



FLORISSANT CITY COUNCIL AGENDA

City Hall

955 rue St. Francois

Monday, March 25, 2019

7:30 PM

Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- Meeting minutes and Executive Meeting Minutes of March 11, 2019

IV. PLAQUE PRESENTATION

- Pepose Vision Institute and the 911 Vision Foundation

V. POLICE COMMENDATIONS

- Police Officer Jodi Chapie
- Lt. Rick Pfaff and Police Officer Lessie Summers
- Police Officer Joseph Brockmeier, Police Officer Dominic Margherio and Police Officer Mobin Malik

VI. SPECIAL PRESENTATION

- Metropolitan Sewer District

VII. HEARING FROM CITIZENS

(Speaker cards are available at the entrance to the Council Chambers)

VIII. COMMUNICATIONS

None

IX. PUBLIC HEARINGS

19-02-002 (Ward 9) Application Staff Report Plans	Request to authorize a Special Use Permit for an adult Day Care center for the property located at 119 Flower Valley Shopping Center. (Planning and Zoning Commission recommended approval on 2/4/19)(Postponed to this day on 2/25/29 and 3/11/19)	Derek Kemp Sr.
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X. OLD BUSINESS

A. BILLS FOR SECOND READING

9475	Ordinance authorizing an amendment to B-5 Ordinance No. 5239 to allow for an adult day care as a Special Use for the property located at 58 Grandview Plaza Shopping Center.	2 nd Readings Pagano
9477	Ordinance to authorize an amendment to the provisions of B-5 Ordinance No. 7965 to allow for an outdoor online grocery pickup area and associated parking revisions for Walmart for the property located at 3390 N. Highway 67.	2 nd Readings Siam
9479 Memo	Ordinance appropriating \$80,000 from the Park Improvement Fund to account no. 5-09-61560 “Capital Additions-Koch” for the demolition of the Koch Aquatic Center.	2 nd Readings Caputa

XI. NEW BUSINESS

A. BOARD APPOINTMENTS

XII. RESOLUTIONS

1009	Resolution of the Florissant City Council honoring Judge Daniel Patrick Boyle for his 8 years of service to the City of Florissant and North County.	Council as a Whole
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A. REQUESTS

Ward 4 Application	Request for a Package Liquor license for Dollar General Store #18943 located at 15275 New Halls Ferry Road.(Postponed to this day on 3/11/19)	Lorene Epple
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Ward 2 Application	Request to keep chickens for Richard King for the property located at 2375 Buttonwood Ct. (Health Dept. recommended approval on 3/19/19)	Richard King
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B. BILLS FOR FIRST READING

9474	Ordinance authorizing a Special Use Permit for an adult Day Care center for the property located at 119 Flower Valley Shopping Center.	Siam
9480 Memo	Ordinance authorizing an amendment to code section 126.065 “Wage Increase and Schedule” Section (A) “Job Classification and Grade Level” by adding a new position of “Property Maintenance and Housing Inspector”.	Caputa

XIII. COUNCIL ANNOUNCEMENTS

XIV. MESSAGE FROM THE MAYOR

XV. ADJOURNMENT

THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL MARCH 22, 2019 AT 12:00 PM ON THE BULLETIN BOARD OUTSIDE THE COUNCIL CHAMBERS. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK’S OFFICE AT 839-7630 OR TDD 839-5142 BY NOON ON MONDAY, MARCH 25, 2019.

CITY OF FLORISSANT



COUNCIL MINUTES

March 11, 2019

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, March 11, 2019 at 7:30 p.m. with Council President Caputa presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Siam, Harris, Jones, Eagan, Caputa, Schildroth, Henke, Pagano and Parson. Also present was City Attorney John Hessel and Deputy City Clerk Anita Moore. The Mayor was attending the National League of Cities Conference in Washington DC. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Schildroth moved to approve the Meeting Minutes of February 25, 2019, seconded by Jones. Motion carried.

The next item on the Agenda was Hearing from Citizens of which there were none.

The next item on the Agenda was Communications of which there were none.

The next item on the Agenda was Public Hearings.

The City Clerk reported that Public Hearing #19-02-002 to be held this night on a request to authorize a Special Use Permit for an adult day care center for the property located at 119 Flower Valley Shopping Center had been postponed to this date on 2/25/2019. The Chair declared the Public Hearing to be open and invited those who wished to be heard to come forward. Councilman Siam stated that he had not heard from the petitioners and they were not in attendance.

The Chair asked if there were any other citizens would like to speak on said public hearing. Being no citizens who wished to speak, Councilman Siam moved to postponed P.H. #19-02-002 until 3/25/2019, seconded by Caputa. Motion carried.

Councilman Caputa moved to amend the agenda to remove Bill No. 9474 an Ordinance authorizing a Special Use Permit for an adult day care center for the property located at 119 Flower Valley Shopping Center from the agenda, seconded by Pagano. Motion carried.

33 The City Clerk reported that Public Hearing #19-02-003 to be held this night on a request to
34 issue an Amendment to B-5 Ordinance No. 5239 to allow for an adult day care for the property located
35 at 58 Grandview Plaza Shopping Center had been postponed to this date on 2/25/19. The Chair
36 declared the Public Hearing to be open and invited those who wished to be heard to come forward.

37 Nichole Williams, Ashley Hall and Patrice Hall, petitioners, appeared before the Council.

38 Council President Caputa stated that several of the Councilmembers had visited the facility and
39 they now have several questions.

40 Councilman Jones thanked the petitioners for the visit, but stated that he was not in favor of
41 adult day cares being located in shopping centers and would not be supporting their request.

42 In response to Councilman Parson's question, the petitioner stated that she has the required state
43 packet and is completing it, but has not yet turned it in. She is waiting for approval from Florissant
44 and St. Louis County before she can submit the application. In regards to drop-offs, Ms. Williams
45 stated that there was handicapped parking in front and ample parking at the rear of the building.
46 Councilman Eagan stated that he has concerns regarding drop off and pick up of clients and the location
47 of the fire lane. He feels that adult day care centers should be stand-alone buildings and he will not be
48 supporting the request.

49 Councilwoman Pagano expressed her reservations about how the traffic in the shopping center
50 would affect the safety of the daycare's clients. She too feels that adult day cares should be located in
51 stand-alone buildings. She will not be supporting this request.

52 In response to Councilman Caputa's question, the petitioner stated they could serve up to 23
53 clients. He was concerned that if too many clients were in wheelchairs, there would not be sufficient
54 room and would be too difficult to get them out of the building if there was an emergency. Ms.
55 Williams stated that it would be rare, if ever, to have so many clients in wheelchairs.

56 Councilmen Harris stated that his research showed that this type of adult daycare is becoming
57 more common. Ms. Williams stated they would not be providing therapeutic services, only
58 recreational, and the site will be totally ADA compliant. Fees for service are based on a case by case
59 basis. Patrice Hall will be the Program Director.

60 Councilman Schildroth thanked the petitioners for allowing the Councilmembers to visit their
61 facility. He too is concerned with parking and traffic in a shopping center.

62 Councilman Parson stated that the state only allows these types of facilities to be open 10 hours
63 a day, 5 days a week. If the petitioners plan on staying open 6 am until 6 pm that is 12 hours a day.
64 Ms. Williams stated that the extra time takes into consideration transportation time.

65 The Chair asked if there were any other citizens would like to speak on said public hearing.
66 Being no citizens who wished to speak, Councilman Pagano moved to close P.H. #19-02-003, seconded
67 by Schildroth. Motion carried.

68 The City Clerk reported that Public Hearing #19-03-004 to be held this night on a request to
69 authorize an amendment to the provisions of B-5 Ordinance No. 7965 to allow for an outdoor online
70 grocery pickup area and associated parking revisions for Walmart for the property located at 3390 N.
71 Hwy 67 had been advertised in substantially the same form as appears in the foregoing publication and
72 by posting the property. The Chair declared the Public Hearing to be open and invited those who
73 wished to be heard to come forward.

74 Sunday Bougher, petitioner, stated that the Florissant Walmart was getting ready to launch its
75 grocery pickup service. The service is offered seven days a week, 8 am until 8 pm. There will be
76 designated parking stalls for pick-up, similar to those that restaurants provide. Although they will be
77 widening the parking spaces and eliminating 3 stalls, they still comply with the city's parking ordinance
78 requirements. The pickup lane is located on the north side of the building and there will be directional
79 signs placed to indicate where customers should go. Signage will be placed upon the building. Wall
80 pack lighting will be installed to ensure safety of employees and customers. Alcohol will be available
81 through the pickup, but ID's will be checked.

82 The Chair asked if there were any other citizens would like to speak on said public hearing.
83 Being no citizens who wished to speak, Councilman Henke moved to close P.H. #19-03-004, seconded
84 by Siam. Motion carried.

85 Councilman Schildroth moved to reappointment Christine Keil, 110 St. Pierre, to the Citizens
86 Participation Committee as a member from Ward 5 for a term expiring on 3/22/2022, seconded by
87 Pagano. Motion carried.

88 Councilman Siam moved to approve the Transfer of Special Use Permit No. 8299 from
89 Florissant Kids Care Center, LLC to Kingdom Kids Learning Center, LLC located at 2184 N.
90 Waterford Dr., seconded by Henke. Motion carried.

Councilman Caputa moved to approve the Request for a Full Package Liquor License for Dollar General Store #18943 located at 15275 New Halls Ferry Road, seconded by Schildroth. Councilman Caputa moved to postpone the request to 3/25/2019, seconded by Pagano. Motion carried.

The next item on the agenda was bills for first reading.

Councilman Caputa introduced Bill No. 9475 an Ordinance authorizing an amendment to B-5 Ordinance No. 5239 to allow for an adult day care as a Special Use for the property located at 58 Grandview Plaza Shopping Center and said Bill was read for the first time by title only.

Councilman Caputa introduced Bill No. 9477 an Ordinance authorizing an amendment to the provisions of B-5 Ord. No. 7965 to allow for an outdoor online grocery pickup area and associated parking revisions for Walmart for the property located at 3390 N. Hwy 67 and said Bill was read for the first time by title only.

Councilman Caputa introduced Bill No. 9478 an Ordinance authorizing the transfer of Special Use Permit No. 8299 from Florissant Kids Care Center, LLC to Kingdom Kids Learning Center, LLC located at 2184 N. Waterford Drive and said Bill was read for the first time. Councilman Siam moved that Bill No. 9478 be read for a second time, seconded by Caputa. Motion carried and Bill No. 9478 was read for a second time. Councilman Siam moved that Bill No. 9478 be read for a third time, seconded by Pagano. On roll call the Council voted: Siam yes, Harris yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes and Parson yes. Having received the unanimous vote of all members present Bill No. 9478 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

Being no other persons who wished to speak, on roll call the Council voted: Siam yes, Harris yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes and Parson yes. Whereupon the Chair declared Bill No. 9478 to have passed and became Ordinance No. 8498.

Councilman Caputa introduced Bill No. 9479 an Ordinance appropriating \$80,000 from the Park Improvement Fund to Acct. No. 5-09-61560 "Capital Additions – Koch" for the demolition of the Koch Aquatic Center and said Bill was read for the first time. Councilman Caputa moved that Bill No. 9479 be read for a second time for the purpose of discussion, seconded by Schildroth. Motion carried. Councilman Schildroth commended Councilman Jones for the efforts he had put into this project. Councilman Jones expressed his frustration that his efforts on this project have been ignored.

Councilman Eagan questioned whether Councilman Jones plan could be revisited. That being said, he will not be voting for three readings. Councilwoman Pagano also thanked Councilman Jones

for his work on this demolition project and for keeping it moving forward. Councilman Caputa agreed with his fellow Councilmen and thanked Councilman Jones for his efforts.

The next item on the Agenda was Council Announcements.

Councilman Parson encouraged everyone to be involved with the *Florissant Five Program* by meeting with and checking on their neighbors. He asked residents not to leave their vehicles unattended as they warm them up because many are getting stolen. He also suggested that residents support five Florissant businesses.

Councilman Harris announced that on March 23, a spring litter “pick-up” day was scheduled for 10 a.m. until noon with everyone meeting at Schnucks.

Councilman Eagan stated that Ward 3 will also host a spring litter “pick-up” day in April. Councilman Eagan stated that the St. Ferdinand Basketball Tournament and BBQ Fundraiser has been very successful.

Councilman Jones stated that T.E.A.M Food Pantry always needs help and donations. He encouraged residents to watch their speed on Lindsay Lane since the speed limit has been lowered.

Councilman Henke will also be having a spring litter “pick-up” day in Ward 6 in the very near future, before the Valley of Flowers Festival.

Councilman Caputa reminded firearm owners to keep firearms secured in their homes and not to leave them in their vehicles. He also encouraged residents to keep their vehicles locked at all times and to consider joining their local Neighborhood Watch Program.

The Florissant Valley American Legion Post 444 and the City of Florissant will be co-hosting a Veteran’s Job Fair on April 19 at JFK from 9-2. The event is free.

The city, along with Midwest Recycling Center, will be hosting an electronics recycling event at St. Ferdinand Park from 9-1 on April 6th.

The Council President announced that the next regular City Council Meeting was scheduled for Monday, March 25, 2019 at 7:30 pm.

Councilman Henke moved to adjourn the meeting, seconded by Parson. Motion carried. The meeting was adjourned at 8:26 p.m.

Anita Moore, Deputy City Clerk

The following Bills were signed by the Mayor:

Bill No. 9478 Ord. 8498



CITY OF FLORISSANT
CITY COUNCIL
OPEN EXECUTIVE SESSION

March 11, 2019

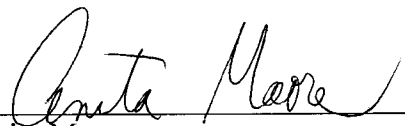
The City Council of the City of Florissant met in open Executive Session on Monday, March 11, 2019 at 7:00 pm. in the Council Conference Room at 955 rue St. Francois, with President Caputa presiding. On Roll Call the following Council members were present: Parson, Henke, Schildroth, Eagan, Pagano, Caputa, Siam and Harris. Councilman Jones arrived at 6:15. Also present was Deputy City Clerk Anita Moore and City Attorney John Hessel.

Councilman Caputa moved to call for a closed meeting to discuss litigation and confer with the City Attorney pursuant to Section 610.021(1) of the Revised Statutes of Missouri, seconded by Eagan. On Roll Call the Council voted: Parson yes, Henke yes, Schildroth yes, Eagan yes, Pagano yes, Caputa yes, Jones absent, Siam yes and Harris yes. Motion carried.

The Council discussed privileged matters with the City Attorney.

Councilman Caputa moved to open the closed executive session, seconded by Eagan. On roll call the Council voted: Parson yes, Henke yes, Schildroth yes, Eagan yes, Pagano yes, Caputa yes, Jones yes, Siam yes and Harris yes. Motion carried.

There being no further business to discuss, Councilman Eagan motioned to adjourn, seconded by Pagano. Motion carried and the meeting adjourned at 7:28 pm.



Anita Moore
Deputy City Clerk

PLAQUE PRESENTATION

PEPOSE VISION INSTITUTE AND THE 911 VISION FOUNDATION

The 911 Vision Foundations and Pepose Vision staff has offered free Lasik eye surgery to qualified Florissant Police Officers, which has resulted in significant improvements in the officers' vision. As of this date, nine Florissant Officers have been given the Lasik surgery, and more officers are scheduled for April. The benefits of the Lasik surgery allows the officers to do their jobs better and safer because of the clearer vision.

Dr. Jay Pepose first came up with the idea of the 911 Vision Foundation after the September 11th attacks when he noted how many first responders wore corrective lenses as they served in their official capacities. Dr. Pepose performed extensive research and had a series of conversations with First Responders, which made him realize how much the corrective lenses impeded the on-the-job safety and performance of First Responders. Dr. Pepose then created the Foundation, first starting within his own practice at the Pepose Vision Institute. All of our officers have been or will be treated by Doctor's Pepose and Morris at Pepose Vision Institute.

It is because of the individuals mentioned above, as well as the Pepose Vision Institute and 911 Vision Foundation, that numerous Florissant Police Officers now have excellent vision without corrective eyeglasses or contacts. This excellent vision will translate to improved officer's safety and performance of their duties for years to come.

So please accept this plaque with our sincere thanks.

COMMENDATIONS

OFFICER JODI CHAPIE

Officer Chapie was assigned as a Domestic Violence Coordinator in early 2018. Officer Chapie has been responsible for conducting follow up investigations on all Domestic Violence cases reported to the Florissant Police Department. Those investigations include follow up interviews, obtaining medical records, assisting with Orders of Protection, warrant application and providing information about outreach programs for the abused. Officer Chapie has investigated over 100 Domestic Violence cases, referring 26 cases to Municipal Court, and 20 cases to state court with numerous warrants being issued for Domestic Violence related charges. Officer Chapie has performed all this, while maintaining patrol duties and remains among the leaders in enforcement activity. Due to Officer Chapie's initiative, dedication and commitment to law enforcement she is hereby officially commended.

LT. RICK PFAFF & OFFICER LESSIE SUMMERS

On February 7, 2019 there was a radio broadcast regarding an armed robbery (carjacking) where a vehicle was forcibly taken from a female victim with her two year old child still in the vehicle. As Officer

Summers was returning from her assigned DARE classes she began searching for the vehicle and located the vehicle in the 1200 block of St. Florence. The temperatures were falling fast and it was significant that she found the child in the abandoned vehicle so quickly. When she removed the child from the vehicle she was able to calm and comfort the child. Medical personnel were summoned and it was determined that the child was unharmed. During the time immediately after the carjacking Lt. Pfaff was canvassing the area when he noticed a subject who matched the description of one of the suspects searching the area for his lost cell phone that he had dropped during the carjacking. Lt. Pfaff maintained a visual on the suspect and was able to apprehend the individual without incident. The suspects were later arrested and charged with First Degree Robbery. Because of these officers excellent police work, compassionate caring and their personal initiative they are hereby officially commended.

OFFICER JOSEPH BROCKMEIER, OFFICER DOMINIC MARGHERIO, OFFICER MOBIN MALIK

On September 27, 2018 a burglary report was taken at the Grandview Convenience Store in the 1700 block of Dunn Road. Later that same day Officers Margherio and Brockmeier located the suspect from the burglary riding a bicycle on Dunn Road. The officers engaged in a foot pursuit but lost the suspect in a wooded area. On February 27, 2019 (five months after the burglary) Officer Margherio again recognized the suspect walking West on Dunn Road. Upon the arrival of Officer Malik the suspect was taken into custody after a brief struggle. The suspect was transported to police headquarters where he was interviewed by Officers Margherio and Brockmeier. The officers were able to secure a full confession from the suspect and warrants were later issued by the St. Louis County Prosecuting Attorney's Office. Because of your diligence, professionalism and team work you were able to arrest a felon many months after a crime and have now made the streets of Florissant safer. They are officially commended.

CITY OF FLORISSANT

Public Hearing



In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, February 25, 2019 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit for an adult day care center for the property located at 119 Flower Valley Shopping Center (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142. CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 119 Flower Valley Shopping Center

Property Owners Name: Flower Valley Group LLC Phone/email: 314-343-9555 billgyu@fociproperties.com

Property Owners Address: 919 Belleview Manor Dr. St. Louis, Mo. 63141

Business Owners Name: Keneishia Elijah Phone/email: _____

Business Owners Address: 16720 Stone Creek Ct. Florissant, Mo. 63034

DBA (Doing Business As) Adult Day Care

Authorized Agents Name: Derek S. Kemp SR. Co. Name: KEMP Contracting LLC
(Authorized Agent to Appear Before The Commission)

Agents Address: 3312 Civil Green Dr. St. Charles Phone/email: 314-283-7845
d.kemp@kempcontracting@gmail.com

Request _____

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Applicant's Signature [Signature]

Date 12/27/18

Received by: [Signature] Receipt # 613398 Amount Paid: \$ 300.00 Date: 1-17-19

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: _____

COMMISSION ACTION TAKEN:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

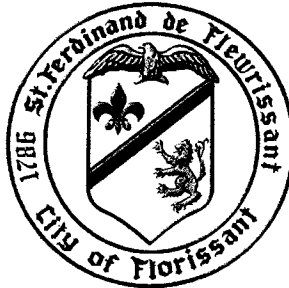
SIGNATURE OF STAFF WHO REVIEWED APPLICATION

Planning & Zoning Application

Page 1 of 1 – Revised 7/15/15

Signature [Signature] DATE: 2-4-19

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward _____ Zoning _____

**RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN. _____

DATE: 2-4-19

SPECIAL PERMIT FOR _____

Adult Day Care Program

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____

TO ALLOW FOR _____

ordinance # _____

Statement of what the amendment is for.

LOCATION _____

119 Flower Valley Shopping Center Florissant, Mo. 63033

Address of property.

1) Comes Now _____

Living Essentials Adult Day Center

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) _____

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for _____

"B" Business

and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Derek Kemp Sr [Signature] 314-283-7845
PRINT NAME SIGNATURE email and phone
d.kempkempcontracting@gmail.com

FOR Kemp Contracting LLC
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
1. I (we) have a legal interest in the herein above described property.
 2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE [Signature]

ADDRESS 3312 Civic Green Dr St. Charles, Mo 63301
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314-283-7845 d.kempkempcontracting@gmail.com
BUSINESS

I (we) the petitioner (s) do hereby appoint Kemp Contracting LLC as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

[Signature]
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual X Partnership _____ Corporation _____

(a) If an individual:

- (1) Name and Address Keneishia Elijah 16720 Stone Creek Ct. Florissant 63034
- (2) Telephone Number 314-369-0475
- (3) Business Address 119 Flower Valley Shopping Center
- (4) Date started in business MARCH 1ST 2019
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

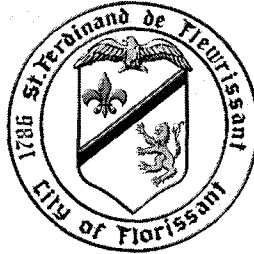
Name Keneishia Elijah
Address 16720 Stone Creek Ct. Florissant, Mo. 63034
Property Owner Flower Valley Group LLC
Location of property 119 Flower Valley Shopping Center
Dimensions of property 32' W x 58' L
Property is presently zoned "B" Requests Rezoning To Adult Day Care Use "E" group
Proposed Use of Property Adult Day Care (educational)
Type of Sign LED (Black Lettering) Height 3'6" - 4'
Type of Construction _____ Number Of Stories 1
Square Footage of Building 1875 sq ft. Number of Curb Cuts 6
Number of Parking Spaces 20 Sidewalk Length 32'
Landscaping: No. of Trees N/A Diameter N/A
No. of Shrubs 11 Size 18"
Fence: Type N/A Length N/A Height N/A

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

1

MEMORANDUM



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CITY OF FLORISSANT- Building Department

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

7 To: Planning and Zoning Commissioners

Date: January 30, 2019

8

9 From: Philip E. Lum, AIA-Building Commissioner c:

Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

10

11

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13

14

15 Subject: Request Recommended Approval for a Special Use at **119 Flower Valley** to

16 allow for an Adult Day Care in an existing 'B-3' Zoning District.

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21

STAFF REPORT

CASE NUMBER PZ-020419-1

22

23

I. PROJECT DESCRIPTION:

24 This is a Request for Recommended Approval for a Special Use at **119 Flower Valley** to

25 allow for an Adult Day Care in an existing 'B-3' Zoning District.

26

27 **II. SITE CONDITIONS:**

28 The existing property at 3-155 Flower Valley is a Shopping Center of 10.38 acres and

29 16,470 s.f. built in 1971 according to County records. The proposed tenant space has

30 1875 gross s.f. per the plan A0.0. The site contains 454 parking spaces for both Shop &

31 Save and the Shopping Center, accounting for cart corral spaces used by the grocer.

32

33 The existing property is currently occupied by several tenants. The site meets the

34 definition of a Shopping Center having two or more establishments under separate

35 management.

36

37 Per the parking ordinance for this use a retail center containing less than 100,000 s.f.

38 requires 4 spaces/1000 s.f. Required parking is estimated at 66 for the shopping center

39 buildings in addition to the parking required for Shop & Save, now vacant space of

60,903 s.f. at 4.5 spaces if another Food Market enters would be another 272. Total required prior to the closing of the Food Market was 272+66= 338 Total Required.

III. SURROUNDING PROPERTIES:

The property to the West side is 1 Flower Valley in a 'B-3' Zoning District and an Outlot near the highway is the McDonald's restaurant at 3165 N Highway 67, in the 'B-3' Extensive Business District. The property is adjacent to a small section to the north of 14300 New Halls Ferry, a bank in the 'B-3' Extensive Business District and surrounds the Shop & Save building at 175 Flower Valley Shopping Center in a 'B-5' Planned Commercial District. The property to the North is an Apartment complex in the County.

IV. STAFF ANALYSIS:

Special Uses for this zoning district includes Adult Day Care.

The application is accompanied by a site plan showing location A0.0 by Zwick+Gant Architecture, Inc. and a floor plan A2.0 showing gathering, activity, 2 office spaces, kitchenette, vestibule and one toilet.

No exterior changes to the site are anticipated. No outside equipment is anticipated. Now new signage is proposed, therefore signs must meet 40 s.f. max. size requirement.

Occupant Load: The architectural plan A0.0 shows 20 people in the Educational areas but State regulations may limit this space to 10 persons. There is no mention of staff occupants. The building code would require the maximum number of occupants pertaining to the area of the space. Therefore, the total number of occupants per the building code exceeds 15 and a second restroom (one for each sex) and drinking fountain are required.

Petitioner needs to determine where a client will rest and where recliners will be located per State regulations.

VI. STAFF RECOMMENDATIONS:

If the Commission recommends approval, staff recommends the attached suggested motion.

Suggested Motion for a Special Use at 119 Flower Valley

I move to recommend approval of a Special Use to allow for an Adult Day Care at 119 Flower Valley in an existing 'B-3' Zoning District, with the following stipulations:

1. That accessible men's, women's room and drinking fountain be installed.

PROJECT COMPLETION.

1st Old
2nd men's

84 Construction shall start within 60 days of the issuance of building permits, and
85 the structure shall be completed in accordance with the plans within 180 days
86 of start of construction.

87 (end of Suggested Motion and Memo)

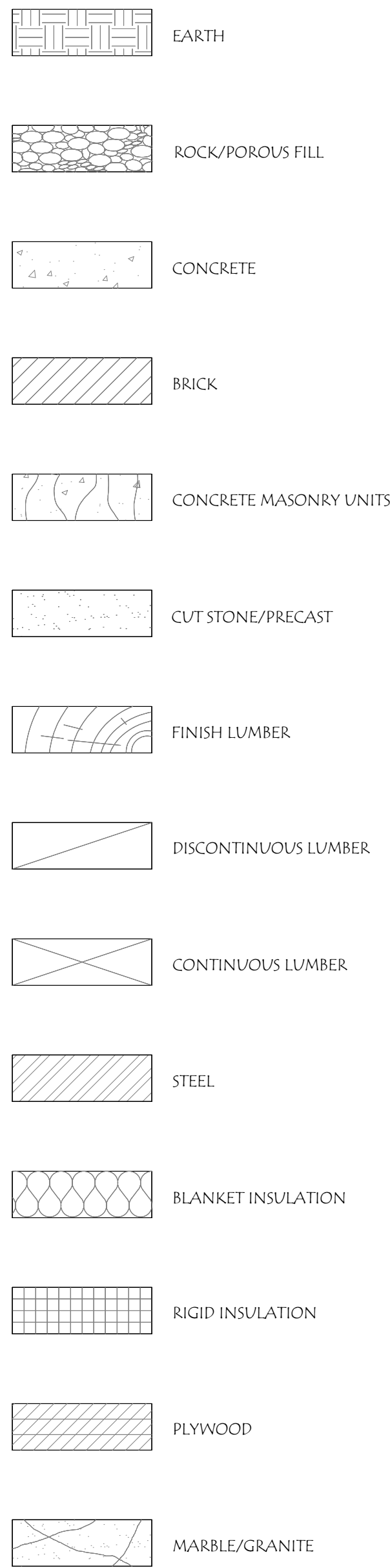
88

LOCATION MAP

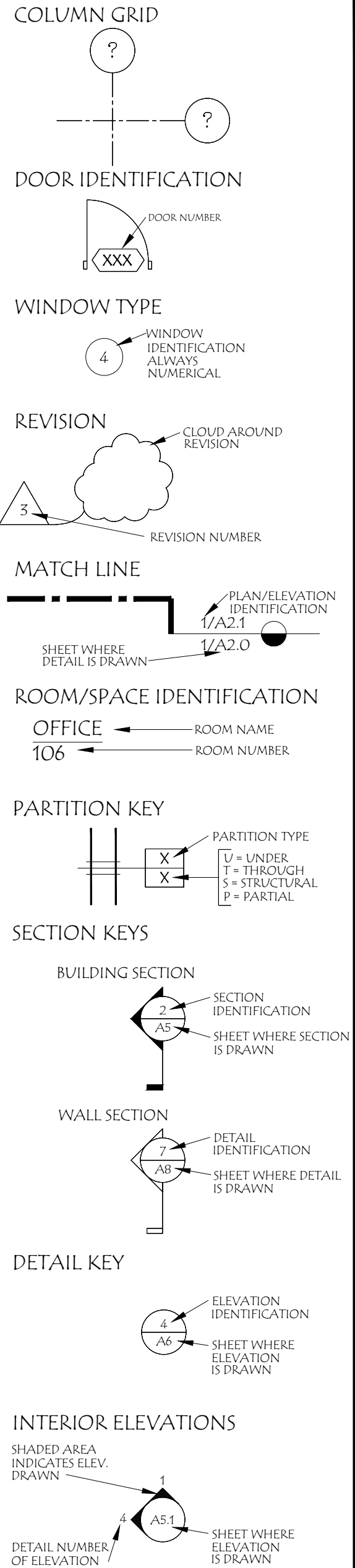


119 FLOWER VALLEY SHOPPING CENTER
FLORISSANT, MO 63033

MATERIALS



SYMBOLS



GENERAL DOCUMENT NOTES

- THE CONTRACT DOCUMENTS CONTEMPLATE A FINISHED PIECE OF WORK OF SUCH CHARACTER AND QUALITY AS IS DESCRIBED IN AND IS REASONABLY INFERABLE FROM THEM AND THE CONTRACTOR, RECOGNIZING THE IMPOSSIBILITY OF PRODUCING DRAWINGS AND SPECIFICATIONS WITH PERFECT ACCURACY, AGREES THAT HIS SUBMITTED BID OR COST FOR THE WORK HEREUNDER INCLUDES SUFFICIENT MONEY ALLOWANCE TO MAKE HIS WORK COMPLETE AND OPERABLE, AND IN COMPLIANCE WITH GOOD PRACTICE AND THE ORDINANCES, CODES AND REGULATIONS OF ALL BODIES OR PERSONS HAVING GOVERNMENTAL AUTHORITY OVER IT.
 - SPECIFICATIONS AND DRAWINGS ARE TO BE INTERPRETED ACCORDING TO THE FULL INTENT, MEANING AND SPIRIT, WHETHER TAKEN TOGETHER OR SEPARATELY.
 - TAKEN TOGETHER, THEY SHALL BE DEEMED TO MUTUALLY EXPLAIN EACH OTHER AND TO BE DESCRIPTIVE OF THE WORK TO BE PERFORMED UNDER THE CONTRACT.
 - TAKEN SEPARATELY, THE BIDDER OR CONTRACTOR IS TO COMPARE THE SPECIFICATIONS AND DRAWINGS AND IDENTIFY THE DIFFERENCES. WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL/ BOTH. THE DIFFERENCES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO SUBMITTING A BID, ALLOWING AN APPENDUM TO BE ISSUED TO CLARIFY THE DIFFERENCES. IF THE DIFFERENCES ARE BROUGHT TO THE ATTENTION OF THE OWNER AFTER THE BID, WORK IS TO BE PERFORMED AS MENTIONED ABOVE UNLESS MODIFIED BY THE OWNER.
 - DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS, INCLUDING THOSE IN ELECTRONIC FORM, PREPARED BY THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS ARE INSTRUMENTS OF SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT ONLY. THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL BE DEEMED THE AUTHORS AND OWNERS OF THEIR RESPECTIVE INSTRUMENTS OF SERVICE AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHTS.
 - EXISTING CONDITIONS REPRESENTED ON THE DOCUMENTS INCLUDE INFORMATION FURNISHED BY THE OWNER THAT MAY NOT REPRESENT ACTUAL CONDITIONS. IN EVERY CASE THE GENERAL CONTRACTOR MUST INVESTIGATE THE ACTUAL CONDITIONS AND COMPARE THOSE CONDITIONS TO THE DOCUMENTED INTENT OF THE DRAWINGS, WELL IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES, DURING LAYOUT OR OTHER MEANS SO AS TO ANTICIPATE POTENTIAL CONFLICTS AND ALLOW THE ENTIRE TEAM (OWNER, ARCHITECT AND GENERAL CONTRACTOR) TO RESOLVE THE CONFLICT SO AS NOT TO CAUSE DELAY AND ADD ADDITIONAL COST. FAILURE TO DO SO PUTS ANY ADDITIONAL COST OR TIME AT RISK.
 - THE OWNER AND ARCHITECT RELY COMPLETELY ON THE GENERAL CONTRACTOR AND ITS SUBCONTRACTORS TO MAINTAIN A SAFE ENVIRONMENT FOR THE CONSTRUCTION OF THE WORK. IN ADDITION, THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SEQUENCING, MEANS AND METHODS TO CONSTRUCT THE WORK WITH THE HIGHEST QUALITY BY THE INTENT OF THE DOCUMENTS.
 - TO THE FULLEST EXTENT PERMITTED BY LAW, THE OWNER SHALL INDEMNIFY AND HOLD HARMLESS THE CONTRACTOR, SUBCONTRACTORS, ARCHITECT, ARCHITECT'S CONSULTANTS AND AGENTS AND EMPLOYEES OF ANY OF THEM FROM AND AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM PERFORMANCE OF THE WORK IN THE AFFECTED AREA IF IN FACT THE MATERIAL OR SUBSTANCE PRESENTS THE RISK OF BODILY INJURY OR DEATH AND HAS NOT BEEN RENDERED HARMLESS, PROVIDED THAT SUCH CLAIM, DAMAGE, LOSS OR EXPENSE IS ATTRIBUTABLE TO BODILY INJURY, SICKNESS, DISEASE OR DEATH, OR TO INJURY OR TO DESTRUCTION OF TANGIBLE PROPERTY (OTHER THAN THE WORK ITSELF) AND PROVIDED THAT SUCH DAMAGE, LOSS OR EXPENSE IS NOT DUE TO THE SOLE NEGLIGENCE OF A PARTY SEEKING INDEMNITY. THE OWNER SHALL NOT BE RESPONSIBLE FOR MATERIALS AND SUBSTANCES BROUGHT TO THE SITE BY THE CONTRACTOR UNLESS SUCH MATERIALS OF SUBSTANCES WERE REQUIRED BY THE CONTRACT DOCUMENTS. IF, WITHOUT NEGLIGENCE ON THE PART OF THE CONTRACTOR, THE CONTRACTOR IS HELD LIABLE FOR THE COST OF REMEDIATION OF A HAZARDOUS MATERIAL OR SUBSTANCE SOLELY BY REASON OF PERFORMING WORK AS REQUIRED BY THE CONTRACT DOCUMENTS, THE OWNER SHALL INDEMNIFY THE CONTRACTOR FOR ALL COST AND EXPENSE THEREBY INCURRED.
 - THE CONTRACT DOCUMENTS CONSIST OF THE AGREEMENT BETWEEN OWNER AND CONTRACTOR (HEREINAFTER THE AGREEMENT), CONDITIONS OF THE CONTRACT (GENERAL, SUPPLEMENTARY, AND OTHER CONDITIONS), DRAWINGS, SPECIFICATIONS, APPENDA ISSUED PRIOR TO THE EXECUTION OF THE CONTRACT, OTHER DOCUMENTS LISTED IN THE AGREEMENT AND MODIFICATIONS ISSUED AFTER EXECUTION OF THE CONTRACT. A MODIFICATION IS (1) A WRITTEN AMENDMENT TO THE CONTRACT SIGNED BY BOTH PARTIES, (2) A CHANGE ORDER, (3) A CONSTRUCTION CHANGE DIRECTIVE OR (4) A WRITTEN ORDER FOR A MINOR CHANGE IN THE WORK ISSUED BY THE ARCHITECT. UNLESS SPECIFICALLY ENUMERATED IN THE AGREEMENT, THE CONTRACT DOCUMENTS DO NOT INCLUDE OTHER DOCUMENTS SUCH AS BIDDING REQUIREMENTS (ADVERTISEMENT OR INVITATION TO BID, INSTRUCTIONS TO BIDDERS, SAMPLE FORMS, THE CONTRACTOR'S BID OR PORTIONS OF APPENDA RELATING TO BIDDING REQUIREMENTS.
 - THE CONTRACT DOCUMENTS FORM THE CONTRACT FOR CONSTRUCTION. THE CONTRACT REPRESENTS THE ENTIRE AND INTEGRATED AGREEMENT BETWEEN THE PARTIES HERETO AND SUPERSEDES PRIOR NEGOTIATIONS, REPRESENTATIONS OR AGREEMENTS, EITHER WRITTEN OR ORAL. THE CONTRACT MAY BE AMENDED OR MODIFIED ONLY BY A MODIFICATION. THE CONTRACT DOCUMENTS SHALL NOT BE CONSTRUED TO CREATE A CONTRACTUAL RELATIONSHIP OF ANY KIND (1) BETWEEN THE ARCHITECT AND CONTRACTOR, (2) BETWEEN THE OWNER AND A SUBCONTRACTOR OR SUB-SUBCONTRACTOR, (3) BETWEEN THE OWNER AND THE ARCHITECT OR (4) BETWEEN ANY PERSONS OR ENTITIES OTHER THAN THE OWNER AND CONTRACTOR. THE ARCHITECT SHALL, HOWEVER, BE ENTITLED TO PERFORMANCE AND ENFORCEMENT OF OBLIGATIONS UNDER THE CONTRACT INTENDED TO FACILITATE PERFORMANCE OF THE ARCHITECT'S DUTIES.
 - THE DRAWINGS ARE THE GRAPHIC AND PICTORIAL PORTIONS OF THE CONTRACT DOCUMENTS SHOWING THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK, GENERALLY INCLUDING PLANS, ELEVATIONS, SECTIONS, DETAILS, SCHEDULES AND DIAGRAMS.
 - THE SPECIFICATIONS ARE THAT PORTION OF THE CONTRACT DOCUMENTS CONSISTING OF THE WRITTEN REQUIREMENTS FOR MATERIALS, EQUIPMENT, SYSTEMS, STANDARDS AND WORKMANSHIP FOR THE WORK, AND PERFORMANCE OF RELATED SERVICES.
 - THE PROJECT MANUAL IS A VOLUME ASSEMBLED FOR THE WORK WHICH MAY INCLUDE THE BIDDING REQUIREMENTS, SAMPLE FORMS, CONDITIONS OF THE CONTRACT AND SPECIFICATIONS.
 - THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY ALL; PERFORMANCE OF THE WORK BY THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND REASONABLY INFERABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS. ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND ARTICLES, AND ARRANGEMENT OF DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE. UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS, WORDS WHICH HAVE WELL-KNOWN TECHNICAL OR CONSTRUCTION INDUSTRY MEANINGS ARE USED IN THE CONTRACT DOCUMENTS IN ACCORDANCE WITH SUCH RECOGNIZED MEANINGS.
 - EXECUTION OF THE CONTRACT BY THE CONTRACTOR IS A REPRESENTATION THAT THE CONTRACTOR HAS VISITED THE SITE, BECOME GENERALLY FAMILIAR WITH LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATED PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS.
 - ALL MATERIALS ON THIS PROJECT MUST BE INSTALLED BY LICENSED, EXPERIENCED AND/ OR APPROVED INSTALLERS OF THAT PRODUCT/ MATERIAL AND A MINIMUM 5 YEARS EXPERIENCE IN GOOD STANDING BY THE MANUFACTURER OF THAT PRODUCT/ MATERIAL (NO EXCEPTIONS). ALL INSTALLERS MUST BE FULLY AWARE OF THE MANUFACTURERS' INTENDED DESIGN LIMITATIONS/ PURPOSE AND USE OF THE MATERIAL BEING INSTALLED AND THE LATEST PUBLISHED INSTALLATION INSTRUCTIONS, SUBSTRATE REQUIREMENTS OR USE OF THE THIS MATERIAL IN CONJUNCTION WITH OTHER ADJACENT MATERIALS AND SUBSTRATES. NO PRODUCT IS TO BE ORDERED OR INSTALLED THAT DOES NOT MEET OR EXCEED THE LATEST PUBLISHED CONDITIONS FOR HANDLING & INSTALLATION BY THE MANUFACTURER. ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND THE EXISTING CONDITIONS, SUBSTRATES, OR FINAL INSTALLATION ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
 - THE INTENT OF THE SPECIFICATIONS, DRAWINGS AND DETAILS, WHETHER SHOWN OR NOT ARE TO DETAIL/ SPECIFY, DELIVER, INSTALL AND COMPLETE CONSTRUCTION WITH ALL PRODUCTS/ MATERIALS PER MANUFACTURERS' SPECIFIC REQUIREMENTS ALLOWING THE PRODUCTS/ MATERIALS TO MEET THE MANUFACTURERS' INTENT FOR LONG-TERM PERFORMANCE. THIS INCLUDES PRODUCTS/MATERIALS BY THEM SELVES OR AS AN ASSEMBLY IN CONJUNCTION WITH OTHER MATERIALS COMPATIBLE WITH THE MANUFACTURER.
 - RECOGNIZING THAT TEAMWORK IS THE HALLMARK OF ALL OUR MOST SUCCESSFUL PROJECTS AND, RECOGNIZING THAT ALL SUPPLIERS/ INSTALLERS OF PRODUCTS/ MATERIALS POSSESS ABUNDANT KNOWLEDGE OF THEIR CRAFT AND DAY TO DAY EXPERIENCE THAT IS VALUABLE TO THE SUCCESS OF THIS PROJECT, WE ENCOURAGE THEIR INPUT.
- THE GENERAL CONTRACTOR, ALL SUPPLIERS, SUBCONTRACTORS AND SUB-SUBCONTRACTORS ARE ENCOURAGED TO BRING DISCREPANCIES, CONFLICTS OR CONCERNS TO THE ATTENTION OF THE ARCHITECT IN AN EFFORT TO WORK IN COLLABORATION. THE GOAL IS TO WORK TOGETHER, COLLECTIVELY TO AVOID CONFLICTS AND ADDITIONAL COST, BUT MOST IMPORTANTLY TO ALLOW THE INSTALLATION OF ALL MATERIALS/ PRODUCTS TO BE INSTALLED PROPERLY PER THE MANUFACTURERS' EXPRESSED INTENT TO ENSURE LONG-TERM PERFORMANCE.

CODE DATA

THESE DRAWINGS ARE FOR A TENANT FINISH OF AN EXISTING TENANT SPACE CONVERTING THE USE TO THAT OF AN ADULT DAY-CARE AND AS DESCRIBED AS FOLLOWS:
PROPOSED SCOPE OF WORK TO BE IN COMPLIANCE WITH:

- BUILDING:
2009 INTERNATIONAL BUILDING CODE
- EXISTING BUILDING:
2009 INTERNATIONAL EXISTING BUILDING CODE
- ENERGY:
2009 INTERNATIONAL ENERGY CONSERVATION CODE
- PLUMBING:
2009 INTERNATIONAL PLUMBING CODE
- MECHANICAL:
2009 INTERNATIONAL MECHANICAL CODE
- ELECTRICAL:
2008 NATIONAL ELECTRIC CODE
- AND CLASSIFIED AS FOLLOWS:
- TOTAL SQUARE FOOTAGE = 1,875 GROSS SQUARE FEET.
- BUILDING IS NOT SPRINKLERED.
- OCCUPANCY CLASSIFICATIONS
- USE GROUP: "E" EDUCATIONAL
- CONSTRUCTION TYPE "2B"
- EXISTING RETAIL BUILDING IS CLASSIFIED AS A "M" OR "R" USE GROUP AND IS APPROXIMATELY 42,600 SF. THEREFORE THE "E" EDUCATIONAL USE WILL BE LESS THAN 10% OF THE ENTIRE BUILDING AND IS CATEGORIZED AS AN ACCESSORY USE.
- TENANT SPACE AREA: "E" 1,875 S.F. (TOTAL)
- * PER TABLE 505 AND SECTION 505.

REQUIRED FIRE RESISTANCE RATINGS: (TABLE 601 AND 602):

- STRUCTURAL FRAME BEARING WALLS
EXTERIOR (>90'-0") 2 HOURS
INTERIOR 0 HOURS
- NONBEARING WALLS AND PARTITIONS
EXTERIOR 0 HOURS
INTERIOR 0 HOURS
- FLOOR CONSTRUCTION 0 HOURS
ROOF CONSTRUCTION 0 HOURS
- DEAD END - 20" MAX. PER SECTION 1018.4
- OCCUPANT LOAD
PER TABLE 1004.1.1
- EDUCATIONAL AREAS 20 GROSS SF PER OCCUPANT
- THE GOVERNING REGULATION WILL LIMIT THE VISITOR POPULATION TO 10 OR LESS.
- LOCKS AND LATCHES PER SECTION 1008.1.8.3
- EXIT SIGNS TO COMPLY WITH SECTION 1011.
- MEANS OF EGRESS ILLUMINATION TO COMPLY WITH SECTION 1006.
- ALL DOOR HARDWARE SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING, OR TWISTING OF THE WRIST PER SECTION 1008.1.9.1

ALL OTHER SPACES ARE NOT PART OF THE SCOPE OF SERVICES OF THIS PROJECT. ZWICK + GANDT ARCHITECTURE INC. ACCEPTS NO LIABILITY OR RESPONSIBILITY FOR LIFE SAFETY CODE COMPLIANCE, ACCESS, ETC, FOR ANY OF THESE SPACES



SCOPE OF WORK

1 SITE KEY
N.T.S.



ZWICK + GANDT
ARCHITECTURE, INC.
9109 WATSON ROAD, SUITE 110
ST. LOUIS, MISSOURI 63126
ph: 314-962-9292
fax: 314-962-9293
info@zgarchi-stl.com

LIVING ESSENTIALS IN HOME SERVICES
RENOVATION

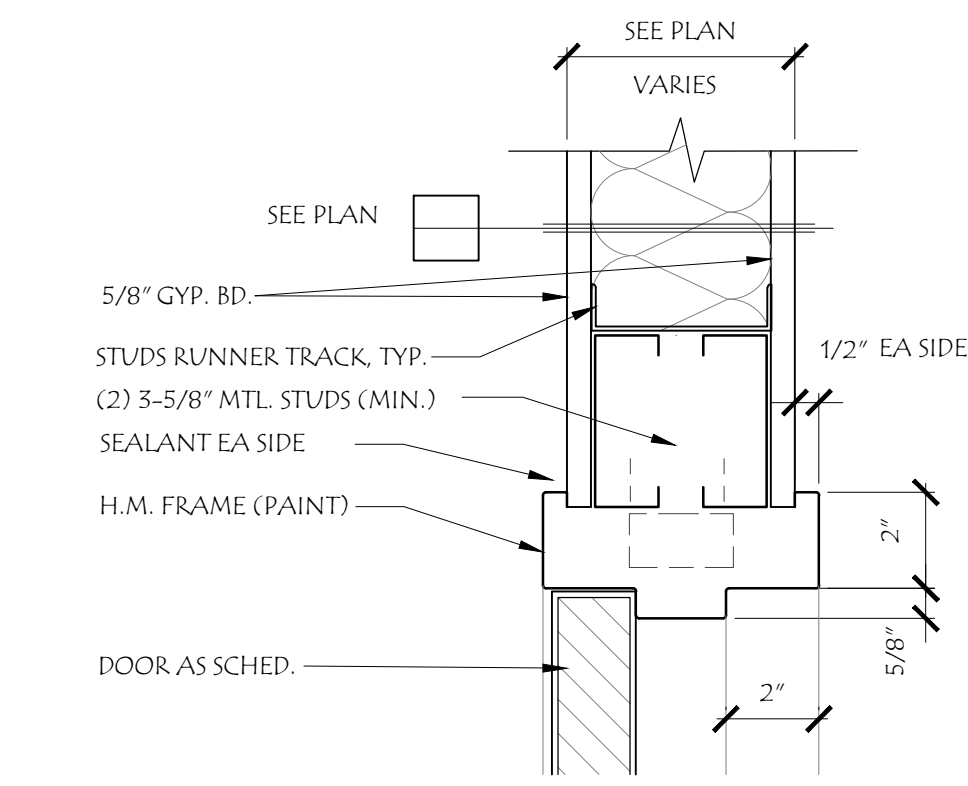
119 FLOWER VALLEY SHOPPING CENTER
FLORISSANT, MO 63033

1-JUL-19
3-11-19

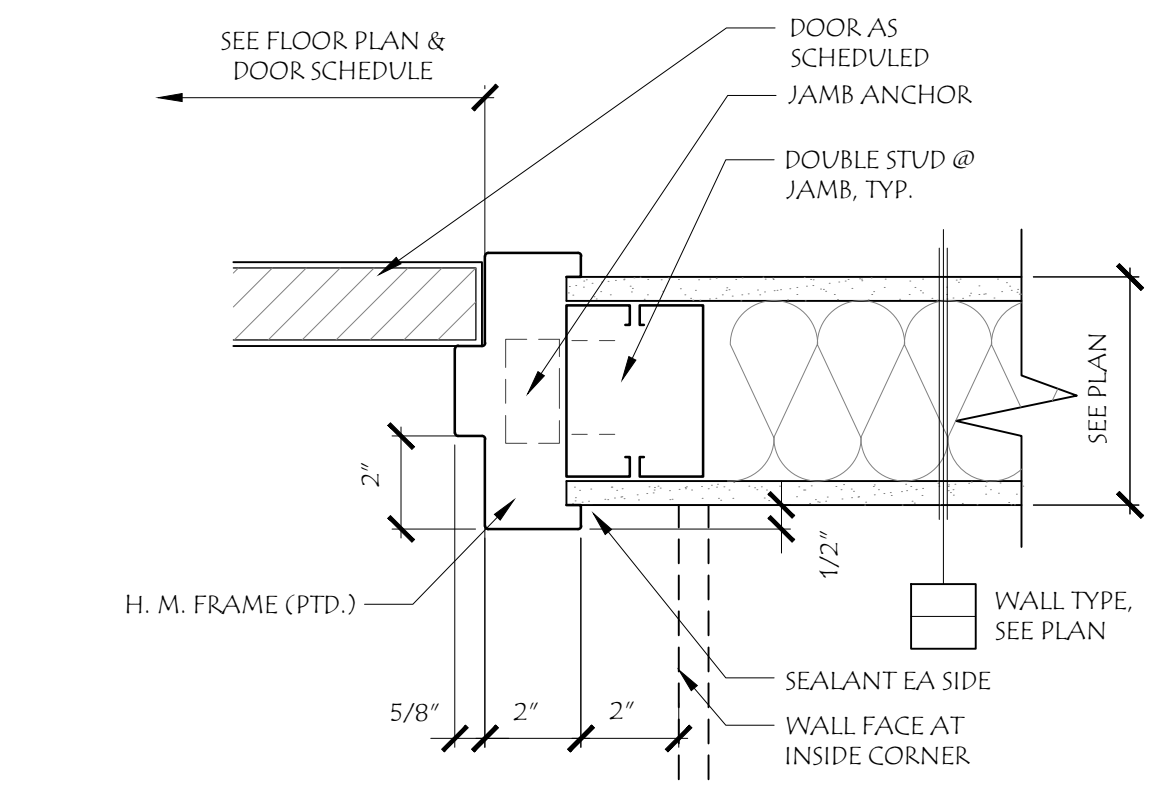
PERMIT SET
REVISED PERMIT SET

PROJECT NUMBER:
19002.00
GENERAL NOTES,
CODE PLAN

A0.0



6 H.M. FRAME HEAD AT MTL. STUD
SCALE: 3" = 1'-0"

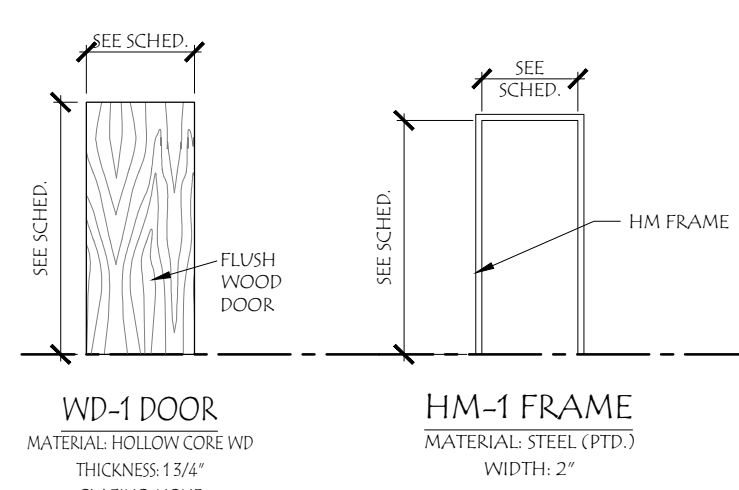


5 H.M. FRAME JAMB AT MTL. STUD
SCALE: 3" = 1'-0"

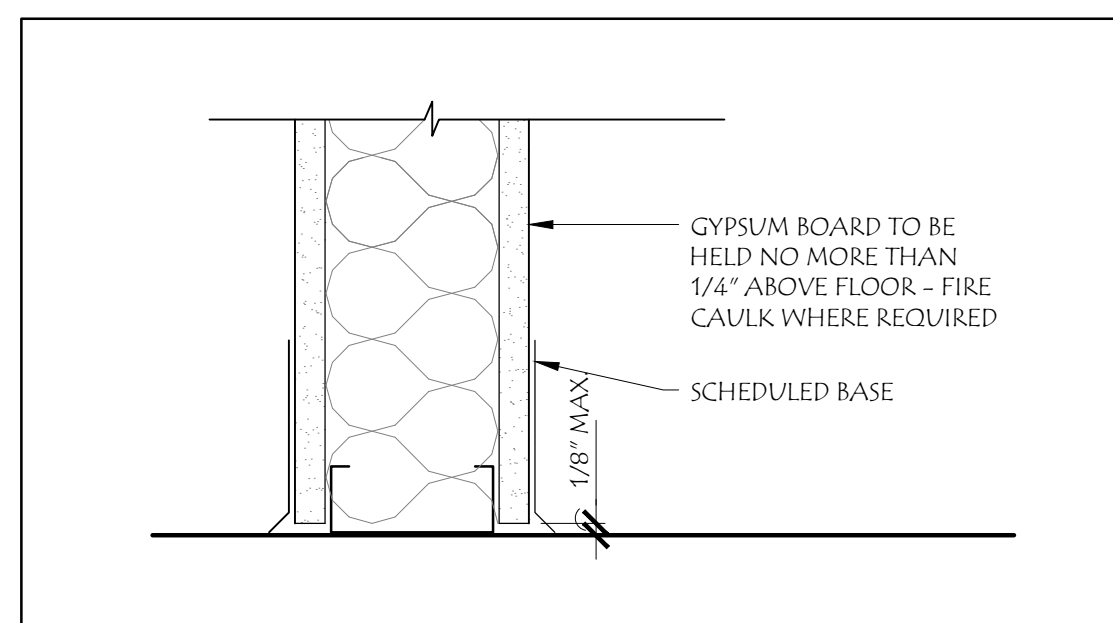
DOOR SCHEDULE									
NO.	TYPE	SIZE	FRAME	HDW.	DETAILS			LABEL	REMARKS
					HEAD	JAMB	SILL		
103	WD-1	3'-0" X 6'-8"	H.M. (K.D.)	1	6/A2.0	5/A2.0			1

DOOR SCHEDULE REMARKS	
1	OWNER TO SELECT DOOR STYLE AND FINISH.

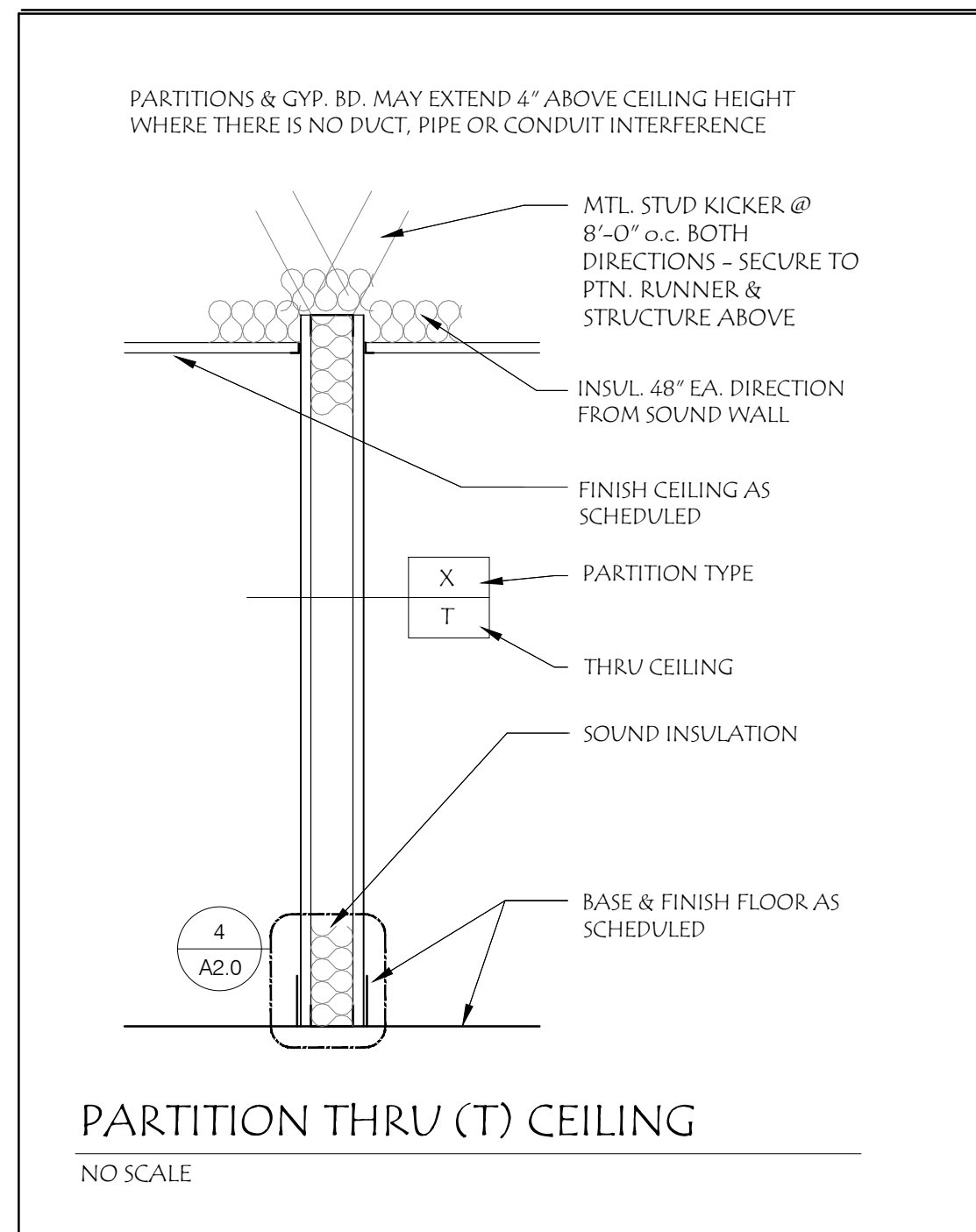
HARDWARE SCHEDULE	
GROUP 1: EXISTING DOOR 1-1/2" PR. HINGES, LATCH SET W/ OFFICE FUNCTION.	



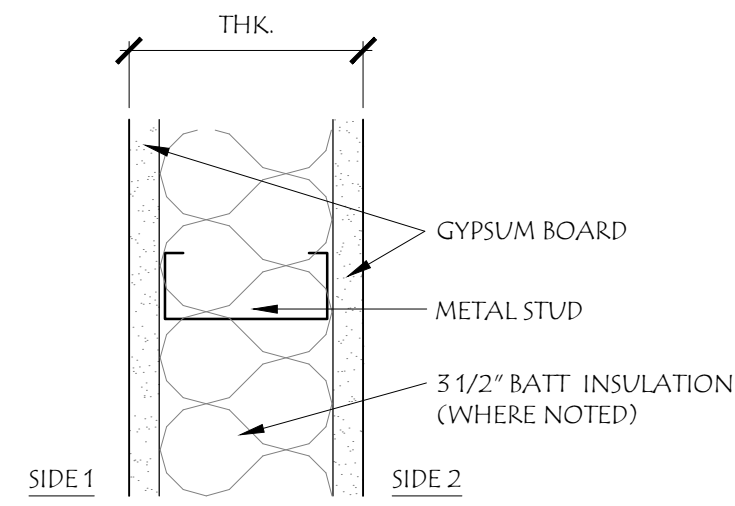
DOOR AND FRAME TYPES



4 PARTITION DETAIL
N.T.S.



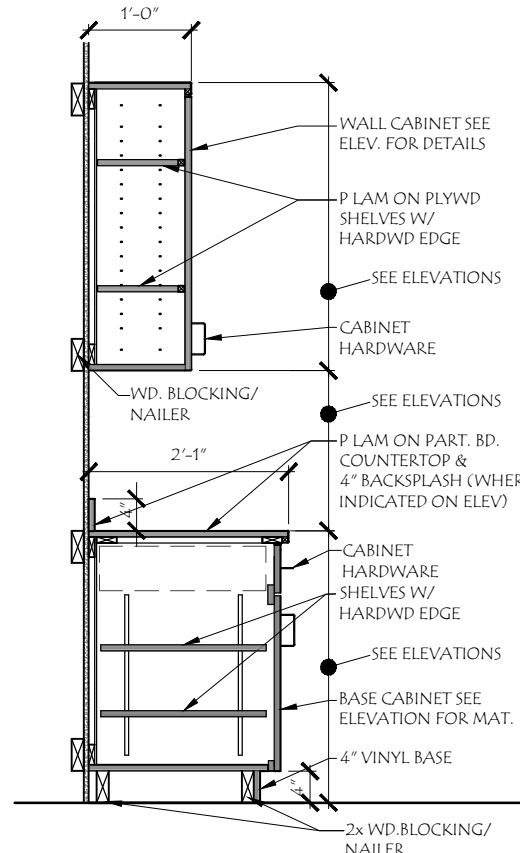
PARTITION THRU (T) CEILING
NO SCALE



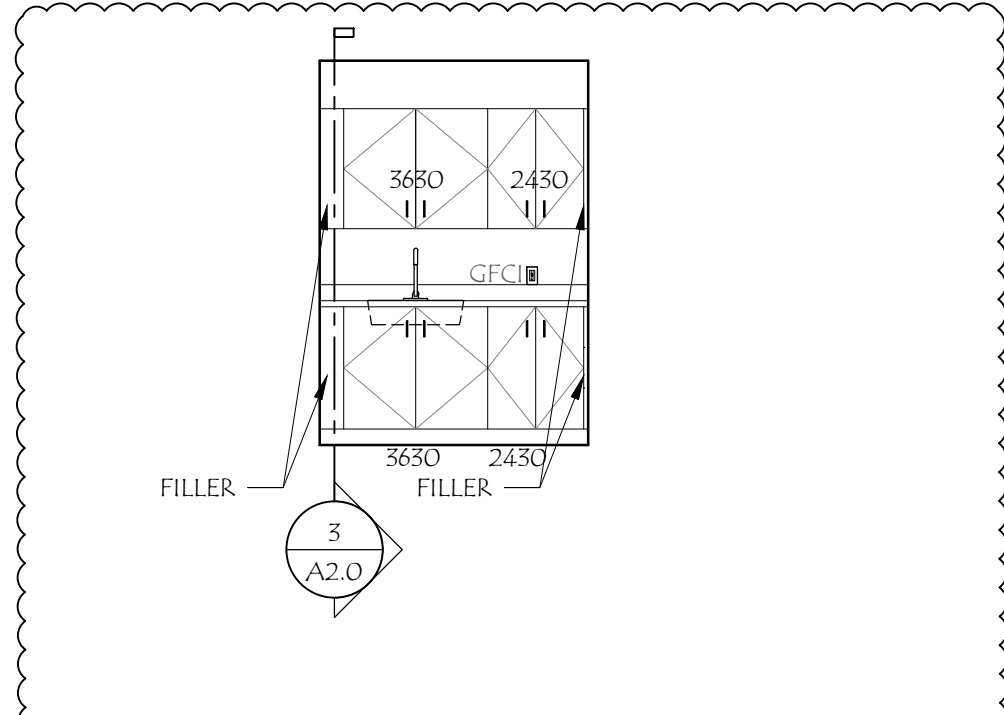
Partition					Gypsum Board				Framing		Remarks
Type	Thk	Fire Rating	Test Number (Fire and Sound)	STC Rating	Side 1		Side 2		Size	Spacing	
					Type	Thk	Type	Thk			
1A	4 7/8"	--	--	--	TYPE "X"	5/8"	TYPE "X"	5/8"	3 5/8"	16" O.C.	INSTALL SOUND BATT

PARTITION GENERAL NOTES

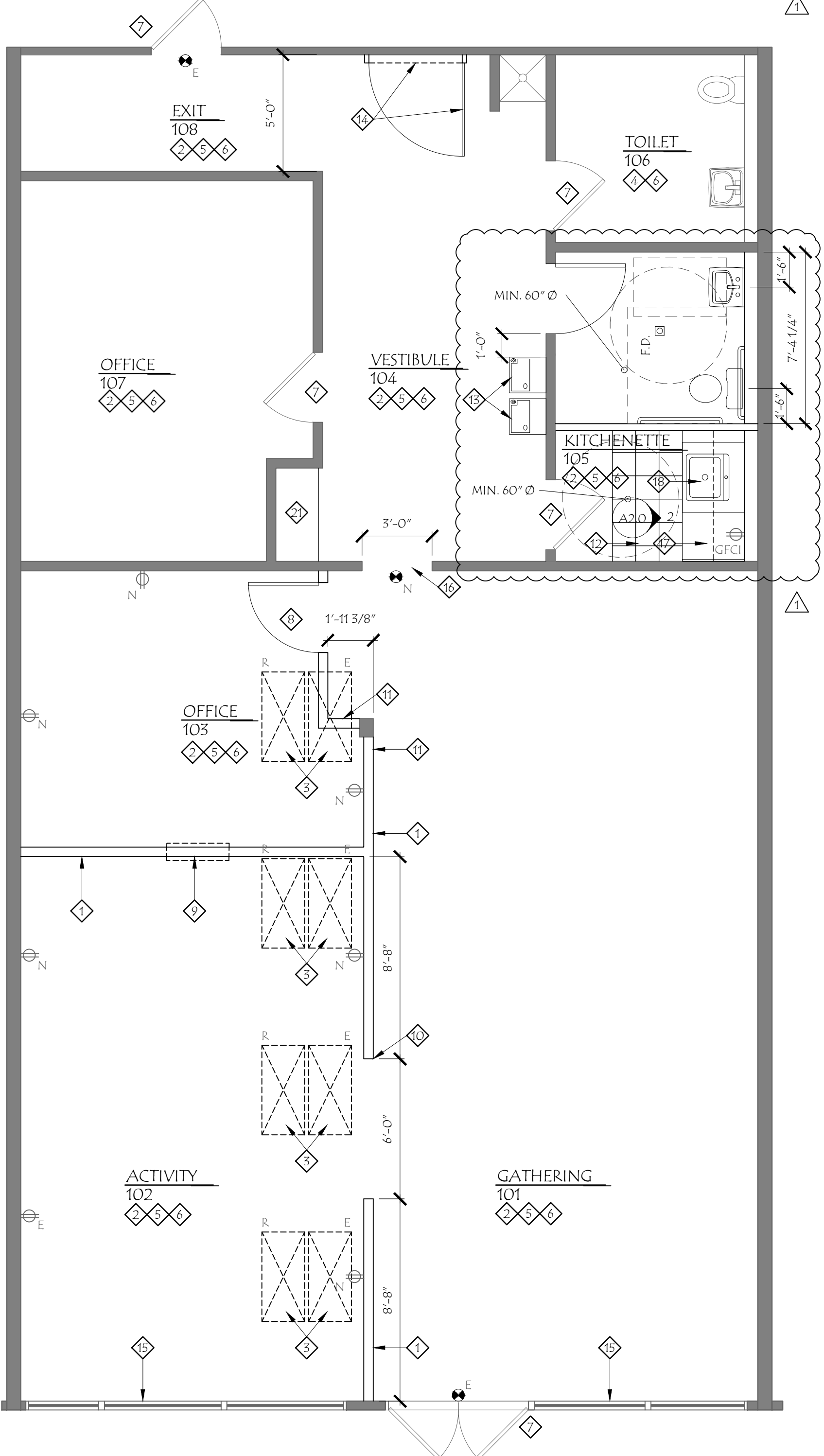
- FRAMING
 - ALL LOAD-BEARING PARTITIONS SHALL BE CONSTRUCTED PER STRUCTURAL DRAWINGS AND SPECIFICATIONS.
 - ALL NON-BEARING PARTITIONS SHALL BE CONSTRUCTED TO LIMIT DEFLECTION PER LATEST PUBLISHED BUILDING CODE RESTRICTIONS AND MANUFACTURER'S DATA - WHICHEVER IS GREATER. CHASE WALL SHALL RESIST EXPECTED LOADS PARTICULAR TO SHAFT.
 - PROVIDE DOUBLE FRAMING AT JAMBS OF FRAMES AND CASED OPENINGS.
 - ISOLATE NON-BEARING FRAMING FROM STRUCTURAL ELEMENTS WITH SLIP CONNECTIONS, ETC. TO PREVENT TRANSFER OF LOADS TO PARTITION FRAMING.
 - CONTROL JOINTS (C.J.) TO BE INSTALLED BY GYP. BD. CONTRACTOR, INSTALLED AT MAXIMUM 30'-0" O.C. AND AT MAJOR INTERRUPTIONS AT THE WALL SUCH AS DOORS, WINDOWS AND EQUIP- MENT. SEE ELEVATIONS FOR ADDITIONAL LOCATIONS. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
- GYP. BOARD
 - GYP. BOARD SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C 840.
 - ALL CORNERS AND EXPOSED EDGES OF GYP. BOARD SHALL BE FINISHED WITH TAPED-IN METAL TRIM ACCESSORIES. EXPOSED TRIM SHALL BE USED WHEN SHOWN ON DRAWINGS.
- CROSS-BRACING AT ALL CHASE WALL. FRAMING TO BE OF 12" HIGH 1/2" GYP. BOARD OR MINIMUM 2 1/2" METAL STUDS - SEE STANDARD DETAIL.
- FRAMING SHALL COORDINATE WITH REQUIRED MECHANICAL, ELECTRICAL AND OTHER WORK.



3 CASEWORK SECTION
SCALE: 1/2" = 1'-0"



2 CASEWORK ELEVATION
SCALE: 1/4" = 1'-0"



1 RENOVATION PLAN
SCALE: 1/4" = 1'-0"

GENERAL MISCELLANEOUS NOTES:

- ALL DEMOLITION DRAWINGS, NOTES, DETAILS ARE COMPREHENSIVE TO NEW WORK. "NO SHEET STANDS ALONE". EACH CONTRACTOR IS TO FAMILIARIZE THEMSELVES WITH DEMOLITION AND NEW WORK SO AS TO REMOVE AND/ OR SAW-CUT EXISTING MATERIALS AT LOCATIONS THAT COORDINATE WITH NEW WORK.
- DO NOT SCALE DRAWINGS.
- FIELD VERIFY EXISTING CONDITIONS, MECHANICAL, ELECTRICAL, PLUMBING AND THE INTENT OF NEW WORK TO FULLY UNDERSTAND SCOPE OF DEMOLITION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL EXISTING AREAS, ITEMS OR FINISHES TO REMAIN, ARE TO BE PROTECTED FROM DAMAGE AS REQUIRED.
- COMPLY WITH ALL ENVIRONMENTAL REGULATIONS IN THE REMOVAL, HANDLING AND DISPOSAL OF DEMOLISHED MATERIALS.
- AREAS SHOWN TO "REMAIN" OR "LIMITED WORK" ARE TO BE SEALED WITH "DUST-TIGHT" ENCLOSURES FROM THE REMAINDER OF THIS BUILDING. THESE AREAS ARE TO REMAIN FREE FROM DUST, DIRT, AND DEBRIS THROUGH-OUT THE CONSTRUCTION. FINAL CLEAN UP TO INCLUDE THE AREAS SHOWN TO "REMAIN" OR ALL "LIMITED WORK" AREAS.
- PATCH AND REPAIR ANY DAMAGED SURFACES TO REMAIN CAUSED BY DEMOLITION WORK. MATCH MATERIAL, FINISH AND LOOK OF DAMAGED SURFACE PRIOR TO ANY WORK.
- ANY ASBESTOS OR OTHER HAZARDOUS MATERIALS ENCOUNTERED ARE TO BE IDENTIFIED PRIOR TO DEMOLITION WORK AND REMOVED UNDER A SEPARATE CONTRACT.
- FLOORS MUST BE FLOATED WHERE WALLS OR FLOORING HAVE BEEN REMOVED. NEW AND EXISTING FLOOR HEIGHTS MUST ALIGN.

DRAWING LEGEND

- NEW PARTITION
 - EXISTING PARTITION TO REMAIN
 - EXISTING PARTITION TO BE REMOVED
 - NEW DOOR
 - EXISTING DOOR TO REMAIN
 - EXISTING DOOR TO BE REMOVED
 - POWER OUTLET- MATCH EXIST. HEIGHT U.N.O.
 - EXIT LIGHT W/ EMERGENCY LIGHT BATTERY BACK-UP
 - PHONE OUTLET
 - HORN/STROBE ALARM
 - SMOKE DETECTOR
 - STROBE ALARM
 - SWITCH
 - DATA OUTLET
 - EMERGENCY PULL-WIRE
 - HEAT DETECTOR
- 'E' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS EXISTING TO REMAIN
'N' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS NEW.
'R' SHOWN NEXT TO A SYMBOL INDICATES THAT THE FIXTURE IS RELOCATED.

KEYED RENOVATION NOTES:

- NEW PARTITION. BASE BOARD TRIM TO MATCH EXISTING. WALL COLOR TO BE SELECTED BY OWNER. SEE PARTITION TYPE 1A.
- EXISTING 2X4 LIGHTING TO REMAIN. SHIFT FIXTURES WHERE INDICATED.
- RELOCATE EXISTING 2X4 LIGHT FIXTURE TO WEST FROM ORIGINAL LOCATION.
- EXISTING GYP. BD. CEILING TO REMAIN.
- EXISTING DROP CEILING TO REMAIN.
- EXISTING FLOOR FINISHES TO REMAIN IN THIS ROOM, UNLESS NOTED OTHERWISE.
- EXISTING DOOR TO REMAIN.
- NEW DOOR.
- NEW RETURN AIR TRANSFER GRILLES IN WALL. SIZE TO ACCOMMODATE MECH LOADS.
- NEW GYP. BD. CASED OPENING.
- ALIGN FACE OF NEW PARTITION WITH FACE OF GYP. BD. AT COLUMN.
- REMOVE EXISTING CARPET AND INSTALL NEW VINYL FLOOR TILE WITH VINYL TRANSITION STRIP. OWNER TO SELECT.
- NEW ELEC WATER COOLER, HIGH/LOW ADA COMPLIANT. PROVIDE WARNING SKIRT IF REQUIRED BY MODEL SELECTED.
- EXISTING PHONE AND DATA EQUIPMENT. INSTALL NEW HINGED PLYWOOD PANEL WITH LATCH ON MTL STUD FRAMING CLAD WITH 5/8" GYP. BD. PAINT DOOR PANEL (COLOR SELECTED BY OWNER).
- EXISTING STOREFRONT (NO WORK).
- EXISTING CASED DOOR OPENING
- NEW UPPER AND LOWER CABINETS AND COUNTERTOP. SELECTED BY OWNER.
- NEW SINK.
- NEW DISHWASHER.
- REMOVE EXISTING GYP. BD. AT SOUTH WALL FACE. INSTALL 2-1/2" FURRING TO EXISTING STUDS, INSTALL NEW 5/8" MOISTURE RESISTANT GYP. BD. TO 4" ABOVE CEILING.
- EXISTING COUNTER.

The Professional Architects seal affixed to this sheet indicates that the named Architect has prepared or directed the preparation of the material shown only on this sheet. Other drawings and documents not exhibiting this seal shall not be considered prepared by or the responsibility of the undersigned.

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ZWICK + GANDT
ARCHITECTURE, INC.
9109 WATSON ROAD, SUITE 110
ST. LOUIS, MISSOURI 63126
ph: 314-962-9292
fax: 314-962-9293
info@zgarch-stl.com

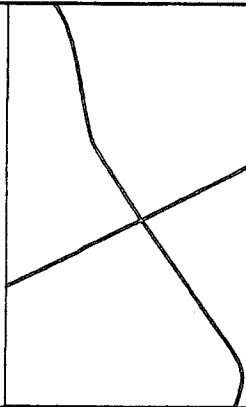
LIVING ESSENTIALS IN HOME SERVICES
RENOVATION
119 FLOWER VALLEY SHOPPING CENTER
FLORISSANT, MO 63033

1-JUL-19	3-11-19
PERMIT SET	REVISED PERMIT SET

PROJECT NUMBER:
19002.00
RENOVATION PLAN

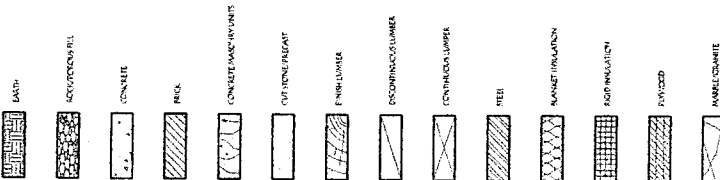
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LOCATION MAP

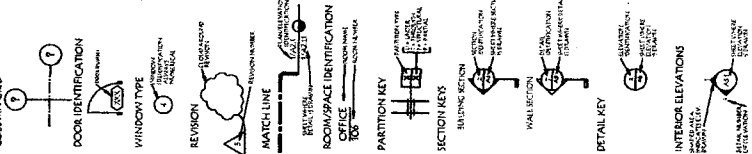


119 FLOWER VALLEY SHOPPING CENTER
FLORISSANT, MO 63033

MATERIALS



SYMBOLS



GENERAL DOCUMENT NOTES

[illegible]

CODE DATA

[illegible]

REQUIRED FIRE RESISTANCE RATING (R1 AND R2):

[illegible]

LEGEND

180 POOL LIFE CAPACITY

PRELIMINARY - NOT FOR CONSTRUCTION

ZWICK + GANDT
ARCHITECTURE, INC.
8000 WILLOW ROAD, SUITE 130
N.T. (NORFOLK), MASS 01901 637226
Tel: 508-847-7262
Fax: 508-847-7263
zwg@zwg.com

PRELIMINARY - NOT FOR CONSTRUCTION - 1-14-19

19972.00
GENERAL NOTES,
CODE PLAN

A.O.0

THIS PROJECT HAS BEEN REVIEWED BY THE ARCHITECT FOR THE PURPOSES OF THE PROFESSIONAL SEAL AND SIGNATURE. THE ARCHITECT'S REVIEW IS LIMITED TO THE TECHNICAL ASPECTS OF THE DRAWING AND DOES NOT CONSTITUTE A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT OR THE COMPLETION OF THE PROJECT.

ZWICK + GUNDT
ARCHITECTURE INC.
 119 FLOWER VALLEY SHOPPING CENTER
 FLOIRISSANT, MO 63033
 TEL: 636.333.1111
 FAX: 636.333.1112
 WWW.ZWICKGUNDT.COM

LIVING ESSENTIALS IN HOME SERVICES RENOVATION

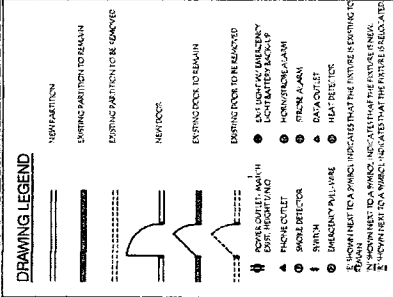
NO.	DATE	DESCRIPTION
1	11-14-19	PRELIMINARY - NOT FOR CONSTRUCTION

RENOVATION PLAN

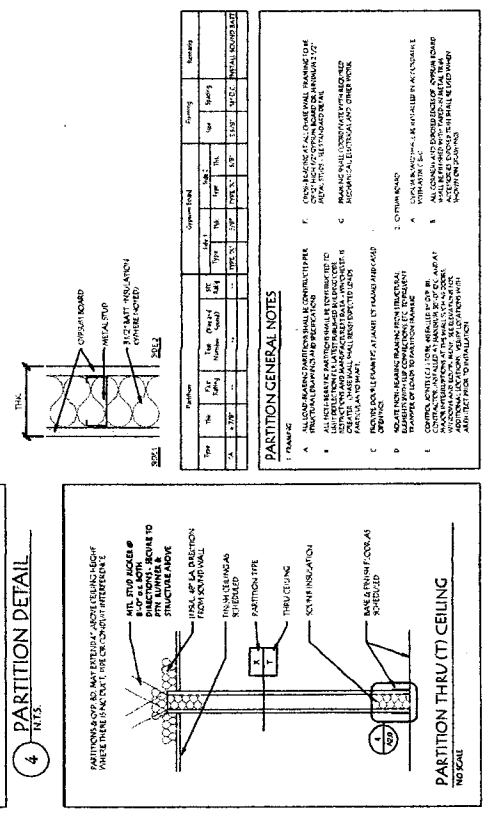
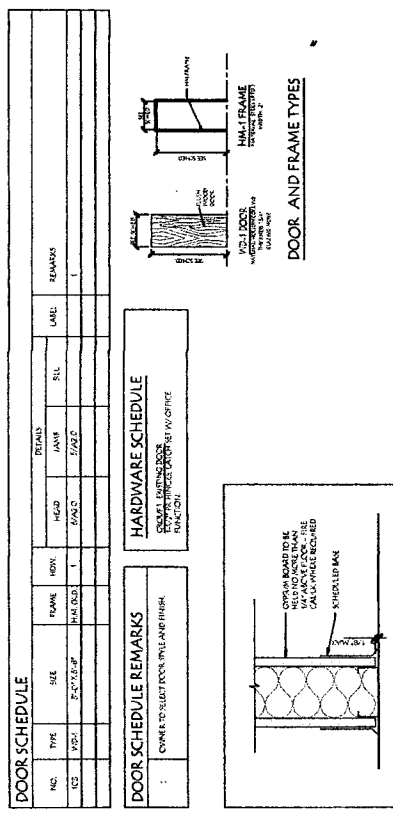
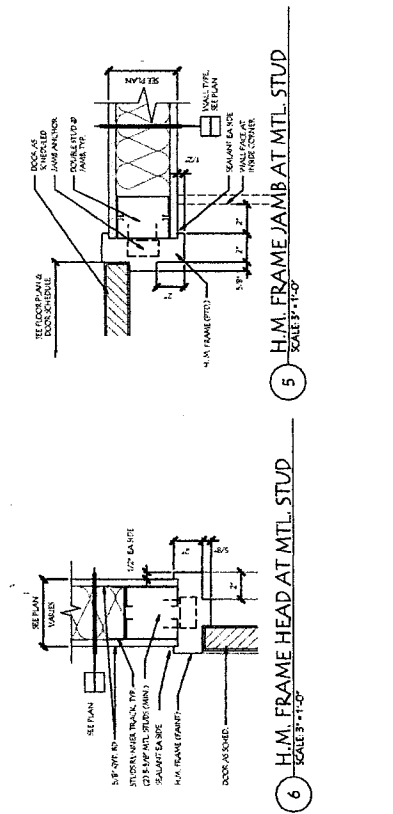
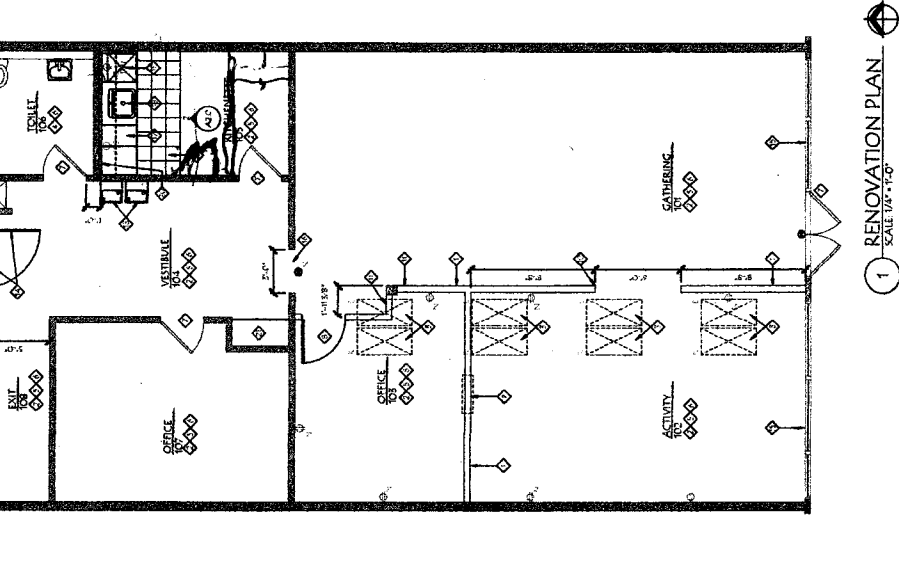
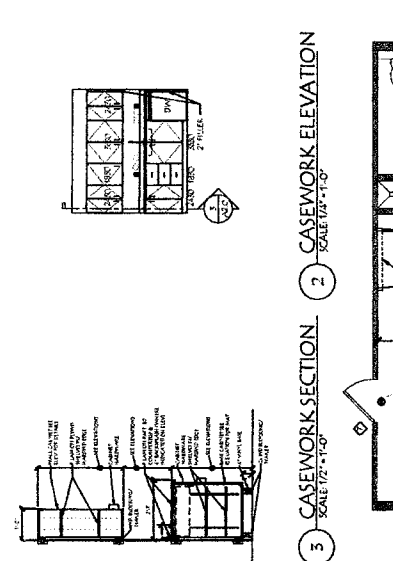
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PRELIMINARY - NOT FOR CONSTRUCTION - 1-14-19

- GENERAL MISCELLANEOUS NOTES:**
- ALL EXISTING FINISHES SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES. EXISTING FINISHES SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES. EXISTING FINISHES SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES.
 - DO NOT VARY MATERIALS.
 - FINISHES SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES. EXISTING FINISHES SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES. EXISTING FINISHES SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES.
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- KEYED RENOVATION NOTES:**
- REPARTITION, BASE REMOVED TO MATCH EXISTING WALL COLOR TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING LIGHTING TO REMAIN. NEW LIGHTING TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING DOOR TO REMAIN. NEW DOOR TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING WINDOW TO REMAIN. NEW WINDOW TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING WALL TO REMAIN. NEW WALL TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING CEILING TO REMAIN. NEW CEILING TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING FLOOR TO REMAIN. NEW FLOOR TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING ROOF TO REMAIN. NEW ROOF TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING MECHANICAL TO REMAIN. NEW MECHANICAL TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING ELECTRICAL TO REMAIN. NEW ELECTRICAL TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING PLUMBING TO REMAIN. NEW PLUMBING TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING HVAC TO REMAIN. NEW HVAC TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING FIRE PROTECTION TO REMAIN. NEW FIRE PROTECTION TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING SAFETY TO REMAIN. NEW SAFETY TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.
 - EXISTING OTHER TO REMAIN. NEW OTHER TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.



DOOR SCHEDULE

NO.	TYPE	SIZE	FRAME	HANDLE	REMARKS
1	DOOR	3'-0" x 7'-0"	ALUM.	DOOR	DOOR

DOOR SCHEDULE REMARKS

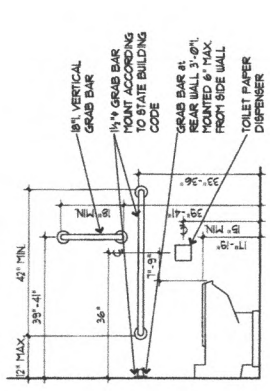
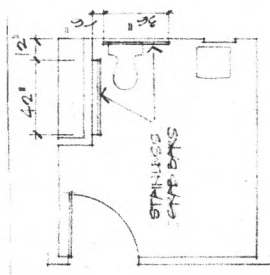
1. DOOR TO BE SELECTED BY OWNER. SEE PARTITION 11-14-19.

HARDWARE SCHEDULE

NO.	TYPE	SIZE	FRAME	HANDLE	REMARKS
1	DOOR	3'-0" x 7'-0"	ALUM.	DOOR	DOOR

PARTITION GENERAL NOTES:

- ALL PARTITIONS SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES. EXISTING FINISHES SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES. EXISTING FINISHES SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES.
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- FINISHES SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES. EXISTING FINISHES SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES. EXISTING FINISHES SHALL BE MAINTAINED OR REPAIRED TO MATCH NEW FINISHES.
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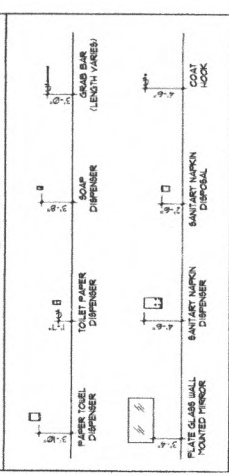
RESTROOM GRAB BARS

HANDICAP ACCESSORIES ELEVATION

KEYED NOTES

- Existing storefront entrance to remain.
- Existing rear exit door to remain.
- Existing exterior wall
- Existing storefront
- Existing tenant demising wall
- Existing interior partitions to remain
- Existing 36" wide doors to remain
- Existing structural column
- Existing 34" wide doors to remain
- Existing 36" wide accessible door to remain. Provide privacy lockset.
- Existing exit light with emergency light pack. Field verify 90 minute battery backup.
- Remove existing partition in total. Patch adj. surfaces as required.
- Existing Accessible Restroom to remain.
- New accessible drinking fountain.
- Existing water meter
- Partition of 3 5/8" metal studs at 16" oc with 1/2" water resistant gyp. board on room side. Provide access panel to water meter.
- New accessible toilet.
- New accessible mounted sink.
- 5'-0" accessible turning radius.
- Sink
- Base cabinets. Coordinate selection with Owner.
- Provide tile floor with vinyl cove base.
- New floor drain. Field verify required location.
- Remove existing door and frame. Install new 36" wide door and frame. Provide lever style handle and privacy lockset.
- Existing electrical panel

ACCESSORY MOUNTING HEIGHTS



BUILDING CODE BLOCK

BUILDING CODES IN EFFECT 2015 IBC International Building Code
2015 International Plumbing Code
2015 International Mechanical Code
2014 National Electric Code

TYPE OF CONSTRUCTION	USE GROUP	OCCUPANT LOAD
Type II B	Adult Care Facility	
Group I-4	(Previous Tenant Group B)	
Total Square Footage = 1,870.0 sf		
Per Table 1004.1.2 of 2015 IBC		
Max. Occupant Load for Day Care		
Day Care net sf in space		
= 35 sf net per occupant		
= 815.0 sf		
Day Care Occupant Load		
= 23 occupants		
Offices		
Office		
= 1 occupant per 100sf		
= 629.0 sf		
Office Occupant Load		
= 3		
Total Code Occupant Load		
= 26		
Operational Occupant Load		
= 10		
(Per State license requirements facilities with one restroom are allowed 8 adults for day care. In addition there will be 2 staff members)		

BUILDING SUPPRESSION SYSTEM

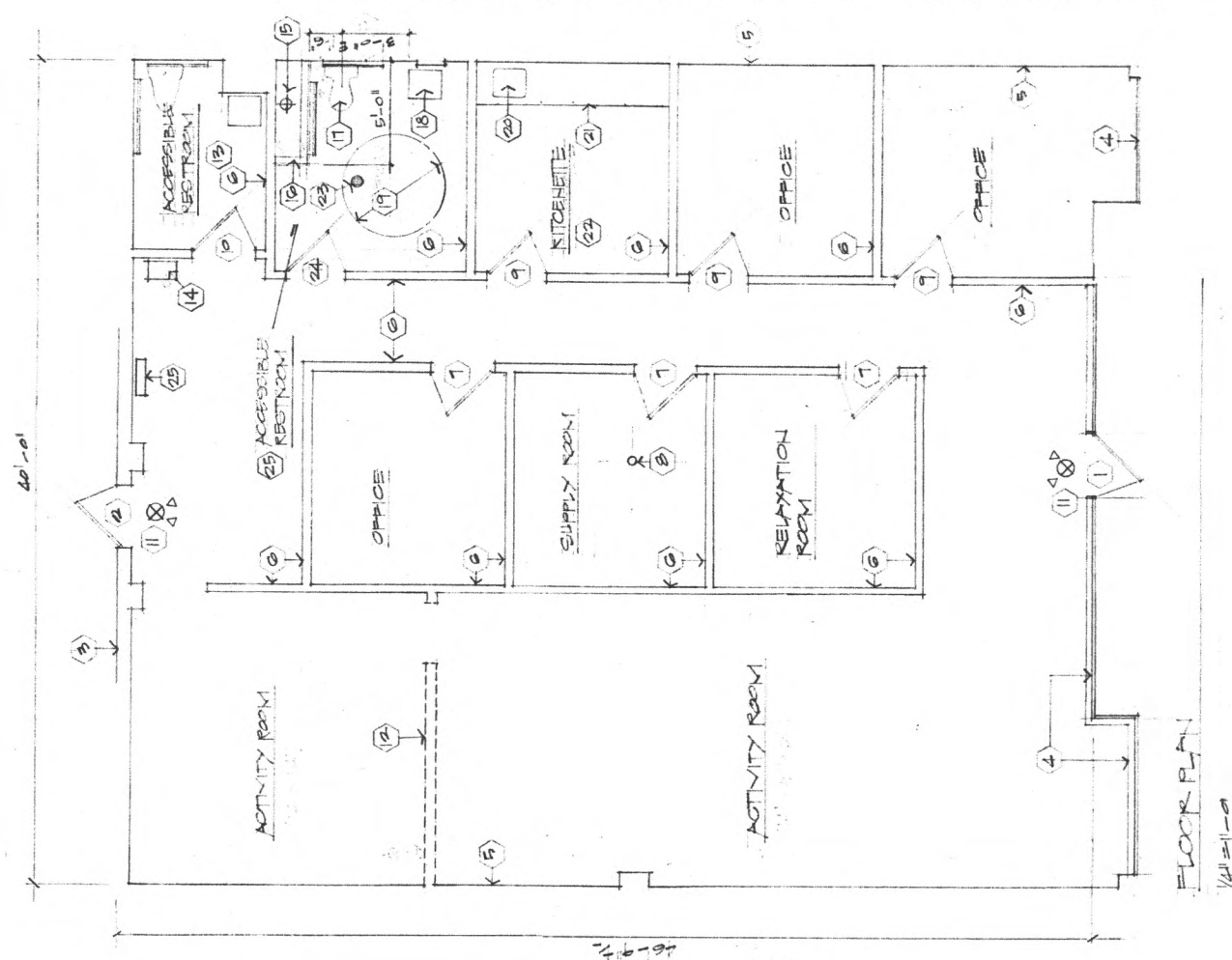
yes ☒ no

Date: 2-18-19
Revisions:

Project:
S&R Adult Daycare Center
58 Grandview Plaza
Suite 210
Florissant, MO 63033

Sheet: **A1**

volding architecture llc
908 mindy lane
saint Louis, missouri 63122
314.909.7280



1 INTRODUCED BY COUNCILWOMAN PAGANO
2 MARCH 11, 2019

3
4 BILL NO. 9475

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO B-5 ORDINANCE**
7 **NO. 5239 TO ALLOW FOR AN ADULT DAY CARE AS A SPECIAL USE**
8 **FOR THE PROPERTY LOCATED AT 58 GRANDVIEW PLAZA**
9 **SHOPPING CENTER**
10

11 WHEREAS, the City Council passed and approved B-5 Ordinance No. 5239 which
12 authorized a B-5 Development known as Grandview Plaza Shopping Center; and

13 WHEREAS B-5 ordinance no. 5239 specifies that supermarkets, home improvement
14 center and all uses in B-3 districts without a special use permit are allowed; and

15 WHEREAS an Adult Day Care Center is allowed as a Special Use Permit in the B-3
16 Zoning District; and

17 WHEREAS, Ashley Hall d/b/a S & R Adult Day Care Center has applied for an adult
18 day care center to be located at 58 Grandview Plaza within the B-5 development; and

19 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
20 recommended to the City Council at their meeting of February 4, 2019 that B-5 Ordinance No.
21 5239 be amended to allow for an adult day care as a Special Use within the Grandview Plaza B-5
22 Development; and

23 WHEREAS, due and lawful notice of public hearing no. 19-02-003 on said proposed
24 change was duly published, held and concluded on 25th day of February 2019 by the Council of
25 the City of Florissant; and

26 WHEREAS, the Council, following said public hearing, and after due and careful
27 deliberation, has concluded that the amendment of Ordinance No. 5239, as hereinafter set forth,
28 to be in the best interest of the public health, safety and welfare of the City of Florissant; and

29
30 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
31 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
32

33 Section 1: B-5 Ordinance No. 5239 is hereby amended to issue a Special Use Permit to Ashley
34 Hall d/b/a S & R Adult Day Care Center for the location of an adult day care center
35 at 58 Grandview Plaza Shopping Center according to attached plans and with the
36 following stipulations:
37

38 1. That accessible man's, women's restrooms and drinking fountain be installed.

39
40 **2. PROJECT COMPLETION.**

41
42 Construction shall start within 60 days of the issuance of building permits and the
43 project shall be developed in accordance of the approved amendments to the final
44 development plans within **180 days** of start of construction.

45
46 Section 2: Except as herein amended Ordinance No.5239 shall remain in full force and
47 effect.

48 Section 3: This ordinance shall become in full force and effect immediately upon its
49 passage and approval.

50
51 Adopted this _____ day of _____, 2019.

52
53 _____
54 Jeff Caputa
55 President of the Council

56
57 Approved this _____ day of _____, 2017.

58
59 _____
60 Thomas P. Schneider
61 Mayor, City of Florissant

62 ATTEST:

63
64 _____
65 Karen Goodwin, MPPA/MMC/MRCC
66 City Clerk

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

**PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____

**Building Commissioner to complete
ward, zone & date filed**

SIGN [Signature] DATE: 2-4-14

SPECIAL PERMIT FOR Special Permit for operation of a Adult Day Care Center
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR _____
ordinance # _____ Statement of what the amendment is for.

LOCATION _____
Address of property.

1) Comes Now (DBA) S & R Adult Day Care Center
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Lease
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for an Adult Day Care Center and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Ashley Hall / Ashley Hall ashleydhall@gmail.com 314-498-8145
 PRINT NAME SIGNATURE email and phone

FOR S & R Adult Day Care Center
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
1. I (we) have a legal interest in the herein above described property.
 2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Ashley Hall

ADDRESS 58 Grandview Pl. Ste 210 Florissant, mo 63033
 STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314-498-8145 / ashleydhall@gmail.com
 BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
 Print name of agent.
 my (our) duly authorized agent to represent me (us) in regard to this petition.

 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 58 Grandview Pl.

Property Owners Name: Broadway Sylamore Partners Phone/email: 314-498-8145 310-873-9511

Property Owners Address: 3415 South Sepulveda Blvd. Suite 400. LBS Angeles, CA

Business Owners Name: Patrice Hall Phone/email: 314-327-3543 90034

Business Owners Address: 1870 Shurdell Dr.

DBA (Doing Business As) S & R Adult Day Care

Authorized Agents Name: Patrice Hall Co. Name: ashleydhall@gmail.com
(Authorized Agent to Appear Before The Commission)

Agents Address: _____ Phone/email: _____

Request _____

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Applicant's Signature _____

Date _____

Received by: JB Receipt # 63642 OFFICE USE ONLY Amount Paid: 300.00 Date: 1/29/19

STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

Planning & Zoning Application
Page 1 of 1 – Revised 7/15/15

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. _____

DATE: 2-4-19

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name S + R Adult Day
Address 58 Grandview Plaza Ste 210
Property Owner Broadway Sycamore Partners
Location of property Grandview Shopping Center
Dimensions of property _____
Property is presently zoned _____ Requests Rezoning To _____
Proposed Use of Property Adult Daycare
Type of Sign _____ Height _____
Type of Construction _____ Number Of Stories 1
Square Footage of Building 1900 Number of Curb Cuts 8
Number of Parking Spaces 75 Sidewalk Length _____
Landscaping: No. of Trees _____ Diameter _____
No. of Shrubs _____ Size _____
Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:

Individual _____ Partnership _____ Corporation X

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners Ashley Hall 1370 Reule 63138 / Patricia Hall 1870 Stadel 63138

(2) Telephone numbers (314) 498-8145 Ashley Hall / (314) 484-4529 Patricia Hall

(3) Business address 1491 Dunn Road Suite 210 Florissant, MO 63033

(4) State of Incorporation & a photocopy of incorporation papers Nonprofit Corporation

(5) Date of Incorporation 4/14/2016

(6) Missouri Corporate Number N000 7D11600

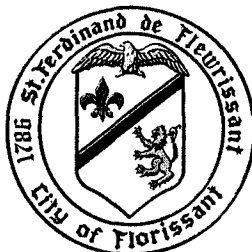
(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.

(8) Name in which business is operated S & R Adult Day Care Center

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information. Square footage is 1,912 SF

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MEMORANDUM



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CITY OF FLORISSANT- Building Department

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners

Date: January 30, 2019

From: Philip E. Lum, AIA-Building Commissioner c:

Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request Recommended Approval for a Special Use at **58 Grandview Plaza** to allow for an Adult Day Care in an existing 'B-5' Zoning District.

STAFF REPORT

CASE NUMBER PZ-020419-2

I. PROJECT DESCRIPTION:

This is a Request for Recommended Approval for a Special Use at **58 Grandview Plaza Shopping Center** to allow for an Adult Day Care in an existing 'B-5' Zoning District.

II. SITE CONDITIONS:

The existing property at 58 Grandview Plaza Shopping Center This property is located within a 'B-5' Planned Commercial District.

Surrounding Properties and their zoning districts:

Parcel Locator#	Address	NSEW	Zoning District
09H130010	901 Wooden Drive	N	'R-6'
09H141340	1335 South Waterford Drive	E	'R-6'
09H120363	1397 South Waterford Drive	E	'R-6'
09H120413	1401 South Waterford Drive	E	'R-6'
09H120385	1357 Stonebury Ct.	E	'B-3'
1475 Dunn Road		W	'B-5'

The property was granted any variances, special exceptions, conditional use permits or zoning relief as follows:

Ordinance #2443 as amended by #2687, 3028 and #5240 to allow for a ground sign.

Ordinance #5239 as amended by #5469, #5504, 5608, 5970, #6814 Old Time Pottery and #7791 for re-zoning to the 'B-5'Planned Commercial Development District.

- 42○ Ordinance #6431 issued to Subway for the operation of a restaurant
43○ Ordinance #6161 as amended by #7952 issued to Bradley Real Estate-CIS Communication
44 To allow for a Cellular Tower, transferred to Global Signal.
45○ Ordinance #6853 issued to Zu Yang-DBA Chins Wok for the operation of a restaurant

46
47 Per the parking ordinance for this use a retail center containing approximately 350,000
48 s.f. requires 2.85 spaces/1000 s.f. Required parking is estimated at 997 parking for the
49 shopping center buildings in addition to the parking required for Schnucks, if
50 approximately 100,000 s.f. at 4.5 spaces if another Food Market enters would be another
51 450. Total required with the Food Market is estimated at $997+450=1447$ Total
52 Required. About 1527 spaces exist.

53

54 **III. STAFF ANALYSIS:**

55 Permitted Uses are those in the 'B-3' District per Ord. No. 5239 listed above. Special
56 Uses for this zoning district also includes Adult Day Care.

57

58 The application is accompanied by a site locator, but the tenant data dose not match the
59 given addresses. A floor plan A1 showing existing conditions and Adult Daycare Center
60 by Volding Architecture, llc. Dated 1/14/19. Petitioner needs to determine where a client
61 will rest and where recliners will be located per State regulations.

62

63 No exterior changes to the site are anticipated. No outside equipment is anticipated.
64 Now new signage is proposed, therefore signs must meet 40 s.f. max. size requirement.

65

66 Occupant Load: The architectural plan A1 shows 23 people in the Educational areas but
67 State regulations may limit this space to 10 persons. The occupant load for staff
68 occupants per the code is 6. The building code would require the maximum number of
69 occupants pertaining to the area of the space. Therefore, the total number of occupants
70 per the building code exceeds 15 and a second restroom (one for each sex) and drinking
71 fountain are required.

72

73 **VI. STAFF RECOMMENDATIONS:**

74 If the Commission recommends approval, staff recommends the attached suggested
75 motion.

76 **Suggested Motion for a Special Use at 58 Grandview Plaza Shopping Center**

77 I move to recommend approval of a Special Use to allow for an Adult Day Care at
78 **58 Grandview Plaza Shopping Center** in an existing 'B-5' Zoning District, with
79 the following stipulations:

80

- 81 1. That accessible men's, women's room and drinking fountain be installed.

82

83 **PROJECT COMPLETION.**

84 Construction shall start within 60 days of the issuance of building permits, and
85 the structure shall be completed in accordance with the plans within 180 days
86 of start of construction.

87

(end of Suggested Motion and Memo)

INTRODUCED BY COUNCILMAN BOND
May 13, 1991

BILL NO. 6056 (AS AMENDED)

ORDINANCE NO. 5239

AN ORDINANCE AMENDING APPENDIX B OF THE FLORISSANT CITY CODE, THE ZONING ORDINANCE, AS AMENDED, BY ADDING THERETO THE FOLLOWING DESCRIBED PROPERTY KNOWN AS GRANDVIEW PLAZA SHOPPING CENTER, AS A B-5 PLANNED COMMERCIAL DISTRICT DEVELOPMENT, UNDER THE ORDINANCES OF THE CITY OF FLORISSANT.

WHEREAS, Appendix B of the Florissant City Code, known as the Zoning Ordinance of the City Code of the City of Florissant, as set out in Ordinance No. 1625, as amended, provides for the establishment of a B-5 Planned Commercial District; and

WHEREAS, an application has been filed by the Bradley Real Estate Trust, represented by the Koman Group for rezoning and development as a B-5 Planned Commercial District, of a tract of land hereinafter described, which tract of land is presently zoned as a B-3 District; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that such rezoning and development as a B-5 Planned Commercial District be approved by the Florissant City Council subject to certain conditions; and

WHEREAS, due notice of a public hearing on said application to be held on the 8th day of April, 1991 was published and such hearing was duly opened on such date and thereafter continued until the 22nd day of April, 1991 when the same was concluded; and

WHEREAS, the Council, following said public hearing and after due and careful consideration has concluded that the rezoning of the property hereinafter described as a B-5 Planned Commercial District would be in the best interest of the City of Florissant; and

WHEREAS, a clear and convincing showing was made during such public hearing that the proposed development and uses thereof do not require the amount of parking that would otherwise be required and would not result in the use of the parking reduction that would be granted hereby under any reasonable set of circumstances.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: The Zoning Code of the City of Florissant, as heretofore amended, is hereby further amended, with respect to certain property heretofore zoned as B-3 District, to establish a B-5 Planned Commercial District, for the location and development of a planned commercial development, on the following described property:

A tract of land being part of Lots 114 and 122 of St. Ferdinand Commons in Township 47 North, Range 6 East, St. Louis County, Missouri; and described as follows:

Beginning at a Point in the northern line of United States Highway No. 66, 100 feet wide, distant 402.91 feet east of the southwestern corner of property described in deed to Ivie F. Poppelwell and wife, recorded in Book 2206, Page 262, St. Louis County Recorder's Office; thence eastwardly 969.09 feet along the northern line of United States Highway No. 66 to a point of curve; thence continuing eastwardly 188 feet along the northern line of United States Highway No. 66 along a curve to the left having a radius of 11,409.19 feet; thence northwardly 1326.11 feet and parallel with the western line of said Poppelwell property to a point 300 feet south of the northern line of said Lot 114; thence westwardly 1148.92 feet and parallel with the northern line of said Lot 114, thence southwardly 1180.56 feet and parallel with the western line of said Poppelwell property to the point of beginning and containing 33.073 acres, according to a survey made by Pitzman's Company of surveyors and engineers on February 24, 1958.

Section 2: The authority and approval embodied in this Ordinance is granted subject to all ordinances of the City of Florissant and on condition that the development and plan for the B-5 Planned Commercial District be carried out in accordance with the preliminary plans filed with the Planning & Zoning Commission of the City of Florissant and forwarded by said Planning & Zoning Commission to the Florissant City Council, and as further revised and depicted on the Final Development Plan, dated Rev. 12/17/90, Rev. 2/8/91, Rev. 3/4/91, approved by the Planning and Zoning Commission on 3/4/91, and attached hereto as Exhibit "A", which plans, except as otherwise provided herein, are hereby approved, adopted and incorporated herein by reference as if fully set out in this ordinance and made a part of this ordinance, subject to the following conditions:

1. PERMITTED USES

The uses permitted in the B-5 Planned Commercial District shall be limited to supermarket, home improvement center and all uses permitted in B-3 districts without a special use permit, and existing/relocated restaurant uses are permitted, but future restaurants will require future authorization by a special use permit; and, no use shall be authorized for the outlot, as depicted on the final development plan unless further approved by amendment of this ordinance. Further, the aforementioned uses shall not allow for the parking of any tractor trailers for a period in excess of 48 hours and no tractor trailer shall be parked along the west property line for more than 12 hours.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

- a. Total gross floor area of all buildings designated as existing, plus buildings A through D as shown on the Final Development Plan approved by Planning and Zoning on 3/4/91 shall not exceed 316,197 square feet. No floor area shall be approved for the future

outlot, as depicted on the final development plan, unless further approved by amendment of this ordinance.

- b. All buildings shall be of single story construction (excluding basements and mezzanines) and shall comply with the height limitations as depicted on the Final Development Plan elevations approved by Planning and Zoning on March 4, 1991.

3. PERFORMANCE STANDARDS

Uses within the B-5 Planned Commercial District Identified herein shall conform to the most restrictive performance standards as set forth in Section 20 of the Florissant Zoning Ordinance.

4. PLAN SUBMITTAL REQUIREMENTS

Within twelve months of the effective date of this ordinance, and prior to issuance of any building or occupancy permit, the petitioner shall submit the Final Site Development Plan to the Planning & Zoning Commission for review and approval thereby in accordance with Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance. Where due cause is shown by the developer, this time interval may be extended by the Planning & Zoning Commission.

5. FINAL SITE DEVELOPMENT PLAN GENERAL CRITERIA

The above Final Site Development Plan shall include the following :

- a. Location and size, including height of all buildings and structures, landscaping and general use of buildings. The height of such buildings shall be limited to the height limitations shown on the Final Development Plan approved by Planning and Zoning March 4, 1991.
- b. Gross square footage of buildings.
- c. Areas to be dedicated for road right-of-way and required roadway improvements.
- d. Existing and proposed roadways, traffic signals, drives, and walkways on and adjacent to the property in question.
- e. Location and size of parking areas and internal drives.
- f. Building and parking setbacks.
- g. Curb cut locations.
- h. Existing and proposed contours at intervals of not more than two (2) feet.
- i. Preliminary stormwater and sanitary sewer facilities.
- j. Identification of all applicable cross access and cross parking easements or agreements.

6. FINAL SITE DEVELOPMENT PLAN CRITERIA

The above Final Site Development Plan shall adhere to the following specific design criteria:

a. Structure Setbacks.

No building or structure, excluding retaining walls, light standards, fences, and authorized freestanding business signs shall be located within the following setbacks:

1. Forty (40) feet of the right-of-way of Dunn Road, and
2. Fifteen (15) feet of the east, west, and north property lines,

as shown on the Final Development Plan approved by Planning and Zoning March 4, 1991.

b. Parking, Loading and Internal Drives Setbacks.

No parking stall, loading space, internal drive or roadway, excluding points of ingress and egress, shall be located within twenty (20) feet of the right-of-way of Dunn Road, zero (0) feet of the west property line and ten (10) feet of the north and east property lines.

c. Minimum Parking/Loading Space Requirements.

Parking requirements shall be as required by Section 17 of the Florissant Zoning Ordinance, except that a maximum parking space reduction of twenty (20%) percent, but not to fall below parking minimum as specified in Section 14.5, Subsection 5 of the Florissant Zoning Ordinance, shall be permitted in conjunction with this ordinance.

d. Road Improvements, Access and Sidewalks.

1. Road improvements shall conform to the requirements of the Missouri Highway and Transportation Department regarding Dunn Road in this area, including provision of right-of-way, pavement widening, and storm drainage facilities as directed and/or approved by the Missouri Highway and Transportation Department, to widen Dunn Road to a two lane roadway with a left turn lane to serve the west access driveway to the development.
2. A five (5) foot wide sidewalk as approved and/or directed by the Building Commissioner, shall be provided adjacent to the south side of the east access drive to Waterford Drive.
3. That the new left turn lane on Dunn Road shall be constructed in accordance with the Missouri State Highway and Transportation requirements.

e. Lighting Requirements.

The location of all lighting standards shall be as approved by the Planning & Zoning Commission on the Final Site Development Plan. Light standards shall not exceed thirty-seven feet six inches (37'-6") in height. The lighting levels on the entire lot (including the back lot) shall be at least one (1) foot candle, with a uniformity ratio of 3 to 1. All lighting shall be directed inward to the lot.

f. Sign Requirements.

1. Home Quarters Warehouse, J.C. Penney, and Schnucks signage is permitted as depicted on the Final Development Plan Elevations and Supplemental Drawings 4/B and 6/B, approved by the Planning and Zoning Commission on March 4, 1991.
2. A 45' ground sign that is authorized pursuant to a Special Permit as set out in Ordinance No. 5240.
3. Remaining signage shall comply with the Florissant City Code, including sign and zoning ordinances.

g. Landscaping.

Landscaping shall be provided as depicted on the Final Development Plan approved by the Planning and Zoning Commission on March 4, 1991, except as otherwise called for:

- 1 Adequate landscaping shall be provided on the site, as approved by the Planning and Zoning Commission.
- 2 Landscaping shall be provided in parking areas in sufficient quantity to at least meet the minimum requirements specified in Section 17 (9) of the Florissant Zoning Ordinance.
- 3 All new deciduous trees shall be a minimum of two (2) inches in caliper, except that the department of public works may approve ornamental trees of a minimum of one and one-half (1 1/2) inches in caliper. All new evergreen trees shall be a minimum of eighteen (18) inches in diameter.
- 4 Deciduous trees shall be located such that all required parking spaces are located within 150 feet of a deciduous tree.

h. Miscellaneous Design Criteria.

1. A sightproof chain link fence shall be installed on the north and west sides of the Home Quarters trash compactor.
2. All trash enclosures shall be enclosed with a minimum six (6) foot high sightproof fence.
3. All rooftop mechanical equipment on new buildings shall be screened.
4. Install a five (5) foot high chain link fence along the north property line connecting to the existing fences on the east and west sides of the property.
5. Move the Florissant check valve from the southwest driveway to the northeast corner of the property. All domestic services shall be, or shall remain, connected to the City of Florissant water system.
6. Construct retaining walls of masonry or cast in place concrete materials.
7. Construct the buildings with the materials indicated on the Final Development Plan elevations and that the rear and sides of the building be constructed of painted precast concrete block.

8. The location of all cart corrals must be approved by the Director of Public Works prior to installation.
9. The design of all screening must be approved by the Director of Public Works.
10. Parking, circulation, sidewalks, and other applicable site design features shall comply with Chapter 1101, Section 512.4 "Physically Handicapped and Aged" of the S.L.C.R.O. 1974, as amended, and with the 1987 BOCA Code, Basic Building Code Handicapped Access Provisions, illustrated.
11. Unless, and except to the extent, otherwise specifically provided herein, the Final Site Development Plan shall comply and be in accordance with all other ordinances of the City of Florissant.

7. VERIFICATION PRIOR TO FINAL SITE DEVELOPMENT PLAN APPROVAL

Prior to the approval of the Final Site Development Plan, the petitioner shall:

a. Stormwater.

Submit to the Planning & Zoning Commission a preliminary engineering plan showing that adequate handling of the stormwater drainage of the site is provided, to comply with the following:

- (1) Provision of adequate stormwater systems in accordance with accepted engineering standards.
- (2) All stormwater shall be discharged at an adequate natural discharge point.

b. Road Improvements and Curb Cuts.

Provide written verification of the requirements of, and approval by, the Missouri Highway and Transportation Department of the location of proposed curb cuts and roadway improvements.

c. Layout Plan.

A layout plan shall be submitted, reviewed and approved by the Public Works Department prior to the commencement of any and all pavement marking. The layout plan shall include proper striping and signing of fire lanes. Fire lanes shall be established by separate ordinance after approval by the Fire District and Director of Public Works, pursuant to Section 15-9, 15-311 and 15-505 of the Florissant City Code.

8. RECORDING

Within sixty (60) days of approval of the Final Site Development Plan by the Planning & Zoning Commission, the approved plan shall be recorded with the St. Louis County Recorder of Deeds. Two copies of the recorded plan shall be provided to the City Clerk showing the book and page of recordation.

9. VERIFICATION PRIOR TO BUILDING PERMITS

Subsequent to approval of the Final Site Development Plan and prior to the issuance of any building permit, the following verifications shall be provided:

a. Sanitary Sewers.

Written verification of sanitary sewer plan approval from the Metropolitan St. Louis Sewer District and the department of public works.

b. Stormwater Sewers.

Written verification of stormwater plan approval from the Metropolitan St. Louis Sewer District and the department of public works.

c. Maintenance Bond or Escrow.

A bond or escrow in the amount of \$10,000.00 shall be furnished for a period of fifteen (15) years to assure maintenance and cleanliness of the exterior of the buildings, including landscaping, fencing, paving, signs, striping, etc. The escrowed funds shall be deposited by the City in an interest bearing account and the petitioner shall annually receive all interest earned on such escrowed funds. If the petitioner has not, within fifteen (15) days after notification by the City, corrected any deficiency in maintenance or cleaning, then the City shall be authorized to expend the escrowed funds for such purpose. In the event that the escrowed funds are depleted below an adequate reserve, for maintenance and cleanliness, as determined by the Director of Public Works, then the petitioner, or its successor in interest, will be obligated to replenish such escrowed funds to an adequate level.

d. Street Improvement/Parking/Curbing/Signs/Pavement Marking/Sidewalks/Traffic Signals. Construction Bond or Escrows.

1. The petitioner shall furnish a two (2) year bond or escrow, sufficient in amount, as determined by the department of public works, to guarantee the street improvements, parking lot pavement, curbing, sidewalks, traffic signals, signs and pavement markings.
2. The petitioner shall repave the entire parking lot, providing for proper drainage, as identified in the parking lot inspection of April, 1989.
3. The petitioner shall provide striping in the rear of the parking lot in accordance with the Final Site Development Plan.
4. A plan for all internal pavement markings and traffic control devices shall be approved by the Director of Public Works.

e. Loading Docks.

The existing loading docks on the old Schnucks building shall be removed after Final Development Plans have been met or a period of twenty-four (24) months.

10. VERIFICATION PRIOR TO OCCUPANCY PERMITS.

Road improvements and right-of-way dedication shall be completed prior to the issuance of any occupancy permit.

11. GENERAL DEVELOPMENT CONDITIONS.

- a. Adequate surfaced temporary off-street parking for construction employees shall be provided.
- b. No change in watershed shall be permitted.
- c. Additional lanes and/or widening, pavement thickness, drainage facilities, granular base, traffic control devices and other improvements may be required by the Director of Public Works to accommodate heavy traffic volumes, unsuitable soil conditions, steep grades or other conditions not apparent at this time.
- d. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- e. The department of public works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

12. PROJECT COMPLETION.

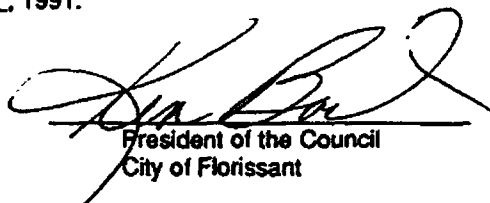
Completion of the planned commercial development, in accordance with the approved Site Development Plan, shall be effected within two (2) years from the effective date of this ordinance.

Section 3: The application and Final Development Plan and accompanying elevations and signage drawings are returned to the Planning & Zoning Commission for consideration of a Final Site Development Plan, pursuant to Section 14.5, subsection 10 (4) of the Florissant Zoning Ordinance.

Section 4: Failure to develop the said Planned Commercial District in accordance with the above-described procedures and restrictions shall be cause for the zoning of said property to revert to a B-3 District, in accordance with Section 14.5, subsection 13 of the Florissant Zoning Ordinance.

Section 5: This ordinance shall become in full force and effect upon its passage and approval as provided by law.

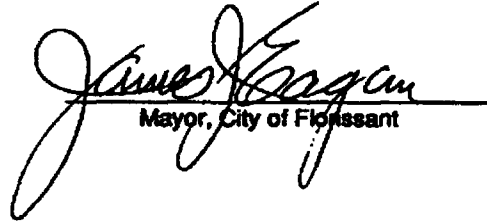
Adopted this 10th day of June, 1991.


President of the Council
City of Florissant

BILL NO. 6056 (AS AMENDED)

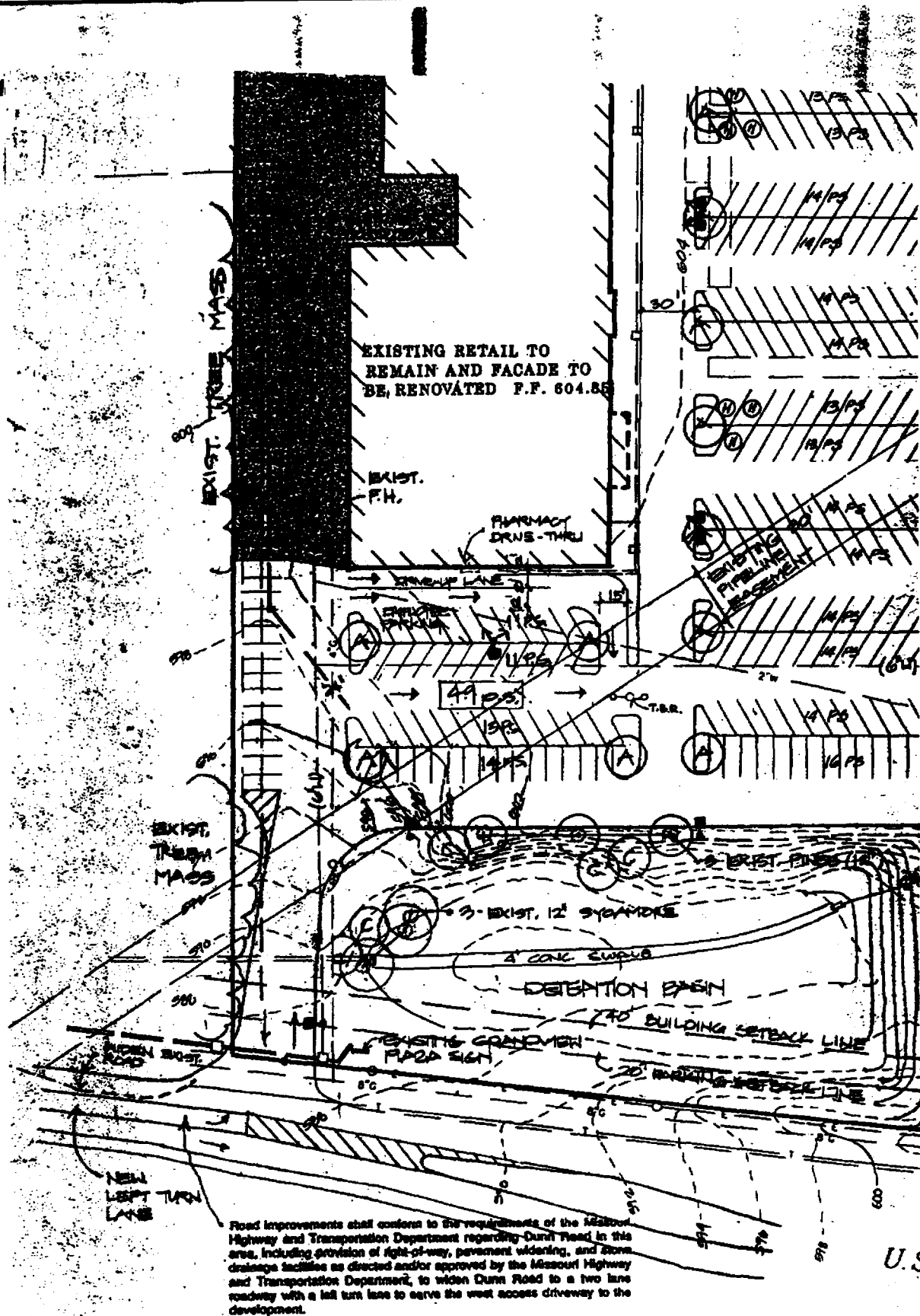
ORDINANCE NO. 5239

Approved this 11th day of June, 1991.


Mayor, City of Florissant

ATTEST:


City Clerk

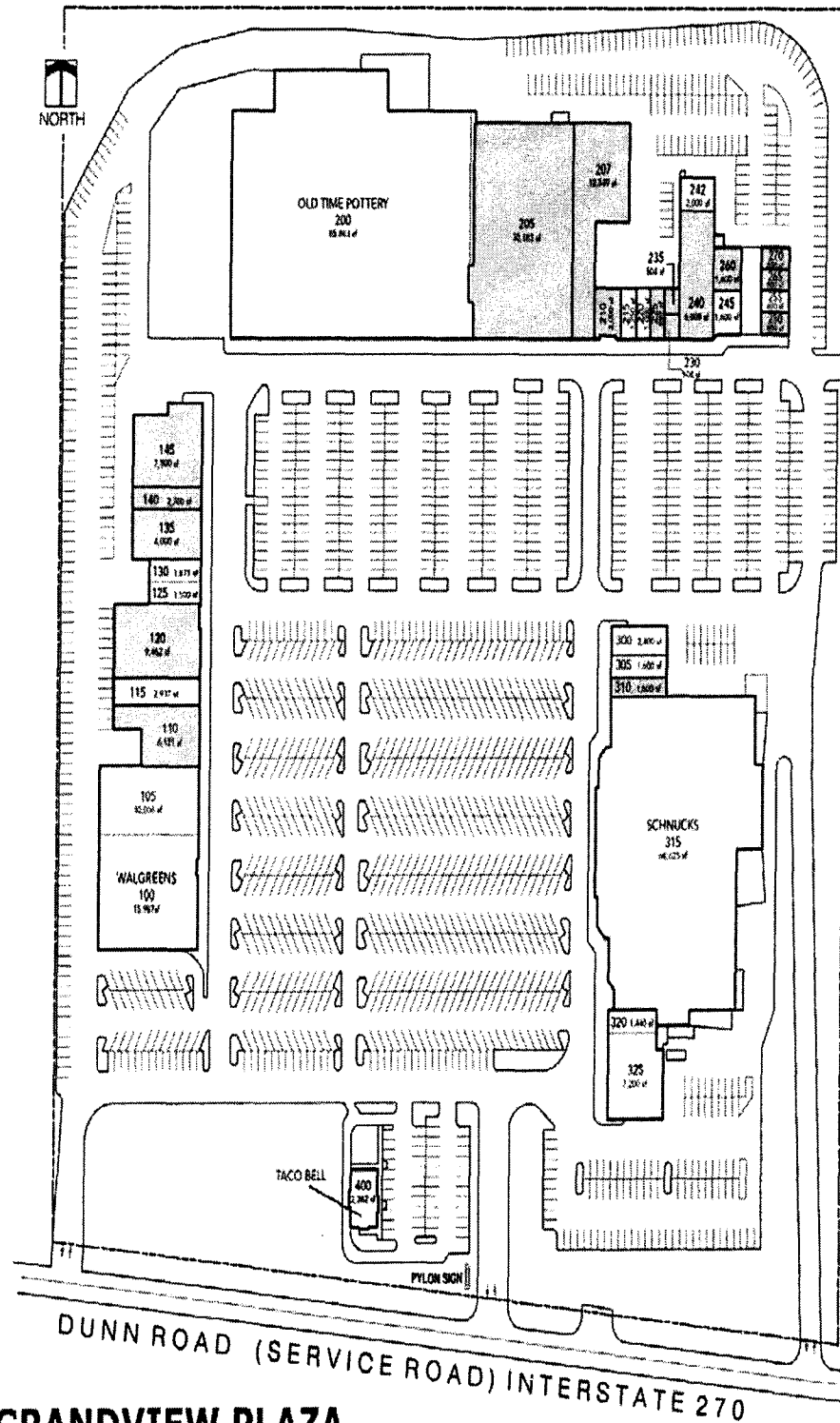


REVISED DRAWING

RETAIL/OFFICE FOR LEASE

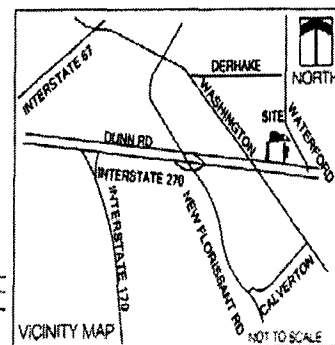
GRANDVIEW PLAZA

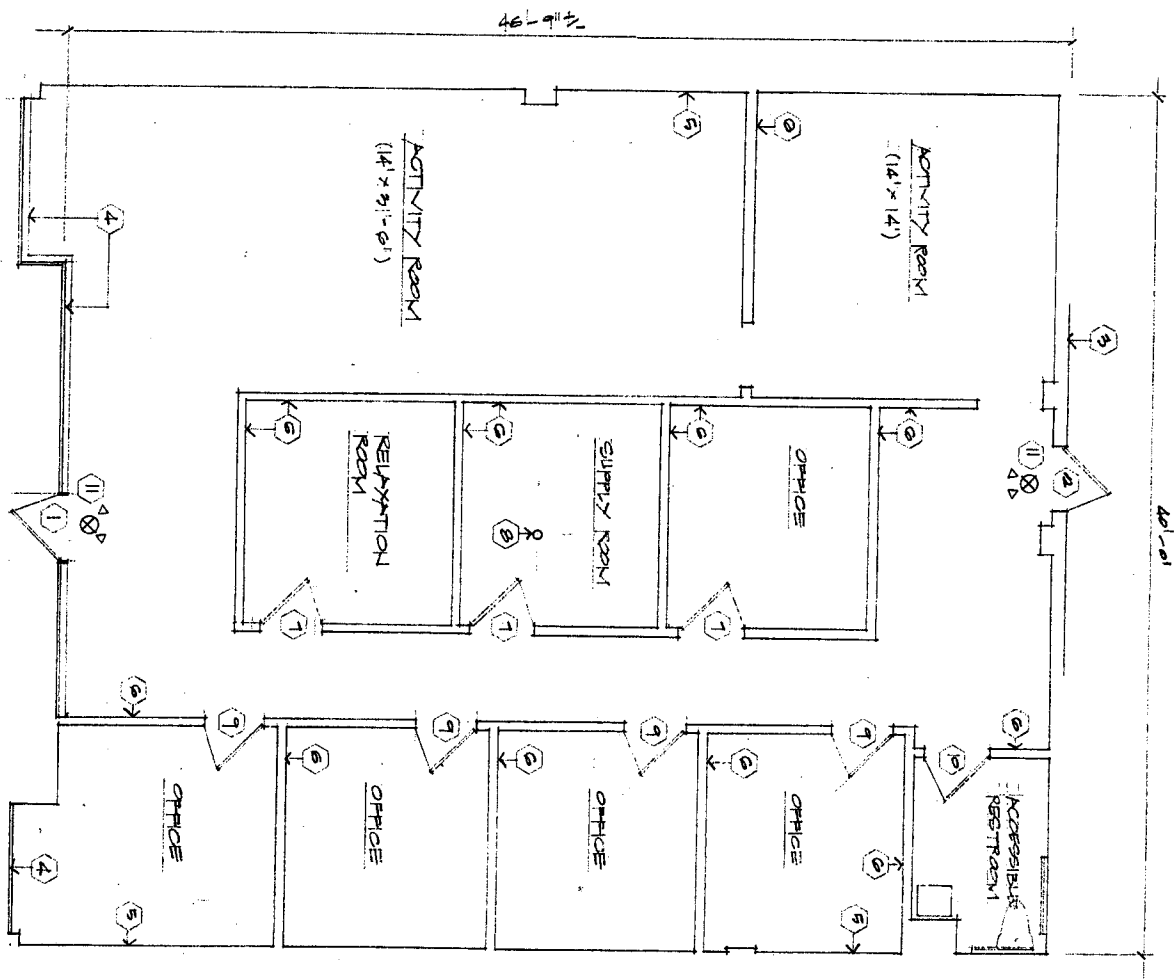
1491 DUNN RD | FLORISSANT, MO 63033



GRANDVIEW PLAZA

GRANDVIEW PLAZA		
TENANT DATA		
NO.	TENANT	SQ. FT.
100	WALGREENS	15,984
105	FRESNIUS DIALYSIS	10,008
110	AVAILABLE	6,121
115	RIVER CITY NUTRITION	2,937
120	AVAILABLE	9,462
125	SEARS OPTICAL	1,500
130	ORTHODONTIC CENTERS	1,875
135	AVAILABLE	4,000
140	AVAILABLE	2,700
145	AVAILABLE	7,500
200	OLD TIME POTTERY	85,883
205	AVAILABLE	30,183
207	AVAILABLE	12,549
210	AVAILABLE	2,000
215	SUBWAY SANDWICHES & SALAD	1,250
220	GET SEXY MOVEMENT	1,000
225	AVAILABLE	890
230	AVAILABLE	585
235	AVAILABLE	504
240	AVAILABLE	6,000
242	MAINTENANCE/ STORAGE	2,000
245	STATE FARM INSURANCE	1,600
250	AVAILABLE	800
255	DR. RICHARD C. KERRY, DDS	800
260	AVAILABLE	1,600
265	AVAILABLE	800
270	AVAILABLE	800
300	CHIN'S WOK	2,400
305	NEXUS HAIR LOUNGE	1,800
310	AVAILABLE	1,800
315	SCHNUCKS MARKET	68,025
320	GREAT CLIPS	1,440
325	RAINBOW	7,200
400	TACO BELL	2,262
TOTAL (SQUARE FEET)		295,858





KEYED NOTES

- ① Existing storefront entrance to remain.
- ② Existing rear exit door to remain.
- ③ Existing exterior wall
- ④ Existing storefront
- ⑤ Existing tenant demising wall
- ⑥ Existing interior partitions to remain
- ⑦ Existing 36" wide doors to remain
- ⑧ Existing structural column
- ⑨ Existing 34" wide doors to remain
- ⑩ Existing 36" wide accessible door to remain. Provide privacy pocket.
- ⑪ Existing exit light with emergency light pack. Field verify 70 minute battery backup.

BUILDING CODE BLOCK

BUILDING CODES IN EFFECT

2015 IBC International Building Code
2015 International Plumbing Code
2015 International Mechanical Code
2014 National Electric Code

TYPE OF CONSTRUCTION

Type II B

USE GROUP

Group I-4 Adult Care Facility
(Previous Tenant Group B)

OCCUPANT LOAD

Total Square Footage = 1,870.0 sf

Per Table 1004.1.2 of 2015 IBC
Max. Occupant Load for Day Care
Day Care net sf in space = 815.0 sf
Day Care Occupant Load = 23 occupants
Offices = 1 occupant per 100sf
Offices = 623.0 sf
Office Occupant Load = 6
Total Code Occupant Load = 29
Operational Occupant Load = 10
(Per State Licensing requirements, facilities with one restroom are allowed 8 adults for day care. In addition there will be 2 staff members)

BUILDING SUPPRESSION SYSTEM

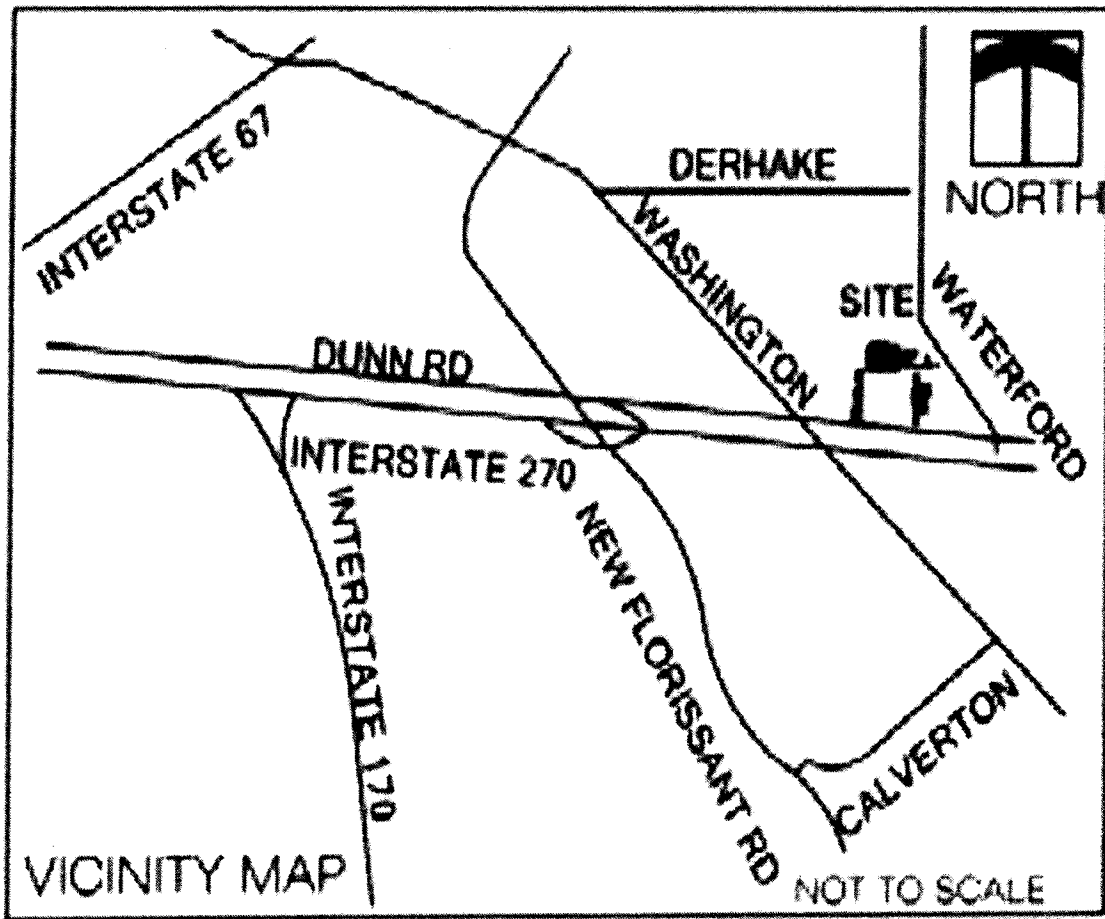
yes ☒ no

Date: 1-14-19
Project: Existing Conditions Plan
S&R Adult Daycare Center
58 Grandview Plaza
Suite 210
Florissant, MO 63033

Sheet: A1

working architecture llc
908 minidy lane
scott louis, missouri 63122
314.909.7280

RETAIL/OFFICE FOR LEASE
GRANDVIEW PLAZA
1491 DUNN RD | FLORISSANT, MO 63033



Posted

2/13/19

Fortine

CITY OF FLORISSANT



PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, February 25, 2019 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to a B-5 Ordinance to allow for an adult day care for the property located at 58 Grandview Plaza Shopping Center (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

1 INTRODUCED BY COUNCILMAN SIAM
2 MARCH 11, 2019

3
4 BILL NO. 9477

ORDINANCE NO.

5
6 **ORDINANCE TO AUTHORIZE AN AMENDMENT TO THE PROVISIONS**
7 **OF B-5 ORDINANCE NO. 7965 TO ALLOW FOR AN OUTDOOR ONLINE**
8 **GROCERY PICKUP AREA AND ASSOCIATED PARKING REVISIONS**
9 **FOR WALMART FOR THE PROPERTY LOCATED AT 3390 N.**
10 **HIGHWAY 67.**

11
12 WHEREAS, the City Council passed and approved B-5 Ordinance No. 7965 which
13 authorized a B-5 Development known known as 3390 N. Hwy 67; and

14 WHEREAS B5 ordinance no.7965 was amended by ordinance no. 8252 which modified
15 the parking spaces; and

16 WHEREAS, Walmart Stores East LP has applied for an amendment to B-5 Ordinance
17 no. 7965 to allow for outdoor online grocery pickup with associated parking revisions for the
18 property located at 3390 N. Hwy 67; and

19 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
20 recommended to the City Council at their meeting of February 19, 2019 that B-5 Ordinance No.
21 7965, as amended, be further amended to allow for an outdoor online grocery pickup with
22 associated parking revisions for the property located at 3390 N. Hwy 67; and

23 WHEREAS, due and lawful notice of public hearing no. 19-03-004 on said proposed
24 change was duly published, held and concluded on 11th Day of March, 2019 by the Council of
25 the City of Florissant; and

26 WHEREAS, the Council, following said public hearing, and after due and careful
27 deliberation, has concluded that the amendment of Ordinance No. 7965 as amended, as
28 hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City
29 of Florissant; and

30
31 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
32 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

33
34 Section 1: The conditions of a B-5 (Ordinance No. 7965 as amended by Ordinance No. 8252)
35 is hereby amended to allow for allow for an outdoor online grocery pickup area and
36 associated parking revisions (Walmart) at 3390 N Highway 67 in an existing B-5
37 Zoning District, according to plans presented by Walmart, including:

38

39 Plans submitted include those entitled Pickup LC and are enumerated C1, SP1, SP1.1, A1.0,
40 A1.1, A2.0, and A2.3, (30"x42"). Also a 24"x36" drawing entitled Elevations
41 enumerated A2.0 all by SGA Design Group, P.C. dated 3/8/18 depicting the
42 development, subject to the regulations of the B-5 "Planned Commercial District",
43 and the following additional requirements:
44

45 Changes to Ordinance No. 7965:
46

47 1. Section 1: first sentence shall be modified to include the outdoor pickup use, change as
48 follows: "The uses permitted for this property shall be limited to a Retail Center with
49 a designated outdoor merchandise pickup area..."
50

51 2. Section 4 paragraph b:

52 b. Civil Plan Sheets shall include modifications shown on attached drawings C1,
53 SP1, SP1.1 by SGA Design Group, P.C. dated 3/8/18.
54

55 3. Section 6 paragraph b Internal Drives.

56 b. Internal Drives shall include modifications shown on attached drawings C1,
57 SP1, SP1.1 by SGA Design Group, P.C. dated 3/8/18.
58

59 4. Section 6 paragraph c.

60 Total parking spaces shall be reduced to 806 (from 811), including 24 accessible
61 spaces.
62

63 5. Section 6 paragraph f, add the following paragraph:

64 Signage for merchandise and grocery Pickup shall be as depicted on attached plans
65 C1, SP1, SP1.1, A2.0, and A2.3, and Elevations A2.0 by SGA Design Group, P.C.
66 dated 3/8/18.
67

68 **PROJECT COMPLETION.**

69 Construction shall start within 60 days of the issuance of building permits, and the structure shall
70 be completed in accordance with the plans within 180 days of start of construction.
71

72 Section 2: Except as herein amended Ordinance No. 7965 shall remain in full force and
73 effect.

74 Section 3: This ordinance shall become in full force and effect immediately upon its
75 passage and approval.
76

77 Adopted this _____ day of _____, 2019.
78
79

80 _____
81 Jeff Caputa
President of the Council

82

83 Approved this _____ day of _____, 2019.

84

85

86

87

88

89

90

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92

ATTEST:

Thomas P. Schneider
Mayor, City of Florissant

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

Posted

2/27/19

Asa

CITY OF FLORISSANT



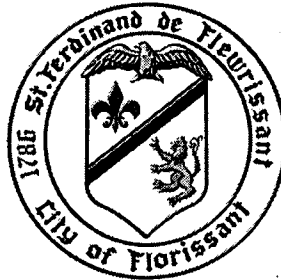
PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, March 11, 2019 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to the provisions of B-5 Ordinance No. 7965, as amended by Ordinance No. 8252, to allow for an outdoor online grocery pickup area and associated parking revisions for Walmart for the property located at 3390 N. Highway 67 (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5
PLANNED COMMERCIAL DISTRICT ORDINANCE



PLANNING & ZONING ACTION:

Address of Property:

3390 N Hwy 67, Florissant, MO 63033

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN. [Signature] DATE: 2-19-19

PETITION TO AMEND B-5 ORDINANCE # _____ B-5 Ordinance No. 7965

Enter ordinance number or number requesting to amend.

1) Comes Now Sunday Bougher

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal
interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Petitioner for Wal-Mart Stores East, LP, owner of Lease

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of
authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which
the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is
identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn
to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street
intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and
distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned _____

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in
a B-5 District and is presently being used for Walmart #5927, Retail establishment

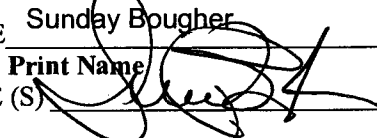
State current use of property, (or, state: vacant).

Paul 2-5-19 Receipt # 613826
300.00

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:
With the addition of the Online Grocery Pickup service to the existing retail establishment, signage and branding is necessary for customers to identify to safely navigate to the service area.

List reason for the amendment request.

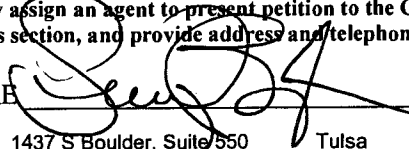
4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Sunday Bougher
PETITIONER(S) SIGNATURE (S) 
FOR Wal-Mart Stores East, LP
(company, corporation, partnership)

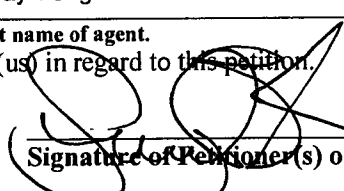
Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
☐ I (we) have a legal interest in the herein above described property.
☒ I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE 
ADDRESS 1437 S Boulder, Suite 550 Tulsa OK 74119
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER (918) 587-8600 ext. 331

I (we) the petitioner (s) do hereby appoint Sunday Bougher as
my (our) duly authorized agent to represent me (us) in regard to this petition.

Print name of agent. Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐ Partnership: ☒ Corporation: ☐

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners WSE Management, LLC & WSE Investment, LLC
- (2) Telephone numbers (479) 277.2206
- (3) Business address 702 SW 8th Street, Bentonville,, AR 72716
- (4) Name under which business is operated Wal-Mart Stores East, LP
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Sunday Bougher

Address 1437 South Boulder, Suite 550 Tulsa, OK 74119

Property Owner THF Florissant Dev LLC ETAL

Location of property 3390 N Highway 67 Street

Dimensions of property _____

Property is presently zoned B-5 per ordinance # B-5 Ordinance No. 7965

Current & Proposed Use of Property Retail

Type of Sign Wall sign Height _____

Type of Construction VB-(Unprotected) Fully sprinklered Number Of Stories 1

Square Footage of Building 169,426 sf Number of Curb Cuts _____

Number of Parking Spaces _____ Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

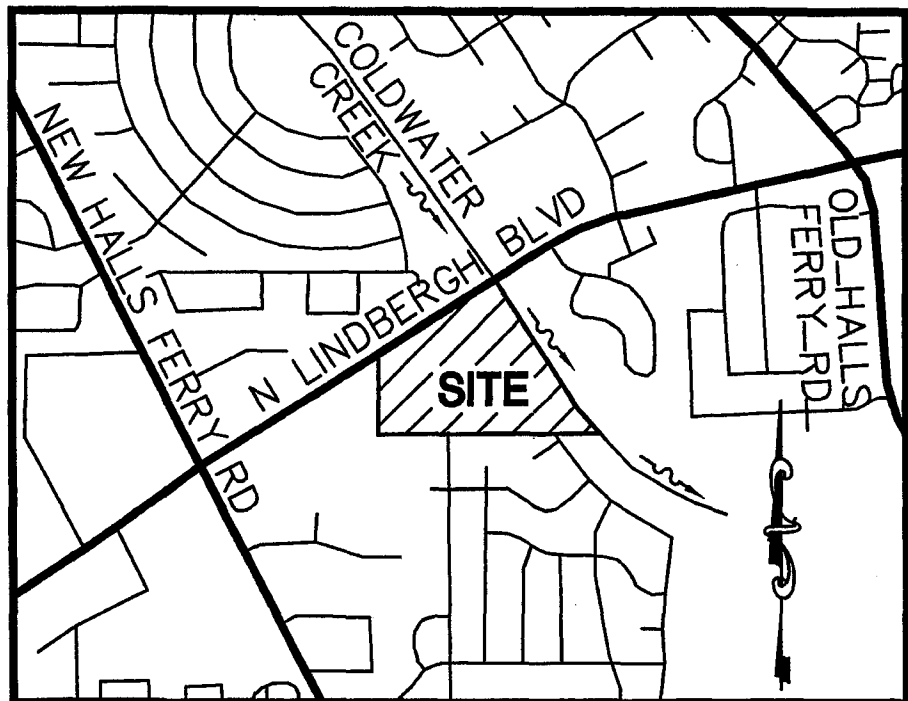
Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

3390 N Highway 67 Street

Adjusted Lot 1 of the Florissant Walmart Boundary Adjustment Plat recorded in Plat Book 362, pages 85 and 86 of the St. Louis County Records.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.





* 2015061700658 *

GERALD E. SMITH, RECORDER OF DEEDS
ST. LOUIS COUNTY MISSOURI
41 SOUTH CENTRAL, CLAYTON, MO 63105

TYPE OF INSTRUMENT NOTICE	GRANTOR THF FLORISSANT DEV LLC ETAL	TO	GRANTEE FLORISSATN DEV LLC
---------------------------------	--	----	-------------------------------

PROPERTY DESCRIPTION: FLORISSANT WALMART BDYADJ PLAT ADJ 1 PB 362 PG 85

Lien Number

Notation

Locator

NOTE: I, the undersigned Recorder of Deeds, do hereby certify that the information shown on this Certification Sheet as to TYPE OF INSTRUMENT, the NAMES of the GRANTOR and GRANTEE as well as the DESCRIPTION of the REAL PROPERTY affected is furnished merely as a convenience only, and in the case of any discrepancy of such information between this Certification Sheet and the attached Document, the ATTACHED DOCUMENT governs. Only the DOCUMENT NUMBER, the DATE and TIME of filing for record, and the BOOK and PAGE of the recorded Document is taken from this CERTIFICATION SHEET.

RECORDER OF DEEDS DOCUMENT CERTIFICATION

STATE OF MISSOURI)
SS.
COUNTY OF ST. LOUIS)

Document Number 00658

I, the undersigned Recorder of Deeds for said County and State, do hereby certify that the following and annexed instrument of writing, which consists of 7 pages, (this page inclusive), was filed for record in my office on the 17 day of June 2015 at 01:02PM and is truly recorded in the book and at the page number printed above.

In witness whereof I have hereunto set my hand and official seal the day, month and year aforesaid.

RE
Deputy Recorder



Gerald E. Smith
Recorder of Deeds
St. Louis County, Missouri

Mail to:

Chicago Title Company, LLC - Commercial
2345 Grand Blvd., Suite 690
Kansas City, MO 64108

Destination code: 4002

RECORDING FEE 39.00
(Paid at the time of Recording)



SGA Design Group

February 12, 2019

***REVISED

RE: Walmart #5927
Online Grocery Pickup Service
3390 North Highway 67 St.
Florissant, MO 63033

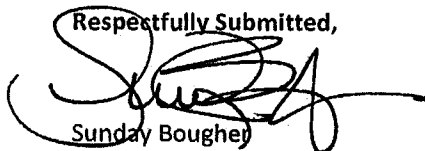
The existing Walmart Supercenter currently offers Groceries, General Merchandise, Auto Services, Optical services, and Pharmacy Services. The proposed Online Grocery Pickup is an additional service offered to the Walmart customers. The customer order their groceries online and select an appointed hour to pick up their order. Online Grocery Pickup service will be available seven days a week, 8 a.m. to 8 p.m. Upon arrival to the Walmart Supercenter, the customers are directed by way-finding signage to the Online Grocery Pickup service area. A Walmart OGP Employee delivers their purchases and places it in the customer's vehicle. During the transactions, the Online Grocery Pickup customer remains in the vehicle.

The proposed Online Grocery Service scope of work includes re-striping of existing parking in an alternate color for the designated On Line Grocery Pick Up parking, wall signage and banding, directional signage and parking stall signage and a minor interior remodel, that includes the installation of self-contained refrigeration units, check-in station and the relocation of shelving.

We are also proposing to widen existing 10 parking stalls to 12' wide for the designated Online Grocery Pickup and as a result, a maximum of five (5) parking spaces will be eliminated. The additional width is necessary for the OGP Employee to safely navigate around the vehicles. Currently, there are 811 parking spaces, post construction total will be 806 parking stalls. This meets the off-street parking requirements of the City of Florissant Zoning Code, Chapter 405, Article V1, Section 405.225 Parking. It should also be noted that in an effort to maintain safe access to and from the Online Grocery Pickup service area for their customers, Walmart has altered their delivery hours from their vendors and their warehouses to minimize any interior traffic disruptions.

Please feel free to contact me if you have any questions or concerns.

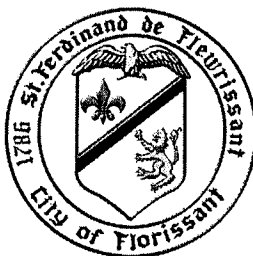
Respectfully Submitted,



Sunday Bougher

1

MEMORANDUM



CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: February 12, 2019

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From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.
Director Public Works
Deputy City Clerk
Applicant
File

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19

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21

Subject: Request recommended approval to amend the provisions of a 'B-5', Ord. No. 7965 as amended by Ord. No. 8252 to allow for an outdoor online grocery pickup area and associated parking revisions at 3390 N. Highway 67 (Wal-Mart) located in an 'B-5' Planned Commercial District.

22

STAFF REPORT

23

CASE NUMBER PZ-021919-1

24

25

I. PROJECT DESCRIPTION:

26

27

28

29

Request recommended approval to amend the provisions of a 'B-5', Ord. No. 7965 as amended by Ord. No. 8252 to allow for an outdoor online grocery pickup area and associated parking revisions at 3390 N. Highway 67 (Wal-Mart).

30

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This proposal is to serve people who prefer not having to deal with lines or committing so much time, to buy food or merchandise online or in the Walmart app and then pick it up from the store, including loading your car for you.

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The chain has recently undergone a facelift to remain competitive with an increasingly digitized commercial landscape, providing more options for online ordering and pick up in-store at the customer's convenience by making choosing a reserved time. Same day pick-up or up to a week in advance, with a \$30 minimum.

Online site allows price comparisons, weekly coupons, and shop by departments rather than walking aisles or waiting in lines and includes popular local choices. Once paid online, pick-up time is reserved.

II. SITE CONDITIONS:

The existing address at **3390 N Highway 67** has been in operation under conditional occupancy due to incompleteness of landscape. The site development plan approved by Ordinance 7965 must be amended to allow for site changes.

III. SURROUNDING PROPERTIES:

The property to the west is 3200 N. Highway 67 in a B-3 District with strip center and large AT&T transmission tower. The property to the East is Coldwater Creek. The property across N Highway 67 are properties in the B-3 District. The properties to the South are Lowe's at 3184 N. Highway 67 in a B-5 District and 8 residences in R-4 Districts including houses on Aqueduct, Barcelona and Seville Drive and Seville Ct. as follows (from west to east) with finished floor elevations as indicated:

2265 Aqueduct Drive	549.65
2260 Aqueduct Drive	548.86
2249 Barcelona Ct.	541.08
2255 Barcelona Ct.	534.76
2240 Barcelona Ct.	540.09
109 Seville Ct.	522.23
110 Seville Ct.	506.64
3615 Seville Dr.	501.01

IV. STAFF ANALYSIS:

The application is accompanied by plans: Plans submitted include those entitled Pickup LC and are enumerated C1, SP1, SP1.1, A1.0, A1.1, A2.0, A2.3, OS1, FP1, M1, E1, and FXS1 dated 3/8/18 drawings are 30"x42". There is also a 24"x36" drawing entitled Elevations enumerated A2.0 all by SGA Design Group, P.C. Included for reference is a Site Plan, C-1 by Wolverton and Associates dated 10/11/13 and a Site Plan labeled 'Exhibit 'A' dated 1/21/19 which illustrates onsite traffic.

The proposal includes a change in signage at the Southwest corner of the building and altering parking for pickup spaces and crosswalk to a South entrance door. A description of plans received:

Reference C-1: This drawing depicts the original Ordinance 7965 parking with 848 spaces, but has been superseded by the slope failure amending ordinance no. xxxx, with site plan included by staff.

C1: Title sheet for building plan review, it includes a key plan showing the general location of 10 pickup spaces and crosswalk.

84 SP1: Aerial map indicates location of directional signs, but the sign details are not shown
85 on this sheet. An Enlarged partial Site Plan shows dimensions of the pickup spaces and
86 crosswalk.

87
88 SP1.1: Shows signage details and pavement markings

89
90 A1.0: Shows details of the modifications requested for the proposed pickup check-in at
91 the front (East) entry near the center of the building.

92
93 A1.1: Shows details of the modifications requested for the proposed pickup check-in at
94 the side (Southwest) entry near the Southwest corner of the building.

95
96 A2.0: Elevation of proposed Pickup open letter sign, about 14'-8 wide x 4'-5" tall x .67=
97 about 43.4 s.f. proposed wall sign area.

98
99 A2.3: Misc. signs for stall marking and post or wall wayfinding signs.

100
101 OS1: Owner Supplied Materials listing.

102
103 FP1: Fire protection modifications proposed.

104
105 M1: Duct modifications proposed.

106
107 E1: Electrical modifications proposed.

108
109 FXS1: Rack and shelving modifications proposed.

110
111 Elevations A2.0: Shows Illuminated sign location.

112
113 Site Plan labeled 'Exhibit 'A' Identifies separation of Deliveries, truck traffic and Online
114 Grocery Pickup (OGP) traffic. The required parking listed here is correct per the new
115 parking code, however, the parking Site Analysis fails to account for the amendment,
116 Ordinance No. 8252 which reduced the existing parking provided to 811. Since corrected
117 with written narrative received as of the date of this memo, the parking provided is 806.

118
119
120 **VI. STAFF RECOMMENDATIONS:**

121 A suggested motion enumerating documents that will need to be incorporated has been
122 developed and reviewed by staff. The plans received addresses not only the proposed
123 amendments to the 'B-5' but comprise a full Building Permit submission. The site plan
124 referenced 'C-1' is not the latest site plan and therefore, the parking calculations have
125 been recalculated and verified by staff with the petitioner (See written narrative by
126 architect dated 2/12/19 attached.

February 12, 2019 Suggested Motion for amending a B-5, Ordinance No. 7965 as amended by Ord. No. 8252 to allow for allow outdoor online grocery pickup and associated parking revisions at 3390 N. Highway 67 (Walmart):

I move to recommend approval to amend the conditions of a B-5 (Ordinance No. 7965 as amended by Ordinance No. 8252) to allow for allow for an outdoor online grocery pickup area and associated parking revisions (Walmart) at 3390 N Highway 67 in an existing B-5 Zoning District, according to plans presented by Walmart, including:

Plans submitted include those entitled Pickup LC and are enumerated C1, SP1, SP1.1, A1.0, A1.1, A2.0, and A2.3, (30"x42"). Also a 24"x36" drawing entitled Elevations enumerated A2.0 all by SGA Design Group, P.C. dated 3/8/18 depicting the development, subject to the regulations of the B-5 "Planned Commercial District", and the following additional requirements:

Changes to Ordinance No. 7965:

1. **Section 1:** first sentence shall be modified to include the outdoor pickup use, change as follows: **"The uses permitted for this property shall be limited to a Retail Center with a designated outdoor merchandise pickup area..."**
2. **Section 4 paragraph b:** shall be modified to include the attached Site plan modifications:
 - b. **Civil Plan Sheets shall include modifications shown on attached drawings C1, SP1, SP1.1 by SGA Design Group, P.C. dated 3/8/18.**
2. **Section 6 paragraph b Internal Drives** The internal drives shall be revised to include modifications:
 - c. **Internal Drives shall include modifications shown on attached drawings C1, SP1, SP1.1 by SGA Design Group, P.C. dated 3/8/18.**
3. **Section 6 paragraph c. Minimum Parking/Loading space requirements shall be changed to:**

Total parking spaces shall be reduced to 806 (from 811), including 24 accessible spaces.
4. **Section 6 paragraph f , add the following paragraph:**

Signage for merchandise and grocery Pickup shall be as depicted on attached plans C1, SP1, SP1.1, A2.0, and A2.3, and Elevations A2.0 by SGA Design Group, P.C. dated 3/8/18.

PROJECT COMPLETION.

Construction shall start within 60 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 180 days of start of construction.

(end of Suggested Motion and Memo)

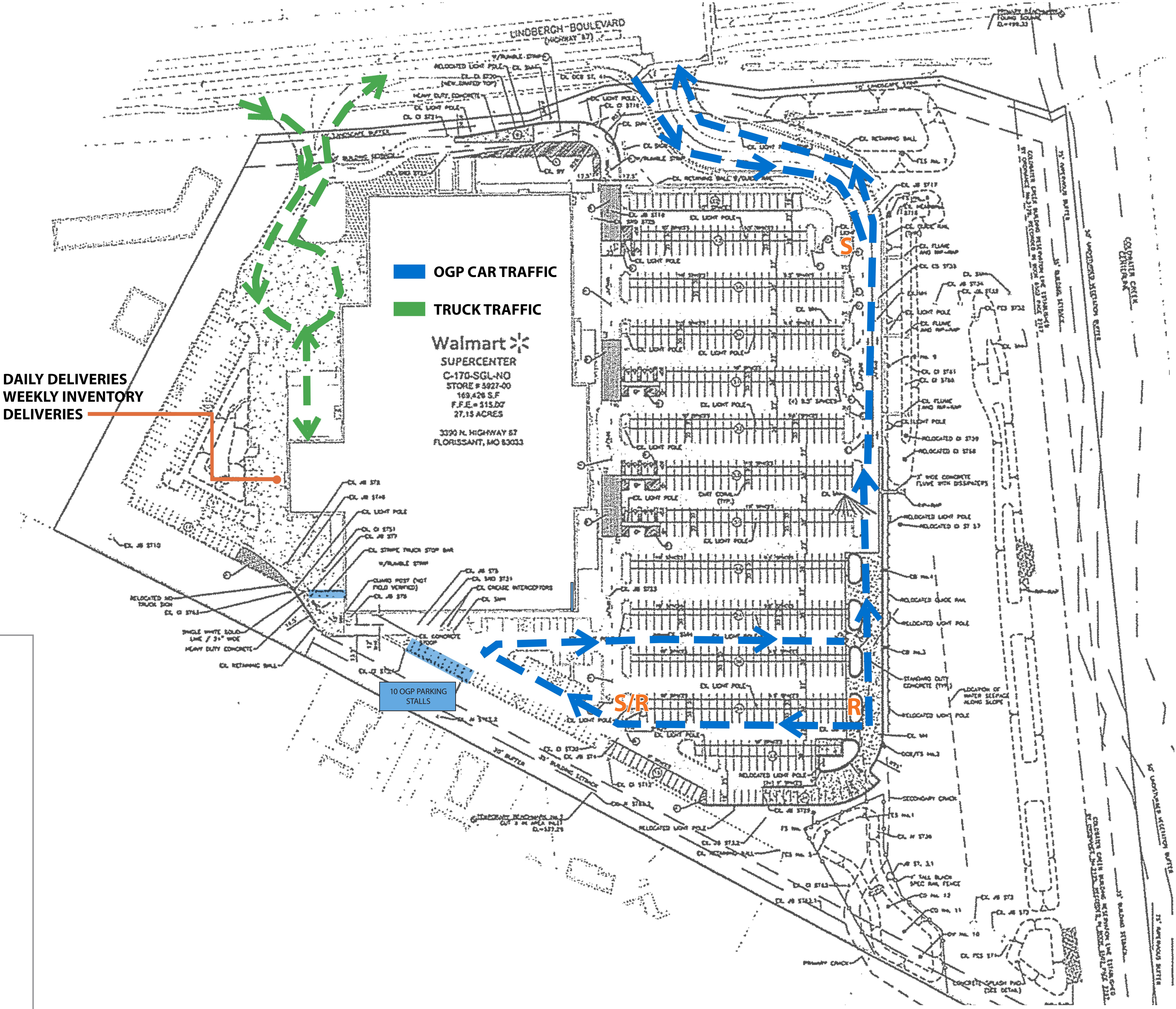
EXISTING WALMART SITE ANALYSIS

WALMART	169,426 SF
STANDARD PARKING	787 SPACES
ACCESSIBLE PARKING	24 SPACES
TOTAL PARKING	811 SPACES
PROPOSED RATIO	4.78 SP/1,000 SF
CART CORRALS	32 SPACES
SITE AREA	27.15 +/- AC

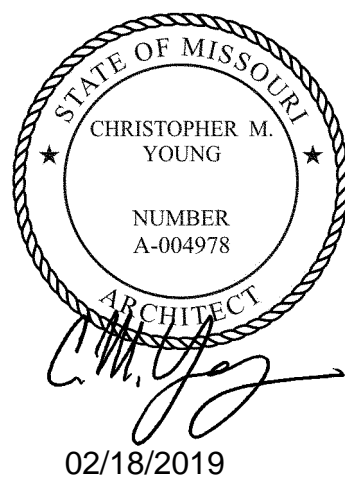
REQUIRED PARKING BY CITY OF FLORISSANT
ZONING CODE, CHAPTER 405, ARTICLE VI, SECTION
405.225 PARKING REGULATION - **678 SPACES**

PROPOSED WALMART SITE ANALYSIS

WALMART	169,426 SF
STANDARD PARKING	782 SPACES
ACCESSIBLE PARKING	24 SPACES
TOTAL PARKING	806 SPACES
PROPOSED RATIO	4.77 SP/1,000 SF



Original site plan prepared by BFA, used as a reference in this exhibit.



Christopher M. Young, Architect
Registration # 1-004978
SGA Design Group, P.C.
A-2008031944
1437 S. Boulder Suite 550
Tulsa, OK 74119.3609
918.587.8600

FLORISSANT, MO
STORE NO.: 5927.204

PROTO CYCLE: 02/13/18
DATE: 03/08/18
PROTO: (LOW CAP)

SHEET INDEX

ABBREVIATIONS

GENERAL REQUIREMENTS

SITE VERIFICATION REQUIREMENTS

ARCHITECTURAL

C1COVER SHEET

SP1SITE PLAN AND DEMOLITION SITE PLAN

SP1.1PICKUP SITE DETAILS

A1.0FLOOR PLANS AND DETAILS

A1.1FLOOR PLANS AND DETAILS

A2.0BUILDING ELEVATIONS AND SECTIONS

A2.1BUILDING ELEVATIONS AND SECTIONS

AS2SIGNAGE DETAILS AND SCHEDULE

OS1OWNER SUPPLIED ITEMS (NOT FOR PERMIT)

FIRE PROTECTION

FP1OVERALL FIRE SPRINKLER PLAN

MECHANICAL

M1MECHANICAL PLAN

ELECTRICAL

E1POWER PLAN

RACKING STRUCTURAL

FXS1FIXTURE ANCHORAGE PLAN DETAILS AND NOTES

GENERAL ABBREVIATIONS

ABBRDEFINITION

ANCHANCHOR BOLT

ACIAMERICAN CONCRETE INSTITUTE

AFBABOVE FINISHED FLOOR

AHUAIR HANDLING UNIT

ASCIAMERICAN INSTITUTE OF STEEL CONSTRUCTION

ARCHARCHITECTURAL

ASTMAMERICAN SOCIETY OF TESTING AND MATERIALS

AWISAMERICAN WELDING SOCIETY

BDBOARD

BFFBELOW FINISHED FLOOR

BLDGBUILDING

BTMBOTTOM OF

BOSBOTTOM OF STEEL OR BOTTOM OF STUD

BTMBOTTOM

BRGBEARING

CASCASIN DRAWER

CJCONTROL JOINT

CLCENTERLINE

CLEARCLEAR

CMUCONCRETE MASONRY UNIT

COLCOLUMN

CONCCONCRETE

CONSTCONSTRUCTION

CONTCONTINUOUS

DIA DIAMETER

NSNOVEMBER

EASEMERGENCY ACCESS SYSTEM

EACELECTRICAL DISTRIBUTION CENTER

EIFSEXTERIOR INSULATION AND FINISH SYSTEM

EJEXPANSION JOINT

ELELEVATION

ELECELECTRICAL

EQEQUAL

ESEQUIPMENT SUPPLIER

ETREXISTING TO REMAIN

EW EACH WAY

EXT EXTERIOR

FOU FOUNDATION

FF FINISHED FLOOR

FS FAR SIDE

FTG FOOTING

GENERAL ABBREVIATIONS

ABBRDEFINITION

FVFIELD VERIFY

GAUGE

GCGENERAL CONTRACTOR

GMGENERAL MERCHANDISE

GYPGYPSUM BOARD

HHEIGHT

HMRHEAVY MEAL REPLACEMENT

HORIZHORIZONTAL

HSAHEADED STUD ANCHOR

HOLLOW LUTEL

INFOINFORMATION

ISOISOLATION

JOISTBEARING ELEVATION

JOIST

KTJOINT

KSIKIPS PER SQUARE INCH

LLENGTH

LBPOUNDS

LLHLONG LEG HORIZONTAL

LLVLONG LEG VERTICAL

LONGLONGITUDINAL

LVTLUXURY VINYL TILE

MAXMAXIMUM

MDFMEDIUM DENSITY FIBERBOARD

MECHMECHANICAL

MANUFACTURER

MINMINIMUM

MISCMISCELLANEOUS

MINMINIMUM

MILMETAL

NICNOT IN CONTRACT

NITNOT IN CONTRACT

NONUMBER

NSNEAR SIDE

OSOPPOSITE SIDE

OC ON CENTER

OCHON CENTER HORIZONTALLY

OVON CENTER VERTICALLY

ODOUTSIDE DIAMETER

OHOPPOSITE HAND

PAFPOWDER ACTUATED FASTENER

GENERAL ABBREVIATIONS

ABBRDEFINITION

PCFPOUNDS PER CUBIC FOOT

PLATE

PLATE

PLFPOUNDS PER LINEAR FOOT

PMLPREMIXED POLYMER MODIFIED JOINT

PTPRESSURE TREATED

PSFPOUNDS PER SQUARE FOOT

PSIPOUNDS PER SQUARE INCH

PSPROTECTIVE SURFACING

PVCPOLYVINYL CHLORIDE

QTYQUANTITY

REFREFER TO

REINREINFORCING

REQDREQUIRED

REVERSE

REACH

ROUGHROUGH OPENING

RTUROOF TOP UNIT

SCHEDSCHEDULE

SI

SIMILAR

SJSTEEL JOIST INSTITUTE

SPSPACES

SPECIFICATIONS

SSSTAINLESS STEEL

STRSTRUCTURAL

T&BTOP AND BOTTOM

THKTHICKNESS

TO

TOPTOP OF CONCRETE

TOFTOP OF FOOTING

TOGBTOP OF GRADE BEAM

TOH

TOPTPTOP OF PAVING

TOSTOP OF STEEL OR TOP OF STUD

TRANSVERSE

TYTYPICAL

UNO UNLESS NOTED OTHERWISE

VERTVERTICAL

VTRVENT THROUGH ROOF

WWIDTH

WDWOOD

1. ALL WORK SHALL BE DONE IN A SAFE MANNER AND IN STRICT ACCORDANCE WITH THE LOCAL AND/OR STATE (IF APPLICABLE) BUILDING CODES, NATIONAL ELECTRIC CODE (NEC), ADA-ADAAGS (ADOPTED HANDICAP ACCESSIBILITY REQUIREMENTS), OSHA AND ALL APPLICABLE CODES, REGULATIONS, AND AUTHORITIES HAVING JURISDICTION.

2. EACH CONTRACTOR AND THEIR SUB-CONTRACTORS ARE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS KNOWLEDGE DOES NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.

3. THE EXISTING BUILDING SHALL BE PROTECTED FROM MOISTURE, DUST AND DEBRIS. INSTALL DUST PARTITIONS OR DRAPES AS REQUIRED AND/OR DIRECTED BY THE WALMART CONSTRUCTION MANAGER TO KEEP DUST AND MOISTURE FROM THE OPERATING AREAS OF THE STORE.

4. ANY DAMAGE TO WALMART PROPERTY, WHICH OCCURS DURING THE PROCESS OF CONSTRUCTION, SHALL BE REPAIRED/REPLACED AT NO ADDITIONAL COST TO WALMART. THIS INCLUDES ALL MERCHANDISE. THE CONTRACTOR SHALL PAY WALMART THE RETAIL COST FOR ALL DAMAGED MERCHANDISE.

5. THE CONTRACTOR SHALL KEEP WORK AREA CLEAN AND FREE OF DEBRIS AND SHALL REMOVE ALL TRASH AND DEBRIS FROM THE CONSTRUCTION AREA DAILY. NO FLAMMABLE MATERIALS OR LIQUIDS MAY BE STORED IN THE EXISTING BUILDING OR CONSTRUCTION AREA.

6. REMOVE ANY EXISTING ITEMS, SERVICES, FINISHES OR SURFACES AS REQUIRED FOR THE INSTALLATION OF NEW CONSTRUCTION. PROVIDE FURRING FOR CONDUITS AND PIPING, SHOWN OR NOT, AND FINISH UP FURRING TO MATCH ADJACENT FINISHES.

7. ALL ADJACENT RETAIL SPACES SHALL REMAIN IN SERVICE DURING DEMOLITION OF THIS PROJECT.

8. SCHEDULE ALL WORK TO KEEP DISRUPTIONS TO THE STORE OPERATIONS AT A MINIMUM. COORDINATE UTILITY DISRUPTIONS WITH THE WALMART STORE MANAGER.

9. REPAIR, RE-ROUSE, AND RE-PAINT SERVICES, PIPING, CONDUIT OF EXISTING ITEMS AND EQUIPMENT AS REQUIRED DURING THE CONSTRUCTION PROCESS FOR THE COMPLETE INSTALLATION AND OPERATIONS OF NEW EQUIPMENT. THIS INCLUDES ALL ITEMS SHOWN OR NOT SHOWN ON THE DRAWINGS. RESET EXISTING EQUIPMENT OR RELATED ITEMS AS REQUIRED FOR PROPER OPERATION.

10. WHERE EXISTING FINISHES ARE TO REMAIN, CLEAN, REPAIR, PATCH, AND/OR REPAINT AS NECESSARY TO BLEND WITH ADJACENT SURFACES. COORDINATE WITH WALMART CONSTRUCTION MANAGER.

11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ORDERING OF MATERIALS TO PROHIBIT DELAYS OF THE CONSTRUCTION SCHEDULE OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE DELIVERY OF MATERIALS IN A TIMELY MANNER.

12. THE GENERAL CONTRACTOR SHALL RESPOND TO ALL REQUIREMENTS OF THE ARCHITECT FOR VERIFICATIONS, RESPONSES AND SUBMISSIONS.

13. DURING ENTIRE CONSTRUCTION PERIOD, PROVIDE ONE (1) U.L. LISTED 2-A20BC DRY CHEMICAL FIRE EXTINGUISHER, OR ONE STANDARD U.L. LISTED 2-1/2 GALLON WATER (E-10) AND ONE U.L. LISTED 10LB CARBON DIOXIDE FIRE EXTINGUISHER MOUNTED TOGETHER IN EACH 900 SQUARE FOOT OF WORK AREA OR FRACTION THEREOF (MINIMUM OF TWO AVAILABLE IN ALL CONSTRUCTION AREAS AT ALL TIMES).

14. IF MODIFICATION TO SPRINKLER SYSTEM IS REQUIRED, THE GENERAL CONTRACTOR SHALL HIRE A LICENSED SPRINKLER CONTRACTOR. THE CONTRACTOR IS TO SUBMIT SIGNED AND SEALED SPRINKLER DRAWINGS FOR APPROVAL TO THE AHJ PRIOR TO ANY ALTERATION OF THE AUTOMATIC SPRINKLER SYSTEM.

15. THE CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE EXISTING BUILDING SECURITY AT ALL TIMES. THIS INCLUDES KEEPING THE BUILDING SECURE FROM PERSONS, ENVIRONMENTAL ELEMENTS OR HAZARDS. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE INTEGRITY OF ALL EXISTING SECURITY SYSTEM. THE CONTRACTOR SHALL OBTAIN PERMISSION FROM THE STORE MANAGER PRIOR TO THE MODIFICATION OF ANY EXISTING SECURITY SYSTEM FOR THE OPENING (DEMOLITION) OF ANY EXTERIOR WALL.

16. FIRE ALARM DRAWINGS TO BE FURNISHED AND INSTALLED BY WALMART ALARM SERVICES.

17. CONTRACTOR TO MAINTAIN ACCESS TO ALL EMERGENCY EGRESS EXITS DURING CONSTRUCTION OPERATIONS.

1. THE ARCHITECT HAS MADE THESE DRAWINGS BASED ON THE EXISTING BUILDING AND CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO THE SUBMISSION OF HIS BID AND TO THE COMMENCEMENT OF ANY WORK. NO ADDITIONAL COMPENSATION WILL BE PAID DUE TO THE CONTRACTORS FAILURE TO ACQUAINT HIMSELF WITH EXISTING SITE CONDITIONS WHICH INCLUDE, BUT ARE NOT LIMITED TO EXISTING WALL, CEILING, OR UTILITIES.

2. ANY DISCREPANCY WITH THE EXISTING SITE CONDITIONS AND/OR THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION. CONSTRUCTION DOCUMENTS HAVE BEEN DESIGNED AND DRAWN ASSUMING EXISTING BUILDING CONDITIONS MATCH THE ORIGINAL DRAWINGS. THE GENERAL CONTRACTOR, IMMEDIATELY UPON ARRIVAL AT THIS SITE, SHALL VERIFY ALL EXISTING STRUCTURAL COLUMN DIMENSIONS, STRUCTURAL BEARING HEIGHTS, EXISTING DIMENSION, AND ROOM/CON. CONDITIONS (INCLUDING PARAPETS). IF DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND EXISTING FIELD CONDITIONS, CONTACT THE WALMART CONSTRUCTION MANAGER AND THE ARCHITECT IMMEDIATELY TO DETERMINE WHAT ACTION SHOULD BE TAKEN TO MATCH EXISTING CONDITIONS.

3. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO THE SUBMISSION OF HIS BID OR THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE WALMART CONSTRUCTION MANAGER AND THE ARCHITECT OF THE DISCOVERY OF EXISTING UTILITIES NOT SHOWN OR NOTED ON THE DRAWINGS.

4. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND DEPTHS OF UNDERGROUND UTILITY SERVICES PRIOR TO ANY EXCAVATION.

5. REPORT ANY DISCREPANCIES FOUND IN THE FIELD IMMEDIATELY TO WALMART AND THE ARCHITECT PRIOR TO MAKING ANY MODIFICATIONS OR ORDERING OF ANY MATERIALS.

DEMOLITION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR ALL JOBSITE SAFETY AND COMPLIANCE WITH OSHA REGULATIONS. CONTRACTOR WILL INSTALL TEMPORARY WALL, DUST BARRICADES AND CONSTRUCTION BARRIERS AND TAKE ALL PRECAUTIONS TO PROTECT CUSTOMERS AND ASSOCIATES FROM CONSTRUCTION ACTIVITIES.

2. THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. IF DISCREPANCIES ARE FOUND, CONTACT THE ARCHITECT AND WALMART CONSTRUCTION MANAGER.

3. WHEN UTILITIES ARE REMOVED, CAP AND SEAL A MINIMUM OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH CEILING.

4. SAW CUTTING OF EXISTING CONCRETE WILL BE COORDINATED WITH STORE MANAGER FOR APPROPRIATE HOURS TO MINIMIZE CUSTOMERS DISTURBANCE. JACKHAMMERS ARE ALLOWED.

5. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF CONSTRUCTION WASTE AND DEBRIS. DO NOT USE STORE DUMPSTERS. PREVENT CUSTOMERS AND ASSOCIATES FROM CONTACT WITH CONSTRUCTION WASTE.

6. COORDINATE LOCATION OF DUMPSTER ON SITE WITH WALMART CM.

BUILDING CODE SUMMARY

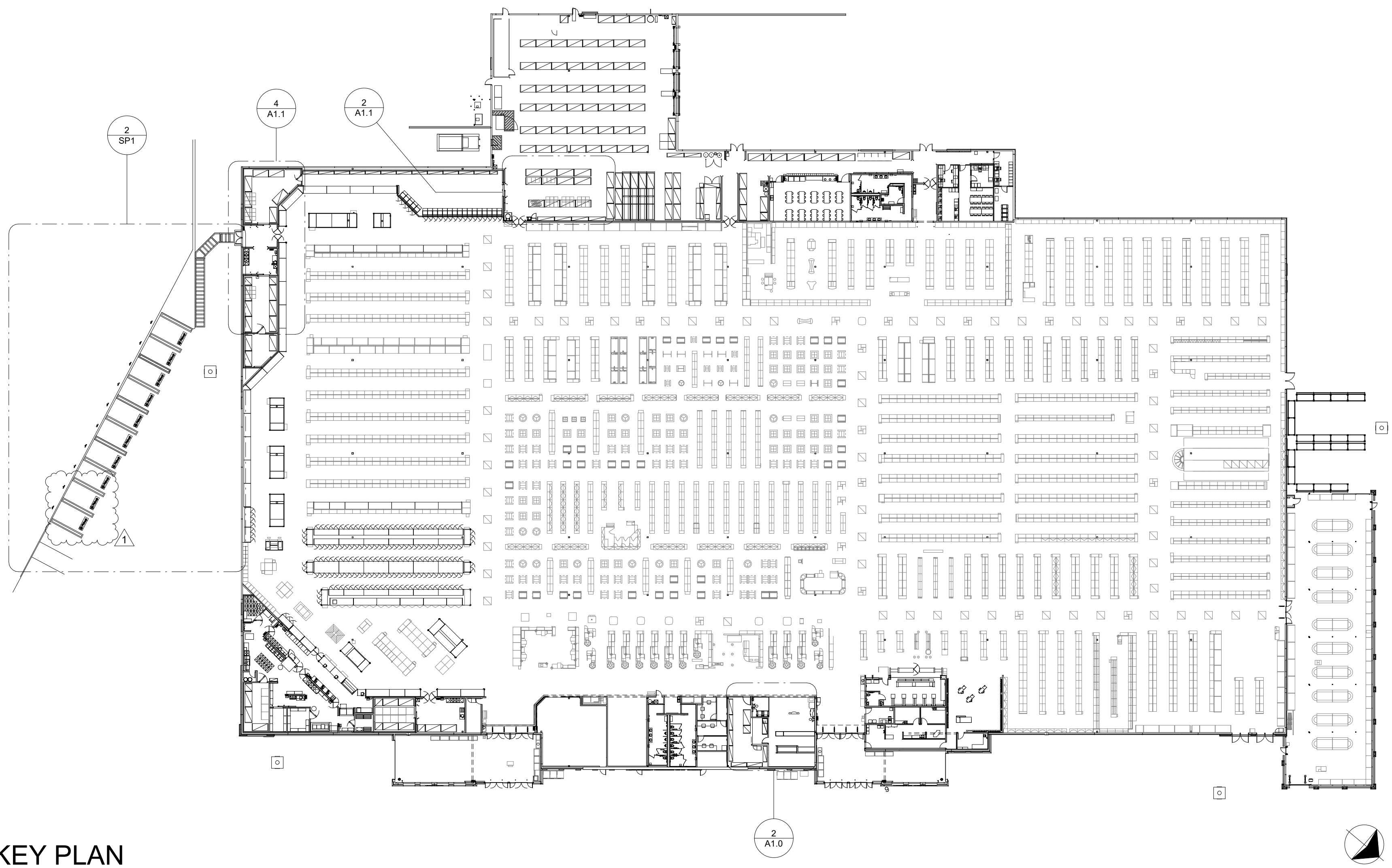
	NAME OF PROJECT:	FLORISSANT, MO		
	STREET ADDRESS:	3390 N HWY 67, FLORISSANT, MO 63033		
	PROPOSED USE:	RETAIL.		
CODES	BUILDING CODE:	2015 INTERNATIONAL BUILDING CODE		
	MECHANICAL CODE:	2015 INTERNATIONAL MECHANICAL CODE WITH APPENDIX		
	PLUMBING CODE:	2015 INTERNATIONAL PLUMBING CODE / 2015 INTERNATIONAL FUEL GAS CODE		
	ELECTRICAL CODE:	2014 NATIONAL ELECTRICAL CODE / 2015 INTERNATIONAL ENERGY CONSERVATION CODE		
	FIRE CODE:	2015 INTERNATIONAL FIRE CODE		
	ACCESSIBILITY CODE:	ICC A 117.1-2009		
OCCUPANCY	M - MERCANTILE; WHOLESALE OR RETAIL STORE (MAIN USE)	- SECTION 309.1		
	S1 - STORAGE AREA, MOTOR VEHICLE SERVICE STATION AND RECEIVING AND STOCK ROOMS (MIXED USE)	- SECTION 311.2		
	A2 - ASSEMBLY USE, BREAKROOM AND FOOD TENANT (ACCESSORY TO MAIN USE)	- SECTION 303.1		
	B - BUSINESS; NON FOOD TENANT (ACCESSORY TO MAIN USE)	- SECTION 304.1		
TYPE OF CONSTRUCTION	VB UNPROTECTED (SPRINKLERED)	PER SECTION 602.5 AND TABLES 601 AND 602		
	UNLIMITED	SECTION 507.2	SECTION 507.3	
ALLOWABLE AREA	UNLIMITED			
FIRE PROTECTION:				
BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM AND IS SURROUNDED ON ALL SIDES BY 80 FEET MINIMUM OF PERMANENT OPEN SPACE AND COMPLIES WITH SECTION 507.3. UNLIMITED AREA CRITERIA IS APPLICABLE.				

VICINITY MAP



GENERAL SCOPE OF WORK

- ADD PICKUP SIGNAGE TO THE EXTERIOR FRONT WALL WITH POWER
- PAVING / STRIPING FOR NEW OGP PICKUP PARKING STALLS WITH SIGNAGE
- ADD PICKUP STORAGE AREA IN SPLIT STOCKROOM
- ADD PICKUP STORAGE AREA IN EXISTING SITE TO STORE
- ADD PICKUP CHECK-IN AT EXISTING SITE TO STORE SPACE (NEAR CUSTOMER SERVICE)



KEY PLAN

$$1^{\circ} = 40'-0''$$

ARCHITECTURAL	FIRE PROTECTION	MECHANICAL	ELECTRICAL	RACKING STRUCTURAL
SGA DESIGN GROUP, P.C.	HENDERSON ENGINEERS, INC. DARRELL E. STEIN II 8345 LENEXA DRIVE, SUITE 300 LENEXA, KANSAS 66042	HENDERSON ENGINEERS, INC. SEAN O. EISLER 8345 LENEXA DRIVE, SUITE 300 LENEXA, KANSAS 66042	HENDERSON ENGINEERS, INC. VINCENT G. MASLIONS 8345 LENEXA DRIVE, SUITE 300 LENEXA, KANSAS 66042	WALLACE ENGINEERING, STRUCTURAL CONSULTANTS, INC. CARRIE J. JOHNSON 200 EAST BRADY STREET LENEXA, KANSAS 66043

SITE VERIFICATION REQUIREMENTS

DEMOLITION NOTES

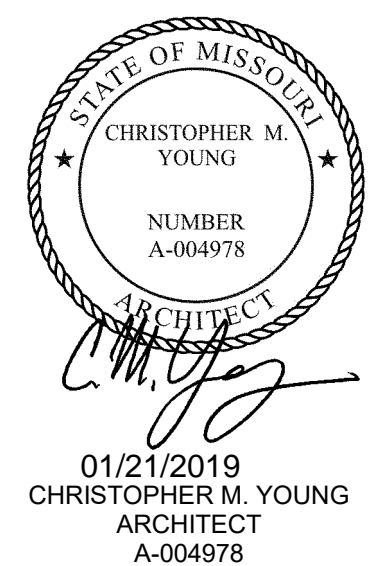
1. CONTRACTOR IS RESPONSIBLE FOR ALL JOBSITE SAFETY AND COMPLIANCE WITH OSHA REGULATIONS. CONTRACTOR WILL
2. INSTALL TEMPORARY WALL, DUST BARRICADES AND CONSTRUCTION BARRIERS AND TAKE ALL PRECAUTIONS TO PROTECT
3. THE PUBLIC AND ADJACENT PROPERTIES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES.
4. THE CONTRACTOR SHALL FIELD VERIFY THE EXTENT OF DEMOLITION. IF DISCREPANCIES ARE FOUND, CONTACT THE
5. ARCHITECT AND WALMART CONSTRUCTION MANAGER.
6. CONTRACTOR SHALL DEMOLISH EXISTING CONCRETE SLAB OF 8" BELOW FINISH FLOOR OR A MINIMUM OF 6" ABOVE FINISH
7. CEILING.
8. SAW CUT PORTION OF EXISTING CONCRETE WILL BE COORDINATED WITH STORE MANAGER FOR APPROPRIATE HOURS TO
9. MINIMIZE CUSTOMERS DISTURBANCE. NO JACKHAMMERS ARE ALLOWED.
10. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF CONSTRUCTION WASTE AND DEBRIS. DO NOT USE STORE
11. DEBRIS. PREPARE CUSTOMERS FOR DISRUPTIONS AND ASSOCIATED LOSS OF CONTACT WITH CONSTRUCTION WASTE.
12. COORDINATE WASTE REMOVAL WITH WASTE MANAGEMENT ON SITE WITH WALMART.

ISSUE BLOCK

[illegible]

CHECKED BY:	LGW
DRAWN BY:	CRE/AE/BF
PROTO CYCLE:	02/13/18
DOCUMENT DATE:	03/08/18

THE RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF SGA DESIGN GROUP P.C. THIS ELECTRONIC DOCUMENT IS RELEASED FOR THE PURPOSE OF REFERENCE, COORDINATION, AND/OR FACILITY MANAGEMENT. THIS DRAWING SHALL NOT BE CONSIDERED FINAL OR COMPLETE UNLESS IT IS SIGNED AND SEALED BY THE ARCHITECT.

COVER
SHEET

SHEET: C1

9

--	--

FIGURE 1-2

1	CCD1	01/16/19
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CHECKED BY: LGW LGW

PROTO CYCLE:	02/13/18
--------------	----------

THE RECORD COPY OF THIS DRAWING IS

NUMBER

[Handwritten signature]

02/25/2019
CHRISTOPHER M. YOUNG

SIGNAGE

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26

A2.3



EXISTING WALMART SITE ANALYSIS


WALMART	169,426 SF
STANDARD PARKING	782 SPACES
ACCESSIBLE PARKING	24 SPACES
TOTAL PARKING	811 SPACES
PROPOSED RATIO	4.78 SP/1,000 SF
CART CORRALS	32 SPACES
SITE AREA	2715 +/- AC

REQUIRED PARKING BY CITY OF FLORISSANT
ZONING CODE: CHAPTER 405, ARTICLE VI, SECTION
405.225 PARKING REGULATION - 678 SPACES

PROPOSED WALMART SITE ANALYSIS

WALMART	169,426 SF
STANDARD PARKING	782 SPACES
ACCESSIBLE PARKING	24 SPACES
TOTAL PARKING	806 SPACES
PROPOSED RATIO	4.77 SP/1,000 SF

SEAL OF THE CITY OF FLORISSANT
OFFICIAL RECORD
02/18/2019
Christopher M. Young, Architect
Registration # 1-004978
SGA Design Group, P.C.
A-2008031944
1437 S. Boulder Suite 550
Tulsa, OK 74119-3609
918.587.8600

SGA Design Group, Inc. 

February 13, 2019

DESIGN REPRESENTATION ONLY - NOT FOR CONSTRUCTION The building images shown are a representation of the current design intent only. The building images may not reflect variations in color, tone, hue, line, shading, ambient light intensity, materials, textures, contours, foot style, construction variations required by building codes or inspectors, material availability or final design details.

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN: 

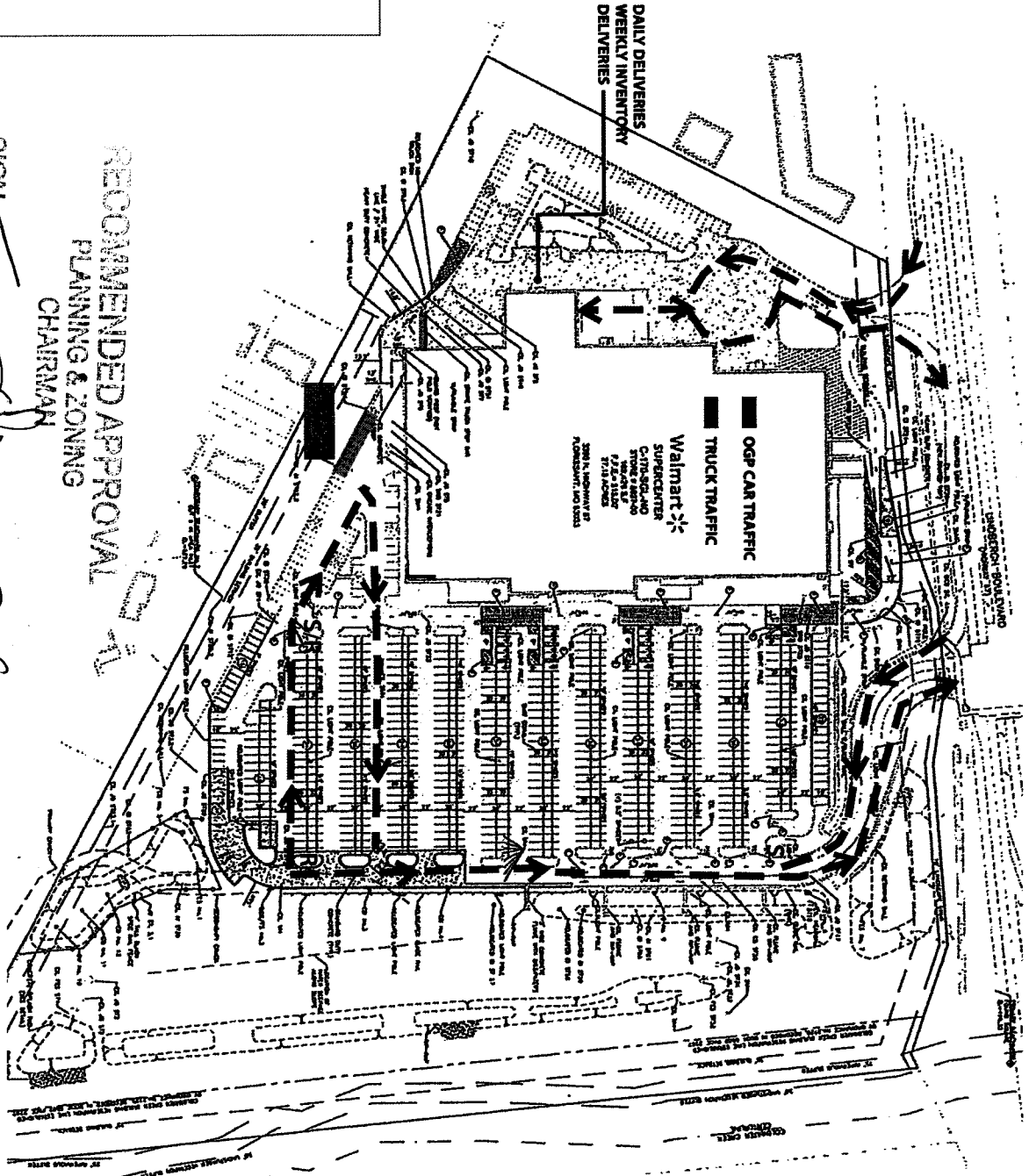
DATE: 2-19-19

Walmart #5927
3390 N. Hwy 67
Florissant, St. Louis Co., Missouri



Site Plan with Traffic Overlay

Exhibit
A
B-5 Amendment
dated
2/13/19



Original site plan prepared by BFA, used as a reference in this exhibit.

1 INTRODUCED BY COUNCLMAN CAPUTA
2 MARCH 11, 2019
3

4 BILL NO. 9479

ORDINANCE NO.

5
6 **ORDINANCE APPROPRIATING \$80,000 TO ACCOUNT NO. 5-09-61560**
7 **“CAPITAL ADDITIONS-KOCH” FOR THE DEMOLITION OF THE**
8 **KOCH AQUATIC CENTER.**
9

10
11 WHEREAS, the City Council has determined that the demolition and eventual
12 replacement of the Koch Aquatic Center is in the best interest of the city; and
13

14 NOW THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
15 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
16

17 Section 1: There is hereby appropriated and set apart from the Park Improvement Fund,
18 \$80,000 to account no. 5-09-61560 “Capital Additions-Koch” for the demolition of the Koch
19 Aquatic Center.

20 Section 2: This ordinance shall become in force and effect immediately upon its
21 passage and approval.

22 Adopted this ____ day of _____, 2019.
23

24 _____
25 Jeff Caputa
26 President of the Council
27 City of Florissant

28 Approved this ____ day of _____, 2019.
29

30 _____
31 Thomas P. Schneider
32 Mayor, City of Florissant

33 ATTEST:
34

35 _____
36 Karen Goodwin, MPPA/MMC/MRCC
37 City Clerk
38

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: March 5, 2019

Mayor's Approval:

Agenda Date Requested: |

11-Mar-19

Description of request: Appropriation of funds for the demolition of Koch Park Aquatic Center

Department: Parks and Recreation

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment	X		

Public Hearing needed: Yes / No

NO

3 readings? : Yes / No

YES

Back up materials
attached:

Minutes	
Maps	
Memo	
Draft Ord.	

Back up materials
needed:

Minutes	
Maps	
Memo	
Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____



CITY OF FLORISSANT
PARKS & RECREATION DEPARTMENT
Interoffice Memorandum

Date: March 5, 2019

To: The Florissant City Council

Thru: Mayor Thomas P. Schneider

From: Cheryl A. Thompson, Director of Parks and Recreation

Subject: Appropriation of Funds for Demolition of Koch Park Aquatic Center

Copy: Kimberlee Johnson
Director of Finance
Karen Goodwin
City Clerk

The Park Department is in receipt of four surprisingly low bids from demolition companies for the demolition and removal of the structures of the Koch aquatic center. The company that provided the previous high estimate explained that they probably overestimated at that time and also that the considerable amount of preliminary work that has been done in house has had a very positive impact on lowering the cost to complete the demolition.

In order to save money we will not require fill dirt to be brought on site to fill the void and are willing to rough grade the site with in house resources in anticipation of a future state of the art aquatic facility to be installed on that site.

Therefore, in order to be in a position to put this project out for bid and based on the estimates that we have in our possession we respectfully request an appropriation of \$80,000 to account # 5-09-61560 for the demolition cost to remove the remaining structure material from the Koch Aquatic Center.

This expense was not previously budgeted so these funds will need to be appropriated by ordinance. Please advise if additional information is required. Thank you for your consideration.

Please advise if additional information is required. Thank you for your consideration.

A RESOLUTION OF THE FLORISSANT CITY COUNCIL HONORING JUDGE DANIEL PATRICK BOYLE FOR HIS 8 YEARS OF SERVICE TO THE CITY OF FLORISSANT AND NORTH COUNTY.

- WHEREAS: Daniel Patrick Boyle was born and raised in North St. Louis County where he has lived, started his family and maintained his business and ; and
- WHEREAS: Judge Boyle is a graduate of Washington University School of law, 2001 with a Juris Doctorate degree and is a partner in the Boyle Law firm with his father Patrick Boyle located in the historic district; and
- WHEREAS: Daniel Boyle is an active member of the community serving on the Greater North County Chamber of Commerce Board of Directors, North County Incorporated Executive Board of Directors, the Florissant Valley Sheltered Workshop Board of Directors; and the Florissant Parks Foundation Board of Directors; and
- WHEREAS: Judge Boyle was also an active member of the Florissant Rotary, Florissant Old Town Partners, Christian Hospital Foundation and the Florissant Valley Jaycees; and
- WHEREAS: Judge Daniel Boyle was elected as the Florissant Municipal Judge in August of 2011 and has never shied away from challenging cases, weighing the good with the bad and making fair and honest decisions; and
- WHEREAS: Judge Boyle has conducted his court with compassion when possible and a firm hand when necessary; and
- WHEREAS: Judge Boyle has a keen understanding of our government has a gift for administering justice while commanding respect for the court system; and
- WHEREAS: Judge Boyle was instrumental in the design and moving of the court to the new court facility; and
- WHEREAS: Judge Boyle has provided oversight during a time of many changes to the court system including the changes in the rules under which the court operates and the oversight by the Circuit Court; and
- WHEREAS: During his tenure and with the help of the newly appointed court clerk, all of the changes from the Missouri Legislature and Missouri Supreme Court have been met; and
- WHEREAS: Judge Boyle has decided to step down from his position for family reasons but will be sorely missed by the Florissant Community.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT, to thank Judge Daniel Patrick Boyle for his lifelong commitment to the North County Community and his 8 years of dedicated service as Municipal Judge for the City of Florissant.

Passed and resolved this 25th day of March, 2019.

Jeff Caputa
President of the Council

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

955 rue St. Francois
314-921-5700

APPLICATION FOR LIQUOR LICENSE

TYPE OF LICENSE REQUESTED:

- () Full Liquor by the Drink (☒) Full Package Liquor () Consumption of Liquor
() Malt Liquor & Wine by the Drink () Malt Liquor & Wine Package () Tasting
() Full Liquor by Drink (Non-Profit)

To the City Clerk, City of Florissant, Saint Louis County Missouri:

The undersigned hereby makes application for a liquor license issued under Chapter 600 of the Florissant City Code

TYPE OF LICENSE REQUESTED:

- () Individual () Partnership () Corporation (☒) Limited Liability Corp
(Attach list of Partners) (Attach list of officers, addresses)

Name of Business Dollar General Store #18943

Business Address 15275 New Halls Ferry Rd, Florissant **Phone** _____

Names of Applicant, Corporation, or LLC Dolgencorp, LLC

Address of Owner 100 Mission Ridge, Goodlettsville, TN 37072 **Phone** _____
Street City State Zip

Name of Managing Officer Lorene Epple

Home Address 3821 Viola View Jefferson City, MO 65101 **Years at address** 8 mo
Street City/State Zip Home Phone

Managing Officer **Date & Place of Birth** St. Louis, MO 1/15/77 **Cell Phone** 555

Managing Officer **Driver's License No.** _____ **Social Security Number*** _____
(Provide a copy of driver's license) * Social Security Number used for purposes of identification in running record check.

Managing Officer **Personal Property Taxes 2018** **Paid?** (☒) Yes () No (Attach most recent copy)

Managing Officer **Register Voter of Missouri?** (☒) Yes () No (Attach a Voter Registration Certificate)

Have you ever been arrested? No **What Charge?** _____
Where? _____ **Disposition?** _____

Citizen of U.S.A.? (☒) Yes () No **Naturalized?** () Yes **Date** _____ () No
If Naturalized, Give Number: _____ **Dist.** _____
(Provide naturalization documentation)

Do you have an interest in any liquor license which is now in force? yes, as managing officer only
If so, give details _____
Have you previously held a liquor license of any type? yes, as managing officer only
If so, when and where _____

3/1/19
cc to Council
Hessel + Mayor

PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

EMERGENCY INFORMATION

OWNER OF PROPERTY DG Partners, LLC PHONE 636-970-0330
ADDRESS 5530 Salt River Road CITY St. Peters STATE MO ZIP 63376

NAME OF BUSINESS Dollar General Store #18943 PHONE _____
ADDRESS 15275 New Halls Ferry Rd CITY Florissant STATE MO ZIP 63031

BUSINESS HOURS 9 am to 9 pm
OWNER/MANAGER _____ PHONE _____
HOME ADDRESS _____ CITY _____ STATE _____ ZIP _____

**PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY
OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE**

CONTACT #1

NAME _____ ADDRESS _____
CITY & STATE _____ ZIP _____ PHONE _____
HAS KEY: YES () NO ()

CONTACT #2

NAME _____ ADDRESS _____
CITY & STATE _____ ZIP _____ PHONE _____
HAS KEY: YES () NO ()

ARE THERE LIGHTS LEFT ON AFTER BUSINESS HOURS: YES () NO ()

IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS: YES () NO ()

IF YES, WHO: _____

ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS: YES () NO ()

DESCRIBE: _____
(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? YES () NO ()

IF YES, WHERE IS IT LOCATED: _____

CAN IT BE SEEN FROM THE OUTSIDE? YES () NO ()

IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? YES () NO ()

IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.



No Match Notification

A statewide search of the identifiers below has revealed no criminal conviction or sex offender information on file. Fingerprints were not provided and thus the result of the search cannot be guaranteed.

Date of Search: 01/11/2019

Name (1): LORENE EPPLE

Name (2):

Name (3):

Date Of Birth: 07/07/1977

SSN: xxx-xx-6190

Control Number: 4503380

If you have any questions, please do not hesitate to contact our office at 573-526-6312.

Missouri State Highway Patrol
Criminal Justice Information Services Division
PO BOX 9500
Jefferson City, MO 65102

OK / amm

VOTER IDENTIFICATION CARD

ISSUED BY STEVE KORSMEYER

573-634-9101

07/18/2018

Registration Date: 07/11/2018 ID #: 15405968

Precinct: 22.04-LI/TAO



LORENE E EPPLE

**3821 VIOLA VIEW
JEFFERSON CITY MO 65101-8593**

CITY OF FLORISSANT

955 rue St. Francois
314-921-5700

APPLICATION FOR LIQUOR LICENSE

TYPE OF LICENSE REQUESTED:

- () Full Liquor by the Drink (☒) Full Package Liquor () Consumption of Liquor
() Malt Liquor & Wine by the Drink () Malt Liquor & Wine Package () Tasting
() Full Liquor by Drink (Non-Profit)

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(Attach list of Partners) (Attach list of officers, addresses)

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Business Address 15275 New Halls Ferry Rd, Florissant **Phone** _____

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Address of Owner 100 Mission Ridge, Goodlettsville, TN 37072 **Phone** _____
Street City State Zip

Name of Managing Officer Lorene Epple

Home Address 3821 Viola View Jefferson City, MO 65101 **Years at address** 8 mo
Street City/State Zip Home Phone

Managing Officer **Date & Place of Birth** St. Louis, MO 1/15/77 **Cell Phone** _____

Managing Officer **Driver's License No.** _____ **Social Security Number*** _____
(Provide a copy of driver's license) * Social Security Number used for purposes of identification in running record check.

Managing Officer **Personal Property Taxes 20** 18 **Paid?** (☒) Yes () No (Attach most recent copy)

Managing Officer **Register Voter of Missouri?** (☒) Yes () No (Attach a Voter Registration Certificate)

Have you ever been arrested? No **What Charge?** _____
Where? _____ **Disposition?** _____

Citizen of U.S.A.? (☒) Yes () No **Naturalized?** () Yes **Date** _____ () No
If Naturalized, Give Number: _____ **Dist.** _____
(Provide naturalization documentation)

Do you have an interest in any liquor license which is now in force? yes, as managing officer only
If so, give details _____
Have you previously held a liquor license of any type? yes, as managing officer only
If so, when and where _____

3/11/19
cc to Council
Hessel + Mayor

Have you ever had a liquor license suspended or revoked? No
If so, give details _____

Have you ever been convicted of any violation of any federal or state law? No
If so, give details _____

Have you ever been convicted of any municipal or county ordinance violation? No
If so, give details _____

Have you ever been convicted of any violation of a federal law, state statute or local ordinance relating to intoxicating liquor? No
If so, give details _____

Has the location previously been occupied as a liquor establishment, liquor store or tavern? no
If so, state name _____

Is the location within 200 feet of property used for church, school or public playground? No

If Individual Applicant, sign below:

If Partnership, corporation or LLC complete the following:

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS) City

Trade Name _____

Signature of Managing Officer

Corine Epple of lawful age, being first duly sworn upon her oath
(Individual or Managing Officer)

deposes and states that he/she is the (applicant) (the managing officer of the corporation or partnership seeking the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations and rules adopted by the City relating to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.

Signature of Individual or Managing Officer

Subscribed and sworn to before me this 26 day of Feb, 2019.

My Commission Expires:

CRYSTAL FOLEY
Notary Public - Notary Seal
STATE OF MISSOURI
Miller County
Commission # 15497012
My Commission Expires: 10-13-2019

Notary Public

NOTE: APPLICATION MUST BE SWORN TO BEFORE A NOTARY PUBLIC

PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

EMERGENCY INFORMATION

OWNER OF PROPERTY DG Partners, LLC PHONE 636-970-0330
ADDRESS 5530 Salt River Road CITY St. Peters STATE MO ZIP 63376

NAME OF BUSINESS Dollar General Store #18943 PHONE _____
ADDRESS 15275 New Halls Ferry Rd CITY Florissant STATE MO ZIP 63031

BUSINESS HOURS 9 am to 9 pm
OWNER/MANAGER _____ PHONE _____
HOME ADDRESS _____ CITY _____ STATE _____ ZIP _____

**PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY
OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE**

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NAME _____ ADDRESS _____
CITY & STATE _____ ZIP _____ PHONE _____
HAS KEY: YES () NO ()

CONTACT #2

NAME _____ ADDRESS _____
CITY & STATE _____ ZIP _____ PHONE _____
HAS KEY: YES () NO ()

ARE THERE LIGHTS LEFT ON AFTER BUSINESS HOURS: YES () NO ()

IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS: YES () NO ()

IF YES, WHO: _____

ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS: YES () NO ()

DESCRIBE: _____
(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? YES () NO ()

IF YES, WHERE IS IT LOCATED: _____

CAN IT BE SEEN FROM THE OUTSIDE? YES () NO ()

IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? YES () NO ()

IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.

CITY OF FLORISSANT





FLORISSANT, MISSOURI

WAIVER

Authorization to complete record check

I, Lorene Epple
RESIDING AT 3821 Viola View
IN THE CITY OF Jefferson City
STATE MO

I do hereby authorize the City Clerk of the City of Florissant, Missouri to make a full and complete check of my record in the Metropolitan St. Louis area, state of Missouri, all prior areas of residence, and through the National Criminal Information Center in Washington, D.C.

<u></u> Witness	<u></u> Signature
<u>3/1/19</u> Date	<u>01-15-77</u> Date of Birth

** Social Security Number

**Driver's License Number & State

*** Social Security & Driver's License Numbers will be used for purposes of identification in completing record check.*



No Match Notification

A statewide search of the identifiers below has revealed no criminal conviction or sex offender information on file. Fingerprints were not provided and thus the result of the search cannot be guaranteed.

Date of Search: 01/11/2019

Name (1): LORENE EPPLE

Name (2):

Name (3):

Date Of Birth: 7

SSN: xxx-xx-6190

Control Number: 4503380

If you have any questions, please do not hesitate to contact our office at 573-526-6312.

Missouri State Highway Patrol
Criminal Justice Information Services Division
PO BOX 9500
Jefferson City, MO 65102

oh/amm



0 item(s) in cart with total amount of \$0.00

[Home](#)[Search](#)[Checkout](#)[Payment](#)[Receipt](#)

Payment Receipt

Thank you very much for your payment

Please be sure to print a copy of this receipt for your records

[PRINT STATEMENT](#)

DateTime: Dec 17, 2018 / 08:09 AM PST
Payer: Lorene Epple
Payment Method: Visa *****
Approval #: 08537D
Trace #: 78677b77-99fe-46c6-93ba-5c4217893b0c
Payment: \$136.95
Service Fee: \$ 3.29
Payment Total: \$ 140.24

Paid To
OSAGE CO MO TAX POS
500 W BETHANY DRIVE
SUITE 200
ALLEN, TX 75013
4696759920

Account Number	Name (optional)	Address	Tax Year	Tax Type	Amount	Due Date	Pay Amount
07424	SAMSON, LORENE	109 COUNTY ROAD 600	2018	P	\$0.00	12/31/2018	\$136.95

[CONTINUE](#) ➔

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Osage County MO

Forte
866-290-5400

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a CSG Company

We are a PCI Certified Level 1 service provider

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State of Missouri

John R. Ashcroft, Secretary of State
Corporations Division
PO Box 778 / 600 W. Main St., Rm. 322
Jefferson City, MO 65102

X001349210
Date Filed: 2/19/2019
Expiration Date: 2/19/2024
John R. Ashcroft
Missouri Secretary of State

Registration of Fictitious Name

(Submit with filing fee of \$7.00)
(Must be typed or printed)

This information is for the use of the public and gives no protection to the name being registered. There is no provision in this Chapter to keep another person or business entity from adopting and using the same name. The fictitious name registration expires 5 years from the filing date. (Chapter 417, RSMo)

Please check one box:

☒ New
Registration ☐ Renewal ☐ Amendment ☐ Correction
Charter number Charter number Charter number

The undersigned is doing business under the following name and at the following address:

Business name to be registered: Dollar General Store #18943

Business Address: 15275 New Halls Ferry Rd

(PO Box may only be used in addition to a physical street address)

City, State and Zip Code: Florissant, MO 63031

Owner Information:

If a business entity is an owner, indicate business name and percentage owned. If all parties are jointly and severally liable, percentage of ownership need not be listed. Please attach a separate page for more than three owners. The parties having an interest in the business, and the percentage they own are:

Name of Owners, Individual or Business Entity	Charter # Required If Business Entity	Street and Number	City and State	Zip Code	If Listed, Percentage of Ownership Must Equal 100%
DOLGENCORP, LLC	FL0926263	100 Mission Ridge	Goodlettsville, TN	37072	

All owners must affirm by signing below

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties of a false declaration under Section 575.060 RSMo)

DOLGENCORP, LLC - Charles Smarr
Owner's Signature or Authorized Signature of Business Entity

DOLGENCORP, LLC - CHARLES SMARR
Printed Name

02/19/2019
Date

Name and address to return filed document:

Name: Brydon, Swearngen & England

Address: Email: crystal@brydonlaw.com

City, State, and Zip Code: _____

VOTER IDENTIFICATION CARD

ISSUED BY STEVE KORSMEYER

573-634-9101

07/18/2018

Registration Date: 07/11/2018 ID #: 15405968

Precinct: 22-04-LI/TAO



LORENE E EPPLE

**3821 VIOLA VIEW
JEFFERSON CITY MO 65101-8593**

CITY OF FLORISSANT – Health Department

Application for keeping domestic animals, fowl or bees

Applicant Name: Richard L Kay Address: 2375 Butternut Ct

Home Phone: _____ Cell Phone: 314 432-9826

Designate number & type of animal(s) to be kept: 2 chickens

Designate where animal(s), fowl or bees will be kept: outside in chicken coop

Facilities/shelter to be provided: YES 10x5 A frame
coop with elevated Roost with access Hatch
for removal of Eggs & Bedding

Size of applicant's property: 1300 square

Are the animals being requested on the application going to be bred or used for a home business in any way?

No

What other animals are being kept on the premises? None

Has the applicant spoken with adjoining property owners concerning this application? ☒ YES ☐ NO

The following documentation is required and has been attached to this application:

☒ Plot plan/drawings showing property and location of animal housing, pen or cage ...

☐ Veterinarian statement of Health risks and vaccination requirements ... N/A

I HAVE READ, UNDERSTAND AND DO HEREBY AGREE TO ABIDE BY THE ORDINANCES
PRINTED ON THE REVERSE SIDE OF THIS FORM PERTAINING TO THIS PERMIT
APPLICATION; FURTHER I ATTEST THAT ALL INFORMATION PROVIDED HERE IS TRUE.

Applicant Signature: Richard L Kay Date: 3-14-19

Health Department Action & Recommendation:

Approved

Health Superintendent: Fred Schaefer Date: 3-19-19

Director of Public Works: [Signature] Date: 3/20/19

3/21/19
cc to CC
Approved
Mayor



CITY OF FLORISSANT HEALTH DEPARTMENT

Animal Permit Application – Neighbor Approval Form

Florissant City Code 205.360 requires any property owner proposing to keep domestic animals, fowl or bees other than the usual children's pets to obtain a permit. As part of this process, applicants must advise immediate neighbors of their intentions and receive approval from any adjoining property owners. If neighbor is a renter then approval must be obtained from both the renter AND property owner.

APPLICANT NAME: Rich King

SITE ADDRESS: 2375 Buttonwood CRT

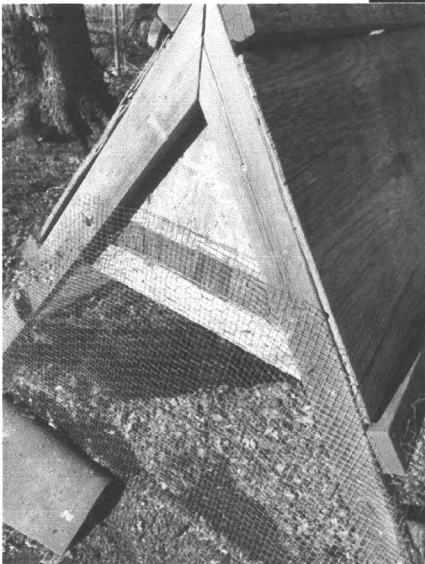
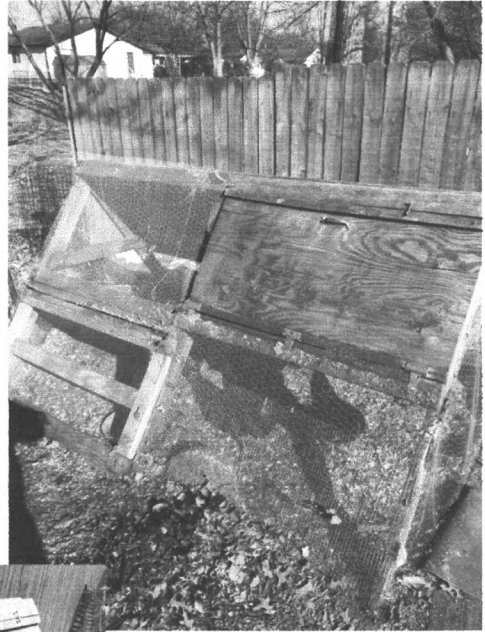
TYPE OF ANIMAL BEING APPLIED FOR: Chickens

I/we, being the abutting property owner(s), have no objections to the above named property owner keeping the animal(s) described above in accordance with Florissant City Code.

Abutting Property Owner Name & Signature	Address	Phone	Date
<u>Dave Stedman</u>	<u>2385 Buttonwood</u>	<u>(314) 921-4811</u>	<u>3-15-19</u>
<u>Mike Guinlisk</u> <u>Mike Guinlisk</u>	<u>2365</u> <u>Buttonwood CT</u>	<u>314-249-7558</u>	<u>3-16-19</u>

Anyone with questions or concerns may call the Florissant Health Department at 314-839-7655 Monday - Friday

8 FT Long
4 FT High
5'6 Wide



1 INTRODUCED BY COUNCILMAN SIAM
2 MARCH 25, 2019

3
4 BILL NO. 9474

ORDINANCE NO.

5
6
7 **REQUEST TO AUTHORIZE A SPECIAL USE PERMIT FOR AN ADULT**
8 **DAY CARE CENTER FOR THE PROPERTY LOCATED AT 119 FLOWER**
9 **VALLEY SHOPPING CENTER.**

10
11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the operation of an Adult
13 Daycare Center; and

14 WHEREAS, an application has been filed by Keneshia Elijah for the operation of an Adult
15 Day Care center located at 119 Flower Valley Shopping Center; and

16 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting
17 of February 4, 2019 recommended denial of said Special Use Permit; and

18 WHEREAS, due notice of a public hearing on said application to be held on the 25th day of
19 February, 2019 at 7:30 P.M. by the Council of the City of Florissant was duly published, held and
20 concluded; and

21 WHEREAS, the Council, following said public hearing, and after due and careful
22 consideration, has concluded that the granting of the Special Use Permit as hereinafter provided
23 would be in the best interest of the City of Florissant.

24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

26
27 Section 1: A Special Use Permit is hereby granted to Alice Keneshia Elijah d/b/a Living
28 Essentials Adult Day Care for the operation of an adult day care center located at 119 Flower Valley
29 Shopping Center according to revised plans dated 2/18/19 attached hereto and with the following
30 stipulation:

- 31 1. Accessible men's, women's restroom and drinking fountain shall be installed.
32

33 Section 2: When the named permittee discontinues the operation of said business, the Special
34 Use Permit herein granted shall no longer be in force and effect.

35 Section 3: This ordinance shall become in force and effect immediately upon its passage and
36 approval.
37

38

39

Adopted this _____ day of _____, 2019.

40

41

42

Jeff Caputa

43

President of the Council

44

45

Approved this _____ day of _____, 2019.

46

47

48

49

Thomas P. Schneider

50

Mayor

51

52

53

ATTEST:

54

55

56

Karen Goodwin, MPPA/MMC/MRCC

57

City Clerk

1 INTRODUCED BY COUNCILMAN CAPUTA
2 MARCH 25, 2019

3
4 BILL NO. 9480 ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO CODE**
7 **SECTION 126.065 “WAGE INCREASE AND SCHEDULE”**
8 **SECTION (A) “JOB CLASSIFICATION AND GRADE LEVEL” BY**
9 **ADDING A NEW POSITION OF “PROPERTY MAINTENANCE**
10 **AND HOUSING INSPECTOR”**

11
12 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST.
13 LOUIS COUNTY, MISSOURI, AS FOLLOWS:
14

15 Section 1: Section 126.065 “Wage Increase and Schedule” Section (A) “Job
16 Classification and Grade Level” is hereby amended by adding a new position of “Property
17 Maintenance and Housing Inspector” for the Public Works Department at a pay grade level
18 of 6.

19 Section 2: This ordinance shall become in force and effect immediately upon its
20 passage and approval.

21
22 Adopted this ____ day of _____, 2019.
23
24

25 _____
26 Jeff Caputa
27 President of the Council
28 City of Florissant
29

30 Approved this ____ day of _____, 2019.
31
32

33 _____
34 Thomas P. Schneider
35 Mayor, City of Florissant
36

37 ATTEST:
38

39 _____
40 Karen Goodwin, MPPA/MMC/MRCC
41 City Clerk
42

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: 3/20/2019

Mayor's Approval:

Agenda Date Requested:

3/25/2019

Description of request: Amendment to Code section 126.065

Transfer of Funds from

(See Attached Memo)

Department: Public Works

Recommending Board or Commission: N/A

Type of request:

Ordinances	X	Other	
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment	X	Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N

Public Hearing needed: Yes / No

n

3 readings? : Yes / No

n

Back up materials
attached:

Minutes	
Maps	
Memo	X
Draft Ord.	

Back up materials
needed:

Minutes	
Maps	
Memo	
Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____



Memo To: City Council

Date: March 20, 2019

Thru: Mayor Thomas P. Schneider

From: Todd M. Hughes, P.E.
Director of Public Works and Health


Subject: Amendment to Code section 126.065

In the 2019 fiscal budget the Council was gracious enough to allow the Public Works Department to add a Combination Commercial Inspector. The Department has filled that position with a promotion. After looking at the needs of the Department, I would like to replace the open Multi Building Inspector position pay grade 7 with a lower paid new position of Property Maintenance and Housing Inspector pay grade 6.

Therefore, I respectfully request an amendment to Code section 126.065 "Wage increase and Schedule" Section (A) "Job Classification and Grade Level" by adding a new position of "Property Maintenance and Housing Inspector" beginning at pay grade 6 for the Public Works Department.

Thank you in advance.

Respectfully submitted,



Todd M Hughes, P.E.