow for a carryout restaurant at **8239 N. Lindbergh Blvd. (Pizza Hut)** in a 'B-5' Zoning District.

STAFF REPORT
CASE NUMBER PZ-071519-8

I. PROJECT DESCRIPTION:

This item is before the Commission in order to review changes to a Shopping Center as a request for **recommended approval** to amend a **'B-5',** Ordinance No. 7073 to allow for a carryout restaurant at **8239 N. Lindbergh Blvd. (Pizza Hut)** in a 'B-5' Zoning District.

II. EXISTING SITE CONDITIONS:

The existing address has been vacant as the former location of a dry cleaners and one other tenant is a phone store.

The structures existing on the site would remain for the development with no exterior changes except signage. No restaurant Use previously existed here, which precipitates the need for a 'B-5' amendment for this Use.

III. SURROUNDING PROPERTIES:

The properties adjacent and to the South and West are 634 Loyola and 641 Southwell, both in the 'R-4' Single Family Dwelling District. The property to the South is a filling station and 8231 N Lindbergh in a 'B-3' Zoning District.

IV. STAFF ANALYSIS:

The application is accompanied by professionally completed plans and signage design:

The following are staff comments regarding plans:

A1 Floor Plan Comments:

1. Customer area and accessible restroom is shown.
2. Floor plan shows the space is predominantly staff.
3. No tables are shown.

N1 Site Plan Comments:

1. Parking and Landscape is noted to remain.
2. Plan is distorted, therefore, staff attach an aerial of the site.

Sign drawing Comments:

1. Sign is shown on the front, about 13'-2" x 2'-9"= 36 s.f. x 2/3= 24 s.f. for an open letter sign.

Parking comments:

1. It appears that 23 parking spaces per the ordinance No. 7073 were provided, with 3 employee parking spaces inaccessible along the north property line.
2. Space is per County record is 4880 total s.f. so the parking required:
   a. Phone store: 20x68= 1360 sf
   b. vacancy: 22x71 less 55= 1500 sf
   c. Proposed Pizza Restaurant: 27x71 less 55= 1862 sf
   d. Total area 4722 s.f. per scale.
   e. Parking required for shopping center 4.7x4.5/1000= 21

VI. STAFF RECOMMENDATIONS:

Suggested Motion - I move to recommend approval to amend a '**B-5'**, Ordinance No. No. 7073 to allow for a carryout + delivery restaurant with no exterior changes at **8239 N. Lindbergh Blvd. (Pizza Hut)** in a 'B-5' Zoning District, according to the proposal prepared by the petitioner as described related documents presented and according to the attached drawings: **A1 dated 5/9/19 by Lickel Architecture,** and the following additional requirements:

Changes to Ordinance 7073:

Change Section 2, paragraph 1 Permitted Uses to read as follows:

"The uses permitted by this 'B-5' Planned Commercial District shall be limited to uses as permitted in a 'B-3' Extensive Business District, and a carryout restaurant as depicted by

plans **A1 dated 5/9/19 by Lickel Architecture.** Uses other than those permitted by this Ordinance shall require approval by amendment to this 'B-5' Ordinance."

2. **GENERAL DEVELOPMENT CONDITIONS.**

a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.

b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Site Development Plan approved and all other ordinances of the City of Florissant.

3. **PROJECT COMPLETION.**
Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 6 months of start of construction.

(end report and suggested motion)

1st Ald
2nd Lee
Carry out + delivery

CITY OF FLORISSANT

PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, August 12, 2019 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 7073 to allow for a carry-out restaurant for the property located at 8239 N Lindbergh (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

INTRODUCED BY COUNCILMAN EAGAN
AUGUST 26, 2019

BILL NO. 9528 ORDINANCE NO.

ORDINANCE TO AUTHORIZE AN AMENDMENT TO B-5 ORDINANCE NO. 6166, AS AMENDED TO ALLOW FOR A CAR DETAILING BAY ADDITION FOR THE PROPERTY LOCATED AT 225 N. LINDBERGH.

WHEREAS ordinance no. 6166 was passed in 1998 and authorized the rezoning of several properties to a B-5 development for the placement of a Planned Commercial District; and

WHEREAS ordinance no. 6166 was amended by ordinance nos. 6232, 7534, 7631, 7941, 8080 & 8218; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of August 5, 2019 that B-5 ordinance no. 6166 as amended, be further amended to allow for to allow for a restaurant located at 8239 N. Lindbergh; and

WHEREAS, due and lawful notice of public hearing no. 19-08-023 on said proposed change was duly published, held and concluded on 26th of August by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that the amendment of B-5 ordinance no. 6166 as amended, as hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Ordinance No. 6166 (as amended by Ord. No's 7536, Ord. 7631 Ord. 7941, Ord. 8080 and Ord. 8218) is hereby amended to allow for a Car Detailing Bay addition in a 'B-5' Planned Commercial District, subject to the conditions set forth below with these conditions being part of the record:

Changes to Section 2. **REQUIREMENTS FLOOR AREA, HEIGHT AND BUILDING**

Change Section 2, paragraph a. to read: The auto sales facility shall be of masonry brick with a total gross floor area not exceeding 4328 square feet and a maximum

height of nineteen (19) feet as depicted on sheets C-1 dated rev. 7/5/19 and A-2 attached, dated 7/5/19 by Joe A. Dale, NCARB- Architect.

Changes to Section 6. **REQUIREMENTS FLOOR AREA, HEIGHT AND BUILDING**

Change Section 6, paragraph e. (1) to read:

e. Sign Requirements

(1) There shall be one (1) freestanding sign as shown in Exhibit "A", **one post sign with digital display under Ord no. 7941** and all other signage shall be in accordance with the code of ordinances of the City of Florissant.

a. **The digital sign under Ord no. 7941, attached** shall have the following restrictions:

i. Digital sign shall display only static images for a minimum of 10 second intervals. Digital sign shall display no glare, flashing, scrolling or animation.

ii. There shall be no affects between static images displayed.

iii. The sign shall be dimmable at night to prevent glare.

iv. Digital sign shall conform to the City's ordinance regarding digital sign code once adopted.

Section 2: Except as herein amended the B-5 Ordinance no. 6669 shall remain in full force and effect.

Section 3: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2019.

_____
Jeff Caputa
President of the Council

Approved this _____ day of _____, 2019.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

INTRODUCED BY COUNCILMAN JONES
AUGUST 26, 2019

BILL NO. 9529 ORDINANCE NO.

ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO LASHAY'S LLC, D/B/A LA SHAY'S BANQUET CENTER TO ALLOW FOR A CATERED BANQUET CENTER FOR THE PROPERTY LOCATED AT 47 FLORISSANT OAKS SHOPPING CENTER ROAD.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Use Permit, after public hearing thereon, to permit the operation of a banquet center; and

WHEREAS, an application has been filed by Lashay's LLC d/b/a Lashay's Banquet Center for the operation of a catered banquet center located at 47 Florissant Oaks Shopping Center; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting of August 5th, 2019 recommended approval of said Special Use Permit; and

WHEREAS, due notice of public hearing no.19-08-024 on said application to be held on the 26th of August, 2019 at 7:30 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the granting of the Special Use Permit as hereinafter provided would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section l: A Special Use Permit is hereby approved to allow for a Banquet Center in an existing B-3 Zoning District located at 47 Florissant Oaks

Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2019.

_____
Jeff Caputa
President of the Council

Approved this _____ day of _____, 2019.

_____
Timothy J. Lowery
Mayor

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

INTRODUCED BY COUNCILMAN CAPUTA
AUGUST 26, 2019

BILL NO. 9530 ORDINANCE NO.

AN ORDINANCE AMENDING CHAPTER 600 "ALCOHOLIC BEVERAGES" BY ADDING A NEW SECTION TO ALLOW FOR THE ADDITION OF A CONSUMPTION OF LIQUOR (COL) LICENSE.

WHEREAS, a state of Missouri Alcohol and Tobacco control allows for a Consumption of Liquor license; and

WHEREAS, this liquor license classification was allowed in the previous version of the code; and

WHEREAS, City Staff is recommending the replacement of this liquor license classification to be consistent with state regulations; and

WHEREAS, the City Council feels it is in the best interest of the City to amend the Florissant Code of Ordinances, the Alcoholic Beverage section to add a COL license.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Section 600.020 "License Required-Classes of Licenses", subsection B "General Licenses" is hereby amended by adding the following:

10. *Consumption* *of* *Liquor* *(COL)*- **Consumption of intoxicating liquor on the premises where food, beverages or entertainment are sold or provided for compensation, and which said establishment does not possess an intoxicating liquor license for the sale of intoxicating liquor.**

Section 2: Section 600.050 "Schedule of License Fees" subsection A-i is hereby amended by adding a new section to read as follows:

j. Consumption of Liquor (COL) - $60.00

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2019.

_____
Jeff Caputa, President of the Council

Approved this _____ day of _____, 2019.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: 8/22/19

Mayor's Approval:

Agenda Date Requested: 8/26/2019

Description of request:

Bill to amend the liquor code to add a COL (Consumption of Liquor) license that was omitted in the previous update of the code.

Department: City Clerk

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
CD Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N
Public Hearing needed: **Yes / No**		3 readings? : **Yes / No**	N

Back up materials attached:		Back up materials needed:	
Minutes		Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

8/22/19
cc X-b
council X
Mayor

KGR 8/22/2019

Memorandum
City Of Florissant, Missouri
Office Of The City Clerk

TO: Mayor and City Council

FROM: Karen Goodwin, City Clerk

SUBJECT: ***Liquor Code amendment***

Date: **8/22/19**

Mayor and Council Members,

It has come to our attention that a section of the code that allows for a Consumption of Liquor (COL) license was inadvertently omitted from the code during the update several years ago.

This license is required for a business such as a banquet center to allow clients to bring in their own liquor for an event. It is enforced in the same fashion as any other liquor license but does not allow for the license holder to sell liquor. We have had this classification of license for our civic centers for many years. The state has this license category and since we have not had anyone request this license for many years, we did not realize it had been omitted.

Therefore, I respectfully request approval of an ordinance amending section 600.020 "License Required – Classification of Licenses" subsection B "General Licenses" to add a new subsection to allow for a Consumption of Liquor (COL) license. In addition we would need to add a new subsection 600.050 Subsection A-1 to provide for a fee of $60.00 to issue this license.

Sincerely,
Karen

INTRODUCED BY COUNCILMAN CAPUTA
AUGUST 26, 2019

BILL NO. 9531 ORDINANCE NO.

AN ORDINANCE AMENDING CHAPTER 520 "SIGNS AND BILLBOARDS" TO ALLOW FOR DIGITAL SIGNS.

WHEREAS, the City Council asked that the Planning and Zoning Commission make recommendations regarding digital signage; and

WHEREAS, the Planning and Zoning Commission is in the process of reviewing the sign code and recommended certain additions to the sign code to add provisions for digital signs; and

WHEREAS, the City Council feels it is in the best interest of the City to amend the Florissant Code of Ordinances to allow for changes in the sign code.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Section 520.010 "Definitions" is hereby amended by adding the following definitions to read as follows:

DIGITAL DISPLAY – The portion of a sign message made up of illuminated components capable of changing the message. Digital displays may include but are not limited to LCD, LED, or plasma displays.

DIGITAL SIGN – A sign whose alphabetic, graphic, or symbolic informational content or display, either in whole or in part, is composed of electronically illuminated or mechanically driven changeable segments which may be changed or altered by means of electrical, electronic or computerized programming.

FRAME EFFECT – A visual effect on a digital sign applied to a single frame to transition from one message to the next.

Section 2: Chapter 520 "Signs and Billboards" is hereby amended by adding a new section 520.115 "Digital Signs" to read as follows:

Section 520.115: Digital Signs.

A. Digital signs are prohibited in the Historic Histrict but are otherwise permitted subject to the following limitations:

1. Digital signs shall display static images for a period of at least ten (10) seconds before transitioning to another static image.
2. Digital signs shall not include animation, full motion video, flashing, scrolling, strobing, racing, blinking, and changes in color, fade-in or fade-out

in any manner imitating movement or any other means not providing constant illumination.

3. Frame effects are prohibited, except for a frame effect of a maximum of 1 second black frame.

4. Digital signs shall come equipped with automatic dimming technology which adjusts the sign's brightness in direct correlation with ambient light conditions, not exceeding 0.3 foot candles about ambient light as measured using a foot candle (Lux) meter at a present distance depending on sign area, measured as the square root of the product of the sign area (sq.ft.) times 100.

(Example using a 50 s.f. display: Measuring distance = $\sqrt{(50x100)}=70$)

5. There shall be no change in digital sign requirements for various speed limits within the City.

6. Each line of copy or graphs must be at least 5 inches in height.

7. Digital signs shall only be allowed on monument sign and the digital message area may occupy no more than 35% of the entire sign structure.

8. Factory settings for digital displays must conform to comply with the Digital Sign Code.

9. All Digital signs previously installed prior to this Section shall come into compliance with the regulations set forth herein within 180 days from the adoption of such regulations.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2019.

_____

Jeff Caputa,
President of the Council

Approved this _____ day of _____, 2019.

_____

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: 8/23/19

Mayor's Approval:

Agenda Date Requested: 8/26/2019

Description of request:

Request to approve amendments to the sign code providing for digitial sign regulations as recommended by the Planning and Zoning Commission

Department: City Clerk

Recommending Board or Commission:

Type of request:

Ordinances	**X**	**Other**	**X**
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
CD Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N
Public Hearing needed: **Yes / No**		3 readings? : **Yes / No**	N

Back up materials attached:		**Back up materials needed:**	
Minutes Draft		Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

CITY OF FLORISSANT

Planning and Zoning Commission
Unofficial Planning & Zoning Minutes

August 19, 2019

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CITY OF FLORISSANT

Planning and Zoning Commission

Unofficial Planning & Zoning Minutes

August 19, 2019

The Planning and Zoning Commission met in Council Chambers at Florissant City Hall, 955 rue St. Francois on Monday, August 19, 2019 at 7:00 p.m. with Chairman Olds presiding.

Roll Call

On Roll Call the following members were present: Steve Olds, Allen Minks, Tim Lee, Lee Baranowski and John Martine. Robert Nelke was excused. John Martine was absent. Also present was Phil Lum Building Commissioner and Anita Moore Deputy City Clerk. A quorum being present the Planning and Zoning Commission was in session for the transaction of business.

Approval of Minutes

Mr. Lee moved to approve the Meeting Minutes of August 5, 2019, seconded by Smith. Motion carried.

New Business

Item 1 Old Time Pottery
PZ081919-6 42 Grandview Shopping Center
Ratification Approved - Ward 7

Phil Lum, Building Commissioner, presented the staff report for this request. He stated that the Old Time Pottery sign at Grandview Plaza Shopping Center has been weather damaged and the petitioner is requesting to replace it. The sign under the existing ordinance is a box wall sign, 58' x 6' = 348 square feet. The new sign is an open letter wall sign 61' x 7'-2" of which 2/3 of the area would be 291 square feet.

Mr. Mike Wiesehan, A-1 Signs, stated that the proposed sign will be an open letter sign instead of the current type of box sign. The new sign will look very similar to the old one. The letters will be the same size and it will be internally lit by LEDs, but the white background will be eliminated. There will be a timer/dimmer installed on the sign.

Chairman Olds moved to ratify the conditional approval of the Building Commissioner for minor changes to the site development plan of the B-5 Ordinance No. 6814 to allow for a change in the wall sign per the attached design as follows:

Change Ord. No. 6814, Section 1, to read as follows:

Ordinance No. 5239 heretofore granted establishing a B-5 Planned Commercial District for Grandview Plaza Shopping Center, as amended by Ordinance Nos. 5421, 5422, 5469, 5504, 5608, and 5970 is hereby amended by Ordinance for the removal of the signage previously authorized and to authorize the signage for the Old Time Pottery store located at 42 Grandview Plaza Shopping Center in accordance with the drawing attached hereto and made a part hereof as is fully set out herein and stamped approval dated 8/19/19.

PROJECT COMPLETION

Construction shall start within 90 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 180 days of start of construction.

The motion was seconded by Minks. On Roll Call the Commission voted: Minks yes, Olds yes, Nelke absent, Martine absent, Lee yes, Smith yes and Baranowski yes. Motion carried.

104

105 **Old Business**

106

107 **Item 2** **Food Truck**

108 **PZ071519-6** **2020 Patterson Road**

109 **Removed from Agenda - Ward 4**

110

111 Chairman Lee moved to remove the request for the food truck located at 2020 Patterson Road,
112 seconded by Smith. Motion carried.

113

114 **Item 3** **Sign Code**

115 **1) Recommended Approval of Digital Sign Regulations**

116 **2) Postponed Remainder of Sign Code amendments to 9/16/2019**

117

118 Members of the Commission discussed the most recently revised copy of the sign code which is
119 dated 7/10/2019. Mr. Lum stated that Mr. Minks had submitted his recommendations as well for all to
120 review.

121 There was considerable discussion of the difference between monument signs and ground signs,
122 and the possibility of combining both definitions. Chairman Olds thought that the two types of signs
123 were very similar.

124 Mr. Baranowski stated that he felt that a separate definition of a monument sign was necessary.
125 Differing heights, widths, definitions, set-backs and locations in the right-of-way were significantly
126 different between the two types of signs. Mr. Baranowski suggested that anyone requesting a
127 monument sign in the right-of-way would need to justify a hardship.

128 Mr. Lee stated that he has come to the realization that a monument sign needed to be included in
129 the sign code. He also stated that definitions of various signs should not be vague and should be
130 "tightened up." Other than in a B-5, defining terms of signage should not be subjective.

131 Mr. Lum stated that it would make his job easier if there were "iron clad" signage regulations,
132 but it would take considerable research and time to complete the entire sign code. They currently
133 have a Digital Sign Ordinance ready to recommend to Council.

134 Variations in the interpretation of directional signs were also discussed. Chairman Olds stated
135 that he would like to include numeric addresses on direction signs. The current ordinance does not
136 allow them.

Mr. Lee suggested forwarding the Digital Sign Code to the council which is what the council has been asking for. Chairman Olds agreed, since Planning & Zoning has the Electronic/Digital Sign Code written, ready, and agreed upon. He stated that the other elements of the sign code that need to be reviewed can be continued to the next Planning & Zoning Meeting.

Chairman Olds moved to recommend approval to amend the Sign Code to add:

Section 520.010: Definitions.

DIGITAL DISPLAY – The portion of a sign message made up of illuminated components capable of changing the message. Digital displays may include but are not limited to LCD, LED, or plasma displays.

DIGITAL SIGN – A sign whose alphabetic, graphic, or symbolic informational content or display, either in whole or in part, is composed of electronically illuminated or mechanically driven changeable segments which may be changed or altered by means of electrical, electronic or computerized programming.

FRAME EFFECT – A visual effect on a digital sign applied to a single frame to transition from one message to the next.

Section 520.115: Digital Signs.

A. Digital signs are prohibited in the Historic District but are otherwise permitted subject to the following limitations.

1. Digital signs shall display static images for a period of at least ten (10) seconds before transitioning to another static image.
2. Digital signs shall not include animation, full motion video, flashing, scrolling, strobing, racing, blinking, and changes in color, fade-in or fade-out in any manner imitating movement or any other means not providing constant illumination.
3. Frame effects are prohibited, except for a frame effect of a maximum of 1 second black frame.
4. Digital signs shall come equipped with automatic dimming technology which adjusts the sign's brightness in direct correlation with ambient light conditions, not exceeding 0.3 foot candles about ambient light as measured using a foot candle (Lux) meter at a present distance depending on sign area, measured as the square root of the product of the sign area (sq.ft.) times 100.
   a. Example using a 50 s.f. display: Measuring distance $\sqrt{(50x100)}=70$.
5. There shall be no change in digital sign requirements for various speed limits within the City.
6. Each line of copy or graphs must be at least 5 inches in height.
7. Digital signs shall only be allowed on monument sign and the digital message area may occupy no more than 35% of the entire sign structure.
8. Factory settings for digital displays must conform to comply with the Digital Sign Code.

9. All Digital signs previously installed prior to this Section shall come into compliance with the regulations set forth herein within 180 days from the adoption of such regulations.

The motion was seconded by Lee. On Roll Call the Commission voted: Minks yes, Olds yes, Nelke absent, Martine absent, Lee yes, Smith yes and Baranowski yes. Motion carried.

Chairman Olds moved to postpone discussion of remaining amendments to the Sign Code to 9/16/19, seconded by Martine. Motion carried.

Mr. Minks moved to adjourn the meeting, seconded by Smith. Motion carried. Meeting adjourned at 8:36 p.m.

Anita Moore, Deputy City Clerk

INTRODUCED BY COUNCILMAN CAPUTA
AUGUST 26, 2019

BILL NO. 9532 ORDINANCE NO.

ORDINANCE AUTHORIZING TRANSFERS WITHIN VARIOUS GENERAL FUND ACCOUNTS FOR THE PARKS DEPARTMENT.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: There is hereby authorized the following transfers within the General Revenue Fund to various accounts listed as follows:

$33,000	**From**	01-5-47-50010	Professional Services
	To	01-5-47-16000	Contract Services
$15,000	**From**	01-5-44-26000	Utilities
	To	01-5-44-16000	Contract Services

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____day of _____,2019.

_____
Jeff Caputa
President of the Council
City of Florissant

Approved this_____ day of _____, 2019.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC,
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: August 22,2019

Mayor's Approval:

Agenda Date Requested: I 26-Aug-19

Description of request: Transfer of various funds from General Fund Accounts to cover expenses for fiscal year 2019

Department: Parks and Recreation 8/22/19

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer	X	Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			

Public Hearing needed: **Yes / No**	NO	3 readings? : **Yes / No**	NO

Back up materials attached:		Back up materials needed:	
Minutes		Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

KGR 08/22/2019

CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum

Date: August 22, 2019

To: Mayor Timothy J. Lowery

From: Cheryl A. Thompson Cheryl A. Thompson 8/22/19

Subject: Transfer of Funds – From General Fund Accounts 8-22-19

I respectfully request to transfer the funds from the following general fund accounts:

- Transfer $33,000 from 01-5-47-50010 Professional Services to 01-5-47-16000 Contract Services
- Transfer $15,000 from 01-5-44-26000 Utilities to 01-5-44-16000 Contract Services

Please advise if additional information is needed. Thank you for your consideration on this matter.

INTRODUCED BY COUNCILMAN CAPUTA
AUGUST 26, 2019

BILL NO. 9533 ORDINANCE NO.

ORDINANCE AUTHORIZING TRANSFERS WITHIN VARIOUS PARK IMPROVEMENT FUND ACCOUNTS FOR THE PARKS DEPARTMENT.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: There is hereby authorized the following transfers within the Park Improvement Fund to various accounts listed as follows:

Amount	Fromm Account no.	To Account	To Account
$360.00	09-5-09-52450 Programs & Events	$150 09-5-09-2450 Summer Camp Uniforms	$210 09-5-02-1460 Bangert Uniforms
$1000	09-5-09-16000 Contract Services	09-5-09-50440 Professional services JJE	
$10,000	09-5-09-29472 Park Pavement Repairs	09-5-09-53010 Publicity	
$5,000	09-5-09-30470 Equipment Repair	09-5-09-33443 Materials & Supplies JJE Ice Rink	
$1,000	09-5-09-16000 Contract Services	09-5-09-31470 Equipment Rental/Lease Parks	
$200	09-5-09-16000 Contract Services	09-5-09-31460 Bangert Equipment Rental	

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____day of _____,2019.

_____
Jeff Caputa, President of the Council

Approved this_____ day of _____, 2019.

_____
Timothy J. Lowery, Mayor

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC,
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: August 22,2019

Mayor's Approval:

Agenda Date Requested: 26-Aug-19

Description of request: Transfer of various funds from Park Improvement Accounts to cover expenses for fiscal year 2019

Department: Parks and Recreation CA 8/22/19

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer	X	Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			

Public Hearing needed: **Yes / No**	NO	3 readings? : **Yes / No**	NO

Back up materials attached:		Back up materials needed:	
Minutes		Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

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For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

KGR 08/22/2019

CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum

Date: August 22, 2019

To: Mayor Timothy J. Lowery

From: Cheryl A. Thompson Cheryl A. Thompson 8/22/19

Subject: Transfer of Funds – Park Improvement 8-22-19

I respectfully request to transfer the funds from the following park improvements accounts:

- Transfer $360 from 09-5-09-52450 Programs & Events - $150 to 09-5-09-2450 Summer Camp Uniforms to and $210 to 09-5-021460 Bangert Uniforms
- Transfer $1,000 from 09-5-09-16000 Contract Services to 09-5-0950440 Professional Services JJE.
- Transfer $10,000 from 09-5-09-29472 Park Pavement Repairs to 09-5-09-53010 Publicity
- Transfer $5,000 from 09-5-09-30470 Equipment Repair to 09-5-09-33443 Material and Supplies JJE Ice Rink
- Transfer $1,000 from 09-5-09-16000 Contract Services to 09-5-09-31470 to Equipment Rental/Lease Parks
- Transfer $200 from 09-5-09-16000 Contract Services to 5-09-31460 Bangert Equipment Rental

Please advise if additional information is needed. Thank you for your consideration on this matter.

CITY OF FLORISSANT

COUNCIL MINUTES

August 12, 2019

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, August 12, 2019 at 7:30 p.m. with Council President Caputa presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Schildroth, Henke, Pagano, Parson, Siam, Harris, Jones, Eagan and Caputa. Also present was Mayor Timothy Lowery, City Attorney John Hessel, and City Clerk Karen Goodwin. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Schildroth moved to approve the Meeting and Executive Minutes of July 22, 2019, seconded by Pagano. Motion carried.

Councilman Caputa moved to amend the agenda to place Resolution No. 1011 next on the agenda, seconded by Schildroth. Motion carried.

Councilman Caputa introduced Resolution No. 1011 of the City of Florissant honoring Police Officer Gary Schlottach for his 39 years of service as a dedicated officer for the city of Florissant and said Resolution was read for the first time. Councilman Schildroth moved that Resolution No. 1011 be read for a second time, seconded by Eagan. Motion carried and Resolution No. 1011 was read for a second time. Councilman Caputa moved that Resolution No. 1011 be read for a third time, seconded by Pagano. On roll call the Council voted: Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Harris yes, Jones yes, Eagan yes and Caputa yes. Having received the unanimous vote of all members present Resolution No. 1011 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard. Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Harris yes, Jones yes, Eagan yes and Caputa yes. Whereupon the Chair declared Resolution No. 1011 to have been adopted. The Resolution was read in its entirety.

Mayor Lowery and Chief Fagan thanked retired Police Officer Gary Schlottach for his 39 years of dedicated service to the City of Florissant.

Certificates of Recognition were awarded to Officer Kimberly Berry and Officer Freddie Lee for their outstanding work and outreach to the youth of the community.

Police Commendation was awarded to Officer Michael Kiefer for arresting a dangerous felon.

The next item on the Agenda was *Hearing from Citizens.*

Ben Hammond, Florissant resident, questioned why a recently, widely seen video recording of an interaction between a Councilperson and a young individual had not been addressed by the administration. Mr. Hammond felt this behavior was an abuse of power on display and reflected poorly on the city.

Pauline Fichiera, Florissant resident, thanked the police for their efforts, but stated she is concerned about the increase in crime in Florissant, especially in her neighborhood. She asked the police department for a more visible presence on social media.

Don Adams, Florissant resident, stated that although he has not seen the video mentioned by the previous speaker, he felt that Councilman Jones was an exceptional Councilperson and that everyone could learn from this incident.

The next item on the Agenda was *Communications* of which there was none.

The next item on the Agenda was *Public Hearings*.

The City Clerk reported that Public Hearing #19-08-015 to be held this night on a request to authorize a Special Use Permit to 102 Venyou, LLC d/b/a 102 Venyou to allow for a catered banquet center for the property located at 1815-1817 Dunn Road had been advertised in substantially the same form as appears in the foregoing publication and by posting the property. The Chair declared the Public Hearing to be open and invited those who wished to be heard to come forward.

Lisha Bell, petitioner, stated that there would be no food preparation on site and all food that is catered in will be kept on warmers or refrigerated. She will be applying for a liquor license. Ms. Bell stated that there will either be a DJ or pre-programed music provided. Councilman Eagan asked that the special permit include that hours of operation will end at midnight to which Ms. Bell agreed. All smoking will be outside.

Councilwoman Pagano has visited the site and was assured that any parties on site will be for older adults. Ms. Bell will allow 100 people as a maximum number even though the building will hold more. Ms. Pagano added the second bathroom was very large and wished Ms. Bell good luck.

Mr. Lum, Building Commissioner, stated that two restrooms must be ADA accessible which Ms. Bell was aware. ADA accessibility is monitored by the Building Department through building codes and the permitting process. Mr. Lum also stated that parking was sufficient.

The Chair asked if there were any citizens who would like to speak on said public hearing. Being no citizens who wished to speak, Councilwoman Pagano moved to close P.H. #19-08-015, seconded by Caputa. Motion carried.

The City Clerk reported that Public Hearing #19-08-016 to be held this night on a request to authorize a Special Use Permit to Legends Academy, LLC d/b/a Legends Academy to allow for a child day care center for the property located at 1645 N. New Florissant Road had been advertised in substantially the same form as appears in the foregoing publication and by posting the property. The Chair declared the Public Hearing to be open and invited those who wished to be heard to come forward.

Jessica Carter, petitioner, explained that her child care center would serve 20 children and she will be employing 5 full time staff members. Councilman Henke stated that since the prior use for the building had been a dental office, there is an existing parking and a designated drop off area. There is also a nice fenced play area. Councilman Henke stated that he felt the site met all the requirements for a day care center, and he wished her well. Ms. Carter will comply with Planning & Zoning's recommendation regarding screening on the south side of the property.

In response to Councilman Parson's question, Ms. Bell stated that she would be meeting with the State on Monday and they would be outlining for her what playground equipment would be appropriate for the back yard playground. The existing shed is located by the parking spaces in the rear and will remain. The day care hours will be from 6:30 am to 6:00 pm.

The Chair asked if there were any citizens who would like to speak on said public hearing. Being no citizens who wished to speak, Councilman Henke moved to close P.H. #19-08-016, seconded by Harris. Motion carried.

The City Clerk reported that Public Hearing #19-08-017 to be held this night on a request for an amendment to Special Use Permit No. 8398 to allow for expansion of an existing restaurant/bar for the property located at 125 Flower Valley Shopping Center had been advertised in substantially the same form as appears in the foregoing publication and by posting the property. The Chair declared the Public Hearing to be open and invited those who wished to be heard to come forward.

Diane McNutt, petitioner, explained she will be expanding her current business and serving food with a patio at the rear of the restaurant/bar. The hours will be the same as her existing establishment, 3:00 p.m. until 1:30 a.m.

Councilman Siam asked if Ms. McNutt planned on removing the dividing wall between 125 and 129 Flower Valley Shopping Center and she responded that she will be keeping the well. They currently have a DJ on weekends and there have been no problems. All food preparation will be done inside the kitchen.

The Chair asked if there were any citizens who would like to speak on said public hearing. Being no citizens who wished to speak, Councilman Siam moved to close P.H. #19-08-017, seconded by Parson. Motion carried.

The City Clerk reported that Public Hearing #19-08-018 to be held this night on a request for an amendment to B-5 Ordinance No. 7073 to allow for a carry-out restaurant for the property located at 8239 N. Lindbergh had been advertised in substantially the same form as appears in the foregoing publication and by posting the property. The Chair declared the Public Hearing to be open and invited those who wished to be heard to come forward.

Frank Shahlari, petitioner, explained he is proposing a delivery and carry-out only Pizza Hut, with no dining-in available. He explained that the Pizza Hut several blocks down Lindbergh will eventually close. There will be no drive through window.

The Chair asked if there were any citizens who would like to speak on said public hearing. Being no citizens who wished to speak, Councilman Eagan moved to close P.H. #19-08-018, seconded by Caputa. Motion carried.

The City Clerk reported that Public Hearing #19-08-020 to be held this night on a request to amend the Zoning Code to allow for medical marijuana establishments as “Permitted Uses” in certain zoning districts had been advertised in substantially the same form as appears in the foregoing publication and by posting the same. The Chair declared the Public Hearing to be open and invited those who wished to be heard to come forward.

City Attorney John Hessel explained that Constitutional Amendment No. 2 provides that the city cannot prohibit medical marijuana facilities which include dispensaries, manufacturing, testing and cultivation of marijuana. When this issue first came before the city council, the staff recommended to Planning & Zoning that they be allowed as Permitted Uses with a 750 foot distance from churches, schools and daycares. Planning & Zoning recommended that dispensaries be allowed with Special

Use Permits but limited to with a 300 foot distance from a church, school or daycare. They also recommended that the cultivation, testing and manufacturing of marijuana be limited to within 750 feet from a church, school or daycare. The Council approved this recommendation by passing Ordinance No. 8519 on June 24, 2019 and which is currently the law.

Furthermore, Mr. Hessel stated that there is some urgency this evening by some of the petitioners to seek Council approval which they believe is required by the state on or around August 19th. Staff asked Planning & Zoning to revisit this issue in order to review the possibility of allowing the dispensaries as *Permitted Uses* instead of *Special Uses*, to which Planning and Zoning agreed. At the same time, Planning and Zoning also recommended that the distance for dispensaries be limited to 100 feet from a church, school or day care, rather than the 300 feet recommended by staff. Although they recommended that the cultivation, testing and manufacturing of marijuana remain at 750 feet, Planning & Zoning did recommend making it a *Permitted Use* as well. In addition to amending the distance requirements in the Zoning Code, Planning and Zoning recommended that B-2 Zoning Districts be added to the Zoning Districts allowing medical marijuana dispensaries.

In conclusion, Mr. Hessel recommended that Bill No. 9522 be brought up for consideration immediately following this Public Hearing and that the Council act upon it. Regardless of whether Council recommends amendments to this Bill, it will require three readings this evening.

Phil Lum, Building Commissioner, displayed a map showing the various distances of 300, 100 and 750 feet for medical marijuana dispensaries and also the distances for the cultivation, testing and manufacturing of marijuana. Mr. Lum stated that there are 187 parcels in the B-3 Zoning District for dispensaries. There are only 15 parcels in the B-2 Zoning District. If the Council voted to reduce the number to 100 feet, there would be 247 parcels in total. The 750 foot distance for cultivation, testing and manufacturing of marijuana remains the same of which there are only two. Staff is still recommending 300 feet for dispensaries and 750 feet for cultivation, testing and manufacturing of marijuana.

Mr. Hessel explained that, if the Council approved *Permitted Uses* instead of *Special Uses* for dispensaries, the three Public Hearings for the *Special Use Permits* on the agenda this evening would become moot. Additionally, there are many State regulations that will be required to be met before a dispensary is opened and the number of dispensaries per Congressional District is very limited. Councilman Henke clarified that there would be no use of marijuana at any of these facilities.

The Chair asked if there were any citizens who would like to speak on said public hearing.

Amber Strick, Florissant resident and business person, stated that she too was hoping to open a medical marijuana dispensary. She has also found a location which is in a B-2 Zoning District. When she was originally looking for a site, she was abiding by the State's 1000 feet requirement and this location met those requirements. She signed a lease because everyone is required to have a lease for their state proposal. She encouraged the Council to support the staff recommendation to include B-2 Zoning Districts for medical marijuana dispensaries.

Being no other citizens who wished to speak, Councilman Caputa moved to close P.H. #19-08-020, seconded by Henke. Motion carried.

Councilman Caputa moved to amend the agenda to place Bill No. 9522 next on the Agenda for consideration, seconded by Eagan. Motion carried.

Councilman Caputa introduced Bill No. 9522 <u>An Ordinance amending various sections of Chapter 405, the Zoning Code, to allow for medical marijuana related uses</u> and said Bill was read for the first time.

Councilman Caputa moved to accept Substitute Bill No. 9522, seconded by Parson. Motion carried. Councilman Caputa moved that Substitute Bill No. 9522 be read for a second time, seconded by Pagano. Motion carried and Substitute Bill No. 9522 was read for a second time. Councilman Caputa moved that Substitute Bill No. 9522 be read for a third time, seconded by Pagano. On roll call the Council voted: Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Harris yes, Jones yes, Eagan yes, and Caputa yes. Having received the unanimous vote of all members present Substitute Bill No. 9522 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Harris yes, Jones yes, Eagan yes, and Caputa yes. Whereupon the Chair declared Substitute Bill No. 9522 to have passed and became <u>Ordinance No. 8536</u>.

The City Clerk reported that Public Hearing #19-08-019 to be held this night on a request to authorize a Special Use Permit to 225 Dunn Road, LLC to allow for a Medical Marijuana Dispensary for the property located at 225 Dunn Road had been advertised in substantially the same form as appears in the foregoing publication and by posting the property. The Chair declared the Public Hearing to be open. Councilman Caputa announced that the City Council does not need to take any action on this Public Hearing because it is a moot point. This application for a *Special Use Permit* is

irrelevant and has now become a *Permitted Use*. Councilman Caputa moved to close P.H. #19-08-019, seconded by Pagano. Motion carried.

The City Clerk reported that Public Hearing #19-08-021 to be held this night on a request to authorize a Special Use Permit to MoCanCure II, LLC to allow for a Medical Marijuana Dispensary for the property located at 8454 N. Lindbergh, had been advertised in substantially the same form as appears in the foregoing publication and by posting the property. The Chair declared the Public Hearing open. Councilman Caputa announced that the City Council does not need to take any action on this Public Hearing because it is a moot point. This application for a *Special Use Permit* is irrelevant and has now become a *Permitted Use*. Councilman Caputa moved to close P.H. #19-08-021, seconded by Pagano. Motion carried.

The City Clerk reported that Public Hearing #19-08-022 to be held this night on a request to authorize a Special Use Permit to Robust Holdings Missouri, LLC to allow for a Medical Marijuana Dispensary for the property located at 444 Howdershell Rd., had been advertised in substantially the same form as appears in the foregoing publication and by posting the property. The Chair declared the Public Hearing to be open. Councilman Caputa announced that the City Council does not need to take any action on this Public Hearing because it is a moot point. This application for a *Special Use Permit* is irrelevant and has now become a *Permitted Use*. Councilman Caputa moved to close P.H. #19-08-022, seconded by Pagano. Motion carried.

The Chair stated that the next item on the agenda was Second Readings.

Councilman Henke moved that Bill No. 9515 <u>An Ordinance to authorize an amendment to Special Use Permit No. 8394, as amended, to Smoke & Sip, LLC to allow for enclosure of a patio and pergola for a cigar bar for the property located at 411 rue St. Francois</u> be read for a second time, seconded by Caputa. Motion carried and Bill No. 9515 was read for a second time. Councilman Henke moved that Bill No. 9515 be read for a third time, seconded by Schildroth. Motion carried and Bill No. 9515 was read for a third and final time and placed upon its passage.

Before the final vote all interested persons were given an opportunity to be heard.

Anthony Bolson, petitioner, asked for clarification of hours of operation. Mr. Hessel stated the stipulations in the Bill include that no one is allowed on the patio after 10:00 pm Monday through Thursday and after 11:00 pm on Friday and Saturday nights. No music will be piped in or played on the patio. Mr. Bolson objected to the hours of operation stipulation and asked if all businesses on St. Francois with patios must abide by those same hours. Councilman Henke stated no. Those patio hours

were only for Smoke n' Sip. Mr. Hessel explained that Special Use Permits were not "one size fits all." Different conditions are imposed on different Special Use Permits. The City Council has the discretion to make that determination.

Mayor Lowery stated that Hendel's has a 10:00 p.m. limit for music on their patio. Mr. Hessel stated that he was not surprised and that probably all patios in the city, depending on their location, have varied time limits.

Councilman Caputa suggested that the Council look at the stipulation that prohibits music at *any* time on the patio. Councilman Harris suggested that Subsection (7) be eliminated from the Bill since music on the patio passed 10 pm has already been prohibited. Councilman Parson agreed that all music on the patio should not be banned. Councilwoman Pagano stated that she saw both sides of the argument.

Chief Fagan stated that they have had noise issues at various businesses in the Historic District. This is a peace disturbance issue which can happen at *any* time. The officers need guidance on this open ended, ongoing problem between the residents and the businesses. Mr. Hessel stated that there is also a Noise Ordinance in regard to this issue.

Councilman Caputa moved to amend to remove subsection (7), "No music shall be piped in or played on the patio," seconded by Jones. Motion carried.

Councilman Parson moved to amend to remove subsection (6), seconded by Harris. On roll call Council voted: Schildroth yes, Henke no, Pagano no, Parson yes, Siam no, Harris yes, Jones yes, Eagan no and Caputa no. Motion failed.

Chief Fagan stated that the majority of complaints for this location involve people talking and laughing, not music.

Mr. Wilson, Bunkers, stated that he was confused with the hours allowed for music on St. Francois.

Being no other citizens who wished to speak, on roll call the Council voted: Schildroth yes, Henke no, Pagano yes, Parson no, Siam no, Harris yes, Jones yes, Eagan yes and Caputa yes. Whereupon the Chair declared amended Bill No. 9515 to have passed and became Ordinance No. 8537.

Councilman Schildroth moved to reappoint Paul Smith, 1110 St. Bernadette, to the Citizens Participation Committee as a member from Ward 5 for a term expiring on 8/14/2022, seconded by Eagan. Motion carried.

Councilman Schildroth moved to accept the Mayor's appointment of John Jaworski, 13651 New Halls Ferry, to the Veterans Commission as a member from Ward 9 for a term expiring on 8/12/2022, seconded by Pagano. Motion carried.

Councilman Siam moved to approve the Request for a Full Liquor by the Drink License for Chili's Grill & Bar located at 13901 New Halls Ferry Road, seconded by Pagano. On roll call the Council voted: Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Harris yes, Jones yes, Eagan yes and Caputa yes. Motion carried and the liquor license was approved.

Councilman Caputa introduced Resolution No. 1011 of the City of Florissant supporting a grant application for enhances to Koch Park splash pad area and said Resolution was read for the first time. Councilwoman Pagano moved that Resolution No. 1011 be read for a second time, seconded by Caputa. Motion carried and Resolution No. 1011 was read for a second time.

Councilman Harris asked about coordinating the proper timing of the resolution with the Park Board hearing.

Councilwoman Pagano moved that Resolution No. 1011 be read for a third time, seconded by Schildroth. On roll call the Council voted: Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Harris yes, Jones yes, Eagan yes and Caputa yes. Having received the unanimous vote of all members present Resolution No. 1011 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Henke absent, Pagano yes, Parson yes, Siam yes, Harris yes, Jones yes, Eagan yes and Caputa yes. Whereupon the Chair declared Resolution No. 1011 to have been adopted.

Councilman Caputa introduced Bill No. 9517 Ordinance authorizing a transfer of $40,000 from Capital Improvement Fund Acct. No. 03-5-03-6148 "Capital Additions" to Acct. No. 03-5-03-30010 "Equipment Repairs-Vehicles" to cover anticipated vehicle repair costs for the Public Works Department and said Bill was read for the first time by title only.

Councilwoman Pagano introduced Bill No. 9518 Ordinance to authorize a Special Use Permit to 102 Venyou, LLC d/b/a 102 Venyou to allow for a catered banquet center located at 1815-1817 Dunn Road and said Bill was read for the first time by title only.

Councilman Henke introduced Bill No. 9519 Ordinance to authorize a Special Use Permit to Legends Academy, LLC d/b/a Legends Academy to allow for a child daycare center located at 1645 North New Florissant Road and said Bill was read for the first time by title only.

Councilman Siam introduced Bill No. 9520 Ordinance to authorize an amendment to Special Use Permit No. 8398 to allow for expansion of an existing restaurant/bar located at 125 & 129 Flower Valley Shopping Center and said Bill was read for the first time by title only.

Councilman Eagan introduced Bill No. 9521 Ordinance to amend B-5 Ordinance No. 7073 to allow for a carry-out restaurant for the property located at 8239 N. Lindbergh and said Bill was read for the first time by title only.

Councilman Caputa moved to remove Bill Numbers 9523, 9524, and 9525 from the agenda, seconded by Pagano. Motion carried.

Councilman Caputa introduced Bill No. 9526 Ordinance authorizing a Fiscal Year 2019 Supplemental Budget amendment to roll over grant revenue associated with the Fiscal Year 2019 re-appropriations of the Fiscal Year 2018 purchase order rollover and said Bill was read for the first time. Councilman Schildroth moved that Bill No. 9526 be read for a second time, seconded by Caputa. Motion carried and Bill No. 9526 was read for a second time. Councilman Schildroth moved that Bill No. 9526 be read for a third time, seconded by Eagan. On roll call the Council voted: Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Harris yes, Jones yes, Eagan yes and Caputa yes. Having received the unanimous vote of all members present Bill No. 9526 was read for a third and final time and placed upon its passage.

Before the final vote all interested persons were given an opportunity to be heard. Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Harris yes, Jones yes, Eagan yes and Caputa yes. Whereupon the Chair declared Bill No. 9526 to have passed and became Ordinance No. 8538.

Councilman Caputa introduced Bill No. 9527 Ordinance authorizing General Fund transfers of Salaries and Benefits for various departments and said Bill was read for the first time. Councilman Schildroth moved that Bill No. 9527 be read for a second time, seconded by Caputa. Motion carried and Bill No. 9527 was read for a second time. Councilman Caputa moved that Bill No. 9527 be read for a third time, seconded by Schildroth. On roll call the Council voted: Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Harris yes, Jones yes, Eagan yes and Caputa yes. Having received the unanimous vote of all members present Bill No. 9527 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes, Harris yes, Jones yes, Eagan yes and Caputa yes. Whereupon the Chair declared Bill No. 9527 to have passed and became Ordinance No. 8539.

The next item on the Agenda was Council Announcements.

Councilman Henke asked residents to keep an eye on their elderly neighbors during these high temperatures.

Councilman Harris announced that the new Parks Brochure has been published and distributed. It has a new format and looks great. He noted several new activities for residents and young people that looked especially fun / noteworthy.

Councilman Harris made an announcement and read from a prepared statement to be made part of the record:

While it's true the people of each ward in the City of Florissant rightfully elect a representative of their choosing for the council every three years, the city council members ourselves are responsible to elect our own leadership, including President and Vice President.

Last week, I requested adding the election of officers to this evening's council agenda. It was relayed to me by the city, such an agenda item, not being a bill or resolution, could only be added ahead of meeting by the President of the Council per the City Charter.

Nevertheless, in regards to a recent viral video including one of our members involved in a conflict with another individual, I need and want to make my own position clear. I neither explicitly or implicitly condone or support the conduct of the Vice President of our City Council . What I found most problematic during the incident, was what appeared to be an attempt to use one's office or title to gain an upper hand in an exclusively personal conflict.

Andrew Harris
Florissant City Council
Ward 1

Councilman Siam announced that Ward 9 Neighborhood Watch has organized a Clean-Up Event on August 17th at 9 am. He encouraged everyone to participate.

Councilman Parson Ward 8 will be holding a Neighborhood Watch Meeting on August 13 at 7 pm at the JJE Center in the Arts and Crafts room. All are invited to attend. He encouraged everyone to pay attend when driving, especially around buses, since school has started.

Also, Mr. Parson addressed Mr. Hammond's comments regarding the viral video involving the Councilman of Ward 2. Councilman Parson stated that he understood that everyone makes mistakes,

but that Councilman Jones's behavior, as an elected official, reflected poorly on the City of Florissant. He felt that the young man was owed an apology and that actions have consequences.

Councilwoman Pagano also addressed the comments made by Mr. Hammond. She stated that she watched the video but did not see the beginning of the video nor the end of the video. She stated that she has worked with Councilman Jones for many years and he is by far the hardest working member of the Council. She questioned the believability of a social media post.

Councilman Schildroth congratulated Tim Lemp, long time Florissant Parks employee, for being named CYC Man of the Year. Historic Florissant is hosting a fund raising event for the Gettiemier House on Dunn Road. In regards to the recent video discussed, he stated that everyone loses their temper and he is sure Councilman Jones admits he made a mistake. Mr. Jones cares very much about the city and his residents.

Councilman Eagan stated that there are many sides to a story and we are all human. He will not make a judgement based on a tiny piece of video. Councilman Jones is very responsive to his residents and the city.

Councilman Caputa reminded everyone to be a responsible firearm owner, not to leave guns in vehicles and keep them secured. Residents should leave their porch lights on for added security and safety. There are several roadwork projects starting in Ward 4 and he encouraged residents to pay attention to the street department flyers and be patient. Mr. Caputa stated that he has been friends with Councilman Jones for many years and feels like he does a wonderful job for his residents. He stated that the entire situation was blown out of proportion. Councilman Caputa gave a shout out to T.E.A.M. Food Pantry on St. Catherine and encouraged everyone to support them through either volunteering or donating.

Councilman Jones apologized to the young man that he used foul language to. He also apologized to the Mayor, Councilmembers, and residents of the city. He has learned from this incident and hopes to put this issue behind him and move on.

Mayor Lowery stated that he had talked to Councilman Jones who was very frustrated about the incident. The Mayor stated that Mr. Jones is very remorseful about the entire situation. He added that Councilman Jones is an excellent Councilman and does a lot for his ward. The Mayor noted that he has no control or authority over elected officials of the city and the Ward 2 voters will make the decision at the next election.

Mayor Lowery announced that Florissant has a new Economic Development Director, Travis Wilson, and he is very excited about his ideas for the city. He received a call from Meridian Waste who assured him that all the checks will have been delivered to the residents by this Friday. There will be a memorial ceremony of the 9/11 terrorist attack at the VFW Post at 7 pm. This Friday is Food Truck Night at the Knights Grounds in Old Town. Bands continue to play at St. Ferdinand Park on Saturday nights.

The Council President announced that the next regular City Council Meeting was scheduled for Monday, August 26, 2019 at 7:30 pm.

Councilman Schildroth moved to adjourn the meeting, seconded by Caputa. Motion carried. The meeting was adjourned at 7:48 p.m.

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Karen Goodwin, City Clerk

The following Bills were signed by the Mayor:

Bill No. 9515	Ord. 8537
Sub Bill No. 9522	Ord. 8536
Bill No. 9526	Ord. 8538
Bill No. 9527	Ord. 8539