



## **FLORISSANT CITY COUNCIL AGENDA**

**City Hall**

**955 rue St. Francois**

**Tuesday, September 6th, 2022**

**7:00 PM**

**Karen Goodwin, MMC/MRCC**



### **I. PLEDGE OF ALLEGIANCE**

### **II. ROLL CALL OF MEMBERS**

### **III. APPROVAL OF MINUTES**

- City Council Meeting minutes of August 22, 2022

### **IV. HEARING FROM CITIZENS**

### **V. COMMUNICATIONS**

### **VI. PUBLIC HEARINGS**

22-09-021 (Ward 9) Application Staff Rpt Plans	Request to authorize a Special Use Permit to allow for a carry-out restaurant located at 2715 N. Hwy 67. (Planning and Zoning recommended approval on August 15 <sup>th</sup> , 2022)	Nuka Anue
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### **VII. OLD BUSINESS**

#### **A. BILLS FOR SECOND READING**

9793 Application	Ordinance authorizing a transfer of Special Use Permit no. 8603 from Shade Partners, LLC to Shade Restaurant & Bar, LLC for the location of a restaurant and bar located at 1752-1756 N. New Florissant Road. (Postponed to this day on August 22nd, 2022)	Siam
9809	Ordinance to authorize a special use permit to Dalind J. Enterprises to allow for a car sales business located at 1735 S. New Florissant Road.	Schildroth
9810	Ordinance to authorize a special use permit to Florissant IMG Pizza Inc. d/b/a Imo's Pizza for the operation of a carry-out, drive-thru restaurant located at 1725 Washington.	Pagano

9811 Memo	Ordinance amending ordinance no. 9739 establishing a grade and step schedule for full time uniformed employees' positions within the City of Florissant and enacting in lieu thereof a new ordinance and containing an effective date clause.	Eagan
9812	Ordinance authorizing a transfer of Special Use Permit no. 6853 from Zu Yang d/b/a Chin's Wok to Sarah Zhang Enterprises LLC d/b/a Chin's Wok for the operation of a dine-in, carry-out, delivery restaurant located at 70 A Grandview Plaza.	Pagano
S9814 Memo	Ordinance to establish salaries for the Mayor and City Council of the City of Florissant as of the official certification of the municipal election in April 2023 for the Mayor and 2024 for the City Council.	Eagan

## **VIII. NEW BUSINESS**

### **A. BOARD APPOINTMENTS**

### **B. REQUESTS**

Liquor Application	Request for a Full Package Liquor license for Big Daddy's Liquor and Convenience Inc. located at 2726 N. Lindbergh.	Rasheed Ali
SPU Xfr (Ward 4) Application	Request to accept an application for a transfer of an existing nonconforming Special Use from Convenience One Corporation to United Mart In. d/b/a Convenience One for the operation of a Package Liquor store located at 22 Patterson Plaza.	Haithem Abdeljabbar

### **C. BILLS FOR FIRST READING**

9815	Ordinance to authorize a Special Use Permit to Princeton Dew d/b/a 2.0 restaurant to allow for a sit-down, carry-out restaurant located at 462 N. Highway 67.	Mulcahy
9816	Ordinance to authorize a Special Use Permit to NGA International d/b/a African Naturals allow for a carry-out restaurant located at 2715 N. Hwy 67.	Siam
9817	Ordinance to authorize a transfer of an existing nonconforming Special Use from Convenience One Corporation to United Mart In. d/b/a Convenience One for the operation of a Package Liquor store located at 22 Patterson Plaza.	Caputa

9818 Memo	Ordinance to amend Chapter 605 “Business Regulations” Article XII “Fees Generally” by deleting section 605.347, subsection B, in its entirety.	Eagan
9819 Memo	Ordinance authorizing a transfer of \$32,000 from Capital Improvement Fund account no. 03-5-03-53000 “Bridge Repair to Account no. 03-5-03-54000 “Sidewalk Replacement”.	Eagan

**IX. COUNCIL ANNOUNCEMENTS**

**X. MESSAGE FROM THE MAYOR**

**XI. ADJOURNMENT**

**THIS AGENDA WAS POSTED ON THE BULLETIN BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON SEPTEMBER 2ND, 2022 BY 12:00 PM.**

**ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON TUESDAY, SEPTEMBER 6TH, 2022.**

# CITY OF FLORISSANT



## COUNCIL MINUTES

August 22, 2022

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, August 22, 2022 at 7:00 p.m. with Council President Eagan presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Manganelli, Eagan, Caputa, Schildroth, Mulcahy, Pagano, Parson, Siam, and Harris. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney Jackie Graves. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Manganelli moved to approve City Council Minutes and Executive Session Minutes of August 8, 2022, seconded by Caputa. Motion carried.

The next item on the Agenda was *Resolution*.

The Council as a whole introduced Resolution 1043 "A resolution of the Florissant City Council congratulating Councilman Jeff Caputa on his retirement after 36 years as a Cement Mason". Councilman Schildroth made a motion for a second reading, seconded by Pagano. Motion carried, Resolution 1043 was read for the second time. Councilman Eagan made a motion for a third reading, seconded by Pagano.

On roll call the Council voted: Manganelli yes, Eagan yes, Caputa abstain, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, and Harris yes. Motion carried, Resolution 1043 was read for the third time. Before the final vote, all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Manganelli yes, Eagan yes, Caputa abstain, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, and Harris yes. Motion carried, Resolution 1043 was passed. The City Clerk read the resolution in its entirety.

Mayor Lowery and Councilman Schildroth congratulated Councilman Jeff Caputa on his retirement and thanked him for his service. Councilman Caputa thanked his family and union workers on their support and expressed gratitude for the recognition.

The next item on the agenda was *Beautiful Home Awards*.

The beautiful home awards were presented by the mayor, city council, and Jeff Cook from the Citizen's Participation Committee.



- Mayor's Choice – Mark & Joanne Floretta
- Ward 1 – Charles Woods
- Ward 2 – Scott and Melody Kessler
- Ward 3 – Christine and Lawrence McCullough
- Ward 4 – Jerry & Judy Zellar
- Ward 5 – Dale Frauenfelder
- Ward 6 – Kevin & Kate Clooney
- Ward 7 – Kevin, Joanna & Timothy Huke
- Ward 8 – Sharon Carter
- Ward 9 – Todd Neff

The next item on the agenda was *Special Presentations*.

Corey Williams, 6501 Sylvan Road, stated he is the Public Information Officer for the Small Business Administration in the Office of Disaster Assistance. He noted he is in town working with St. Louis County, St. Charles County, and St. Louis City due to the flooding. Mr. Williams spoke regarding the registration with FEMA to receive assistance from the Federal government for recovery of business and residential properties. He mentioned two locations which would allow for registration located at Hazelwood Civic Center and Ranken Technical School at 1313 Newstead with both locations open Monday through Saturday from 8am to 7pm. The Small Business Administration has an Economic Injury Loan Program to businesses and residential properties to assist with fees and costs during the recovery period. He stated the deadlines was October of 2022, but has extended to March 2023. Mr. Williams encouraged people to apply for the loans if they are able.

The Chair stated the next item on the agenda was *Hearing from Citizens*.

Christy Rogers, 830 Lilac Dr, discussed issues with kids in her neighborhood.

Yolanda Mickens, 3815 Riverside Pointe Dr, noted her concerns of the quality of business opening in Florissant mentioning car washes and storage units are all over Lindbergh.

The Chair stated that the next item on the agenda was *Public Hearings*.

The City Clerk reported that Public Hearing 22-08-020 for the Request to authorize a Special Use Permit to allow for a sit-down, carry-out restaurant located at 462 N. Highway 67. The Chair declared the Public Hearing open.

Princeton Dew, petitioner, stated the restaurant will be chicken and waffles, wings, vegan and vegetarian options. Mr. Dew noted the business would be a restaurant business with a selfie room and game room in the back. Phil Lum, building commissioner, clarified the Special Use is a new permit which was determined by Planning and Zoning Commission. Mr. Lum noted the shopping center was believed to be short of parking spaces, but due to the mixed use of the center, they have the exact number of parking spaces needed for the building. He stated the building has been authorized to issue building

permits to the shopping center because they have less than 50% of damage. Mr. Dew noted everything has been cleaned out of the building and are waiting on the electrical permits. He stated they are hoping to open the business in 4 to 6 weeks. He clarified he did not want the comedy club any longer and only wants to open as a restaurant. Mr. Dew does not want to be associated with Shade Restaurant any longer and left in November of 2020. He noted there would not be any cover charge, memberships, or payments similar to cover charges. Mr. Dew stated the business would be open from 11am to 11:30pm Tuesday through Thursday and open until 1am on Fridays and Saturdays. The business is in Mr. Dew's name only and has no intention of having partners in the business. Kelly Williams, manager of 2.0 Restaurant, was also present.

Being no further comments, Councilman Mulcahy moved to close the Public Hearing, seconded by Pagano. Motion carried.

The Chair stated that the next item on the agenda was *Second Readings*.

Councilman Eagan made a motion to postpone Substitute Bill No. 9793 to the September 6, 2022 meeting due to the petitioner's request, seconded by Siam. Motion carried.

The Chair stated that the next item on the agenda was *Board Appointments*.

Councilman Caputa made a motion to accept the mayor's appointment of Ron Smith, 125 S. Lafayette St, to the Veteran's Commission as a member from Ward 4 with a term expiring on 8/8/2025. Seconded by Manganelli, motion carried.

The Chair stated the next item on the agenda was *Requests*.

Councilman Eagan moved to accept the Request for a full package liquor license for Bhagat JL, LLC d/b/a A 1 Wind & Spirit #11 located at 8471 N. Lindbergh, seconded by Pagano.

Councilman Eagan made a motion to suspend the rules to speak with the petitioner, seconded by Caputa. Motion carried.

Vipul Bhagat, petitioner, noted he is buying the existing Paradise Market and the business would be open from 10am to 10pm Monday through Saturday and Sunday 10am to 6pm. Mr. Bhagat stated the tasting portion of the permit would be for new products coming out and there would be some sort of note inside the store to make customers aware, but would happen twice a month at most. He noted distributors would occasionally be in the store to allow for the tasting. The tastings would not be charging any additional fee.

On roll call the Council voted: Manganelli yes, Eagan yes, Caputa no, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, and Harris yes. Motion carried, liquor license was approved.

Councilwoman Pagano moved to accept the Request to transfer Special Use Permit no. 6853 from Zu Yang d/b/a Chin's Wok to Sarah Zhang Enterprises LLC d/b/a Chin's Wok for the operation of a dine-in, carry-out, delivery restaurant located at 70 A Grandview Plaza, seconded by Caputa. Motion carried.

Councilman Siam moved to accept the Request for a Beer and Wine Liquor License for La Patisserie located at 119 Flower Valley Shopping Center, seconded by Manganelli.

On roll call the Council voted: Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, and Harris yes. Motion carried, liquor license was approved.

The Chair stated that the next item on the agenda was *Bills for First Reading*.

Councilman Schildroth introduced Bill No. 9809 an Ordinance to authorize a special use permit to Dalind J. Enterprises to allow for a car sales business located at 1735 S. New Florissant Road was read for the first time.

Councilwoman Pagano introduced Bill No. 9810 an Ordinance to authorize a special use permit to Florissant IMG Pizza Inc. d/b/a Imo's Pizza for the operation of a carry-out, drive-thru restaurant located at 1725 Washington was read for the first time.

Councilman Eagan introduced Bill No. 9811 an Ordinance amending ordinance no. 9739 establishing a grade and step schedule for full time uniformed employees' positions within the City of Florissant and enacting in lieu thereof a new ordinance and containing an effective date clause was read for the first time.

Councilwoman Pagano introduced Bill No. 9812 an Ordinance authorizing a transfer of Special Use Permit no. 6853 from Zu Yang d/b/a Chin's Wok to Sarah Zhang Enterprises LLC d/b/a Chin's Wok for the operation of a dine-in, carry-out, delivery restaurant located at 70 A Grandview Plaza was read for the first time.

Councilman Eagan introduced Bill No. 9813 an Ordinance authorizing appropriations of \$135,000 from the General Revenue Fund to various gasoline accounts due to increased fuel cost was read for the first time. Councilman Schildroth moved that Bill No. 9813 be read for a second time, seconded by Parson. Motion carried and Bill No. 9813 was read for a second time.

Councilman Schildroth moved that Bill No. 9813 be read for a third time, seconded by Caputa. On roll call the Council voted: Harris yes, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, and Siam yes. Having received a unanimous vote of all members present Bill No. 9813 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

129           Seeing none, on roll call the Council voted: Harris yes, Manganelli yes, Eagan yes, Caputa yes,  
130   Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, and Siam yes.

131           Whereupon the Chair declared Bill No. 9813 to have passed and become Ordinance No. 8815.

132           Councilman Eagan introduced Bill No. 9814 an Ordinance to establish the salaries for the Mayor  
133 and City Council of the City of Florissant as of the municipal election in April 2023 was read for the first  
134 time.

135           The next item on the Agenda was *Motion to move September 12<sup>th</sup> Council Meeting*.

136           Councilman Eagan moved the September 12, 2022 meeting to Tuesday, September 6, 2022.  
137   Seconded by Pagano, motion carried.

138           The next item on the Agenda was *Council Announcements*.

139           Councilman Schildroth offered his condolences to the family of Ron Andrews, the Singing  
140 Barber, who passed away last week. He noted Mr. Andrews' support and help over the years.

141           Councilman Parson thanked everyone for their donations to Parker Road Elementary and  
142 Commons Lane Elementary. He wanted everyone to note Ward 8 had two Beautiful Home Awards.

143           Councilman Caputa reminded residents to secure firearms in their home and not their vehicles.  
144 He stated keeping porch lights on help to deter theft. He thanked the City Council and Mayor Lowery on  
145 their recognition.

146           Councilman Eagan reminded residents to be aware of kids walking and driving to school to keep  
147 kids safe as they head back to school. He stated the St. Patrick's Day Society would be hosting a Pub  
148 Crawl on September 17<sup>th</sup> with three locations being part of the crawl and ending at Cuginos.

149           The next item was *Mayor Announcements*.

150           Mayor Lowery noted the Wednesday Knight Out would be on August, 24<sup>th</sup> and hosted by Stems  
151 Florist with plaque dedications for the late Bert Heppermann and John Kohnen at 250 St. Francois. He  
152 stated the final Music Under the Stars event would be Saturday, August 27 with Dr. Zhivegas performing.  
153 On Wednesday, August 24<sup>th</sup> from 3pm to 5pm, Little Tykes would be having a commercial at Angie's  
154 Playground and need children from ages 5 to 12 to play during filming. On September 10<sup>th</sup>, the Suicide  
155 Prevention Softball Tournament would be held at St. Ferdinand Park from 9am to 6pm. Mayor Lowery  
156 stated the 9/11 Ceremony would take place at the VFW Post at 1pm on Sunday, September 11<sup>th</sup>. He noted  
157 the Mayor's Town Hall meeting would be held on Thursday, September 15<sup>th</sup> from 9am to 11am.

158           The Council President stated the next regular City Council Meeting will be Tuesday, September  
159 6, 2022 at 7:00 pm.

160 Councilman Siam moved to adjourn the meeting, seconded by Manganelli. Motion carried. The  
161 meeting was adjourned at 7:53 p.m.

162

163

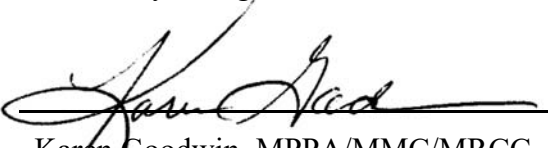
164

165 The following Bills were signed by the Mayor:

166

Bill No. 9812

Bill No. 8815

  
Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

# **CITY OF FLORISSANT**

## **Public Hearing**

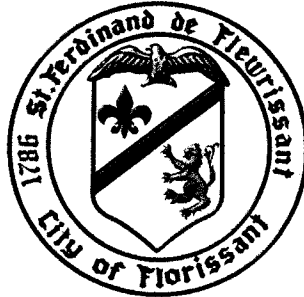


**In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Tuesday, September 6, 2022 at 7:00 p.m. on the following proposition:**

**To authorize a Special Use Permit to allow for a carry-out restaurant in a 'B-3' Extensive Business District located at 2715 N Highway 67 (African Naturals). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**

**SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION**



**City Of Florissant – Public Works  
314-839-7648**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

**PLANNING & ZONING ACTION  
RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN**

Council Ward \_\_\_\_\_ Zoning \_\_\_\_\_

Initial Date Petitioner Filed \_\_\_\_\_  
**Building Commissioner to complete  
ward, zone & date filed**

SIGN. 

DATE: 8-15-2022

SPECIAL PERMIT FOR **SMOOTHIE & JUICE BAR**

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- \_\_\_\_\_ TO ALLOW FOR \_\_\_\_\_  
ordinance # \_\_\_\_\_ Statement of what the amendment is for.

LOCATION **2715 N. HIGHWAY 67**  
Address of property.

1) Comes Now **AFRICAN NATURALS**

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) **LEASED**

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for \_\_\_\_\_  
**VITAMIN & HERBAL RETAIL STORE** and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:  
(If more space is needed, separate sheets maybe attached)

NICKA Anne [Signature] 314-255-4258  
 PRINT NAME SIGNATURE email and phone

FOR NGA International dba: African Naturals  
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
1. I (we) have a legal interest in the herein above described property.
  2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE [Signature]

ADDRESS 4511 S. Kingshighway St. Louis MO 63109  
 STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314-255-4258 annenna@gnat.com  
 BUSINESS

I (we) the petitioner (s) do hereby appoint Nicka Anne as  
 Print name of agent.  
 my (our) duly authorized agent to represent me (us) in regard to this petition.

[Signature]  
 Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.



## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:

Individual ☒ Partnership \_\_\_\_\_ Corporation \_\_\_\_\_

(a) If an individual:

- (1) Name and Address NUKA ANUE
- (2) Telephone Number 314-255-4258
- (3) Business Address 4511 S. KINGSHIGHWAY BLVD
- (4) Date started in business 1/29/2013
- (5) Name in which business is operated if different from (1) AFRICAN NATURALS
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) Name under which business is operated \_\_\_\_\_
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners \_\_\_\_\_
- (2) Telephone numbers \_\_\_\_\_
- (3) Business address \_\_\_\_\_
- (4) State of Incorporation & a photocopy of incorporation papers \_\_\_\_\_
- (5) Date of Incorporation \_\_\_\_\_
- (6) Missouri Corporate Number \_\_\_\_\_
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_
- (8) Name in which business is operated \_\_\_\_\_
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

**Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.**

Name \_\_\_\_\_

Address \_\_\_\_\_

Property Owner The Redwing Company LLC

Location of property 2715 North Highway 67

Dimensions of property 4,000

Property is presently zoned \_\_\_\_\_ Requests Rezoning To \_\_\_\_\_

Proposed Use of Property \_\_\_\_\_

Type of Sign \_\_\_\_\_ Height \_\_\_\_\_

Type of Construction \_\_\_\_\_ Number Of Stories \_\_\_\_\_

Square Footage of Building \_\_\_\_\_ Number of Curb Cuts \_\_\_\_\_

Number of Parking Spaces \_\_\_\_\_ Sidewalk Length \_\_\_\_\_

Landscaping: No. of Trees \_\_\_\_\_ Diameter \_\_\_\_\_

No. of Shrubs \_\_\_\_\_ Size \_\_\_\_\_

Fence: Type \_\_\_\_\_ Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS  
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

NO. 2715 N. HWY 67 center  
Florissant, MO. 63033

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection.

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**OFFICE USE ONLY**

Date Application reviewed \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
**Building Commissioner or Staff Signature**

**Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.**

Name \_\_\_\_\_

Address \_\_\_\_\_

Property Owner \_\_\_\_\_

Location of property \_\_\_\_\_

Dimensions of property \_\_\_\_\_

Property is presently zoned \_\_\_\_\_ Requests Rezoning To \_\_\_\_\_

Proposed Use of Property \_\_\_\_\_

Type of Sign \_\_\_\_\_ Height \_\_\_\_\_

Type of Construction \_\_\_\_\_ Number Of Stories \_\_\_\_\_

Square Footage of Building \_\_\_\_\_ Number of Curb Cuts \_\_\_\_\_

Number of Parking Spaces \_\_\_\_\_ Sidewalk Length \_\_\_\_\_

Landscaping: No. of Trees \_\_\_\_\_ Diameter \_\_\_\_\_

No. of Shrubs \_\_\_\_\_ Size \_\_\_\_\_

Fence: Type \_\_\_\_\_ Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.



## State of Missouri

John R. Ashcroft, Secretary of State  
Corporations Division  
PO Box 778 / 600 W. Main St., Rm. 322  
Jefferson City, MO 65102

X001736241  
Date Filed: 7/27/2022  
Expiration Date: 7/27/2027  
John R. Ashcroft  
Missouri Secretary of State

### Registration of Fictitious Name

(Submit with filing fee of \$7.00)  
(Must be typed or printed)

This information is for the use of the public and gives no protection to the name being registered. There is no provision in this Chapter to keep another person or business entity from adopting and using the same name. The fictitious name registration expires 5 years from the filing date. (Chapter 417, RSMo)

Please check one box:

☒ New  
☐ Registration ☐ Renewal ☐ Amendment ☐ Correction  
Charter number Charter number Charter number

The undersigned is doing business under the following name and at the following address:

Business name to be registered: African Naturals

Business Address: 4511 S Kingshighway Blvd

(PO Box may only be used in addition to a physical street address)

City, State and Zip Code: Saint Louis, MO 63109-2459

#### Owner Information:

If a business entity is an owner, indicate business name and percentage owned. If all parties are jointly and severally liable, percentage of ownership need not be listed. Please attach a separate page for more than three owners. The parties having an interest in the business, and the percentage they own are:

Name of Owners, Individual or Business Entity	Charter # Required If Business Entity	Street and Number	City and State	Zip Code	If Listed, Percentage of Ownership Must Equal 100%
NGA INTERNATIONAL LLC	LC0549782	4511 S Kingshighway Blvd	Saint Louis, MO	63109 - 2459	

All owners must affirm by signing below

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties of a false declaration under Section 575.060 RSMo)

NGA INTERNATIONAL LLC - NUKA G ANUE

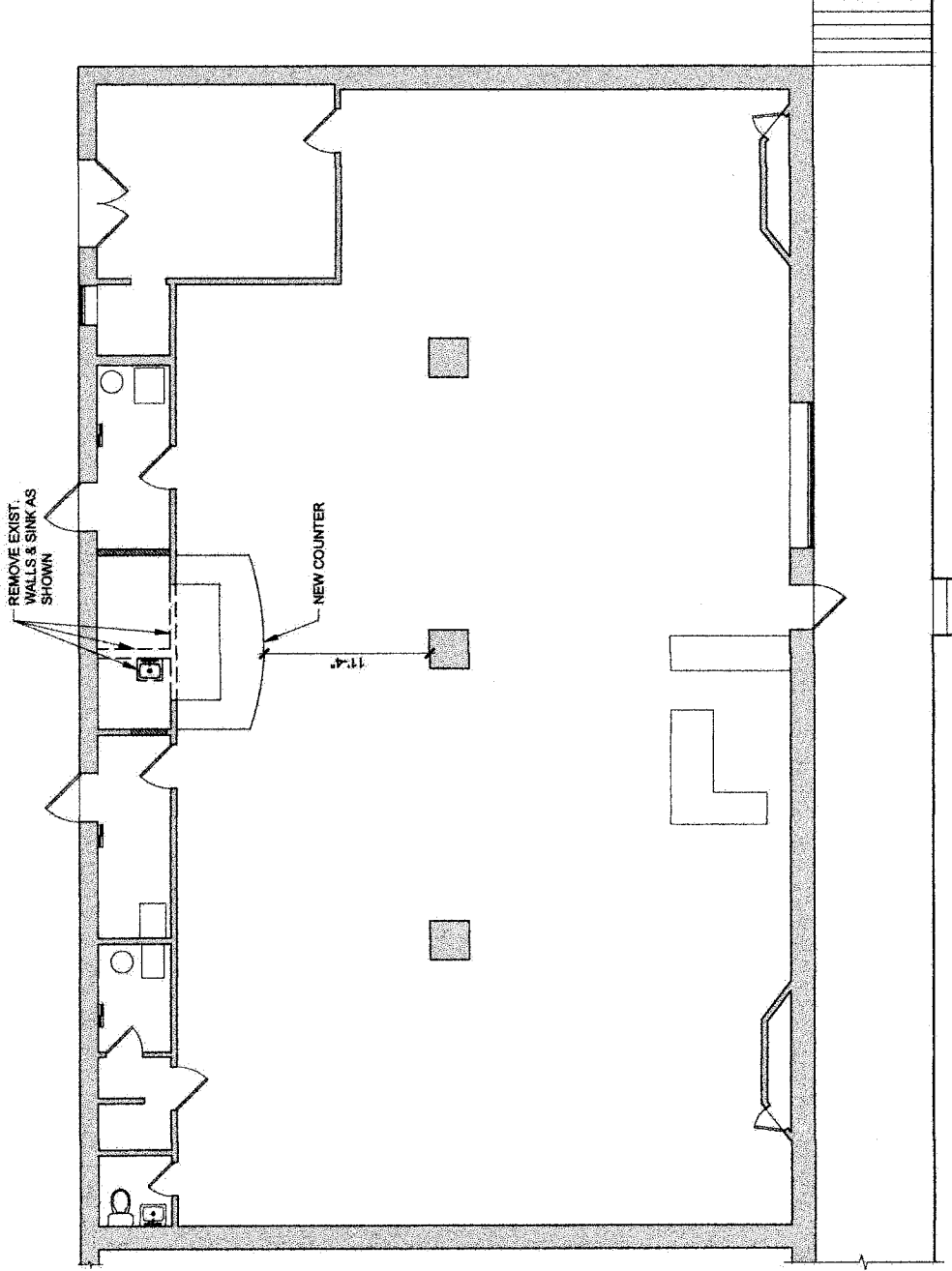
Owner's Signature or Authorized Signature of Business Entity

NGA INTERNATIONAL LLC - NUKA G  
ANUE

Printed Name

07/27/2022

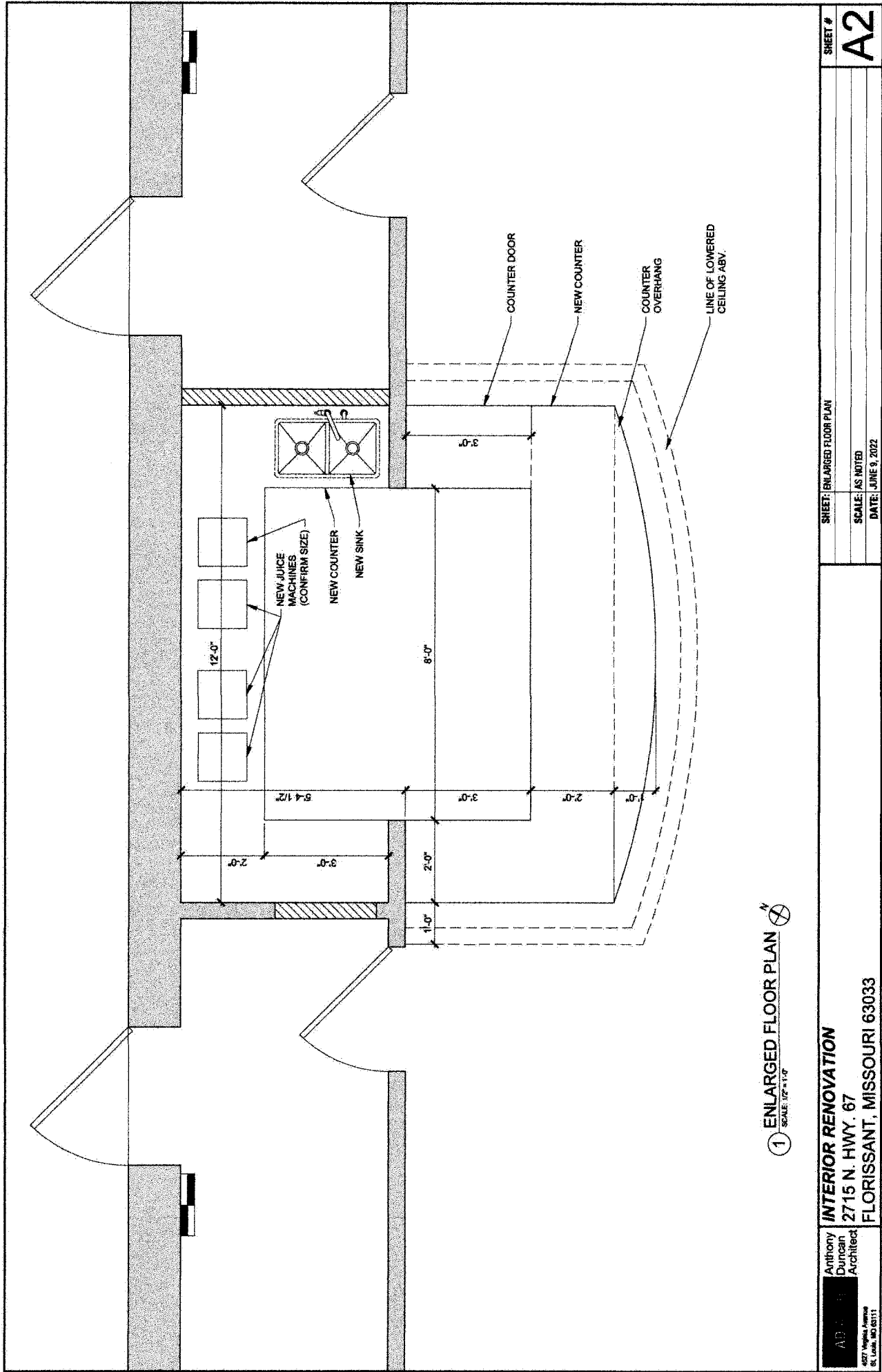
Date



SHEET #	A1
SHEET: FLOOR PLAN	
SCALE: AS NOTED	
DATE: JUNE 9, 2022	

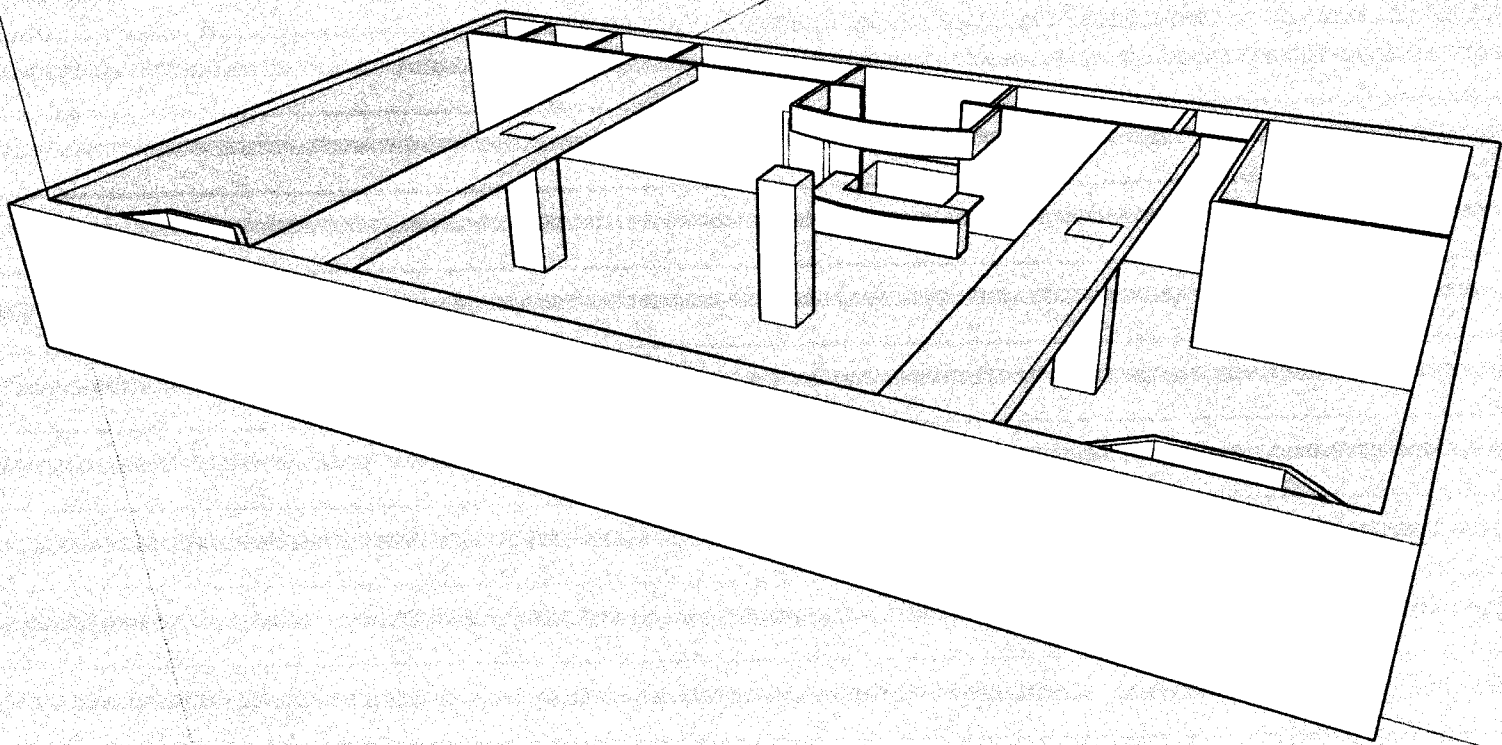
**INTERIOR RENOVATION**  
 2715 N. HWY. 67  
 FLORISSANT, MISSOURI 63033

Anthony  
 Duncan  
 Architect  
 4827 Virginia Avenue  
 St. Louis, MO 63111

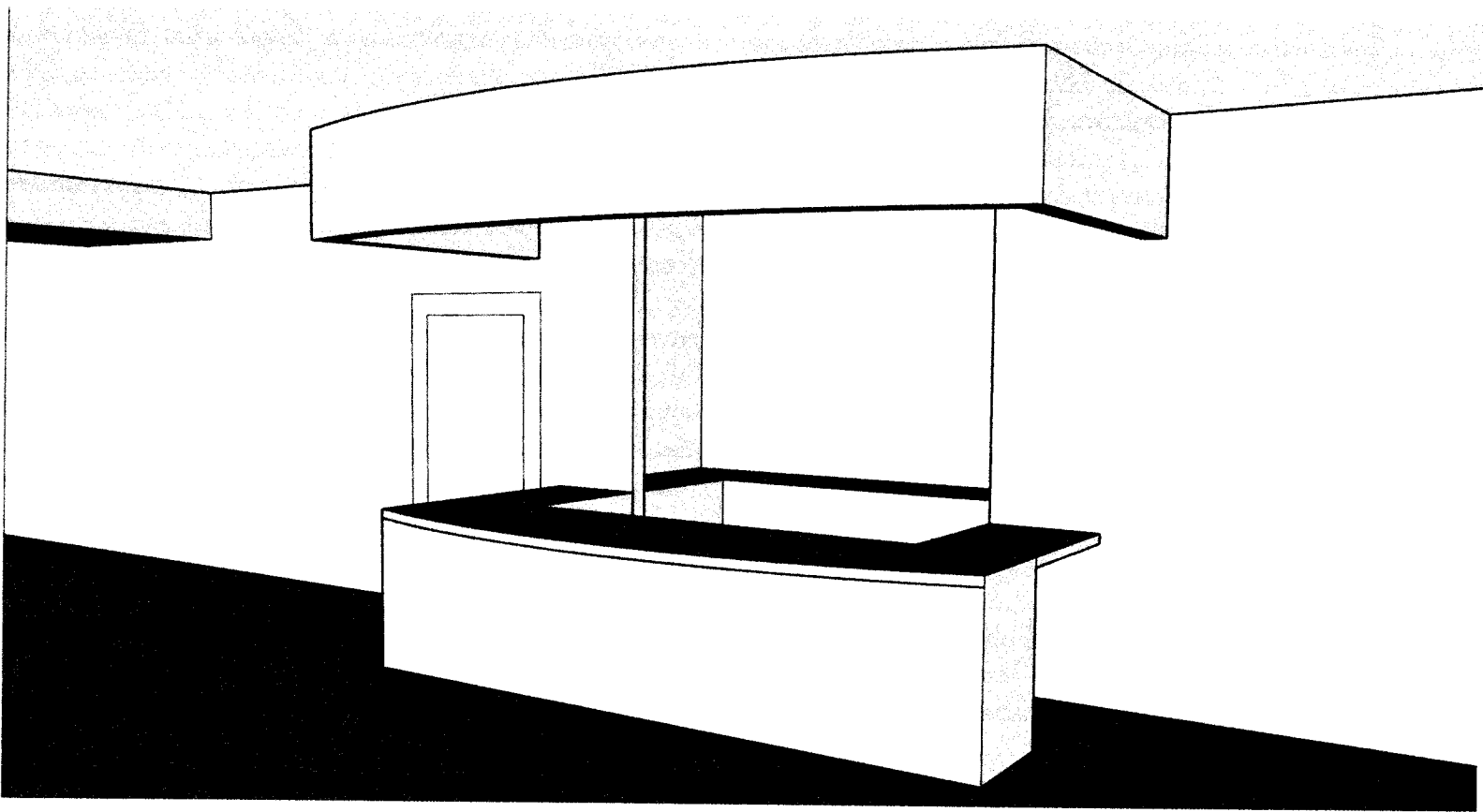


1 ENLARGED FLOOR PLAN  
SCALE: 1/2" = 1'-0"

SHEET: ENLARGED FLOOR PLAN		SHEET #
SCALE: AS NOTED		A2
DATE: JUNE 9, 2022		
INTERIOR RENOVATION		
2715 N. HWY. 67		
FLORISSANT, MISSOURI 63033		
Anthony Durcan Architect		
427 Virginia Avenue		
St. Louis, MO 63111		

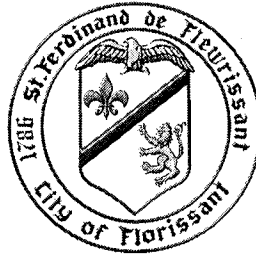






1

# MEMORANDUM



2  
3  
4  
5  
6

## CITY OF FLORISSANT

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

7 To: Planning and Zoning Commissioners Date: August 8, 2022  
8  
9 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,  
10 Director Public Works  
11 Deputy City Clerk  
12 Applicant  
13 File  
14  
15 Subject: Request **recommended approval of a Special Use** for a restaurant (smoothie bar  
16 area) or carry-out at **2715 N Highway 67 (African Naturals)** in a 'B-3'  
17 Extensive Business District.  
18  
19

20  
21  
22  
23

## **STAFF REPORT**

### **CASE NUMBER PZ-081522-2**

24

#### **I. PROJECT DESCRIPTION:**

25 This is a request for recommended approval of a restaurant (smoothie bar area) or carry-out at  
26 **2715 N Highway 67 (African Naturals)** in a 'B-3' Extensive Business District.

27  
28 Refer to Plans submitted drawings A-1, A-2 and A-3 dated 3/20/21 by Anthony Duncan,  
29 Architect, dated 7/22/22 attached. The drawings include a site location map.  
30

31

#### **II. SITE CONDITIONS:**

32 The existing property at **2715 N Highway 67** currently is occupied by African Naturals, a retail  
33 establishment.  
34

35

#### **III. SURROUNDING PROPERTIES:**

36 The property to the west is 2685 N Highway 67 in a B-3 District, it is also bounded to the North  
37 by Cross Keys Middle School and by 2749 N Highway 67 (Title Max) to the East in a B-3  
38 District. The property across N Highway 67 are also B-3 properties (Surrey Plaza 1 and 2).  
39

40

#### **IV. STAFF ANALYSIS:**

41 Plans submitted include Construction Documents. The plans show an area altered in the rear of  
42 the store which sells merchandise. The prep area is about 13'-6"x 11'-8" with a customer  
43 smoothie bar large enough to accommodate 6 people. The plan does not show a furnishings plan

44 with chairs, however, the number of patrons max is determined by the width of the bar. The bar  
45 area has overhead partition with signage proposed.

46  
47 The new plan does not include allowances for any assembly Use, so it is assumed that this  
48 proposal is for an ancillary Use.

49  
50 **VI. STAFF RECOMMENDATIONS:**

51  
52 **Suggested Motion for Recommended Approval** for a Special Use to allow for a bar area, carry  
53 out restaurant for serving of smoothies at **2715 N Highway 67** in a 'B-3' Zoning District.

54  
55 I move to **Recommended Approval** for a Special Use Permit to allow for a for a bar area, carry  
56 out restaurant for serving of smoothies in a 'B-3' Zoning District, subject to the following  
57 stipulations:

- 58  
59 1. The project shall be as shown on plans submitted, A-1, A-2 and A-3 21 by Anthony  
60 Duncan, Architect, dated 7/22/22 attached with no additional furnishings.

61  
62  
63  
64 (end of Suggested Motion and report)

1 INTRODUCED BY COUNCILMAN SIAM  
2 JUNE 27, 2022

3  
4 SUBSTITUTE BILL NO. 9793

ORDINANCE NO.

5  
6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**  
7 **PERMIT NO. 8603 FROM SHADE PARTNERS, LLC TO SHADE**  
8 **RESTAURANT & BAR, LLC FOR THE LOCATION OF A**  
9 **RESTAURANT AND BAR LOCATED AT 1752-1756 N. NEW**  
10 **FLORISSANT ROAD.**

11  
12 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of  
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a  
14 restaurant; and

15 WHEREAS Five Aces Bar-v-que was issued Special Use Permit no. 8376 for the  
16 operation of a restaurant located at 1752-1754 N. New Florissant Road; and

17 WHEREAS ordinance no. 8376 was subsequently transferred by ordinance no. 8407 to  
18 CA44 LLC d/b/a Highway 67 BBQ for the operation of a restaurant; and

19 WHEREAS ordinance no. 8704 was transferred by ordinance no. 8603 to Shade Partners,  
20 LLC d/b/a Shade Restaurant and Bar; and

21 WHEREAS Shade Restaurant & Bar LLC has filed an application to transfer Special use  
22 Permit no. 8603 authorizing the location and operation of a restaurant located at 1752-1756 N.  
23 New Florissant Road to its name; and

24 WHEREAS, the City Council of the City of Florissant determined at its meeting on June  
25 27, 2022 that the business would be operated in substantially identical fashion as set out herein;  
26 and

27 WHEREAS, Shade Restaurant and Bar, LLC has accepted the terms and conditions as  
28 they apply to a special use permit for a restaurant.

29 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**  
30 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

31 Section 1: Special Use Permit no. 8603 is hereby transferred from Shade Partners, LLC  
32 to Shade Restaurant & Bar, LLC for the location of a restaurant and bar located at 1752-1756  
33 N. New Florissant Road subject to the following conditions:

- 34 a. Full compliance with any and all conditions set forth in Special Use Permit  
35 8603; and  
36 b. There shall be no tinting of the windows or obstruction preventing clear sight  
37 into the business from the parking lot or sidewalk; and  
38 c. A security camera shall be installed to record activities indoor and outdoor, and  
39 the video footage shall be available to the police department within 24 hours of  
40 the request and shall be retained for a minimum of 10 days; and  
41 d. Screening and roof be provided for the smoker at the rear of the building; and  
42 e. The business shall be closed no later than 10 pm.

43 Section 2: The Special Use Permit herein authorized shall terminate if the said business  
44 ceases operation for a period of more than one hundred and eighty (180) days.

45 Section 3. The Special Use Permit authorized herein will be revoked if the applicant fails  
46 to comply with the conditions set forth herein or violates any State Statutes or ordinances of the  
47 City of Florissant.

48 Section 4: This ordinance shall become in force and effect immediately upon its passage  
49 and approval.  
50 .

51 Adopted this \_\_\_\_ day of \_\_\_\_\_, 2022.

52 \_\_\_\_\_  
53 Joseph Eagan  
54 Council President  
55

56 Approved this \_\_\_\_ day of \_\_\_\_\_, 2022.

57 \_\_\_\_\_  
58 Timothy J. Lowery  
59 Mayor, City of Florissant

60 ATTEST:

61 \_\_\_\_\_  
62 Karen Goodwin, MPPA/MMC/MRCC  
63 City Clerk



# City of Florissant

*Honorable Timothy J. Lowery, Mayor*

## **TRANSFER OF SPECIAL USE PERMIT PROCEDURE**

After receiving completed Transfer of Special Use Permit application, the City Clerk places the Transfer request on the next City Council Agenda for acceptance of the application and 1<sup>st</sup> reading of the new bill.

Applicant is encouraged to contact the Councilperson of the ward prior to the City Council Meeting.

At the following meeting the bill is read for a second and third time and voted upon. With a majority of affirmative votes the bill is assigned an Ordinance number.

**The application for a Transfer of a Special Use requires the following for a complete application:**

1. Completed application form  
(with the signature from current owner to authorize the transfer of the ordinance in their name)
2. Complete acknowledgement form  
(Acknowledging that the new owner has received a copy of the current ordinance and accepts responsibility for the Special Use Permit as it is written)
3. Copy of the LLC or Corporation papers.
4. Copy of a lease or bill of sale (to show an interest in the property)
5. Copy of the Fictitious name certificate (if applicable)

**Return completed application and documentation to the City Clerk's office no later than 5 pm on Wednesday prior to a scheduled City Council meeting (2<sup>nd</sup> and 4<sup>th</sup> Mondays of each month)**

Questions: Call the City Clerk at 314-839-7630 or 7631 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com)

## TRANSFER OF SPECIAL PERMIT

AUTHORIZED BY ORDINANCE NUMBER (S) 8603

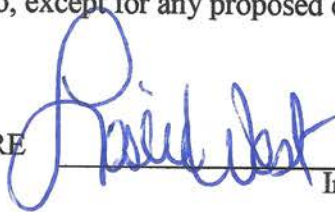
FROM Shade Parteners, LLC  
TO Shade Restaurant & Bar , LLC  
FOR A restaurant & bar  
ADDRESS 1752-1756 N. New Florissant, Florissant, MO 63033  
Ward 6 Zoning B3 Date Filed 6/8/2022 Accepted By \_\_\_\_\_

### TRANSFER OF SPECIAL USE PERMIT PETITION

TO THE CITY COUNCIL OF THE CITY OF FLORISSANT:

1. Comes now Shade Restaurant & Bar, LLC and states to the City Council that he (she) (they) has (have) the following legal interest in the property located at 1752-1756 N. New Florissant, Florissant, MO 63034 in the City of Florissant, Missouri. Legal interest: ☒ Lease or ☐ Simple Title  
(Attach signed copy of lease or deed)
2. The petitioner(s) further state that he (she) (they) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly to any official, employee, or appointee of the City of Florissant, with respect to this petition.
3. The applicant will operate the business in the same manner and under the same conditions as set out in the original ordinance granting the special permit or any amendments thereto, except for any proposed change in sign face of an authorized sign.

PETITIONER SIGNATURE



Individual's Name

FOR:

Shade Restaurant & Bar, LLC

Company, Corporation, Partnership

4. I (we) hereby certify that (indicate **one only**):



I (we) have a legal interest in the above described property.



I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE \_\_\_\_\_

ADDRESS

38 Jost Villa Dr. Florissant, MO 63034

Telephone No.

314-780-4890

Email address


Info@Shaderesturant.com

I (we) the petitioner(s) do hereby appoint

Lisa West

as my

(our) duly authorized agent to represent me (us) in regard to this petition.



\_\_\_\_\_  
PETITIONER SIGNATURE

**Note:** Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of (**current**) owner to Transfer the Special Use Permit.



\_\_\_\_\_  
SIGNATURE OF OWNER



**Information sheet to be attached to all requests for Transfer of Special Permit**

Type of Operation: (Select One)

Individual ☐

Partnership ☐

Corporation ☐

LLC ☒

**INDIVIDUAL:**

Name & address \_\_\_\_\_

Telephone number & email address \_\_\_\_\_

Business name/address/phone \_\_\_\_\_

Copy of fictitious name registration, if applicable \_\_\_\_\_

**PARTNERSHIP:**

Name & address of partner (s) \_\_\_\_\_

Telephone number(s) and email address (s) \_\_\_\_\_

Business name/ address /phone \_\_\_\_\_

Copy of fictitious name registration, if applicable \_\_\_\_\_

**CORPORATION OR LLC:**

Name & address of all corporate officers Leslie West

Telephone numbers & email addresses 314-780-4890 Info@shaderesturant.com

Business name/address/phone Shade Resturant & Bar, LLC

Photocopy of Corporation/LLC Articles and Certificate \_\_\_\_\_

Date of incorporation/LLC 6/2/2022

Copy of fictitious name registration, if applicable

Copy of latest Missouri Anti-Trust affidavit (annual registration of corporate officers)

## TRANSFER OF SPECIAL USE PERMIT

The undersigned hereby acknowledges receipt of a copy of Ordinance  
Number 8603 which previously authorized a Special Use Permit:

TO: Shade Restuarant & Bar, LLC

FOR: A restaurant and bar

Located at: 1752-1756N.New Florissant, Florissant MO 63033

and agree to the terms and conditions listed in said ordinance and to any  
additional term and conditions that the City Council shall deem appropriate.

Leslie West

PRINT - NAME OF APPLICANT



SIGNATURE OF APPLICANT



## State of Missouri

John R. Ashcroft, Secretary of State  
Corporations Division  
PO Box 778 / 600 W. Main St., Rm. 322  
Jefferson City, MO 65102

LC014383013  
Date Filed: 6/2/2022  
John R. Ashcroft  
Missouri Secretary of State

### Articles of Organization

(Submit with filing fee of \$105.00)

1. The name of the limited liability company is  
Shade Restaurant & Bar LLC

(Must include "Limited Liability Company," "Limited Company," "LC," "L.C.," "LLC," or "LLC")

2. The purpose(s) for which the limited liability company is organized:

To operate a restaurant and bar as well as provide event space.

3. The name and address of the limited liability company's registered agent in Missouri is:

Aaron Lamont Reeves

Jr  
Name

5920 Ridge Ave  
Street Address: May not use PO Box unless street address also provided

Saint Louis, MO 63112-3510  
City/State/Zip

4. The management of the limited liability company is vested in: ☐ managers ☒ members (check one)

5. The events, if any, on which the limited liability company is to dissolve or the number of years the limited liability company is to continue, which may be any number or perpetual: 6/2/2097

(The answer to this question could cause possible tax consequences, you may wish to consult with your attorney or accountant)

6. The name(s) and street address(es) of each organizer (PO box may only be used in addition to a physical street address):

(Organizer(s) are not required to be member(s), manager(s) or owner(s))

Name

Address

City/State/Zip

WEST, LESLIE

38 Jost Villa Dr

Florissant MO 63034-2270

7. ☐ Series LLC (OPTIONAL) Pursuant to Section 347.186, the limited liability company may establish a designated series in its operating agreement. The names of the series must include the full name of the limited liability company and are the following:

New Series:

☐ The limited liability company gives notice that the series has limited liability.

New Series:

☐ The limited liability company gives notice that the series has limited liability.

New Series:

☐ The limited liability company gives notice that the series has limited liability.

(Each separate series must also file an Attachment Form LLC 1A.)

Name and address to return filed document:

Name: Aaron Lamont Reeves

Address: Email: aaronr1672@sbcglobal.net

City, State, and Zip Code: \_\_\_\_\_



# STATE OF MISSOURI



**John R. Ashcroft**  
**Secretary of State**

## CERTIFICATE OF ORGANIZATION

WHEREAS,

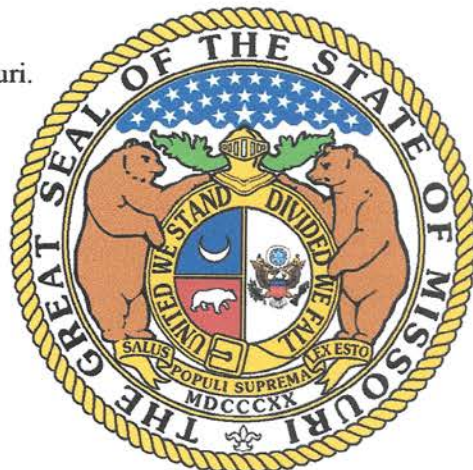
*Shade Restaurant & Bar LLC*  
*LC014383013*

filed its Articles of Organization with this office on the 2nd day of June, 2022, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, John R. Ashcroft, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 2nd day of June, 2022, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri.  
Done at the City of Jefferson, this 2nd day of June, 2022.

  
Secretary of State



## ASSIGNMENT OF LEASE

This Assignment is entered on this \_\_\_\_\_ day of June, 2022 by and between Bella Marie Agency, L.L.C., a Missouri Limited Liability Company (referred to herein as "Assignor"), and Shade Restaurant & Bar, L.L.C., a Missouri Limited Liability Company (referred to herein as "Assignee") and LCRF, L.L.C., a Missouri Limited Liability Company, (hereinafter referred to as "Landlord").

### WHEREAS:

Assignor is the tenant under a certain written lease agreement dated January 17, 2022, for certain premises located at 1752, 1754 & 1756 New Florissant Road, Florissant, Missouri 63033 (the "Leased Premises"), the term of which is currently ending on December 31, 2025, (the "Lease").

### WHEREAS:

LCRF, L.L.C., a Missouri Limited Liability Company is the owner of the Leased premises and the Landlord of the Leased Premises under the said Lease, and

### WHEREAS:

Assignor desires to sell and assign all of its right, title and interest in all of the lease described above with the written consent of the Landlord;

### NOW THEREFORE:

In consideration of the premises, and of the assignments made, and of the mutual covenants and agreements set forth herein, the parties to this Assignment agree as follows:

1. Assignor assigns any and all of the right, title and interest of the Lease of the premises known as Flo-Lin I Shopping Center located at 1752, 1754 & 1756 New Florissant Road, Florissant, Missouri 63033 to Assignee effective on May 15, 2022, and Landlord expressly consents to the Assignment on the terms and conditions set forth herein.

2. In order to induce Landlord to consent to this Assignment, Assignor agrees to remain liable to said Landlord for the obligation to pay all rent through the date of this Assignment and for all other debts or obligations, including CAM, Tax and Insurance as well as 2022 year end reconciliation, through the effective date of this Assignment.

3. Except for those debts or obligations specifically noted in Paragraph 2 above, Assignor is released from all liability for the performance of all duties and obligations under the terms and conditions of the Lease described herein and/or under any oral or written modification to such Lease, which were not performed by Assignor prior to the effective date of this Assignment.

4. Assignee shall have no obligation or liability whatsoever for any debt or obligation which Assignor owes to the Landlord or to any predecessor at the time of this Assignment including, but not limited to, rent or other debts or obligations arising out of the Assignors' use and occupation of the premises prior to the effective date of this Assignment.

5. The laws of the State of Missouri shall govern this Assignment of Lease.

6. Assignor's forwarding address shall be 38 Jost Villa Drive, Florissant, MO 63033

7. Assignee's notice address shall be 38 Jost Villa Drive, Florissant, MO 63033



**EXHIBIT A  
ASSIGNEE INFORMATION**

**INDIVIDUAL**

A. Name: Robert Post  
Home Phone: 314-780-4890  
Home Address: 3805+ Villa Dr.  
How long at this address? 12  
Mortgage Co: First Comm Credit  
Address: 8417 N. Lindbergh Blvd 6313  
Phone #: 636-728-3333

Date of Birth: 1-27-81  
Social Security: \_\_\_\_\_  
Driver's License: DD2985029  
Own: \_\_\_\_\_ Rent: \_\_\_\_\_  
Landlord: Tenet Davis  
Address: 1274 Woodpark Dr. Alexandria VA 22304  
Phone #: 394-921-6714

B. Previous Address: \_\_\_\_\_  
(less than 2 yrs.): \_\_\_\_\_

How long at this address? \_\_\_\_\_  
Own: \_\_\_\_\_ Rent: \_\_\_\_\_

C. Employer Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Phone #: \_\_\_\_\_  
How long? \_\_\_\_\_  
Contact? \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_

D. Bus. Name: \_\_\_\_\_  
Bus. Type: \_\_\_\_\_  
Address: \_\_\_\_\_

Phone #: \_\_\_\_\_  
How long in business? \_\_\_\_\_  
How long at this address? \_\_\_\_\_  
Own: \_\_\_\_\_ Rent: \_\_\_\_\_

**CORPORATION**

(Attach copy of most recent audited financial statement)

A. Corp. Name: \_\_\_\_\_  
Bus. Type: \_\_\_\_\_  
Address: \_\_\_\_\_  
Mortgage Co: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone #: \_\_\_\_\_

Phone #: \_\_\_\_\_  
How long in business? \_\_\_\_\_  
How long at this address? \_\_\_\_\_  
Own: \_\_\_\_\_ Rent: \_\_\_\_\_  
Landlord: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone #: \_\_\_\_\_

**B. Corporation Officers:**

Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Social Security #: \_\_\_\_\_  
Title: \_\_\_\_\_  
Home Phone #: \_\_\_\_\_

Name: \_\_\_\_\_  
Address: \_\_\_\_\_

Social Security #: \_\_\_\_\_  
Title: \_\_\_\_\_  
Home Phone #: \_\_\_\_\_

Address

**REFERENCES**

A. Credit References:  
Name of Reference

\_\_\_\_\_  
\_\_\_\_\_

Acct. # and Type

This Assignment consisting of three (3) pages including the page on which these signatures appear, and Exhibit A attached hereto, entered into the \_\_\_\_\_ day of June, 2022.

"ASSIGNOR"

**BELLA MARIE AGENCY, LLC  
A MISSOURI LIMITED LIABILITY  
COMPANY**

By:   
Leslie West

Title: owner

Date: 6-1-2022

"ASSIGNEE"

**SHADE RESTAURANT & BAR, LLC  
A MISSOURI LIMITED LIABILITY  
COMPANY**

By:   
Leslie West

Title: owner

Date: 6-1-2022

"LANDLORD"

**LCRF, L.L.C.,  
A MISSOURI LIMITED LIABILITY COMPANY**

By: LCRF Holdings, Inc., its managing members

By: \_\_\_\_\_  
Robert A. Walpert, President

Date: \_\_\_\_\_

1 INTRODUCED BY COUNCILMAN HENKE  
2 NOVEMBER 27, 2017

5 BILL NO. 9334

ORDINANCE NO.

8376

7 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO FIVE ACES**  
8 **BAR-B-QUE, LLC D/B/A FIVE ACES BAR-B-QUE TO ALLOW FOR THE**  
9 **OPERATION OF A RESTAURANT LOCATED AT 1752-1754 N. NEW**  
10 **FLORISSANT RD.**

12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a restaurant; and

14 WHEREAS, an application has been filed by Five Aces Bar-B-Que for the property located at  
15 1752-1754 N. New Florissant Rd for the location and operation of a restaurant; and

16 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting of  
17 November 6<sup>th</sup>, 2017 has recommended that the said Special Use Permit be granted; and

18 WHEREAS, due notice of a public hearing no. 17-11-028 said application to be held on the 27<sup>th</sup>  
19 day of November, 2017 at 7:30 P.M. by the Council of the City of Florissant was duly published, held  
20 and concluded; and

21 WHEREAS, the Council, following said public hearing, and after due and careful consideration,  
22 has concluded that the granting of the Special Use Permit as hereinafter provided would be in the best  
23 interest of the City of Florissant.

24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

26 Section I: A Special Use Permit is hereby granted to Five Aces Bar-B-Que, LLC d/b/a Five Aces  
27 Bar-B-Que to allow for the operation of a restaurant located at 1752-1754 N. New Florissant Rd for the  
28 location and operation of a restaurant with carry-out service and the following additional requirements:  
29  
30

- 31 1) Relocate smoker behind the south building.
  - 32 2) Provide roof cover protection and screening of new smoker, as approved by the Building  
33 Commissioner.
  - 34 3) Smoker enclosure colors to be complimentary in color to the existing structure, as approved by  
35 the Building Commissioner.
- 36



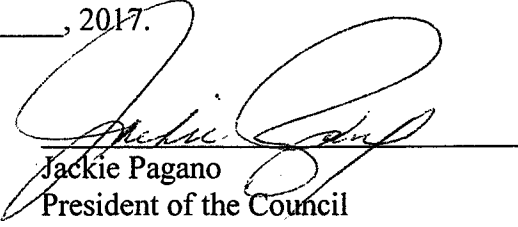
37        **2. PROJECT COMPLETION.**  
38

39                Construction shall start within 30 days of the issuance of building permits and the structure  
40                shall be completed in accordance with the plans within 180 days of start of construction.

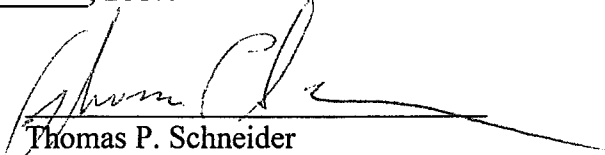
41                Section 2: When the named permittee discontinues the operation of said business, the Special  
42                Use Permit herein granted shall no longer be in force and effect.

43                Section 3: This ordinance shall become in force and effect immediately upon its passage and  
44                approval.  
45

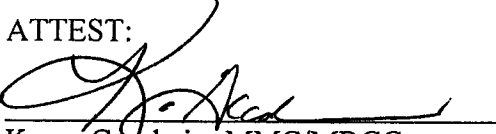
46  
47                Adopted this 11 day of Dec, 2017.

48  
49  
50  
51  
52                  
53                Jackie Pagano  
54                President of the Council  
55                City of Florissant

56                Approved this 12 day of Dec, 2017.

57  
58  
59                  
60                Thomas P. Schneider  
61                Mayor, City of Florissant  
62

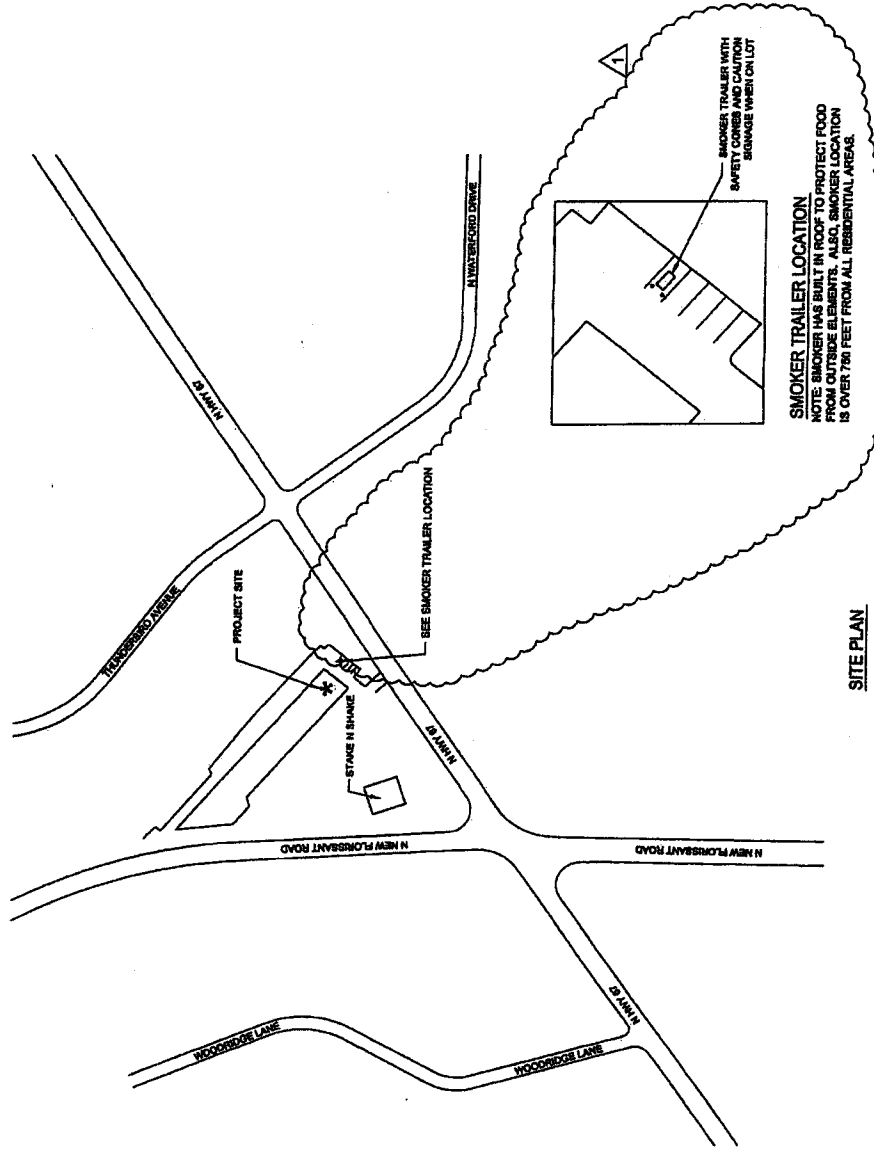
63  
64        ATTEST:

65                  
66                Karen Godwin, MMC/MRCC  
67                City Clerk  
68

# FACILITY UPDATES FOR

## RESTAURANT RENOVATION

1752-1754 NORTH NEW FLORISSANT ROAD  
FLORISSANT, MISSOURI 63033



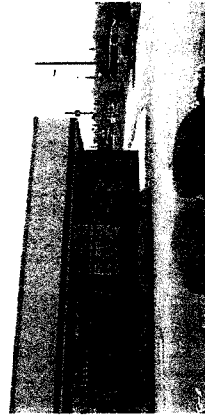
### SHEET INDEX:

- A-0 SITE PLAN AND SCOPE
- A-1 EXISTING DEMOLITION PLAN
- A-2 PROPOSED PLAN
- A-3 ENLARGED PROPOSED FLOOR PLAN
- A-4 SPECIAL DETAILS
- A-5 METAL STUD WALL DETAILS
- A-6 METAL STUD WALL DETAILS

### SCOPE OF WORK:

- PROJECT RENOVATION REQUIRE TO MODIFY AN EXISTING RESTROOM TO AN ADA RESTROOM, PROVIDE A KITCHEN (PREP AREA, HOT SINK AREA, COMMON WALL FIRE RATING INFORMATION, AND ADDITIONAL EMERGENCY RECOMMENDATIONS) AND FINISHES. ALL DESIGN IS GOVERNED TO CURRENT CONSTRUCTION BUILDING CODES.
- ALL PLUMBING AND ELECTRICAL WORK AND PERMITS SHALL BE OBTAINED BY OWNER'S PLUMBING AND ELECTRICAL CONTRACTORS.
- OWNER IS RESPONSIBLE FOR PROVIDING ALL SAFETY CONES, SIGNS, AND AN ANNUAL SAFETY PRECAUTION THAT WOULD ENSURE VISIBILITY AND SAFETY RELATES TO THEIR SMOKER TRAILER WHEN IT IS BROUGHT TO THE LOCATION FOR USE.

*10/9/17*



ALLEN DESIGNS, LLC

1752-1754 N. NEW FLORISSANT RD.  
FLORISSANT, MISSOURI 63033

DOWND W. DEAL, P.E.

PHONE: 636-636-6363  
FAX: 636-636-6363  
EMAIL: DWD@ALLENDESIGNS.COM

DATE: 10/9/17  
SCALE: AS SHOWN  
CHECKED BY: DWD  
DRAWN BY: DWD

SITE PLAN AND SCOPE  
RESTAURANT RENOVATION  
1752-1754 N. NEW FLORISSANT RD.  
FLORISSANT, MISSOURI 63033

PROJECT NO.  
2017-112  
DRAWING NO.  
A-0

REV.	DATE	DESCRIPTION
1	10/9/2017	ISSUED FOR PERMIT
2	10/9/2017	ISSUED FOR PERMIT
3	10/9/2017	ISSUED FOR PERMIT

# ALLEN DESIGNS, LLC

WWW.ALLENDISIGNS.COM  
TEL: 314-823-1001  
FLOOR PLAN: 1754 N. NEW FLORISSANT RD  
PROJECT NO: 2017-112

DONALD W. DEAL, P.E.

16200 MCCHICAGO  
2020  
37. LOUIS MO 63023  
PHONE: 314-413-0207  
LIC# 0686 MO: 82047

PROPOSED FLOOR PLAN  
RESTAURANT RENOVATION  
1752-1754 N. NEW FLORISSANT RD  
FLORISSANT, MISSOURI 63033

PROJECT NO:  
2017-112  
DRAWING NO:  
A-2

## GENERAL NOTES:

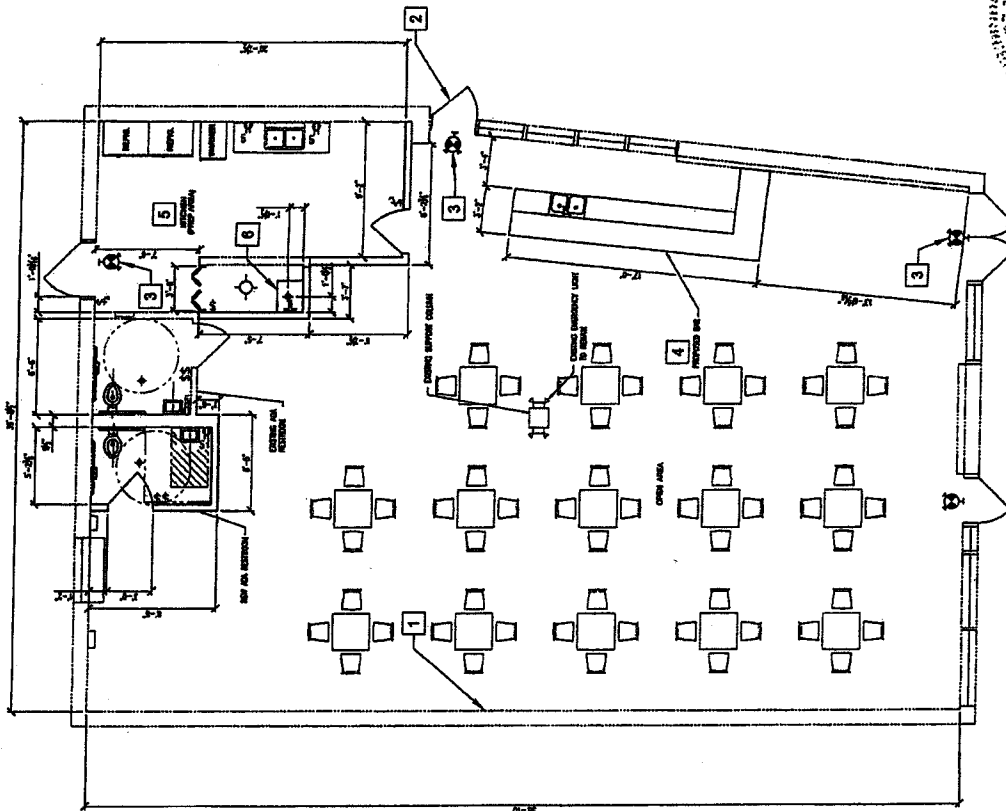
1. CONSTRUCTION PER ALL GOVERNING CODES PER 2009 INTERNATIONAL BUILDING CODES.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
3. ALL EXISTING REPAIR TO INTERIOR WALLS SHALL BE REPLACED WITH X TYPE GYPSUM BOARD.
4. ALL NEW PARTITION WALLS SHALL BE METAL STUD WALLS. FOR TYPICAL METAL STUD DETAILS, SEE DRAWING A-3, UNLESS NOTED OTHERWISE.

## KEYED NOTES:

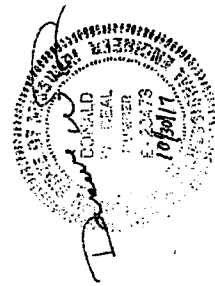
1. PROVIDING SEPARATION WALL IS VERIFIED TO BE DOUBLE LAYER 5/8" GYPSUM BOARD, AND A NEW 1/2" TYPE X WATER CALULING ALONG THE TOP ALONG CEILING DESIGN SHALL BE JOINING THE GYPSUM BOARD. SEE DRAWING A-4 FOR SPECIAL DETAIL.
2. ADD PANIC BAR WITH ALARM TO SIDE DOOR. PANIC BAR ALARM SHALL READ "EMERGENCY EXIT ONLY - ALARM WILL SOUND".
3. NEW EXIT SIGNS WITH EMERGENCY LIGHTS (TYP.).
4. PROPOSED BAR. (BAR SUPPLIED BY OWNER).
5. FINAL ORIENTATION OF APPLIANCES AND SINK ARE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE. NECESSARY RECEPTACLES FOR EACH APPLIANCE SHALL BE SUPPLIED BY QUALIFIED ELECTRICAL CONTRACTOR.
6. FLOOR-SET MOP SINK. SEE DRAWING A-4 FOR DETAIL.

## LEGEND (ALL SYMBOLS MAY NOT BE USED):

- SMOKE DETECTOR - HARD WIRED WITH BATTERY BACKUP
- GROUND FAULT INDICATOR OUTLET
- RECEPTACLE OUTLET
- TRIPLE OUTLET
- PROPOSED LIGHT
- PROPOSED LIGHT/EXHAUST FAN
- NEW FLOOD LIGHT
- NEW WALL LIGHT
- NEW SWITCH
- NEW 3-WAY SWITCH
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHTS



PROPOSED FLOOR PLAN  
SCALE 1/8" = 1'-0"

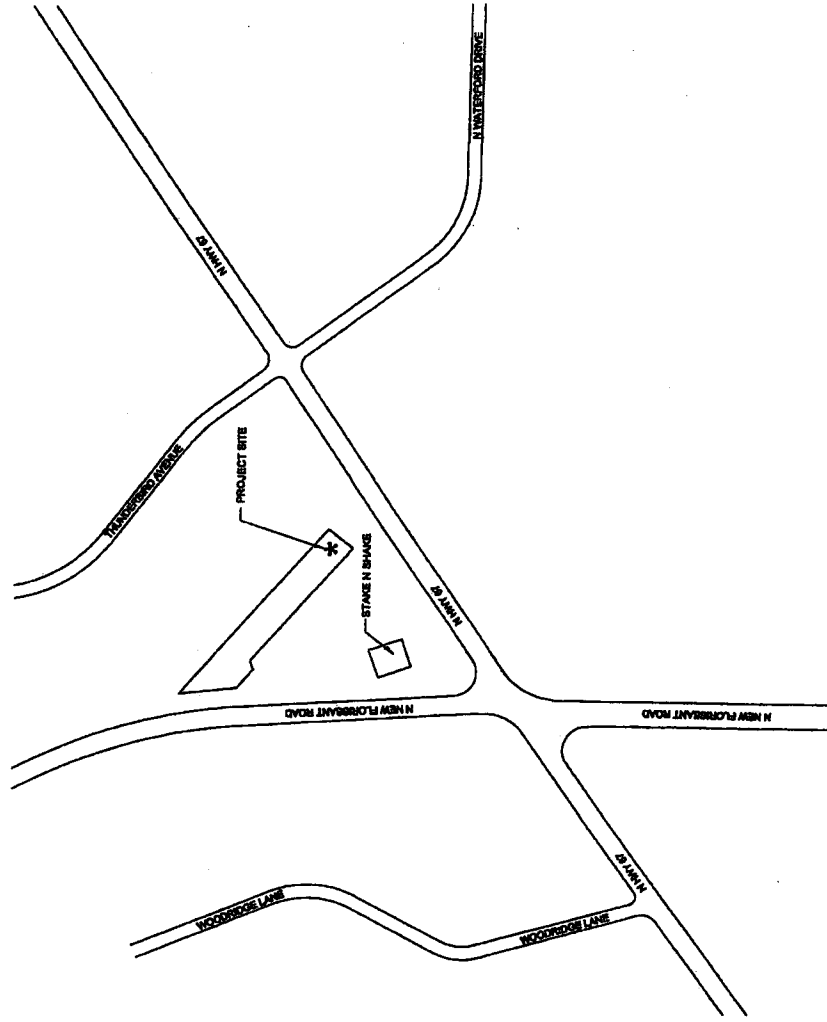


NO.	DATE	DESCRIPTION	BY	CHKD	APP'D
1	10/20/17	DESIGNED FOR PERMIT-ADDED SEATING			
2	10/20/17	REVISED FOR PERMIT			

# FACILITY UPDATES FOR

## RESTAURANT RENOVATION

1752-1754 NORTH NEW FLORISSANT ROAD  
FLORISSANT, MISSOURI 63033



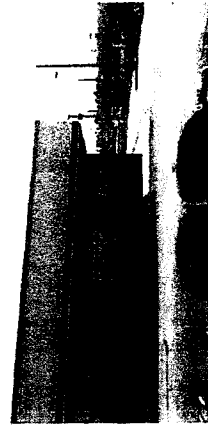
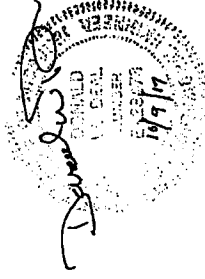
SITE PLAN

### SHEET INDEX:

- A-0 SITE PLAN AND SCOPE
- A-1 EXISTING/DEMOLITION PLAN
- A-2 PROPOSED PLAN
- A-3 ENLARGED PROPOSED FLOOR PLAN
- A-4 SPECIAL DETAILS
- A-5 METAL STUD WALL DETAILS
- A-6 METAL STUD WALL DETAILS

### SCOPE OF WORK:

1. PROJECT RENOVATION REQUIRE TO MODIFY AN EXISTING RESTROOM TO AN ADA RESTROOM, PROVIDE A KITCHEN (PREP AREA), AND A COMMON WALL FIRE RATING INFORMATION AND ADOPT CURRENT BUILDING CODE RECOMMENDATIONS FOR SPACE. ALL DESIGN IS GOVERNED TO CURRENT CONSTRUCTION BUILDING CODES.
2. ALL PLUMBING AND ELECTRICAL WORK AND PERMITS SHALL BE OBTAINED BY OWNER'S PLUMBING AND ELECTRICAL CONTRACTORS.



ALLEN DESIGNS, LLC

WWW.ALLENDISIGNS.COM  
TEL: 314-623-1887

DONALD W. DEAL, P.E.  
REGISTERED PROFESSIONAL ENGINEER  
MISSOURI LICENSE NO. 623473  
PHONE: 314-623-1887  
FAX: 314-623-1888

PROJECT NO.  
SHEET NO.  
DATE  
BY  
CHECKED BY  
SCALE  
PROJECT NO.  
SHEET NO.  
DATE  
BY  
CHECKED BY  
SCALE

SITE PLAN AND SCOPE  
RESTAURANT RENOVATION  
1752-1754 N. NEW FLORISSANT RD  
FLORISSANT, MISSOURI 63033

PROJECT NO.  
2017-112  
DRAWING NO.  
A-0

NO.	REVISION	DATE	BY
0	ISSUED FOR PERMIT		

P.O. BOX 732, ST. ALBANS, VT 05074  
TEL 314-623-1057  
WWW.ATLANTIDES.COM

DONALD W. DEAL, P.E.  
10300 WACKERLE  
ST. LOUIS, MO 63123  
PHONE: 314-413-0087  
LICENSE NO.: 023472

SEARCHED BY	CLV
CHECKED BY	DWD
SCALE	AS SHOWN
DATE	9/24/17

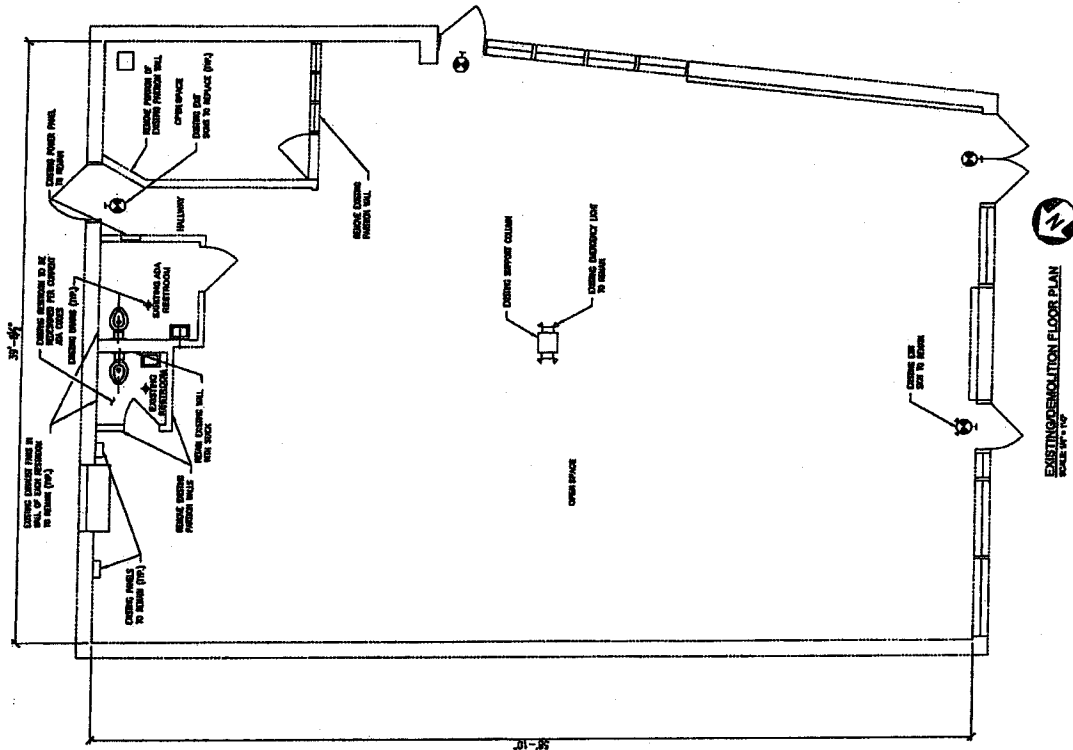
EXISTING FLOOR PLAN-DEMO  
RESTAURANT RENOVATION  
1752-1754 N. NEW FLORISSANT RD  
FLORISSANT, MISSOURI 63033

PROJECT NO.  
2017-112

DISPATCH NO.  
A-1













**GENERAL NOTES:**

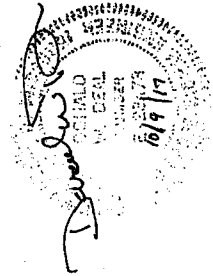
1. CONSTRUCTION PER ALL GOVERNING CODES PER 2009 INTERNATIONAL BUILDING CODES.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.



**EXISTING DEMOLITION FLOOR PLAN**

**LEGEND (ALL SYMBOLS MAY NOT BE USED):**

- |   |   |
|---|---|
|  | SMOKE DETECTOR - HARD WIRED WITH BATTERY BACKUP |
|  | GROUND FAULT INDICATOR OUTLET                   |
|  | RECEPTACLE OUTLET                               |
|  | TRIPLE OUTLET                                   |
|  | PROPOSED LIGHT                                  |
|  | PROPOSED LIGHT/EXHAUST FAN                      |
|  | NEW FLOOD LIGHT                                 |
|  | NEW WALL LIGHT                                  |
|  | NEW SWITCH                                      |
|  | NEW 3-WAY SWITCH                                |
|  | EXIT SIGN                                       |
|  | EXIT SIGN WITH EMERGENCY LIGHTS                 |

[illegible]

# ALLEN DESIGNS, LLC

WWW.ALLENDISIGNS.COM  
TEL: 314-423-1037

1000 W. DEAL, P.E.  
ST. LOUIS, MO 63103  
PHONE: 314-423-1037  
LICENSE NO.: 029789

DESIGNED BY  
CHECKED BY  
DATE  
SCALE  
SHEET

PROPOSED FLOOR PLAN  
RESTAURANT RENOVATION  
1752-1754 N. NEW FLOISSANT RD  
FLOISSANT, MISSOURI 63033

PROJECT NO.  
2017-112  
DRAWING NO.  
A-2

## GENERAL NOTES:

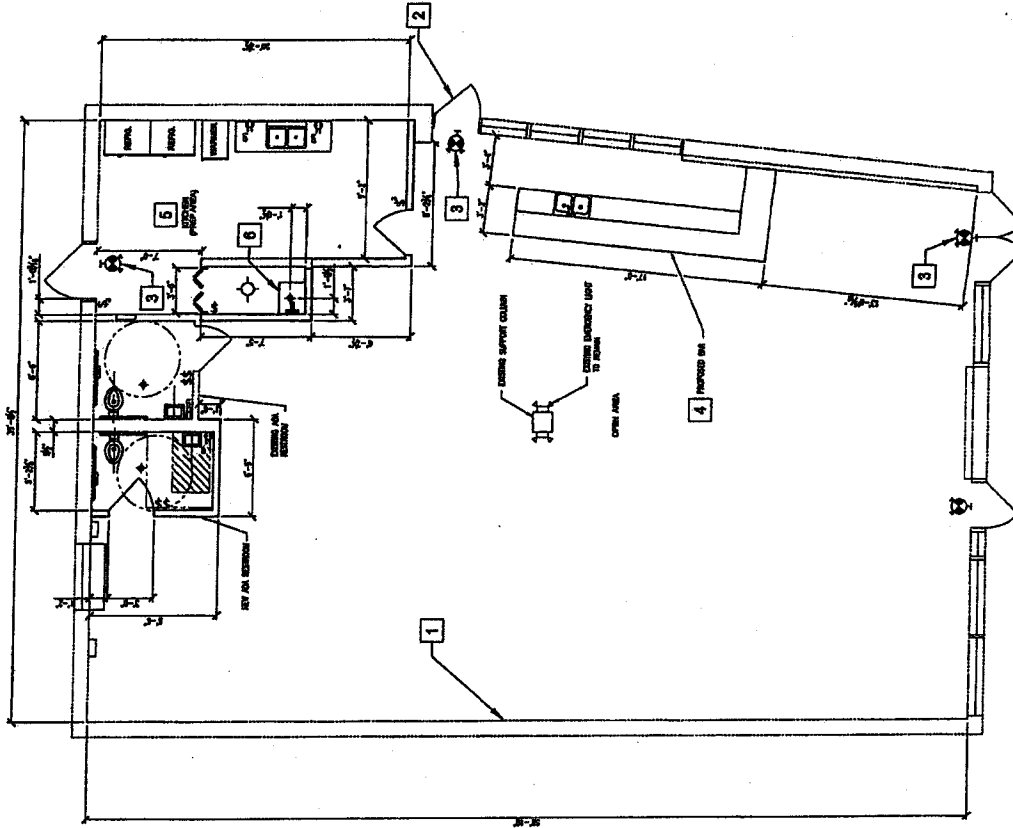
- CONSTRUCTION PER ALL GOVERNING CODES PER 2009 INTERNATIONAL BUILDING CODES.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL EXISTING REPAIR TO INTERIOR WALLS SHALL BE REPLACED WITH X-TYPE GYPSUM BOARD.
- ALL NEW PARTITION WALLS SHALL BE METAL STUD WALLS FOR TYPICAL METAL STUD DETAILS. SEE DRAWING A-4 UNLESS NOTED OTHERWISE.

## KEYED NOTES:

- PROVIDING SEPARATION WALL IS VERIFIED TO BE DOUBLE LAYER 5/8" GYPSUM BOARD, ADD A BEAD OF FIRE RATED CAULKING ALONG THE TOP ALONG CEILING JOINTS WHERE IT JOINS THE GYPSUM BOARD. SEE DRAWING A-4 FOR SPECIAL DETAILS.
- ADD PANIC BAR WITH ALARM TO SIDE DOOR. PANIC BAR ALARM SHALL READ "EMERGENCY EXIT ONLY - ALARM WILL SOUND".
- NEW EXIT SIGNS WITH EMERGENCY LIGHTS (TYP.).
- PROPOSED BAR (BAR SUPPLIED BY OWNER).
- FINAL ORIENTATION OF APPLIANCES AND SINK ARE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE. NECESSARY RECEPTACLES FOR EACH APPLIANCE SHALL BE SUPPLIED BY QUALIFIED ELECTRICAL CONTRACTOR.
- FLOOR-SET MOP SINK. SEE DRAWING A-4 FOR DETAIL.

## LEGEND (ALL SYMBOLS MAY NOT BE USED):

- SMOKE DETECTOR - HARD WIRED WITH BATTERY BACKUP
- GROUND FAULT INDICATOR OUTLET
- RECEPTACLE OUTLET
- TRIPLE OUTLET
- PROPOSED LIGHT
- PROPOSED LIGHT/EXHAUST FAN
- NEW FLOOD LIGHT
- NEW WALL LIGHT
- NEW SWITCH
- NEW 3-WAY SWITCH
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHTS



PROPOSED FLOOR PLAN  
SCALE: 1/4" = 1'-0"

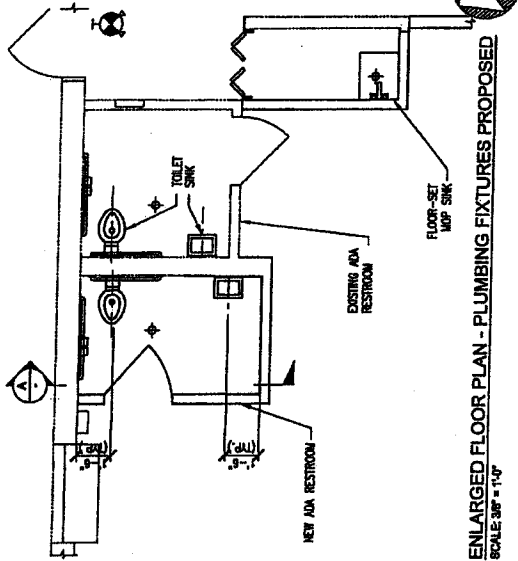
NO.	DATE	DESCRIPTION	BY	CHKD	APP'D
1	10/9/17	ISSUED FOR PERMIT			

**GENERAL NOTES:**

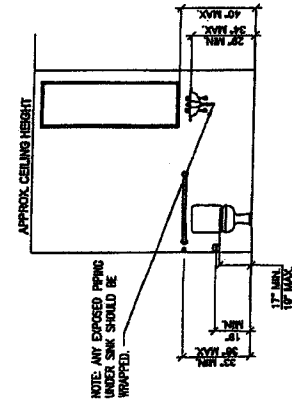
1. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
2. RESTROOMS SHALL COMPLY WITH 2010 ADA STANDARDS FOR STATE AND LOCAL GOVERNMENT FACILITIES.
3. TOILET AND WATER CLOSET SHALL COMPLY WITH 603 AND 604.
4. CONTRACTOR SHALL INSTALL PROPER DRAINAGE AND WATER SUPPLY FOR MOP SINK BASED UPON MANUFACTURERS' SPECIFICATIONS.
5. FLOOR DRAINS WITHIN RESTROOMS ARE EXISTING. ADDITIONAL FLOOR DRAINS FOR BAR SHOULD BE FIELD LOCATED BY PLUMBING CONTRACTOR.

**KEYED NOTES:**

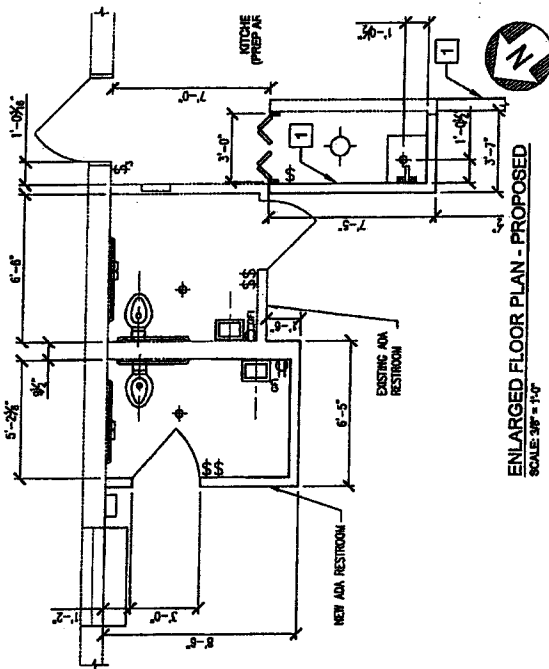
- 1 NEW WALL WIDTH TO MATCH EXISTING CONNECTED WALL**



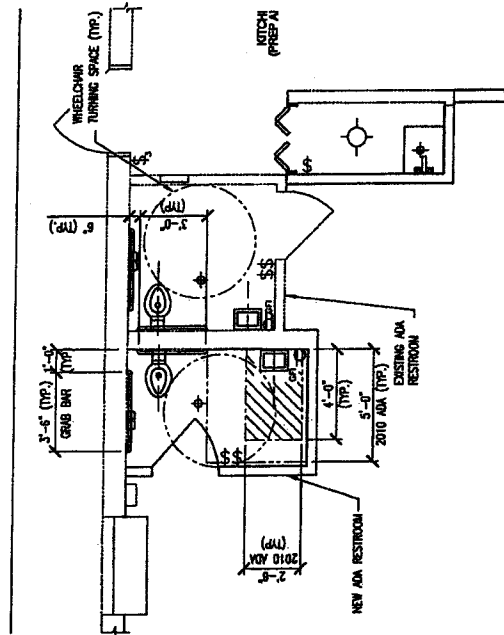
**ENLARGED FLOOR PLAN - PLUMBING FIXTURES PROPOSED**  
SCALE: 3/8" = 1'-0"



**RESTROOM ELEVATION**  
SCALE: 3/8" = 1'-0"  
NOTE: INFORMATION ABOVE SHOWN  
ONLY FOR PROPER FIXTURE ELEVATIONS.



**ENLARGED FLOOR PLAN - PROPOSED**  
**SCALE: 3/8" = 1'-0"**



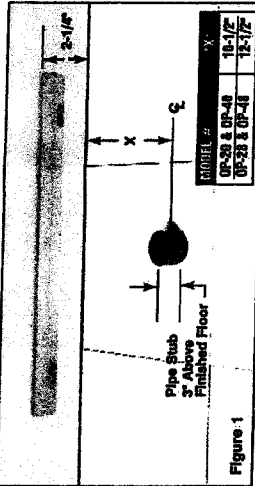
**ENLARGED FLOOR PLAN - ADA PROPOSED**  
**SCALE: 3/8" = 1'-0"**

[illegible]

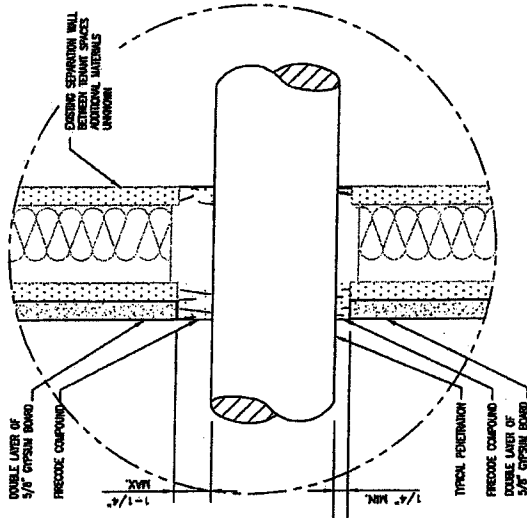
GENERAL NOTES:

- FLOOR SET MOP SINK BASED UPON REGENCY SINKS MODEL #800SM1020S OR EQUIVALENT. INSTALLING CONTRACTOR SHALL FIELD VERIFY PROPER DRAIN LOCATIONS AND FOLLOW MANUFACTURER'S SPECIFICATIONS. IMAGE SHOWN IS ONLY FOR DESIGN SPECIFICATIONS AND BASED UPON OWNER AND CONTRACTOR AGREEMENT.
- CONTRACTOR SHALL INSTALL PROPER PLUMBING ABOVE MOP SINK THAT IS ADEQUATE FOR THE USE OF VARIOUS JANITORIAL SUPPLIES.

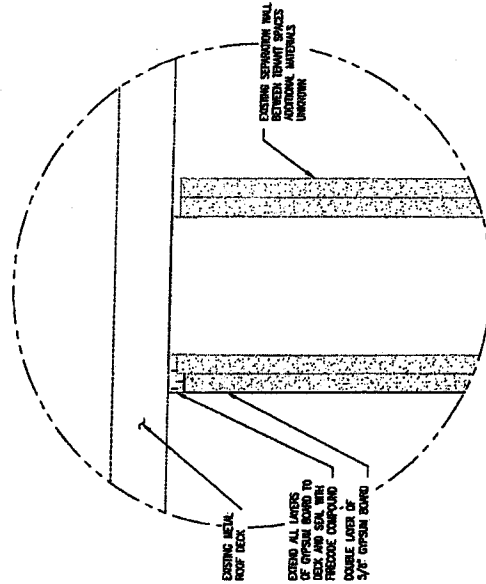
FLOOR SET MOP SINK  
TYPICAL OVERALL SIZE: 25"1"x10"



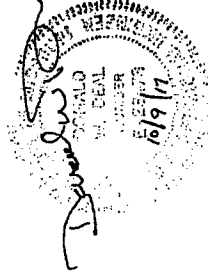
FLOOR MOUNTED MOP SINK DETAIL  
SCALE: NONE



TYPICAL WALL PENETRATION DETAIL  
SCALE: NONE



TYPICAL WALL TO ROOF DECK DETAIL  
SCALE: NONE



NO.	DATE	REVISION	BY	APP'D
0	10/20/17	ISSUED FOR PERMIT		



P.O. BOX 732, ST. ALBANS, VT 05474 TEL 314-633-1051

DONALD W. DEAL, P.E.  
10200 INDEPENDENCE  
ST. LOUIS, MO 63133  
PHONE 314-413-0087  
LICENSE NO.: 003073

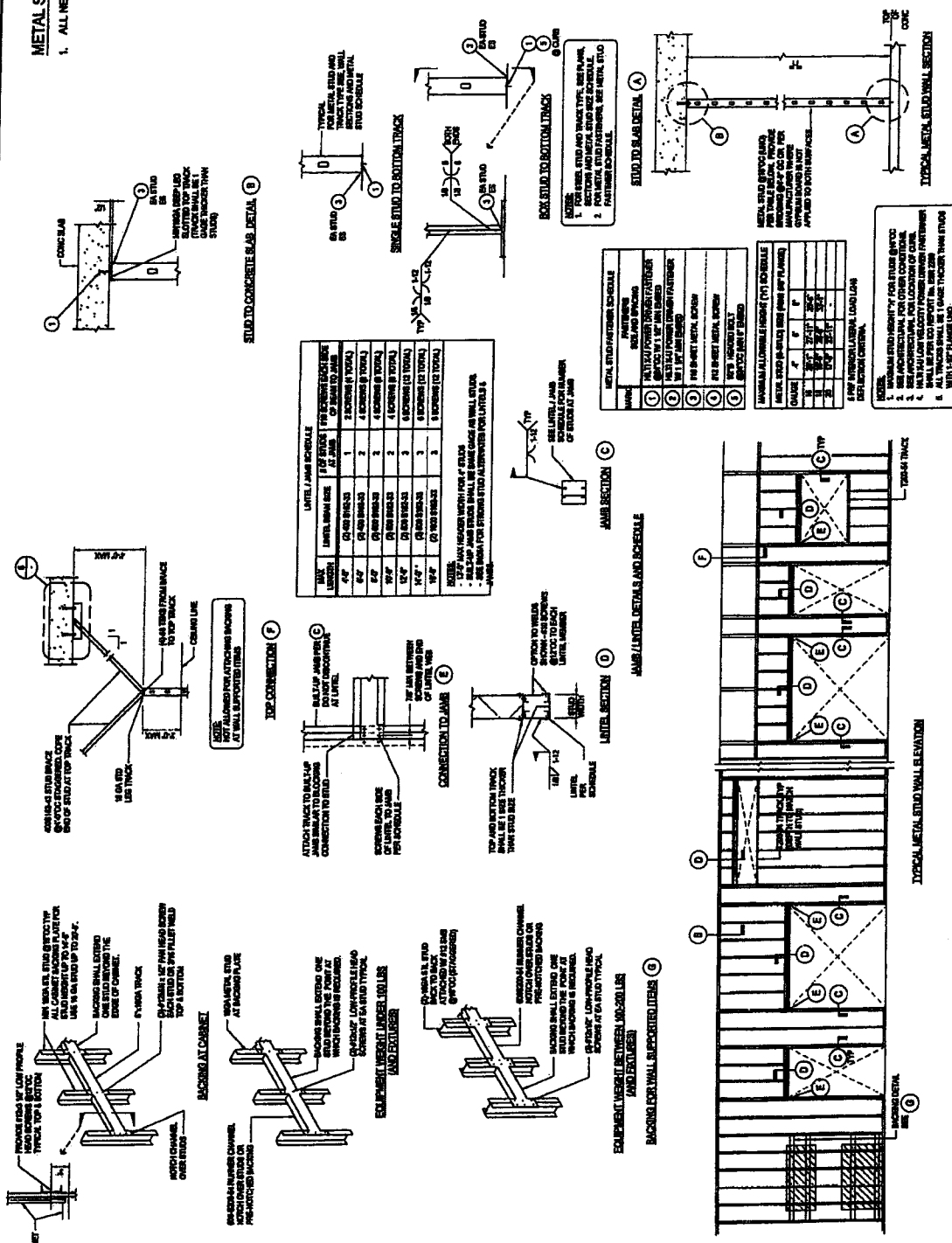
CLASSIFIED BY	GLA
EXEMPTED BY	DWD
FOIA CODE	AS SHOWN
DATE	9/24/17

METAL STUD WALL DETAILS  
 RESTAURANT RENOVATION  
 1762-1764 N. NEW FLORISSANT RD  
 FLORISSANT, MISSOURI 63033

**PROJECT NO.**  
**2017-112**

**A-5**

1.1. ALL NEW WALLS ARE 4" WIDE, UNLESS NOTED OTHERWISE.



**TYPICAL INTERIOR NON-BEARING METAL STUD WALL CONSTRUCTION DETAILS**

SCALE: N.T.S.

**1. ALL NEW WALLS ARE 4" WIDE, UNLESS NOTED OTHERWISE.**



PROJECT NO.	2017-112
DRAWING NO.	A-6

PO BOX 772, ST. ANS, MO 63304  
WWW.ATTORNEYS.COM

DRAWN BY CLA	CHECKED BY DWD	SCALE AS SHOWN	DATE 9/24/17
-----------------	-------------------	-------------------	-----------------

10/9/19

[illegible]

1 INTRODUCED BY COUNCILMAN SIAM  
2 JUNE 27, 2022

3  
4 BILL NO. 9793

ORDINANCE NO.

5  
6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**  
7 **PERMIT NO. 8603 FROM SHADE PARTNERS, LLC TO SHADE**  
8 **RESTAURANT & BAR, LLC FOR THE LOCATION OF A**  
9 **RESTAURANT AND BAR LOCATED AT 1752-1756 N. NEW**  
10 **FLORISSANT ROAD.**

11  
12 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of  
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a  
14 restaurant; and

15 WHEREAS Five Aces Bar-v-que was issued Special Use Permit no. 8376 for the  
16 operation of a restaurant located at 1752-1754 N. New Florissant Road; and

17 WHEREAS ordinance no. 8376 was subsequently transferred by ordinance no. 8407 to  
18 CA44 LLC d/b/a Highway 67 BBQ for the operation of a restaurant; and

19 WHEREAS ordinance no. 8704 was transferred by ordinance no. 8603 to Shade Partners,  
20 LLC d/b/a Shade Restaurant and Bar; and

21 WHEREAS Shade Restaurant & Bar LLC has filed an application to transfer Special use  
22 Permit no. 8603 authorizing the location and operation of a restaurant located at 1752-1756 N.  
23 New Florissant Road to its name; and

24 WHEREAS, the City Council of the City of Florissant determined at its meeting on June  
25 27, 2022 that the business would be operated in substantially identical fashion as set out herein;  
26 and

27 WHEREAS, Shade Restaurant and Bar, LLC has accepted the terms and conditions as  
28 they apply to a special use permit for a restaurant.

29 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**  
30 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

31 Section 1: Special Use Permit no. 8603 is hereby transferred from Shade Partners, LLC  
32 to Shade Restaurant & Bar, LLC for the location of a restaurant and bar located at 1752-1756  
33 N. New Florissant Road subject to the following conditions:

- 34 a. Full compliance with any and all conditions set forth in Special Use Permit  
35 8603; and  
36 b. There shall be no tinting of the windows or obstruction preventing clear sight  
37 into the business from the parking lot or sidewalk; and  
38 c. A security camera shall be installed to record activities indoor and outdoor, and  
39 the video footage shall be available to the police department within 24 hours of  
40 the request and shall be retained for a minimum of 10 days; and  
41 d. The business shall be closed no later than 10 pm.

42 Section 2: The Special Use Permit herein authorized shall terminate if the said business  
43 ceases operation for a period of more than one hundred and eighty (180) days.

44 Section 3. The Special Use Permit authorized herein will be revoked if the applicant fails  
45 to comply with the conditions set forth herein or violates any State Statutes or ordinances of the  
46 City of Florissant.

47 Section 4: This ordinance shall become in force and effect immediately upon its passage  
48 and approval.

49 .

50 Adopted this \_\_\_\_ day of \_\_\_\_\_, 2022.

51 \_\_\_\_\_  
52 Joseph Eagan  
53 Council President

54  
55 Approved this \_\_\_\_ day of \_\_\_\_\_, 2022.

56 \_\_\_\_\_  
57 Timothy J. Lowery  
58 Mayor, City of Florissant

59 ATTEST:

60 \_\_\_\_\_  
61 Karen Goodwin, MPPA/MMC/MRCC  
62 City Clerk

1 INTRODUCED BY COUNCILMAN HENKE  
2 APRIL 9, 2018

3  
4 BILL NO. 9380

ORDINANCE NO.

8407

5  
6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**  
7 **PERMIT NO. 8376 FROM 5 ACES BBQ TO CA44 LLC D/B/A HWY 67**  
8 **BBQ FOR THE OPERATION OF A RESTAURANT LOCATED AT**  
9 **1752-1754 N. NEW FLORISSANT ROAD.**  
10

11 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of  
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and  
13 operation of a restaurant; and

14 WHEREAS, pursuant to Ordinance No. 8376, 5 Aces BBQ was granted a Special Use  
15 Permit for the location and operation of restaurant on the property known as 1752-1754 N. New  
16 Florissant Road; and

17 WHEREAS, an application has been filed by CA44 LLC d/b/a Hwy 67 BBQ to transfer  
18 the Special Use Permit authorized by Ordinance No. 8376 to its name; and

19 WHEREAS, the City Council of the City of Florissant determined at its meeting on  
20 April 9, 2018 that the business operated under Ordinance Nos. 8376 would be operated in a  
21 substantially identical fashion as set out herein; and

22 WHEREAS, CC44 LLC has accepted the terms and conditions set out in Ordinance No.  
23 8376.

24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:  
26

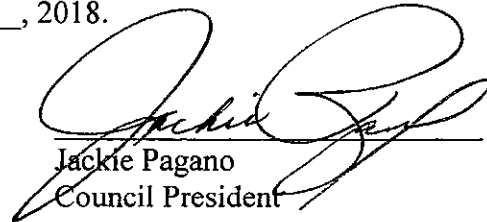
27 Section 1: The Special Use Permit authorized by Ordinance No. 8376 originally issued 5  
28 Aces BBQ is hereby transferred to CC44 LLC d/b/a Hwy 67 BBQ for the location and operation  
29 of a restaurant on the property known as 1752-1754 N. New Florissant Road.

30 Section 2: The terms and conditions of said Special Permit authorized by Ordinance No.  
31 8376 shall remain in full force and effect.

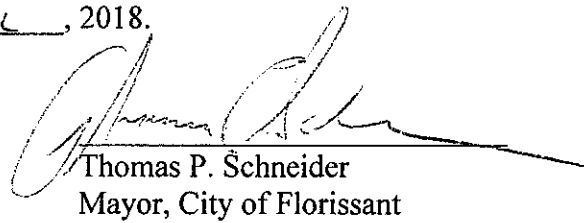
32 Section 3: The Special Use Permit herein authorized shall terminate if the said business  
33 ceases operation for a period of more than ninety (90) days.

34 Section 4: This ordinance shall become in force and effect immediately upon its passage  
35 and approval.  
36

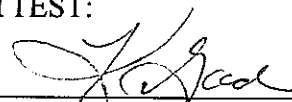
Adopted this 23 day of April, 2018.

  
Jackie Pagano  
Council President

Approved this 24 day of April, 2018.

  
Thomas P. Schneider  
Mayor, City of Florissant

ATTEST:

  
Karen Goodwin, MMC/MRCC  
City Clerk

1 INTRODUCED BY COUNCILMAN SIAM  
2 FEBRUARY 24, 2020

3  
4 BILL NO. 9587

ORDINANCE NO.

**8603**

5  
6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**  
7 **PERMIT NO. 8407 FROM HWY 67 BBQ TO SHADE PARTNERS, LLC**  
8 **D/B/A SHADE RESTAURANT AND BAR FOR THE PROPERTY**  
9 **LOCATED AT 1752-1754 N. NEW FLORISSANT ROAD.**

10  
11 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of  
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a  
13 restaurant; and

14 WHEREAS, 5 Aces BBQ was granted Special Use Permit no. 8376 for the location of a  
15 restaurant located at 1752-54 N. New Florissant Road, and

16 WHEREAS Special Use Permit no. 8376 was transferred to CA44 d/b/a Hwy 67 BBQ by  
17 Ordinance no. 8407; and

18 WHEREAS, an application has been filed by Shade Partners LLC to transfer the Special  
19 Use Permit authorized by Ordinance No. 8407 to its name; and

20 WHEREAS, the City Council of the City of Florissant determined at its meeting on  
21 February 10, 2020 that the business would be operated in substantially identical fashion as set  
22 out herein; and

23 WHEREAS, Shade Partners, LLC has accepted the terms and conditions set out in  
24 Ordinance No. 8407 as transferred from Ordinance no. 8376.

25  
26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
27 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

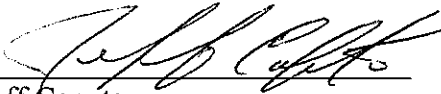
28  
29  
30 Section 1: The Special Use Permit authorized by Ordinance No. 8407 is hereby  
31 transferred Hwy 67 BBQ to Shade Partners, LLC d/b/a Shade Restaurant and bar for the property  
32 located at 1752-1754 N. New Florissant Road.

33 Section 2: The terms and conditions of said Special Permit authorized by Ordinance No.  
34 8407 as transferred from Ordinance no. 8376 shall remain in full force and effect.

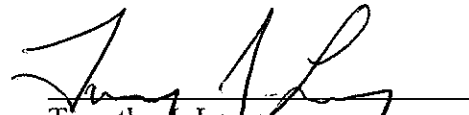
35 Section 3: The Special Use Permit herein authorized shall terminate if the said business  
36 ceases operation for a period of more than ninety (90) days.

37 Section 4: This ordinance shall become in force and effect immediately upon its passage  
38 and approval.


Adopted this 9 day of March, 2020.

  
Jeff Caputa  
Council President

Approved this 9 day of March, 2020.

  
Timothy J. Lowery  
Mayor, City of Florissant

ATTEST:

  
Karen Goodwin, MPPA/MMC/MRCC  
City Clerk



1 INTRODUCED BY COUNCILMAN SCHILDROTH  
2 AUGUST 22, 2022

3  
4 BILL NO. 9809

ORDINANCE NO.

5  
6  
7 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO DALIND J.**  
8 **ENTERPRISES TO ALLOW FOR A CAR SALES BUSINESS LOCATED**  
9 **AT 1735 S. NEW FLORISSANT ROAD.**  
10

11  
12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
13 Florissant, by Special Permit, after public hearing thereon, to permit the location and operation  
14 of a car sales business in the City of Florissant; and

15 WHEREAS, an application has been filed by Delind J. Enterprises to allow for the  
16 operation of a car sales business located at 1735 S. New Florissant Road and

17 WHEREAS, the Planning and Zoning Commission at their meeting on July 18, 2022,  
18 recommended that a Special Permit be granted; and

19 WHEREAS, due notice of public hearing no. 22-08-019 on said application to be held on  
20 the 25<sup>th</sup> day of July, 2022 at 7:00 P.M. by the Council of the City of Florissant was duly  
21 published, held and concluded; and

22 WHEREAS, the Council, following said public hearing, and after due and careful  
23 consideration, has concluded that the issuance of a Special Permit for a carry-out, drive thru  
24 restaurant would be in the best interest of the City of Florissant.

25  
26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
27 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:  
28

29 Section I: A Special Use Permit is hereby granted to Dalind J. Enterprises LLC to allow  
30 for the operation of car sales business located **1735 S. New Florissant Road** with the  
31 following stipulations:  
32

- 33 1. No more than 4 cars are to be stored on the lot at a time and are only approved to be  
34 parked in clearly marked and designated spots.  
35  
36  
37  
38  
39

40           Section 2: This ordinance shall become in force and effect immediately upon its passage  
41 and approval.

42  
43           Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

44 \_\_\_\_\_  
45 Joseph Eagan  
46 President of the Council

47  
48           Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

49  
50 \_\_\_\_\_  
51 Timothy J. Lowery  
52 Mayor, City of Florissant

53  
54 ATTEST:\_\_\_\_

55  
56 \_\_\_\_\_  
57 Karen Goodwin, MPPA/MMC/MRCC  
58 City Clerk

# **CITY OF FLORISSANT**

## **Public Hearing**

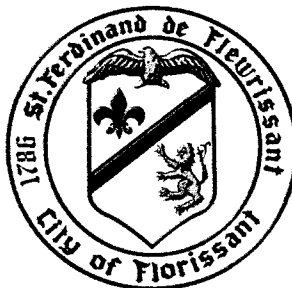


**In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, August 8, 2022 at 7:00 p.m. on the following proposition:**

**To authorize a Special Use Permit to Dalind J Enterprises to allow for a Car Sales business located at 1735 S New Florissant Rd in a 'B-3' Extensive Business District. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**

**SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION**



**City Of Florissant – Public Works  
314-839-7648**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

**PLANNING & ZONING ACTION  
RECOMMENDED APPROVAL**  
PLANNING & ZONING  
CHAIRMAN

Council Ward 5 Zoning 'B-3'

Initial Date Petitioner Filed \_\_\_\_\_  
**Building Commissioner to complete  
ward, zone & date filed**

SIGN.

DATE:

7-18-2022

SPECIAL PERMIT FOR CAR DEALERSHIP

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #-\_\_\_\_\_ TO ALLOW FOR DEALERSHIP LICENSES  
ordinance # \_\_\_\_\_ Statement of what the amendment is for.

LOCATION 1735 S. NEW FLORISSANT ROAD, FLORISSANT, MO 63031  
Address of property.

1) Comes Now DAVID LINDSEY DBA DALIND J ENTERPRISES, LLC  
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) LEASE

State legal interest in the property. (i.e., owner of property, lease).  
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for \_\_\_\_\_  
OFFICE SPACES and that the deed restrictions for the property do not prohibit the use which  
would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:  
(If more space is needed, separate sheets may be attached)

DAVID LINDSEY David Lindsey / dalindenterprises@gmail.com 678-525-5719  
PRINT NAME SIGNATURE email and phone

FOR DALIND J ENTERPRISES, LLC  
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.

☒ 2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Dwandra Palmer

ADDRESS 1735 S. FLORISSANT ROAD FLORISSANT, MO 63031  
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314-518-8049 / dking12683@gmail.com  
BUSINESS

I (we) the petitioner (s) do hereby appoint DWANDRA PALMER as  
Print name of agent.  
my (our) duly authorized agent to represent me (us) in regard to this petition.

David Lindsey  
Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:  
Individual XXXX Partnership \_\_\_\_\_ Corporation \_\_\_\_\_

(a) If an individual:

- (1) Name and Address DAVID LINDSEY 7161 LONE OAK TRACE LITHONIA, GA 30058  
(2) Telephone Number 678-525-5719  
(3) Business Address 1735 S. NEW FLORISSANT ROAD, FLORISSANT, MO 63031  
(4) Date started in business 08/03/2020  
(5) Name in which business is operated if different from (1) DALIND ENTERPRISES, LLC  
(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_  
(2) Telephone numbers \_\_\_\_\_  
(3) Business address \_\_\_\_\_  
(4) Name under which business is operated \_\_\_\_\_  
(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners \_\_\_\_\_  
(2) Telephone numbers \_\_\_\_\_  
(3) Business address \_\_\_\_\_  
(4) State of Incorporation & a photocopy of incorporation papers \_\_\_\_\_  
(5) Date of Incorporation \_\_\_\_\_  
(6) Missouri Corporate Number \_\_\_\_\_  
(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_  
(8) Name in which business is operated \_\_\_\_\_  
(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name DAVID LINDSEY DBA DALIND ENTERPRISES, LLC

Address 7161 LONE OAK TRACE, LITHONIA, GA 30058

Property Owner BOBBY SIMON

Location of property 1735 S. NEW FLORISSANT

Dimensions of property 18731 IS TOTAL AND SPACE FOR LICENSE IS

Property is presently zoned OFFICE SPACES Requests Rezoning To DEALERSHIP

Proposed Use of Property DEALERSHIP

Type of Sign REGULAR BUSINESS SIGN Height 36" X 36

Type of Construction \_\_\_\_\_ Number Of Stories 1

Square Footage of Building 18,731 SQ FT Number of Curb Cuts 2

Number of Parking Spaces 10 Sidewalk Length \_\_\_\_\_

Landscaping: No. of Trees 0 Diameter \_\_\_\_\_

No. of Shrubs 0 Size \_\_\_\_\_

Fence: Type CHAIN LINK Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS  
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

**Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.**

Florissant Heights Lot PTS 1  
Thru 3 Block 1

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

**Provide a drawing of a location map showing the nearest major intersection.**

---

**OFFICE USE ONLY**

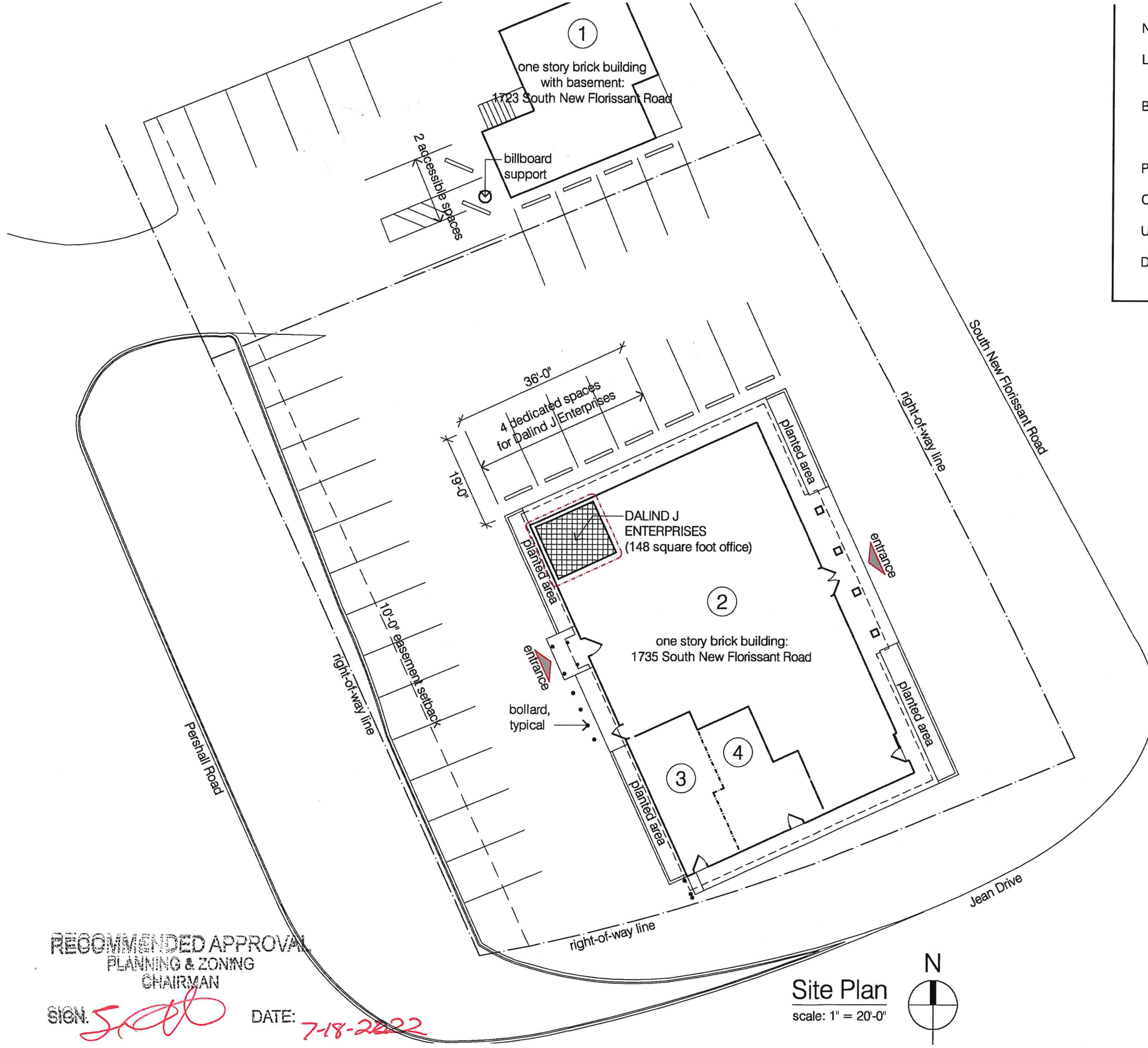
Date Application reviewed \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
**Building Commissioner or Staff Signature**





Name	Dalind J Enterprises, LLC Office
Location	1735 South New Florissant Road Saint Louis, Missouri 63131
Business Owner	David Lindsey 2793 Highway 82 S Jefferson, GA 30549
Project Description	Special Use Permit Application
Construction Type	IIB
Use Group	B: Business Group
Design Codes	2015 IBC, 2015 IEBC

## BUILDING DATA

<b>TENANT ①:</b> 1723 South New Florissant 927 gross square feet	<b>DOGGIESTYLZ BOUTIQUE AND GROOMING</b>  3 parking spaces required,
<b>TENANT ②:</b> 1735 South New Florissant 3,152 gross square feet	<b>PLATINUM NU LIFE</b> (see Drawing 2 enlarged floor plan for current individual sublease tenant names)  16 max parking spaces required, including 4 dedicated spaces for Dalind J Enterprises
<b>TENANT ③:</b> 395 gross square feet	<b>9912 BOUTIQUE</b>  3 parking spaces required
<b>TENANT ④:</b> 402 gross square feet	<b>B. GLAMOROUZ SALON &amp; BEAUTY BAR</b>  3 parking spaces required
<b>PARKING DIMENSIONS</b> Typical Space 9'-0" x 18'-0"; Accessible Space 8'-0" x 18'-0" with 5'-0" aisle	<b>TOTAL PARKING SPACES</b> 25 spaces required, 32 spaces available

## TENANT&PARKING DATA

note: Drawings 1 & 2 depict existing site and building conditions in support of the application by Ms. Yulanda Slaughter for a Special Use Permit for Dalind J Enterprises.

With the exception of the four spaces designated for Dalind Enterprises, parking spaces are shared by all tenants and authorized visitors and are not individually assigned

RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

SIGN: *[Signature]* DATE: 7-18-2022

Site Plan  
scale: 1" = 20'-0"



408 NORTH EUGENE AVENUE, SUITE 206  
ST. LOUIS, MISSOURI 63108  
314.387.2329 VOICE FAX  
WWW.METROPOLITANWORKS.COM

**METROPOLITAN  
WORKS**  
*architecture*

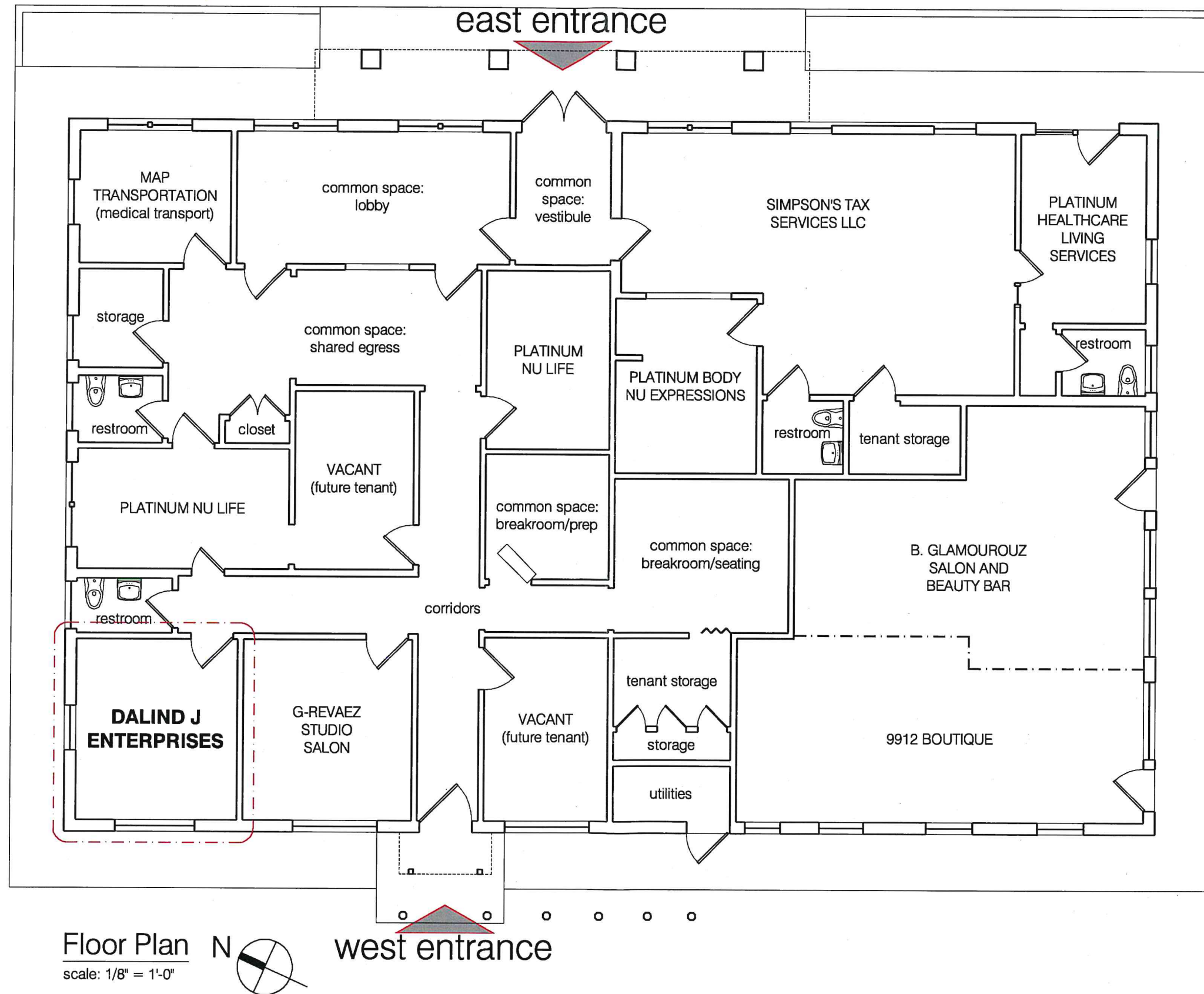
Ida C. Siegfried  
Registered Architect  
License # A-8558  
dba MetropolitanWorks  
architecture  
Charter No. X001966394

Special Use Permit Application  
DALIND J ENTERPRISES, LLC  
1735 South New Florissant Road  
Saint Louis, Missouri 63031

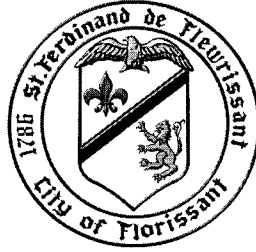
Revisions:

Garage  
Section -  
Existing

Date: 7/13/2022  
Job No: 0622



1 **MEMORANDUM**



2  
3 **CITY OF FLORISSANT**  
4

5 To: Planning and Zoning Commissioners Date: July 13, 2022  
6

7  
8 From: Philip E. Lum, AIA-Building Commissioner cc: Todd Hughes, P.E.  
9 Director of Public Works  
10 Applicant  
11 Deputy City Clerk  
12 File  
13

14 Subject: Request **Recommended Approval** of a Special Use Permit to allow for Car Sales in a  
15 'B-3' Extensive Business District at **1735 S New Florissant Rd for Dalind J Enterprises**.  
16

17 **STAFF REPORT**  
18 **CASE NUMBER PZ-071822-2**  
19

20 **I. PROJECT DESCRIPTION:**

21 This request for **Recommended Approval** of a Special Use Permit to allow for Car Sales  
22 (dealer) in a 'B-3' Extensive Business District at **1735 S New Florissant Rd for Dalind J**  
23 **Enterprises** as one of many businesses within one tenant space in the building.  
24

25 Attached plans include existing conditions and proposed plans on sheets 1 dated 7/13/22 and 2  
26 dated 7/01/22 by Metropolitan Works, Architects.  
27

28 **BUILDING:** The owner of the building owns both lots known as 1723 and 1735 S New  
29 Florissant bounded by grass areas that appear to belong to MoDOT. There is an existing  
30 1-1/2 story house-like structure built in 1945 per County records to the north on 1723 S  
31 New Florissant Rd. This site has a building listed as 3900 s.f. per County record. We  
32 were glad to have worked with a responsible architect for revisions to the plans that  
33 indicate 3 tenants in the building shown approximately 50'6" x 77'-6" results in 3913 s.f.  
34 shown on the plan. The exterior of the building is constructed of brick. Proposed Use is  
35 for Office for the car sales (dealer) and 4 designated parking spaces to collect cars  
36 purchased from car owners.  
37

38 **PARKING AND DRIVEWAYS:**

39 There are 32 parking spaces shown on the site plan for both contiguously owned sites,  
40 including one accessible space for the property at 1735 S New Florissant. The adjacent

lot has 5 spaces along the North property line, but only 4 of these work, the 5<sup>th</sup> space is inaccessible without traversing over the accessible spaces.

The parking ordinance requires 3 spaces per 1000 s.f. There is a cross access easement, copy of which has been provided to staff that appears to be reciprocal for both properties. Cross access, however, is not cross parking, so if one property is sold, the 4 spaces that overlap the property line would need to be relocated.

#### **WALKWAYS:**

There are entrance ways from the parking on the West and East elevation into the building.

#### **LANDSCAPING:**

Existing landscape plan is shown only as planted areas on the Site Plan. Landscape to comply with the Zoning code would include:

1 landscaped island for every 15 parking spaces

Frontage trees on 3 sides every 50 lf and

51 shrubs for this building at 1735

#### **SITE LIGHTING:**

There appears to be no site lighting for the property.

#### **SIGNAGE:**

The proposal did not include a submission of a sign and therefore would need to conform to the sign code of the City, chapter 520.

#### **II. EXISTING SITE CONDITIONS:**

The property was previously a vacant office. The entire parking and structure are proposed to remain as the site is 100% paved.

#### **III. STAFF ANALYSIS:**

Some basic explanation for the proposal is that the petitioner has proposed an auto dealer office with spaces for buying cars and up to 4 parked cars that are purchased by the business on the site. Staff understands this to mean that no vehicles for sale and that this auto dealer will only purchase cars, similar to a "We Buy Any Cars".

#### **SUGGESTED MOTION**

I move for Recommended Approval of a Special Use to allow for a car sales (dealer) establishment in a 'B-3' Extensive Business District as shown on plans attached: 1 dated 7/13/22 and 2 dated 7/01/22 by Metropolitan Works, Architects, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)



1 INTRODUCED BY COUNCILWOMAN PAGANO  
2 AUGUST 22, 2022

3  
4 BILL NO. 9810

ORDINANCE NO.

5  
6 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO**  
7 **FLORISSANT IMG PIZZA INC. D/B/A IMO'S PIZZA FOR THE**  
8 **OPERATION OF A CARRY-OUT, DRIVE-THRU RESTAURANT**  
9 **LOCATED AT 1725 WASHINGTON.**

10  
11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
12 Florissant, by Special Permit, after public hearing thereon, to permit the location and operation  
13 of a carry-out, drive thru restaurant in the City of Florissant; and

14 WHEREAS, an application has been filed by Florissant IMG Pizza, Inc. to allow for the  
15 operation of a carry-out, drive thru restaurant located at 1725 Washington, and

16 WHEREAS, the Planning and Zoning Commission at their meeting on July 18, 2022,  
17 recommended that a Special Permit be granted; and

18 WHEREAS, due notice of public hearing no. 22-08-018 on said application to be held on  
19 the 25<sup>th</sup> day of July, 2022 at 7:00 P.M. by the Council of the City of Florissant was duly  
20 published, held and concluded; and

21 WHEREAS, the Council, following said public hearing, and after due and careful  
22 consideration, has concluded that the issuance of a Special Permit for a carry-out, drive thru  
23 restaurant would be in the best interest of the City of Florissant.

24  
25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

27  
28 Section 1: A Special Use Permit is hereby granted to Florissant IMG Pizza, Inc. to  
29 allow for the operation of carry-out, drive-thru restaurant located 1725 Washington with the  
30 following stipulations:

31  
32 a. No signs are approved. All signs will need to meet city codes or have additional  
33 permits.

34 b. There shall be no tinting of the windows or obstruction preventing clear sight  
35 into the business from the parking lot or sidewalk; and

36 c. A security camera shall be installed to record activities indoor and outdoor, and  
37 the video footage shall be available to the police department within 24 hours of  
38 the request and shall be retained for a minimum of 10 days; and

39  
40  
41

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Joseph Eagan  
President of the Council

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Timothy J. Lowery  
Mayor, City of Florissant

ATTEST:\_\_\_\_\_

Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

# **CITY OF FLORISSANT**

## **Public Hearing**

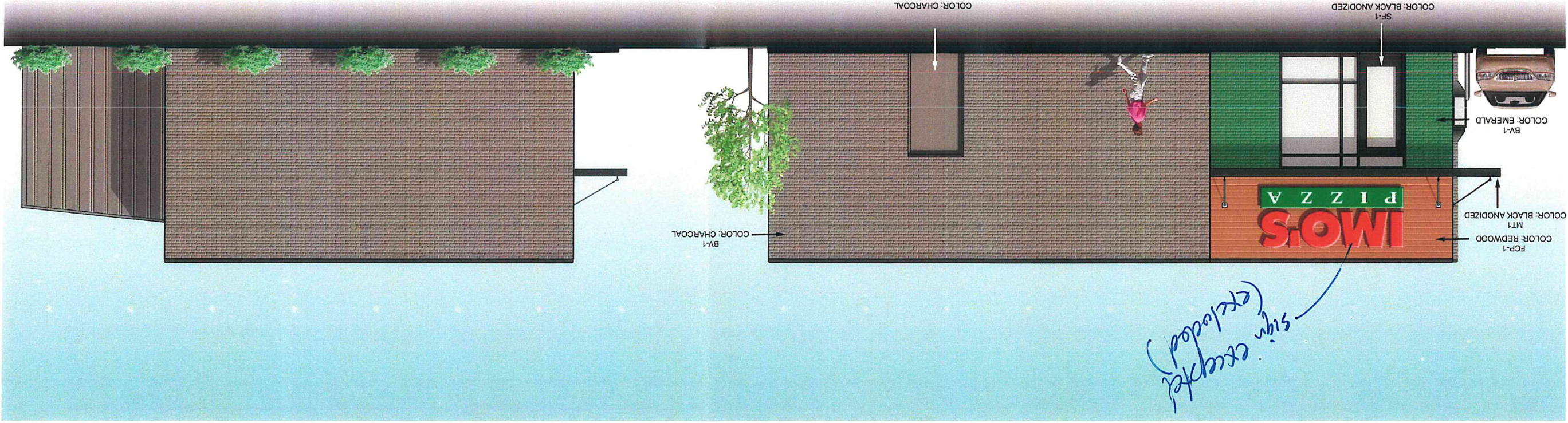


**In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, August 8, 2022 at 7:00 p.m. on the following proposition:**

**To authorize a Special Use Permit to Imo's Pizza for the operation of a carry-out, drive-thru restaurant located at 1725 Washington in a 'B-3' Extensive Business District. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

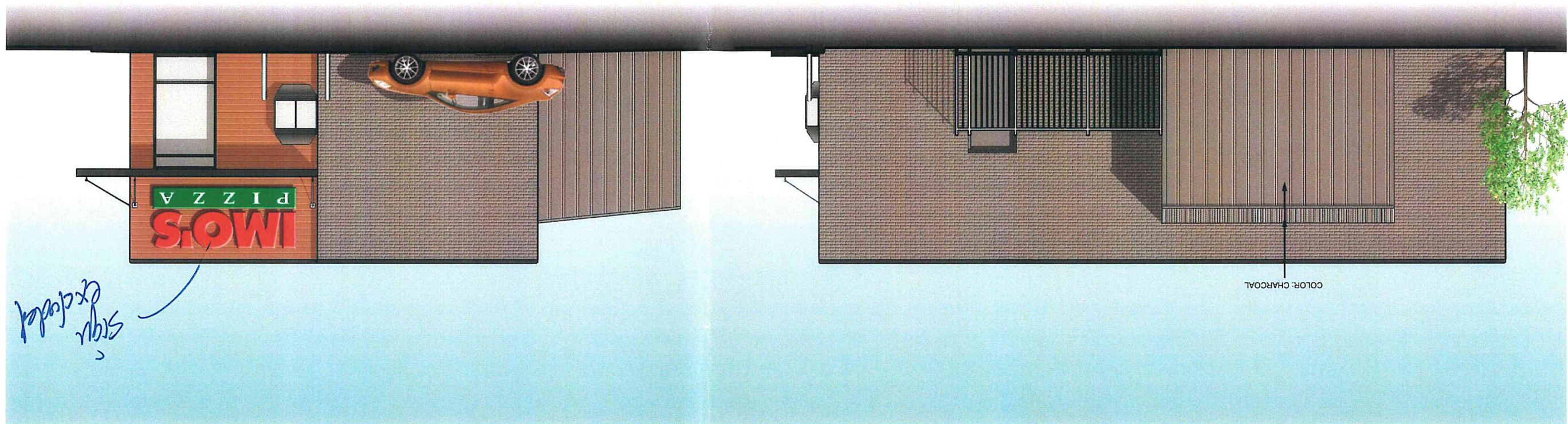
**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**





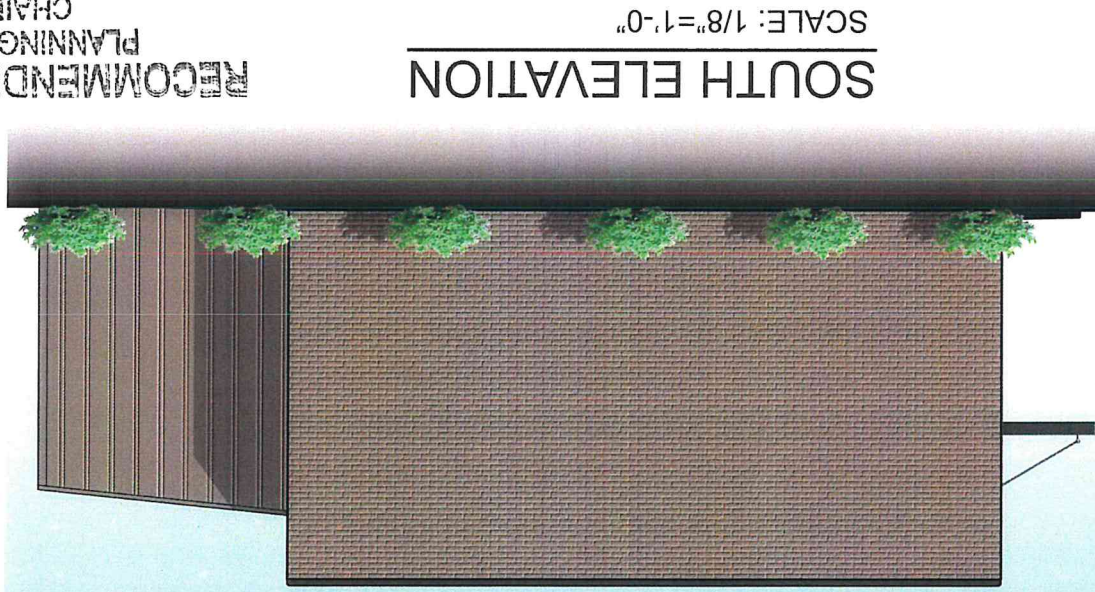
**WEST ELEVATION**

SCALE: 1/8"=1'-0"



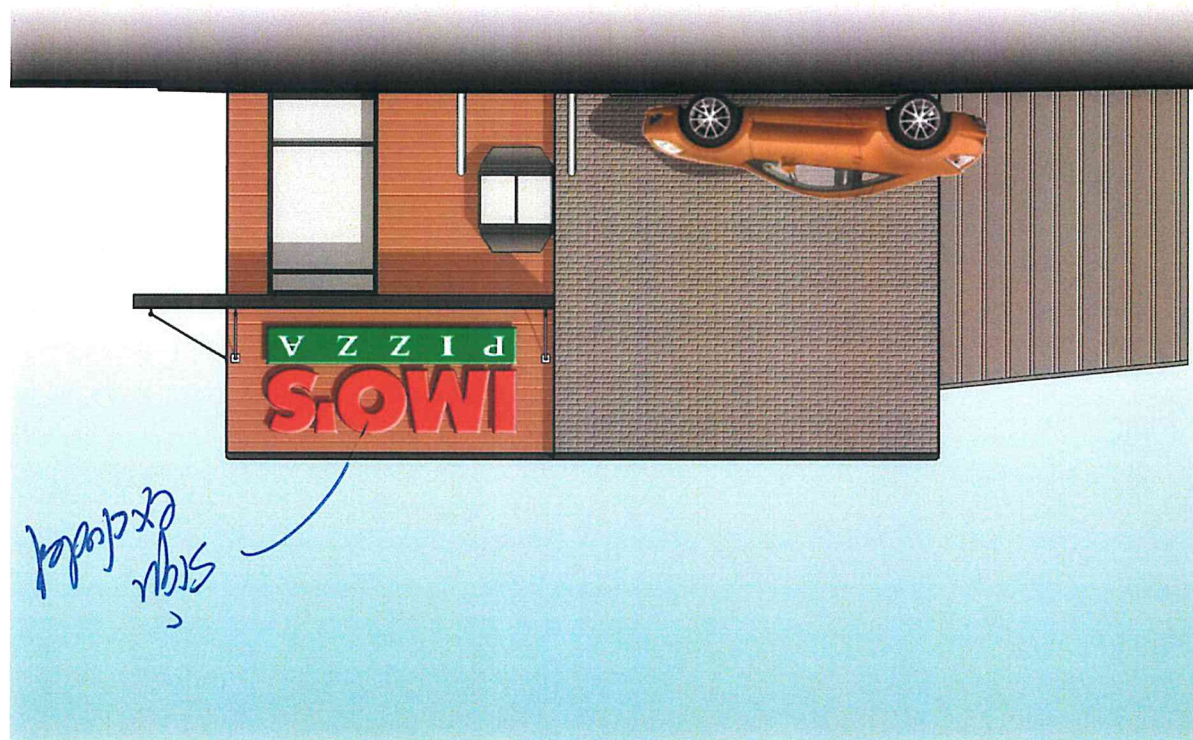
**EAST ELEVATION**

SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**

SCALE: 1/8"=1'-0"



**NORTH ELEVATION**

SCALE: 1/8"=1'-0"

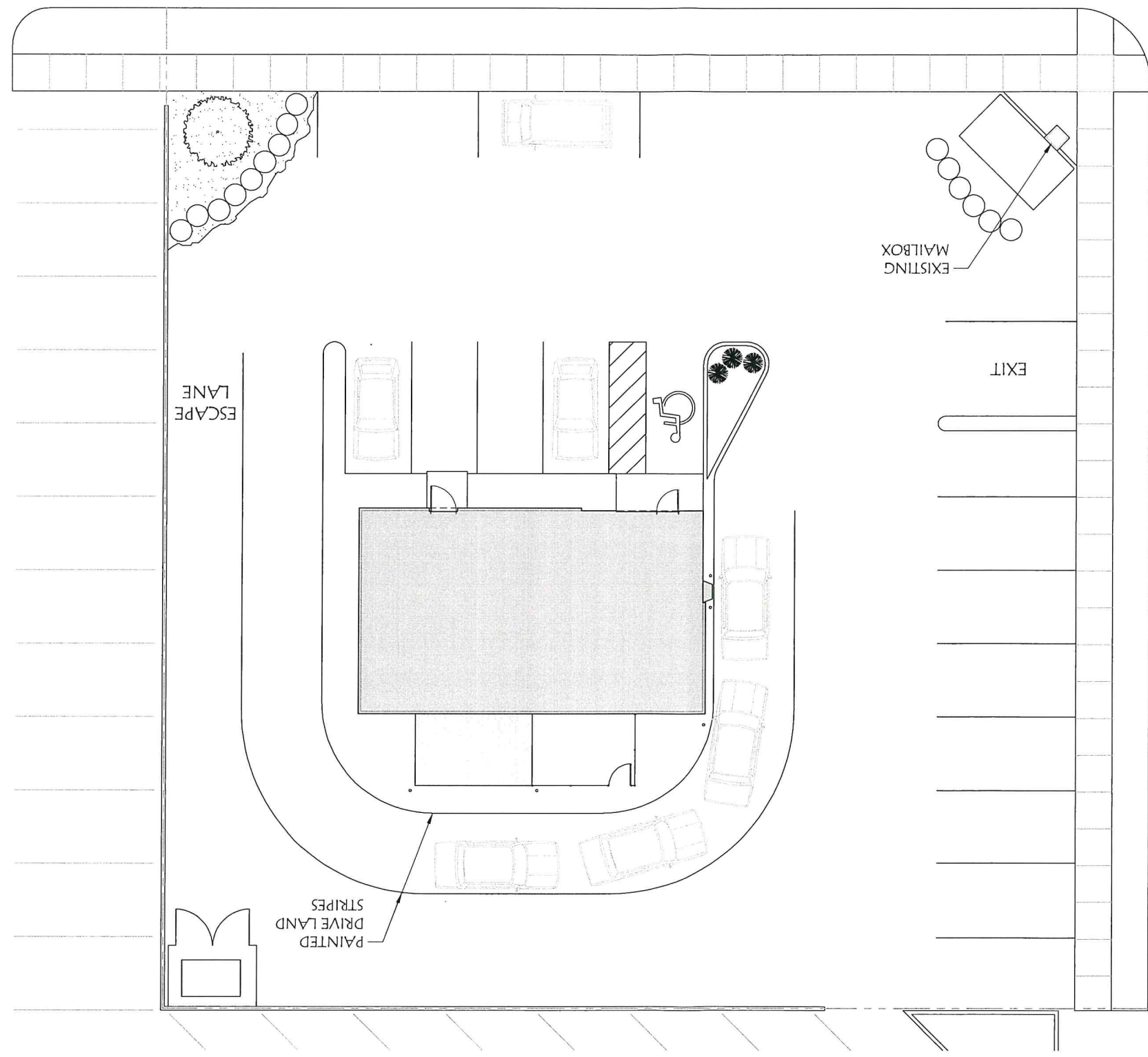
RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN  
SIGN. *[Signature]*  
DATE: 7-18-2022

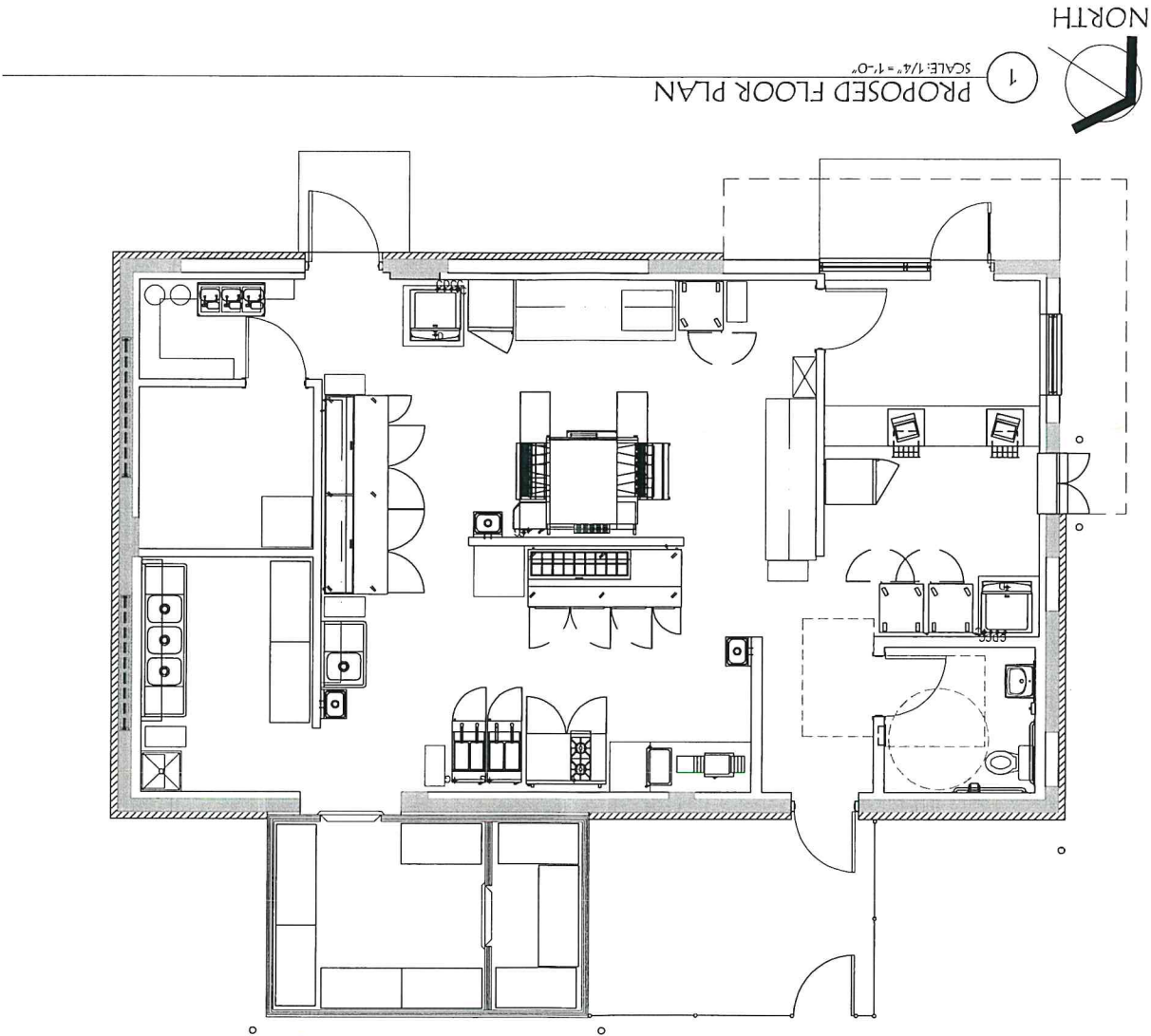




1 SITE PLAN  
SCALE: 1/8" = 1'-0"

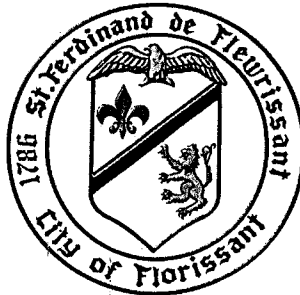
WASHINGTON AVE





SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION

Receipt  
18433



City Of Florissant – Public Works  
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION  
RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN

Council Ward 7 Zoning B3

Initial Date Petitioner Filed \_\_\_\_\_  
Building Commissioner to complete  
ward, zone & date filed

SIGN [Signature] DATE: 7-18-2022

SPECIAL PERMIT FOR Indo's Pizza  
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- \_\_\_\_\_ TO ALLOW FOR \_\_\_\_\_  
ordinance # \_\_\_\_\_ Statement of what the amendment is for.

LOCATION 1725 WASHINGTON AVE.  
Address of property.

1) Comes Now Parker Inc Real Estate LLC DBA Indo's Pizza  
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) OWNER OF PROPERTY  
State legal interest in the property. (i.e., owner of property, lease).  
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for VACANT and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:

Individual \_\_\_\_\_ Partnership \_\_\_\_\_ Corporation X

(a) If an individual:

(1) Name and Address \_\_\_\_\_

(2) Telephone Number \_\_\_\_\_

(3) Business Address \_\_\_\_\_

(4) Date started in business \_\_\_\_\_

(5) Name in which business is operated if different from (1) \_\_\_\_\_

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners \_\_\_\_\_

(2) Telephone numbers \_\_\_\_\_

(3) Business address \_\_\_\_\_

(4) Name under which business is operated \_\_\_\_\_

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners DOVE GLORE 7417 WARNER AVE 63117

(2) Telephone numbers 314-623-6009

(3) Business address 18110 CHESTERFIELD AIRPORT RD STE X CHESTERFIELD 63005

(4) State of Incorporation & a photocopy of incorporation papers MO

(5) Date of Incorporation 5.11.2021

(6) Missouri Corporate Number SR 326339

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.

(8) Name in which business is operated Tom's Pizza

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS  
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

*see attached*

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection.

*see attached*

---

---

**OFFICE USE ONLY**

Date Application reviewed \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

---

**Building Commissioner or Staff Signature**



State of Missouri  
John R. Ashcroft Secretary of State  
Corporations Division  
PO Box 778 / 600 W.Main St., Rm. 322  
Jefferson City, MO 65102

LC1786694  
Date Filed: 05/11/2021  
John R. Ashcroft  
Missouri Secretary of State

## Articles of Organization

Reference Number SR326339

Receipt Number TR1328324

1. The name of the limited liability company is: Parker IMG Real Estate, LLC
2. The purpose(s) for which the limited liability company is organized:  
To hold real estate and conduct any lawful business
3. The name and address of the limited liability company's registered agent in Missouri is:  
Name Kim Myers  
Address 800 N. 17th Street, Saint Louis, Missouri, 63106, United States
4. The address of its principal place of business is:  
800 N 17th St, Saint Louis, Missouri, 63106, United States
5. The management of the limited liability company is vested in:  
Member
6. The effective date of this document is the date it is filed by the Secretary of State of Missouri unless a future date is otherwise indicated:  
5/11/2021
7. The events, if any, on which the limited liability company is to dissolve or the number of years the limited liability company is to continue, which may be any number or perpetual:  
Perpetual
8. The name(s) and street address(es) of each organizer:  
Name John Imo  
Address 1317 Topping Rd, Saint Louis, Missouri, 63131, United States

### In Affirmation thereof, the facts stated above are true and correct:

The undersigned believes the statements presented in this filing are true and correct to the best of their knowledge and belief, they are subject to the penalties provided under section 575.040 RSMo. for making a false declaration under Section 575.060 RSMo

The undersigned agrees and represents that he/she is authorized to execute this document

Name John Imo  
Title Organizer  
Date 05/11/2021

FOUND 1" IRON PIPE

Site plan showing a property with dimensions and features:

- Overall dimensions: 125.00' (width) x 125.00' (depth).
- Property owner: N/F KRONE, 10206/0176, 15,539± Sq Ft.
- Property owner: N/F THE OTTO PARTNERSHIP, 8137/253.
- Features: 5' CHAIN LINK FENCE, ASPHALT, OVERHANG, ONE STORY BRICK COMMERCIAL #1725, BAY, BAY, SIDEWALK, CURB, MAILBOX, L=31.41', R=20.00', 30'00" (CURB), 30' (REC.), FOUND 3/4" IRON PIPE, FOUND 1" IRON PIPE.
- Other labels: 63'35"15", 90'00"45", 51.8', 46.8', 27.5', 56.7', 59.8', 83'35"15", 105.00', 105.00', 125.00', 125.00'.

FOUND CONC. —  
MONUMENT, STONE PER  
PB.66, PG.S 24 & 25  
(POINT OF BEGINNING)

PROPERTY DESCRIPTION:

A part of Parcel "B" of DUCHESNE HILLS PLAT NO. 2, a subdivision in St. Louis County, Missouri, as per plat thereof recorded in Plat Book 66 on Page 24 and 25 of St. Louis County Records, and described as Beginning at the intersection of the South line of St. Anthony Lane, 60 feet wide, and the East line of Washington Street, 60 feet wide; thence South along the East line of Washington Street, 125 feet to a point; thence East and parallel to the South line of St. Anthony Lane 125 feet to a point; thence North and parallel to the East line of Washington Street, 125 feet to the South line of St. Anthony Lane; thence West along the South line of St. Anthony Lane, 125 feet to the point of beginning, in the City of Florissant, St. Louis County, Missouri, EXCEPTING the Northwest corner of said parcel which is cut off by a radius of 20 feet for street purposes.

A current Title Commitment has not been made available for our use. It is possible there are easements and other instruments of record that affect the subject tract that would be exposed in the Title Commitment Report and are unknown to this office at the time the Survey was executed and therefore not plotted hereon. This Survey does not constitute a Title Search by the Surveyor.

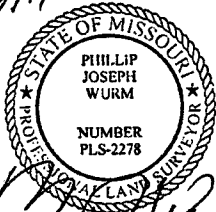
This is to certify that we, Topos Surveying Corporation, at the request and for the exclusive use of David Gloré have on the 25th day of August, 2021, executed a Property Boundary Survey in accordance with the current Missouri Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, and Professional Land Surveyors and Landscape Architects, on a Tract of Land being described above recorded in St. Louis County Records in St. Louis County, Missouri, and that the results of said survey are represented upon this plot. The subject property is an URBAN property as defined in said Standards. The bearing reference system and easements unless referenced are taken from the record plot. This plot may not show current zoning setbacks. This Property Boundary Survey is Non-Transferable.

TOPOS SURVEYING CORP. ORIGINAL  
CERTIFICATE NUMBER 000105

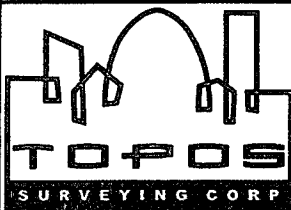
Survey No. 0821-0043

**EXPIRES: DECEMBER 31, 2021**

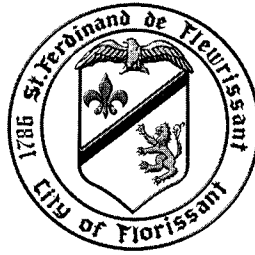
9/1/2021



PHILLIP J. WURM  
MO. REGISTRATION NO. PLS - 2278



1  
2  
3  
**MEMORANDUM**



4  
5  
6  
7  
8  
**CITY OF FLORISSANT- Building Division**

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

9 To: Planning and Zoning Commissioners

Date: June 1, 2022

10  
11 From: Philip E. Lum, AIA-Building Commissioner c:

Todd Hughes, P.E.,  
Director Public Works  
Deputy City Clerk  
Applicant  
File

12  
13  
14  
15  
16  
17 Subject: **1725 Washington (Imo's) Request recommended approval** of a Special Use  
18 to allow for a carryout and drive-thru restaurant, in a 'B-3' Extensive Business District.  
19  
20

21  
22  
23  
**STAFF REPORT**  
**CASE NUMBER PZ-060621-3**

24 **I. PROJECT DESCRIPTION:**

25 This is a request for **recommended approval** of a Special Use, to allow for a carryout and  
26 drive-thru restaurant, in an existing 'B-3' Planned Commercial District.  
27

28 **II. EXISTING SITE CONDITIONS:**

29 The existing property at : **1725 Washington** is a vacant property which is a 0.36 acre site  
30 with a in a 'B-3' Extensive Business District, formerly operated as Krone's Auto Repair.  
31

32 The subject property has one building of approximately 1269 s.f. There are undated  
33 preliminary plans submitted that include:

- 34 • Site Plan  
35 • Elevations  
36 • Floor Plan  
37

38 The existing building was built in 1957 per County record.  
39



40  
41 **III. SURROUNDING PROPERTIES:**

42 The property to the East is 408 St Anthony owned by John Jaworski Jr., zoned similarly  
43 in the 'B-3' Extensive Business District. The property to the South is 1775 Washington  
44 owned by The Otto Partnership in the 'B-3' Zoning District which houses a pizza  
45 restaurant.

46  
47 The site is bounded by St Anthony and Washington and has no defined entrances. The  
48 entire frontages are accessible by vehicle over any sidewalk.  
49

50 **IV. STAFF ANALYSIS:**

51 Plan received from the applicant include an engineer's report that indicates the building  
52 was originally was concrete block clad with thin brick of about ½" thickness.  
53

54 **Comments on Drawings:**  
55

56 Site plan shows undescribed shrub areas at the NW and SW corners. Staff suggested  
57 relocation of SW shrubs to align traffic with the entrance lanes. A dumpster enclosure is  
58 shown at the SE corner. Dumpster must be compatible with the new building design.  
59

60 Plan and Elevation notes indicate the use of full wythe brick veneer on all 4 sides of the  
61 existing block building with the exception of the entrance area shown covered with fiber  
62 cement panels and thin stone veneer. A shed addition is shown with metal panel building  
63 skin for the walk-in cooler/freezer addition next to a fenced area.  
64

65 Materials need further explanation by the petitioner/architect.  
66

67 About 15 parking spaces currently exist, shown reduced to 10 proposed. Parking  
68 requirement is only 5 spaces for restaurants of less than 1500 s.f. Drive-thru shows  
69 adequate stacking of 6 minimum.  
70  
71  
72

73 **III. STAFF RECOMENDATIONS:**  
74

75 **Suggested Motion:**

76 I move for Recommended Approval of a Special Use to allow for a carryout and drive  
77 through restaurant establishment in a 'B-3' Extensive Business District as shown on plans  
78 attached, subject to the conditions set forth below with these conditions being part of the  
79 record:  
80

81 (End of report and suggested motion)

INTRODUCED BY COUNCILMAN EAGAN  
AUGUST 22, 2022

BILL NO. 9811

ORDINANCE NO.

**AN ORDINANCE AMENDING ORDINANCE NO. 9739 ESTABLISHING A GRADE AND STEP SCHEDULE FOR FULL TIME UNIFORMED EMPLOYEES POSITIONS WITHIN THE CITY OF FLORISSANT AND ENACTING IN LIEU THEREOF A NEW ORDINANCE AND CONTAINING AN EFFECTIVE DATE CLAUSE.**

**WHEREAS** the Florissant City Council feels it is prudent and necessary to adjust the existing pay plan for the uniformed employees in the police department;

**BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

Section 1: Ordinance no. 9739 is hereby amended by deleting section 1 containing the Uniformed Personnel Pay Schedule and replacing it with the following:

POLICE STAFF Personnel Pay Schedule - Proposed 09/12/2022											
Step	1	2	3	4	5	6	7	8	9	10	11
Position											
Corrections Officer	18.60	19.15	19.73	20.32	20.93	21.56	22.20	22.87	23.56	24.26	
	1,488.00	1,532.00	1,578.40	1,625.60	1,674.40	1,724.80	1,776.00	1,829.60	1,884.80	1,940.80	
	38,688.00	39,832.00	41,038.40	42,265.60	43,534.40	44,844.80	46,176.00	47,569.60	49,004.80	50,460.80	
Dispatcher revised 12.01.21	22.49	23.17	23.87	24.59	25.32	26.08	26.86	27.67	28.50	29.36	
	1,799.52	1,853.80	1,909.92	1,966.96	2,025.84	2,086.56	2,149.12	2,213.52	2,279.76	2,348.76	
	46,787.52	48,198.80	49,657.92	51,140.96	52,671.84	54,250.56	55,877.12	57,551.52	59,273.76	61,067.76	
Probationary Police Officer	26.93	27.74	28.58	29.44							
	2,154.40	2,219.20	2,286.40	2,355.20							
	56,014.40	57,699.20	59,446.40	61,235.20							
Police Officer	30.33	31.24	32.18	33.15	34.15	35.18	36.24	37.33	38.45	39.60	40.79
	2,426.40	2,499.20	2,574.40	2,652.00	2,732.00	2,814.40	2,899.20	2,986.18	3,075.76	3,168.03	3,263.08
	63,086.40	64,979.20	66,934.40	68,952.00	71,032.00	73,174.40	75,379.20	77,640.58	79,969.80	82,368.90	84,840.00
Sergeant	41.63	42.88	44.17	45.49	46.85						
	3,330.40	3,430.30	3,533.21	3,639.20	3,748.38						
	86,590.40	89,187.70	91,863.34	94,619.24	97,457.80						
Lieutenant	48.69	50.15	51.65								
	3,895.05	4,011.90	4,132.25								
	101,271.20	104,309.40	107,438.60								
Captain	52.69	54.28	55.90								
	4,215.58	4,342.05	4,472.32								
	109,605.20	112,893.40	116,280.20								
Major	57.04	58.75	60.52								
	4,563.31	4,700.21	4,841.22								
	118,646.10	122,205.50	125,871.66								
Chief	63.55	65.46	67.42								
	5,084.08	5,236.60	5,393.70								
	132,186.08	136,151.66	140,236.20								

Section 2: The above pay scale becomes effective on 9/12/2022.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Joseph Eagan, Council President

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Mayor Timothy J. Lowery

ATTEST:

\_\_\_\_\_  
Karen Goodwin, MMC/MRCC  
City Clerk



## MEMORANDUM

**Date:** August 17, 2022  
**To:** Mayor Timothy J. Lowery and City Council  
**From:** Sonya D. Brooks-White, Director of Human Resources  
**Re:** Pay Schedule Recommendations – Police Department

December 1, 2017, was the implementation of the last salary ordinance for the City of Florissant's police officers and command staff. So much has changed in the world of policing and in the economy. Reviewing the marketplace and numerous survey studies, the City of Florissant falls in the bottom for minimum and maximum pay rates for police officers. To attract the experience, knowledge and quality of applicants that we need to serve our community and maintain the standards held in our City we strongly recommend we visit a new pay schedule for our police department.

AGENCY	POLICE OFFICER Salary Range	
	Minimum	Maximum
O'Fallon, MO	\$55,078.00	\$75,500.00
St. Louis County	\$55,390.00	\$81,869.00
Florissant	\$56,014.00	\$75,379.00
Wentzville	\$56,632.00	\$76,453.00
St. Charles County	\$57,793.00	\$85,591.00
Chesterfield	\$58,500.00	\$78,676.00
St. Charles City	\$58,500.00	\$82,237.00
St. Peters	\$59,529.00	\$79,372.00
Maryland Heights	\$60,000.00	\$81,339.00
University City	\$62,602.00	\$81,256.00
Kirkwood	\$65,144.00	\$78,925.00
Clayton	\$66,235.00	\$79,859.00

As of today, the City is currently down ten (10) officers which is a huge gap in a police-force our size. These positions are essential to providing the necessary safety and continuity to the operation of the department.

We recommend that the attached ordinance be implemented to allow us to attract qualified candidates and help to retain police personnel currently serving the City. This adjustment will make us more marketable now and in the near future. *The following should be noted: current Step 1 officers will receive a significant increase therefore will be frozen until June 2024.*

Let's make the City of Florissant the agency of choice! If you have any questions or need additional information feel free to contact me.

1 INTRODUCED BY COUNCILWOMAN PAGANO  
2 AUGUST 22, 2022

3  
4 BILL NO. 9812

ORDINANCE NO.

5  
6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**  
7 **PERMIT NO. 6853 FROM ZU YANG D/B/A CHIN'S WOK TO SARAH**  
8 **ZHANG ENTERPRISES LLC D/B/A CHIN'S WOK FOR THE**  
9 **OPERATION OF A DINE-IN, CARRY-OUT, DELIVERY**  
10 **RESTAURANT LOCATED AT 70 A GRANDVIEW PLAZA.**  
11

12  
13 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of  
14 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a  
15 restaurant; and

16 WHEREAS ZuYang d/b/a Chin's Wok was issued Special Use Permit no. 6853 for the  
17 operation of a **restaurant** located at 70A Grandview Plaza; and

18 WHEREAS Sarah Zhang Enterprises LLC has filed an application to transfer Special use  
19 Permit no.6853 authorizing the location and operation of a restaurant located at 70A Grandview  
20 Plaza to its name; and

21 WHEREAS, the City Council of the City of Florissant determined at its meeting on  
22 August 22, 2022, that the business would be operated in substantially identical fashion as set out  
23 herein; and

24 WHEREAS, Sarah Zhang Enterprises LLC d/b/a Chin's Wok has accepted the terms and  
25 conditions as they apply to a special use permit for a restaurant.  
26

27 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**  
28 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

29 Section 1: Special Use Permit no. 6853 is hereby transferred from Zu Yang d/b/a Chin's  
30 Wok to Sarah Zhang Enterprises LLC d/b/a Chin's Wok for the operation of a dine-in, carry-  
31 out, delivery restaurant located at 70 A Grandview Plaza.

32  
33 Section 2: The Special Use Permit herein authorized shall terminate if the said business  
34 ceases operation for a period of more than one hundred and eighty (180) days.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

.

Adopted this \_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Council President

Approved this \_\_\_\_ day of \_\_\_\_\_, 2022.

\_\_\_\_\_  
Timothy J. Lowery  
Mayor, City of Florissant

ATTEST:

\_\_\_\_\_  
Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

## TRANSFER OF SPECIAL PERMIT

AUTHORIZED BY ORDINANCE NUMBER (S) 0853

FROM ZU YANG D/B/A CHIN'S WOK  
TO SARAH ZHANG Enterprises LLC D/B/A CHIN'S WOK  
FOR Restaurant  
ADDRESS 70A Grandview Plaza S/C  
Ward \_\_\_\_\_ Zoning \_\_\_\_\_ Date Filed \_\_\_\_\_ Accepted By \_\_\_\_\_

### TRANSFER OF SPECIAL USE PERMIT PETITION

TO THE CITY COUNCIL OF THE CITY OF FLORISSANT:

1. Comes now Sarah Zhang and states to the City Council that he (she) (they) has (have) the following legal interest in the property located at 70A Grandview Plaza S/C in the City of Florissant, Missouri. Legal interest: ( ) Lease or ( ) Simple Title  
(Attach signed copy of lease or deed)
2. The petitioner(s) further state that he (she) (they) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly to any official, employee, or appointee of the City of Florissant, with respect to this petition.
3. The applicant will operate the business in the same manner and under the same conditions as set out in the original ordinance granting the special permit or any amendments thereto, except for any proposed change in sign face of an authorized sign.

PETITIONER SIGNATURE

Sarah Zhang  
Individual's Name

FOR:

Sarah Zhang Enterprises LLC  
Company, Corporation, Partnership

4. I (we) hereby certify that (indicate **one only**):

( ) I (we) have a legal interest in the above described property.

( ) I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE

Sarah L. Zhang

ADDRESS

1178 Cantina Dr. St. Louis Mo 63141

Telephone No.

314 648 9477

Email address

slinn\_2000@yahoo.com

I (we) the petitioner(s) do hereby appoint \_\_\_\_\_ as my  
(our) duly authorized agent to represent me (us) in regard to this petition.

Sarah L. Zhang  
PETITIONER SIGNATURE

**Note:** Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of owner to Transfer Special Permit Petition.

Zhang  
SIGNATURE OF OWNER



**Information sheet to be attached to all requests for Transfer of Special Permit**

Type of Operation: (Select One)

Individual ☐

Partnership ☐

Corporation ☐

LLC ☐

**INDIVIDUAL:**

Name & address \_\_\_\_\_

Telephone number & email address \_\_\_\_\_

Business name/address/phone \_\_\_\_\_

Copy of fictitious name registration, if applicable \_\_\_\_\_

**PARTNERSHIP:**

Name & address of partner (s ) \_\_\_\_\_

Telephone number(s) and email address (s) \_\_\_\_\_

Business name/ address /phone \_\_\_\_\_

Copy of fictitious name registration, if applicable \_\_\_\_\_

**CORPORATION OR LLC:**

Name & address of all corporate officers Sarah Zhang Enterprises LLC  
1178 Cantina Dr. St. Louis MO 63141

Telephone numbers & email addresses 314-648-9477 slinn-2000@yahoo.com

Business name/address/phone SHAH ZHANG Enterprises DBA CHIN'S WOK

Photocopy of Corporation/LLC Articles and Certificate \_\_\_\_\_

Date of incorporation/LLC \_\_\_\_\_

Copy of fictitious name registration, if applicable

Copy of latest Missouri Anti-Trust affidavit (annual registration of corporate officers)

## TRANSFER OF SPECIAL USE PERMIT

The undersigned hereby acknowledges receipt of a copy of Ordinance  
Number \_\_\_\_\_ which authorized a Special Permit:

TO: Sarah Zhang Enterprises LLC

FOR: Restaurant (Chin's Wok)

and agree to the terms and conditions listed in said ordinance and to any  
additional term and conditions that the City Council shall deem appropriate.

Sarah Zhang

PRINT - NAME OF APPLICANT

Sarah L. Zhang

SIGNATURE OF APPLICANT



## State of Missouri

John R. Ashcroft, Secretary of State

Corporations Division

PO Box 778 / 600 W. Main St., Rm. 322  
Jefferson City, MO 65102

**LC014388682**  
**Date Filed: 6/28/2022**  
**John R. Ashcroft**  
**Missouri Secretary of State**

### Articles of Organization

(Submit with filing fee of \$105.00)

1. The name of the limited liability company is

Sarah Zhang Enterprises LLC

(Must include "Limited Liability Company," "Limited Company," "LC," "L.C.," "L.L.C.," or "LLC")

2. The purpose(s) for which the limited liability company is organized:

To provide food service and all other legal acts permitted limited liability companies maybe organized under Missouri Limited Liability Company ACT Chapter 347 RSMO.

3. The name and address of the limited liability company's registered agent in Missouri is:

Sarah Xiao Lin Zhang 70 Grandview Plaza Shopping Ctr Ste A

Name

Street Address: May not use PO Box unless street address also provided

Florissant, MO 63033-6165

City/State/Zip

4. The management of the limited liability company is vested in: ☐ managers ☒ members (check one)

5. The events, if any, on which the limited liability company is to dissolve or the number of years the limited liability company is to continue, which may be any number or perpetual: Perpetual

(The answer to this question could cause possible tax consequences, you may wish to consult with your attorney or accountant)

6. The name(s) and street address(es) of each organizer (PO box may only be used in addition to a physical street address):

(Organizer(s) are not required to be member(s), manager(s) or owner(s))

Name

Address

City/State/Zip

Zhang, Sarah Xiao Lin

1178 Cantina Dr

Saint Louis MO 63141-6041

7. ☐ Series LLC (OPTIONAL) Pursuant to Section 347.186, the limited liability company may establish a designated series in its operating agreement. The names of the series must include the full name of the limited liability company and are the following:

New Series:

☐ The limited liability company gives notice that the series has limited liability.

New Series:

☐ The limited liability company gives notice that the series has limited liability.

New Series:

☐ The limited liability company gives notice that the series has limited liability.

(Each separate series must also file an Attachment Form LLC 1A.)

Name and address to return filed document:

Name: Jian Su LI

Address: Email: jg.acct.tax@gmail.com

City, State, and Zip Code: \_\_\_\_\_

- 70 Grandview Plaza Shopping Ctr Ste A

Address (PO Box may only be used in conjunction with a physical street address)

City/State/Zip

- (Date may not be more than 90 days after the filing date in this office)

**All organizers must sign:**

*Organizer Signature*

Printed Name \_\_\_\_\_

*Date of Signature*



## State of Missouri

John R. Ashcroft, Secretary of State

Corporations Division

PO Box 778 / 600 W. Main St., Rm. 322

Jefferson City, MO 65102

**X001733423**  
**Date Filed: 6/28/2022**  
**Expiration Date: 6/28/2027**  
**John R. Ashcroft**  
**Missouri Secretary of State**

### Registration of Fictitious Name

(Submit with filing fee of \$7.00)

(Must be typed or printed)

This information is for the use of the public and gives no protection to the name being registered. There is no provision in this Chapter to keep another person or business entity from adopting and using the same name. The fictitious name registration expires 5 years from the filing date. (Chapter 417, RSMo)

Please check one box:

☒ New Registration ☐ Renewal ☐ Amendment ☐ Correction

Charter number Charter number Charter number

The undersigned is doing business under the following name and at the following address:

Business name to be registered: China King

Business Address: 70 Grandview Plaza Shopping Ctr Ste A

(PO Box may only be used in addition to a physical street address)

City, State and Zip Code: Florissant, MO 63033-6165

#### Owner Information:

If a business entity is an owner, indicate business name and percentage owned. If all parties are jointly and severally liable, percentage of ownership need not be listed. Please attach a separate page for more than three owners. The parties having an interest in the business, and the percentage they own are:

Name of Owners, Individual or Business Entity	Charter # Required If Business Entity	Street and Number	City and State	Zip Code	If Listed, Percentage of Ownership Must Equal 100%
Sarah Zhang Enterprises LLC	LC014388682	70 Grandview Plaza Shopping Ctr Ste A	Florissant, MO	63033 - 6165	100.00

All owners must affirm by signing below

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties of a false declaration under Section 575.060 RSMo)

Sarah Zhang Enterprises LLC - Sarah Xiao Lin Zhang	SARAH ZHANG ENTERPRISES LLC - SARAH XIAO LIN ZHANG	06/28/2022
Owner's Signature or Authorized Signature of Business Entity	Printed Name	Date

Name and address to return filed document:

Name: Jian Su LI

Address: Email: jg.acct.tax@gmail.com

City, State, and Zip Code: \_\_\_\_\_

# STATE OF MISSOURI



**John R. Ashcroft**  
**Secretary of State**

## CERTIFICATE OF ORGANIZATION

WHEREAS,

*Sarah Zhang Enterprises LLC*  
*LC014388682*

filed its Articles of Organization with this office on the 28th day of June, 2022, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, John R. Ashcroft, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 28th day of June, 2022, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri.  
Done at the City of Jefferson, this 28th day of June, 2022.

  
Secretary of State



INTRODUCED BY COUNCILMAN  
APRIL 14, 2003

BILL NO. 7756

ORDINANCE NO. 6853

**AN ORDINANCE GRANTING A SPECIAL USE PERMIT TO ZU YANG D/B/A CHIN'S WOK RESTAURANT FOR THE OPERATION OF A DINE-IN/CARRY-OUT, DELIVERY RESTAURANT LOCATED AT 70 A GRANDVIEW PLAZA SHOPPING CENTER.**

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Use Permit, after public hearing thereon, to permit the operation of a dine-in/carry-out, delivery; and

WHEREAS, an application has been filed by Tail Winds for the operation of a dine-in/carry-out, delivery restaurant located at 70 A Grandview Plaza Shopping Center; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting of March 17, 2003 has recommended that the said Special Use Permit be granted with certain conditions; and

WHEREAS, due notice of a public hearing on said application to be held on the April 14, 2003 at 8:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the granting of the Special Use Permit as hereinafter provided would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A Special Use Permit is hereby granted to Xu Yang d/b/a Chin's Wok Restaurant located at 70 A Grandview Plaza Shopping Center with the following stipulations:

- a. The hours of operation will be 10:30 a.m. to 10:30 p.m., Monday through Saturday, and 11:30 a.m. to 10:00 p.m. on Sunday

Section 2: Said Permit herein authorized shall remain in full force and effect and subject to all of the ordinances of the City of Florissant.

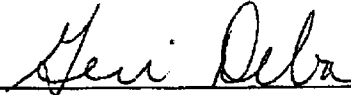
Section 3: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

BILL NO. 7756

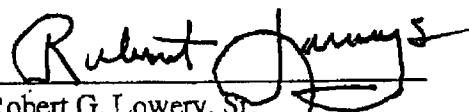
ORDINANCE NO. 6853

Section 4: This ordinance shall become in force and effect immediately upon its passage and approval.

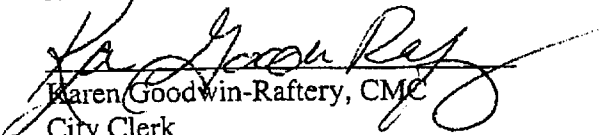
Adopted this 19 day of April, 2003.

  
Geri Debo  
President of the Council  
City of Florissant

Approved this 16<sup>th</sup> day of March, 2003.

  
Robert G. Lowery, Sr.  
Mayor, City of Florissant

ATTEST:

  
Karen Goodwin-Raftery, CMC  
City Clerk



1 INTRODUCED BY COUNCILMAN EAGAN  
2 SEPTEMBER 6TH, 2022

3  
4 SUBSTITUTE BILL NO. 9814

ORDINANCE NO.

5  
6 **AN ORDINANCE TO ESTABLISH SALARIES FOR THE MAYOR AND CITY**  
7 **COUNCIL MEMBERS OF THE CITY OF FLORISSANT AS OF THE OFFICIAL**  
8 **CERTIFICATION OF THE MUNICIPAL ELECTION IN APRIL 2023 FOR THE**  
9 **MAYOR AND 2024 FOR THE CITY COUNCIL.**

10  
11 **WHEREAS** the Florissant City Council feels it is prudent and necessary to adjust the compensation for  
12 the Mayor and City Council;

13 **WHEREAS** the compensation for the Mayor and City Council was last adjusted by ordinance no. 6627 in  
14 2001.

15 **WHEREAS** In accordance with section 2.3 and 3.4 of the City Charter. any change in compensation shall  
16 not become effective during the term of office being served at the time the change is adopted.

17 **BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY,**  
18 **MISSOURI, AS FOLLOWS:**

19  
20 Section 1: In accordance with section 2.3 of the Charter of the City of Florissant, the annual salary of the  
21 Mayor of the City of Florissant, effective as of the official certification of the Municipal Election in April of 2023  
22 shall be \$149,999. The annual salary shall be divided by 26 to determine the biweekly rate; and

23 Section 2: In accordance with section 3.4 of the Charter of the City of Florissant, the annual salary of the  
24 Councilmembers of the City of Florissant shall be \$12,782, payable monthly, effective as of the official  
25 certification of the Municipal Election in April 2024; and

26 Section 3: In addition to the salary set forth the in Section 2, the President of the Council shall be  
27 compensated at the rate of \$125 per month effective as of the official certification of the Municipal Election in  
28 April of 2024.

29 Section 4: this ordinance shall become in full force and effect upon its passage and approval as provided  
30 by law.

31 Adopted this \_\_\_\_ day of \_\_\_\_\_, 2022.

32  
33 \_\_\_\_\_  
34 Joseph Eagan, Council President

35  
36 Approved this \_\_\_\_ day of \_\_\_\_\_, 2022.

37  
38 \_\_\_\_\_  
39 Mayor Timothy J. Lowery

40  
41 ATTEST:

42 \_\_\_\_\_  
43 Karen Goodwin, MMC/MRCC  
44 City Clerk

1 INTRODUCED BY COUNCILMAN EAGAN  
2 AUGUST 22, 2022

3  
4 BILL NO. 9814

ORDINANCE NO.

5  
6 **AN ORDINANCE TO ESTABLISH SALARIES FOR THE MAYOR AND**  
7 **CITY COUNCIL MEMBERS OF THE CITY OF FLORISSANT AS OF THE**  
8 **MUNICIPAL ELECTION IN APRIL 2023.**  
9

10 **WHEREAS** the Florissant City Council feels it is prudent and necessary to adjust the  
11 compensation for the Mayor and City Council;

12 **WHEREAS** the compensation for the Mayor and City Council was last adjusted by ordinance no.  
13 6627 in 2001.

14 **WHEREAS** In accordance with section 2.3 and 3.4 of the City Charter. any change in  
15 compensation shall not become effective during the term of office being served at the time the change is  
16 adopted.

17 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS  
18 COUNTY, MISSOURI, AS FOLLOWS:  
19

20 Section 1: In accordance with section 2.3 of the Charter of the City of Florissant, the annual  
21 salary of the Mayor of the City of Florissant, effective as of the Municipal Election in April of 2023  
22 shall be \$149,999. The annual salary shall be divided by 26 to determine the biweekly rate; and

23 Section 2: In accordance with section 3.4 of the Charter of the City of Florissant, the annual  
24 salary of the Councilmembers of the City of Florissant shall be \$12,782, payable monthly, effective as  
25 of the Municipal Election in April 2023.

26 Section 3: In addition to the salary set for the in Section 2, the President of the Council shall be  
27 compensated at the rate of \$125 per month.

28 Section 4: this ordinance shall become in full force and effect upon its passage and approval as  
29 provided by law.

30 Adopted this \_\_\_\_ day of \_\_\_\_\_, 2022.

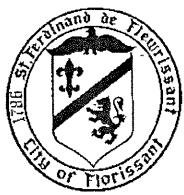
31  
32 \_\_\_\_\_  
33 Joseph Eagan, Council President

34  
35 Approved this \_\_\_\_ day of \_\_\_\_\_, 2022.

36  
37 \_\_\_\_\_  
38 Mayor Timothy J. Lowery

39 ATTEST:

40 \_\_\_\_\_  
41 Karen Goodwin, MMC/MRCC  
42 City Clerk



## MEMORANDUM

---

**Date:** August 17, 2022  
**To:** Mayor Timothy J. Lowery and City Council  
**From:** Sonya D. Brooks-White, Director of Human Resources  
**Re:** Mayor & City Council Salaries Amendment

November 2001, is the last ordinance where a change was made and outlined the compensation for the Mayor and City Council. In 2006 and 2004, respectively were the last years the two received any additional compensation. It is definitely time for those in these demanding elected positions be compensated to reflect the increased responsibilities and continuous changes in the economy.

The Florissant Mayor's position I view as one similar to the City Manager/Administrator position of the many municipalities we compete. The responsibilities are to run the day-to-day operations of the City and manage all employees, along with serving our residents. Our Mayor's compensation should be in line with those with similar functions and responsibilities. I recommend a 10 ½% increase (new salary: \$149,999) effective with the next election April 2023. The new rate I believe is still below what a normal annual three percent increase over that time would have yielded. However, this rate will help the City maintain and attract future strong candidates to lead our community.

The City Council serves as the legislative body of the City. The council looks to the city's goals, major projects and infrastructure improvements ranging from community growth to land use to finances and strategic planning. The Council's time extends well beyond the meetings on Monday nights. Therefore, I recommend the Council adjust accordingly by 10 ½% (new annual rate: \$12,782) to be effective beginning with the next election April 2023. Note: current Council members will not be effective until the time of their re-election and successful appointment.

This adjustment will help us continue to attract future candidates for Mayor and City Council willing to be of service to our community. If you need additional information or have any questions feel free to contact me.

### APPLICATION FOR LIQUOR LICENSE

- |  |  |
|--|--|
| <input type="checkbox"/> Full Liquor by the Drink \$450          | <input type="checkbox"/> Malt Liquor & Wine by the Drink \$75.00 |
| <input checked="" type="checkbox"/> Full Package Liquor \$150    | <input type="checkbox"/> Malt Liquor & Wine Package \$75         |
| <input type="checkbox"/> Full Liquor by Drink (Non-Profit) \$300 | <input type="checkbox"/> Tasting \$37.50                         |

#### To the City Clerk, City of Florissant, St. Louis County, Missouri:

The undersigned hereby makes application for the renewal of liquor license issued under Chapter 600 of the Florissant Code of Ordinances.

Type of License Requested:

- |  |   |
|--|---|
| <input type="checkbox"/> Individual        | <input checked="" type="checkbox"/> Corporation (Attach list of Officers, Addresses, & Phone Numbers) |
| <input type="checkbox"/> Limited Liability | <input type="checkbox"/> Partnership (Attach list of partners)  |

Name of **Business**: Big DADDY'S liquor & CONVE Phone: 618-975-8030

Business Address: 2726 N' Lindbergh BLVD Email: rasheed201176@yahoo.com

Names of **Applicant, Corp., or LLC**: Rasheed Ali

Address of Owner: 631 Foxtail DR Florissant MO 63034 Phone: 618-975-8030  
Street City State Zip

Name of **Managing Officer**: Rasheed Ali

Home Address: 631 Foxtail DR Florissant MO 63034 Years at Address: 20 years  
Street City State Zip

**Managing Officer**: Date of Birth: 03/20/1984 Cell Phone: 618-975-8030

Driver's License No. [REDACTED]  
(Provide photo copy)

Social Security No.\* [REDACTED]  
\*for identification in running record check

Email: rasheed201176@yahoo.com

**Managing Officer**: Personal Property Taxes 20\_\_ Paid? ☐ Yes ☐ No (Attached recent)

Registered Voter of Missouri? ☒ Yes ☐ No \*\*Attach Voter Registration Certificate

Have you ever been arrested? NO What Charge? \_\_\_\_\_

Where? \_\_\_\_\_ Disposition? \_\_\_\_\_

Citizen of U.S.A.? ☒ Yes ☐ No

Naturalized? ☐ Yes Date \_\_\_\_\_ ☐ No

If Naturalized, Give Number: \_\_\_\_\_ Dist. \_\_\_\_\_  
(Provide Documents)

Do you have an interest in any liquor license which is now in force? ☐ Yes ☒ No

Give details: \_\_\_\_\_

Have you prev. held a liquor license of this type? ☒ Yes ☐ No

If so, when & where? South county

Have you ever had a liquor license suspended or revoked? ☐ Yes ☒ No

Give details: \_\_\_\_\_

Have you ever been convicted of any violation of any federal or state law? ☐ Yes ☒ No

Give details: \_\_\_\_\_

Have you ever been convicted of any violation of a federal law, state statute, or local ordinance relating to intoxication? ☐ Yes ☒ No

Give details: \_\_\_\_\_

Has the location previously been occupied as a liquor establishment, liquor store, or tavern?  
☐ Yes ☒ No

Provide name: \_\_\_\_\_

Is the location within 200 feet of property used for church, school, or public playground? ☐ Yes ☒ No

If Individual Applicant:

Rasheed Ali  
RASheed Ali

If Partnership, Corp., or LLC, complete below:

Big DADDY'S liquor & COOR  
Trade Name

Rasheed Ali  
Signature of Managing Officer

STATE OF MISSOURI ) SS  
COUNTY OF ST. LOUIS )

Rasheed Ali, of lawful age, being first duly sworn upon \_\_\_\_\_  
(Individual or Managing Officer)

Deposes and states that he/she is the (applicant) (the managing officer of the corporation or partnership seeing the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations, and rules adopted by the City relation to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.

Rasheed Ali

Signature of Individual or Managing Officer

Subscribed and sworn to before me this 3rd day of Aug, 2022

[Signature]  
Notary Public

My Commission Expires: 12/07/2024

**APPLICATION MUST BE SWORN TO BEFORE A PUBLIC NOTARY.**

**SUPPLEMENT TO APPLICATION FOR LIQUOR LICENSE**

**CORPORATION & LIMITED LIABILITY COMPANY:**

Copy of Certification of Incorporation/Registration &  
Articles of Organization papers must be attached

To the Florissant City Council, Florissant, St. Louis County, Missouri \_\_\_\_\_

Date 07/18/2022

**TO BE COMPLETED BY ALL PARTNERS, OR IF CORPORATION OR LIMITED LIABILITY  
CORPORATION BY ALL OFFICERS OR MEMBERS:**

1. FULL NAME: Rasheed Ali  
SOC. SEC. NO. [REDACTED] SEX: male  
DATE OF BIRTH: 03/20/1984 PLACE OF BIRTH: KUWAIT  
PHONE NUMBER: 618-975-8030  
ADDRESS: 631 Foxtail DR Florissant mo 63034  
LAST PREV. ADDRESS: \_\_\_\_\_  
NO. OF YEARS AT ADDRESS: 20 years
2. FULL NAME: \_\_\_\_\_  
SOC. SEC. NO. \_\_\_\_\_ SEX: \_\_\_\_\_  
DATE OF BIRTH: \_\_\_\_\_ PLACE OF BIRTH: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
LAST PREV. ADDRESS: \_\_\_\_\_  
NO. OF YEARS AT ADDRESS: \_\_\_\_\_
3. FULL NAME: \_\_\_\_\_  
SOC. SEC. NO. \_\_\_\_\_ SEX: \_\_\_\_\_  
DATE OF BIRTH: \_\_\_\_\_ PLACE OF BIRTH: \_\_\_\_\_  
PHONE NUMBER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
LAST PREV. ADDRESS: \_\_\_\_\_  
NO. OF YEARS AT ADDRESS: \_\_\_\_\_

**PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION**

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

**EMERGENCY CONTACT INFORMATION**

OWNER OF PROPERTY Bridle Development corp PHONE 314-567-9944  
ADDRESS 727 Craig Rd ste 100 St Louis MO 63141  
NAME OF BUSINESS Big daddy's liquor & more PHONE 618-975-8030  
ADDRESS 2726 N Lindbergh Florissant MO 63033  
BUSINESS HOURS 11:00 am to 12:00 am  
OWNER/MANAGER Rasheed Ali PHONE 618-975-8030  
HOME ADDRESS 631 Foxtail DR Florissant MO 63034

**PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE.**

CONTACT #1 HAS KEY ☒ YES ☐ NO  
NAME Rasheed Ali ADDRESS 631 Foxtail DR  
CITY & STATE Florissant, MO 63034 PHONE 618-975-8030

CONTACT #2 HAS KEY ☒ YES ☐ NO  
NAME Tiffany Jones ADDRESS 14353 sawswept PARK COURT Apt 204  
CITY & STATE Florissant MO PHONE 314-442-9112

ARE THERE LIGHTS LEFT ON AFTER HOURS? ☒ YES ☐ NO  
IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS? ☐ YES ☒ NO

IF YES, WHO? \_\_\_\_\_  
ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS? ☐ YES ☒ NO

DESCRIBE: \_\_\_\_\_  
(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? ☒ YES ☐ NO

WHERE IS IT LOCATED? office IN back of store

CAN IT BE SEEN FROM THE OUTSIDE? ☐ YES ☒ NO

IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? ☒ YES ☐ NO

**IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.**



CITY OF FLORISSANT



FLORISSANT, MISSOURI

WAIVER

Authorization to complete record check

I, Rasheed Ali, RESIDING AT

631 Foxtail DR IN THE

CITY OF Florissant STATE OF  
Missouri

I do hereby authorize the City Clerk of the City of Florissant, Missouri to make a full and complete check of my record in the Metropolitan St. Louis area, state of Missouri, all prior areas of residence, and through the National Criminal Information Center in Washington, D.C.

Rasheed Ali  
Witness

Rasheed Ali  
Signature

07/18/2022  
Date

03/20/1984  
Date of Birth

[REDACTED]  
Social Security Number\*\*

[REDACTED]  
Driver's License No. & State

\*\*Social Security Number and Driver's License Numbers will be used for the purpose of identification in completing record check.

**APPLICATION FOR SUNDAY LIQUOR LICENSE**  
**TO THE CITY CLERK, CITY OF FLORISSANT, SAINT LOUIS COUNTY, MISSOURI**

Authorizing the sale of retail liquor by the drink or package in the City of Florissant on **SUNDAY** from 9:00 am to midnight.

**TYPE OF OPERATION:**

☐ Individual      ☐ Partnership      ☒ Corporation      ☐ Limited Liability Corp

**NAME OF BUSINESS** Big daddy's liquor & conv.  
2726 N Lindbergh Blvd

**LOCATION** Florissant mo 63033      **PHONE** 618-975-8030

**EXACT TRADE NAME, LLC, OR CORP** Big DADDY's liquor & convenience

The undersigned (Individual, Partnership, Corporation, LLC), hereby makes application to the City Clerk,

City of Florissant, St. Louis County, Missouri for a "By the Drink/Package Liquor License" authorizing the sale of retail liquor on Sundays from 9:00 am to midnight for the period beginning on \_\_\_\_\_

and expiring on June 30, 20\_\_\_\_, on the above described premises and agrees that if the license herein

applied for is granted, and the licensee shall violate any provisions of the State Liquor Control Act or of

the City of Florissant Code and particularly any provision of Chapter 600 of the Florissant City Code

pertaining to alcoholic beverages or permit any other person to do so upon the licensed premises, the

City Council, by a majority vote, may suspend or revoke such license.

1. I/WE presently hold Florissant License Number \_\_\_\_\_ authorizing the sale of retail liquor by the drink or package in Florissant for premises described in this application.

STATE OF MISSOURI      )SS  
COUNTY OF ST. LOUIS      )

I Rasheed Ali of lawful age, being first duly sworn upon my oath, depose and say that I  
(Print name of Managing Officer)  
have read this application and that I fully understand the same; that I know the contents thereof and the statements contained therein and that the same are true of my own knowledge.

Rasheed Ali  
Signature of Individual or Managing Officer

Subscribed and sworn to before me this 8/3 day of 2022.

My Commission Expires: 12/07/2024

[Signature]  
Notary Public



TO THE CITY CLERK, CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI  
**APPLICATION FOR SUNDAY LIQUOR LICENSE** (\$300/year)

Authorizing the sale of retail liquor by the drink or package in Florissant on **Sunday** from 9:00 a.m. to Midnight

TYPE OF OPERATION: Individual \_\_\_\_\_ Partnership \_\_\_\_\_ Corporation ☒ LLC \_\_\_\_\_

NAME OF BUSINESS: Big DADDY'S liquor & convenience

LOCATION: 2726 N Lindbergh Blvd Telephone: 618-975-8030

NAME OF APPLICANT (partnership or corporation, give exact trade, LLC or corporate name):

Rasheed Ali

TRADE NAME IF DIFFERENT: \_\_\_\_\_

The undersigned (Individual) (Partnership) (Corporation) (LLC), hereby makes application to the City Clerk, City of Florissant, St. Louis County, Missouri for a By the drink/Package Liquor License authorizing the sale of retail liquor on Sundays from **9:00 a.m. to Midnight** for the period beginning July 1, 2021, and expiring June 30, 2022, on the above described premises and agrees that if the license herein applied for is granted, and the licensee shall violate any provisions of the State Liquor Control Act or of the Florissant City Code and particularly any provision of Chapter 600 of the Florissant City Code pertaining to alcoholic beverages or permit any other person to do so upon the licensed premises, the City Council, by a majority vote, may suspend or revoke such license.

1) I/WE presently hold License No. \_\_\_\_\_ authorizing the sale of retail liquor by the drink/package in Florissant for premises described in this application.

STATE OF MISSOURI ) SS  
COUNTY OF ST. LOUIS )

Rasheed Ali, of lawful age, being first duly sworn upon \_\_\_\_\_  
(Individual or Managing Officer)

Deposes and states that he/she is the (applicant) (the managing officer of the corporation or partnership seeing the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations, and rules adopted by the City relation to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.

Rasheed Ali  
Signature of Individual or Managing Officer

Subscribed and sworn to before me this 3rd day of Aug, 2022

[Signature]  
Notary Public

My Commission Expires: 12/07/2024



**APPLICATION MUST BE SWORN TO BEFORE A PUBLIC NOTARY.**



## No Match Notification

A statewide search of the identifiers below has revealed no criminal conviction or sex offender information on file. Fingerprints were not provided and thus the result of the search cannot be guaranteed.

Date of Search: 08/24/2022

Name (1): RASHEED ALI

Name (2):

Name (3):

Date Of Birth: 03/20/1984

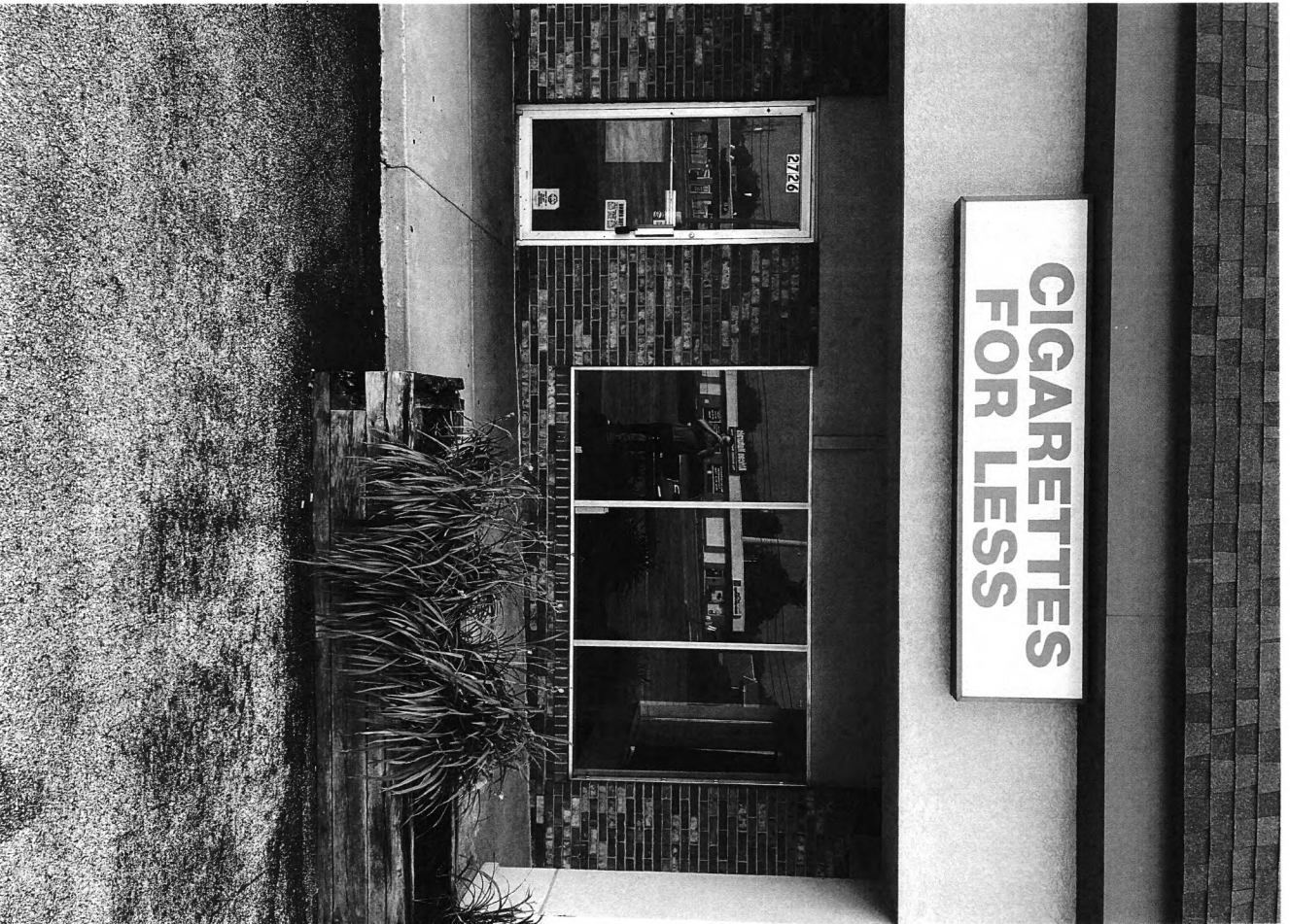
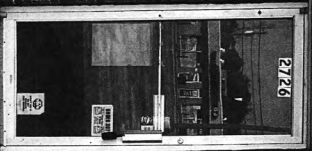
SSN: xxx-xx-7216

Control Number: 6086837

If you have any questions, please do not hesitate to contact our office at 573-526-6153.

Missouri State Highway Patrol  
Criminal Justice Information Services Division  
PO BOX 9500  
Jefferson City, MO 65102

**CIGARETTES  
FOR LESS**





COLLECTOR OF REVENUE  
41 S CENTRAL AVE  
ST LOUIS MO 63105  
(314) 615-5500

ST LOUIS COUNTY, MISSOURI  
PERSONAL PROPERTY TAX BILL

ADJUSTED  
07/18/2022

TAX YEAR  
2015

ACCOUNT NUMBER I00483583

TAXING NAME ALI RASHEED H  
LOCATION 6813 CULPEPPER CT

PIN  
SCHOOL/SUB 139Z

Taxes are based on ownership on January 1 of tax year, and become delinquent at 12:00 midnight December 31.  
A paid tax receipt for previous year(s) is needed to license or renew registration on any motor vehicle.

ALI RASHEED H  
631 FOXTAIL DR  
FLORISSANT MO 63034

ASSESSED VALUE	TYPE	TAX RATE	SPECIAL ASSESSMENTS
6.550	PERSONAL	10.9487	
MO law 139.100, 52.290 mandates the assessment of interest of 2% per month or any part thereof, plus a 2% penalty for all taxes unpaid by 12 midnight December 31 of tax year.			
In compliance with State statute 139.100 payments by mail require "postmark" by United States Postal Service on or before December 31.			
TAX AMOUNTS			
TOTAL DUE \$0.00			

TAX DISTRIBUTION	

Pay taxes online at: <https://stlouiscountymo.gov> by authorizing direct debit to your checking/savings account or by credit card. Credit card payments can also be made by calling 1-877-309-9306. A "convenience fee" may apply.

TEAR HERE. REMIT PAYMENT WITH LOWER PORTION OF THIS TAX BILL. NO TAPE, NO STAPLES.

ACCOUNT NUMBER	SCHOOL/SUB	CITY CODE	SITE CODE	REG	ST LOUIS COUNTY, MISSOURI PERSONAL PROPERTY TAX BILL	ADJUSTED 07/18/2022	TAX YEAR 2015
I00483583	139Z	000	0095	REG			
VALUATION	TYPE	RATE PER \$100	CURRENT TAX	INTEREST	PENALTIES	TOTAL FEES	PIN
6.550	PERSONAL	10.9487	0.00	0.00	0.00	0.00	
PAY THIS AMOUNT \$0.00							

PRINT  
MAILING  
ADDRESS  
CHANGE

ALI RASHEED H  
631 FOXTAIL DR  
FLORISSANT MO 63034

Make checks payable to: COLLECTOR OF REVENUE

	DESCRIPTION OF PROPERTY	VEHICLE FEE	VALUATION
039995	A 04 MERC	GRAND MARQ	730
369572	A 12 CHEV	IMPALA	2,910
369572	A 12 CHEV	IMPALA	2,910

ALI RASHEED H  
6813 CULPEPPER CT

NO TAXES DUE FOR CURRENT YEAR





July 11  
6:46 PM

All Photos



**John R. Ashcroft**

Missouri Secretary of State

## Check Your Voter Registration

Yes, Rasheed Ali is registered at 631 FOXTAIL  
DR FLORISSANT, 63034

Your precinct is LC.LC.025. To view your polling  
place and a listing of candidates and issues on  
the next ballot, please visit our Voter Outreach  
Portal

[sos.mo.gov](http://sos.mo.gov)  
Internet Privacy Policy  
Bid Opportunities  
Proposed Rules  
Show It 2 Vote  
Missouri State Government  
Employment  
Directions  
Site Map  
Employee Access

**Contact Us:**  
600 West Main Street  
Jefferson City, MO 65101  
Main Office: (573) 751-4936  
[Info@sos.mo.gov](mailto:Info@sos.mo.gov)  
**Branch Offices**





# State of Missouri

John R. Ashcroft, Secretary of State

Corporations Division

PO Box 778 / 600 W. Main St., Rm. 322

Jefferson City, MO 65102

001644134

Date Filed: 7/6/2022

John R. Ashcroft

Missouri Secretary of State

## Articles of Incorporation

### Article One

The name of the corporation is: BIG DADDY'S LIQUOR & CONVENIENCE Inc

### Article Two

The registered agent's name is: LEGALCORP SOLUTIONS, INC

The address, including street and number for the registered agent's office in the state of Missouri is:

*(PO Box may only be used in addition to a physical street address)*

12747 OLIVE BLVD STE 300

*Street Address*

SAINT LOUIS

*City*

MO 63141

*State/Zip*

### Article Three

*(Must complete 1 or 2)*

1. If the aggregate number of shares in which the corporation shall have authority to issue DOES NOT exceed 30,000 shares or the par valued DOES NOT exceed \$30,000 please check this box: ☒

or

2. If the aggregate number of shares in which the corporation shall have authority to issue exceeds 30,000 shares or the par value exceeds \$30,000 dollars please indicate the number of shares of each class and the par value of each share. Also, indicate a statement of the preferences, qualifications, limitations, restrictions and the special or relative rights including convertible right, is any, in respect of the share of each class:

### Article Four

The name and physical business or residence address of each incorporator:

Name	Address	City/State/Zip
<u>Becerra, Sonia</u>	<u>3 Greenway Plz Ste 1320</u>	<u>Houston TX 77046-0305</u>

*(Please see next page)*

Name and address to return filed document:

Name: Swyft Filings

Address: Email: filings@swyftfilings.com

City, State, and Zip Code: \_\_\_\_\_



**Article Five**

The date the corporation is to continue or perpetual: (Please select one)

☒ Perpetual (*check box*)

or State number of years \_\_\_\_\_

**Article Six**

The corporation is formed for the following lawful purpose(s):

Snacks sodas beer liquor juice cigarettes

**Article Seven**

☒ The number of directors to constitute the board of directors: 1 (optional)

The effective date of this document is the date it is filed by the Secretary of State of Missouri unless a future date is otherwise indicated:

\_\_\_\_\_  
(Date may not be more than 90 days after the filing date in this office)

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

Sonia Becerra

*Signature of Incorporator(s)*

SONIA BECERRA

*Printed or Typed Name of Incorporator*

07/06/2022

*Date of Signature*

# STATE OF MISSOURI



**John R. Ashcroft**  
**Secretary of State**

## CERTIFICATE OF INCORPORATION

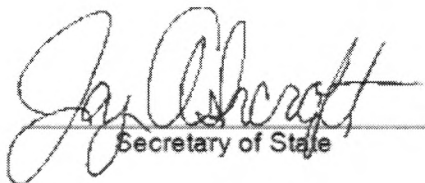
WHEREAS, Articles of Incorporation of

***BIG DADDY'S LIQUOR & CONVENIENCE Inc***  
***001644134***

have been received and filed in the Office of the Secretary of State, which Articles, in all respects, comply with the requirements of General and Business Corporation Law.

NOW, THEREFORE, I, JOHN R. ASHCROFT, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do hereby certify and declare this entity a body corporate, duly organized this date and that it is entitled to all rights and privileges granted corporations organized under the General and Business Corporation Law.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, this 6th day of July, 2022.

  
Secretary of State



## TRANSFER OF SPECIAL PERMIT

AUTHORIZED BY ORDINANCE NUMBER (S) Existing - NON Conforming

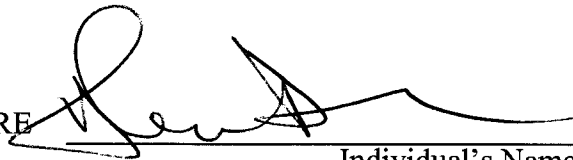
FROM Convenience One Corp d/b/a Convenience One  
TO United Mart Inc. DBA Convenience One  
FOR Liquor Store  
ADDRESS 22 Patterson Plz Florissant, MO 63031  
Ward 4 Zoning \_\_\_\_\_ Date Filed \_\_\_\_\_ Accepted By \_\_\_\_\_

### TRANSFER OF SPECIAL USE PERMIT PETITION

TO THE CITY COUNCIL OF THE CITY OF FLORISSANT:

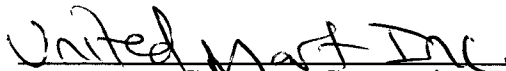
1. Comes now Haiter Abdeljabbar and states to the City Council that he (she) (they) has (have) the following legal interest in the property located at 22 Patterson Plz in the City of Florissant, Missouri. Legal interest: ☒ Lease or ☐ Simple Title  
(Attach signed copy of lease or deed)
2. The petitioner(s) further state that he (she) (they) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly to any official, employee, or appointee of the City of Florissant, with respect to this petition.
3. The applicant will operate the business in the same manner and under the same conditions as set out in the original ordinance granting the special permit or any amendments thereto, except for any proposed change in sign face of an authorized sign.

PETITIONER SIGNATURE



Individual's Name

FOR:



Company, Corporation, Partnership

4. I (we) hereby certify that (indicate **one only**):

( ) I (we) have a legal interest in the above described property.

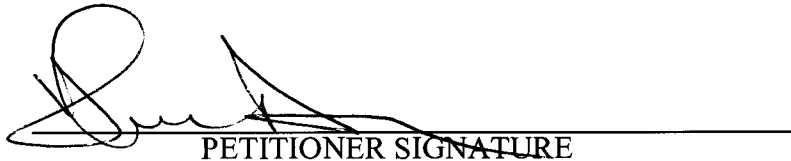
( ) I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE

ADDRESS

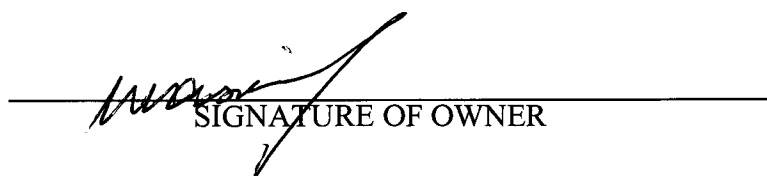
Telephone No. 314-458-7958 Email address Njabbar733@aol.com

I (we) the petitioner(s) do hereby appoint \_\_\_\_\_ as my (our) duly authorized agent to represent me (us) in regard to this petition.

  
PETITIONER SIGNATURE

**Note:** Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of owner to Transfer Special Permit Petition.

  
SIGNATURE OF OWNER

**Information sheet to be attached to all requests for Transfer of Special Permit**

Type of Operation: (Select One)

Individual ☐

Partnership ☐

Corporation ☒

LLC ☐

**INDIVIDUAL:**

Name & address \_\_\_\_\_

Telephone number & email address \_\_\_\_\_

Business name/address/phone \_\_\_\_\_

Copy of fictitious name registration, if applicable \_\_\_\_\_

**PARTNERSHIP:**

Name & address of partner (s) \_\_\_\_\_

Telephone number(s) and email address (s) \_\_\_\_\_

Business name/ address /phone \_\_\_\_\_

Copy of fictitious name registration, if applicable \_\_\_\_\_

**CORPORATION OR LLC:**

Name & address of all corporate officers Hatnem Abdeljabbar

Telephone numbers & email addresses 314.458.7958

Business name/address/phone Convenience One

Photocopy of Corporation/LLC Articles and Certificate \_\_\_\_\_

Date of incorporation/LLC \_\_\_\_\_

Copy of fictitious name registration, if applicable

Copy of latest Missouri Anti-Trust affidavit (annual registration of corporate officers)

## TRANSFER OF SPECIAL USE PERMIT

The undersigned hereby acknowledges receipt of a copy of Ordinance

Number EXISTING NON-CONFORMING which authorized a Special Permit:

TO: United Mart Inc. DBA CONV. ONE

FOR: LIQUOR STORE

and agree to the terms and conditions listed in said ordinance and to any additional term and conditions that the City Council shall deem appropriate.

Haithem Abdeljabbar

PRINT - NAME OF APPLICANT

[Signature]

SIGNATURE OF APPLICANT

1 INTRODUCED BY COUNCILMAN MULCAHY  
2 SEPTEMBER 6TH, 2022

3  
4 BILL NO. 9815

ORDINANCE NO.

5  
6 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO**  
7 **PRINCETON DEW D/B/A 2.0 RESTAURANT TO ALLOW FOR A SIT-**  
8 **DOWN, CARRY-OUT RESTAURANT LOCATED AT 462 N. HIGHWAY**  
9 **67.**

10  
11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
12 Florissant, by Special Permit, after public hearing thereon, to permit the location and operation  
13 of a restaurant in the City of Florissant; and

14 WHEREAS, an application has been filed by Princeton Dew to allow for the operation of  
15 a sit-down, carry-out, restaurant located at 462 N. Highway 67, and

16 WHEREAS, the Planning and Zoning Commission at their meeting on August 1st, 2022,  
17 recommended that a Special Permit be granted; and

18 WHEREAS, due notice of public hearing no. 22-08-020 on said application to be held on  
19 the 22<sup>nd</sup> day of August, 2022 at 7:00 P.M. by the Council of the City of Florissant was duly  
20 published, held and concluded; and

21 WHEREAS, the Council, following said public hearing, and after due and careful  
22 consideration, has concluded that the issuance of a Special Permit for a sit-down, carry-out,  
23 restaurant would be in the best interest of the City of Florissant.

24  
25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

27  
28 Section I: A Special Use Permit is hereby granted to Princeton Dew d/b/a 2.0 Restaurant  
29 to allow for the operation of a sit-down, carry-out, restaurant located 462 N. Highway 67 as  
30 shown on plans attached: DWG.1 dated 6/30/2022 by Deru & Associates, subject to the  
31 conditions set forth below with these conditions being part of the record:

32 a. There shall be no tinting of the windows or obstruction preventing clear sight  
33 into the business from the parking lot or sidewalk; and

34 b. A security camera shall be installed to record activities indoor and outdoor, and  
35 the video footage shall be available to the police department within 24 hours of  
36 the request and shall be retained for a minimum of 10 days; and

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

Joseph Eagan  
President of the Council

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

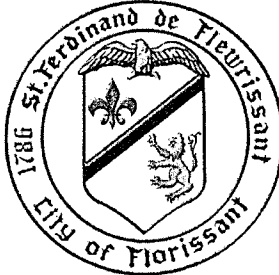
Timothy J. Lowery  
Mayor, City of Florissant

ATTEST:\_\_\_\_\_

Karen Goodwin, MPPA/MMC/MRCC  
City Clerk



**SPECIAL USE PERMIT APPLICATION  
TO THE CITY OF FLORISSANT  
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works  
314-839-7648

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

**PLANNING & ZONING ACTION  
RECOMMENDED APPROVAL  
PLANNING & ZONING  
CHAIRMAN**

Council Ward 9 Zoning \_\_\_\_\_

Initial Date Petitioner Filed 6/21/2022  
Building Commissioner to complete  
ward, zone & date filed

SIGN. [Signature]

DATE: 8-1-2022

SPECIAL PERMIT FOR 2.0 Restaurant and Bar

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #-\_\_\_\_\_ TO ALLOW FOR \_\_\_\_\_  
ordinance # Statement of what the amendment is for.

LOCATION 462 N Hwy 67, Florissant, MO 63031  
Address of property.

1) Comes Now Princeton Dew DBA 2.0 Restaurant and Bar  
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Lease  
State legal interest in the property. (i.e., owner of property, lease).  
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for N/A  
and that the deed restrictions for the property do not prohibit the use which  
would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:  
(If more space is needed, separate sheets maybe attached)

Princeton Dew / pdew03@yahoo.com

PRINT NAME SIGNATURE email and phone

FOR 2.0 Restaurant and Bar

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE \_\_\_\_\_

ADDRESS 801 Rue St Francois, Suite C, Florissant, MO 63031  
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL Deru and Associates / 314-574-5770  
BUSINESS

I (we) the petitioner (s) do hereby appoint Jerome Logan as  
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner authorizing an agent

**NOTE:** When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

## REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).  
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:  
Individual ☒ Partnership \_\_\_\_\_ Corporation \_\_\_\_\_

(a) If an individual:

- (1) Name and Address Princeton Dew  
(2) Telephone Number 3143565075  
(3) Business Address 7817 Laurel Flats Drive, Caseyville, IL 62232  
(4) Date started in business March 1, 2022  
(5) Name in which business is operated if different from (1) N/A  
(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners \_\_\_\_\_  
(2) Telephone numbers \_\_\_\_\_  
(3) Business address \_\_\_\_\_  
(4) Name under which business is operated \_\_\_\_\_  
(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners \_\_\_\_\_  
(2) Telephone numbers \_\_\_\_\_  
(3) Business address \_\_\_\_\_  
(4) State of Incorporation & a photocopy of incorporation papers \_\_\_\_\_  
(5) Date of Incorporation \_\_\_\_\_  
(6) Missouri Corporate Number \_\_\_\_\_  
(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. \_\_\_\_\_  
(8) Name in which business is operated \_\_\_\_\_  
(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name \_\_\_\_\_

Address \_\_\_\_\_

Property Owner \_\_\_\_\_

Location of property \_\_\_\_\_

Dimensions of property \_\_\_\_\_

Property is presently zoned \_\_\_\_\_ Requests Rezoning To \_\_\_\_\_

Proposed Use of Property \_\_\_\_\_

Type of Sign \_\_\_\_\_ Height \_\_\_\_\_

Type of Construction \_\_\_\_\_ Number Of Stories \_\_\_\_\_

Square Footage of Building \_\_\_\_\_ Number of Curb Cuts \_\_\_\_\_

Number of Parking Spaces \_\_\_\_\_ Sidewalk Length \_\_\_\_\_

Landscaping: No. of Trees \_\_\_\_\_ Diameter \_\_\_\_\_

No. of Shrubs \_\_\_\_\_ Size \_\_\_\_\_

Fence: Type \_\_\_\_\_ Length \_\_\_\_\_ Height \_\_\_\_\_

**PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS  
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

**PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION**

Provide a drawing of a location map showing the nearest major intersection.

---

---

**OFFICE USE ONLY**

Date Application reviewed \_\_\_\_\_

STAFF REMARKS: \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_  
Building Commissioner or Staff Signature

# **CITY OF FLORISSANT**

## **Public Hearing**



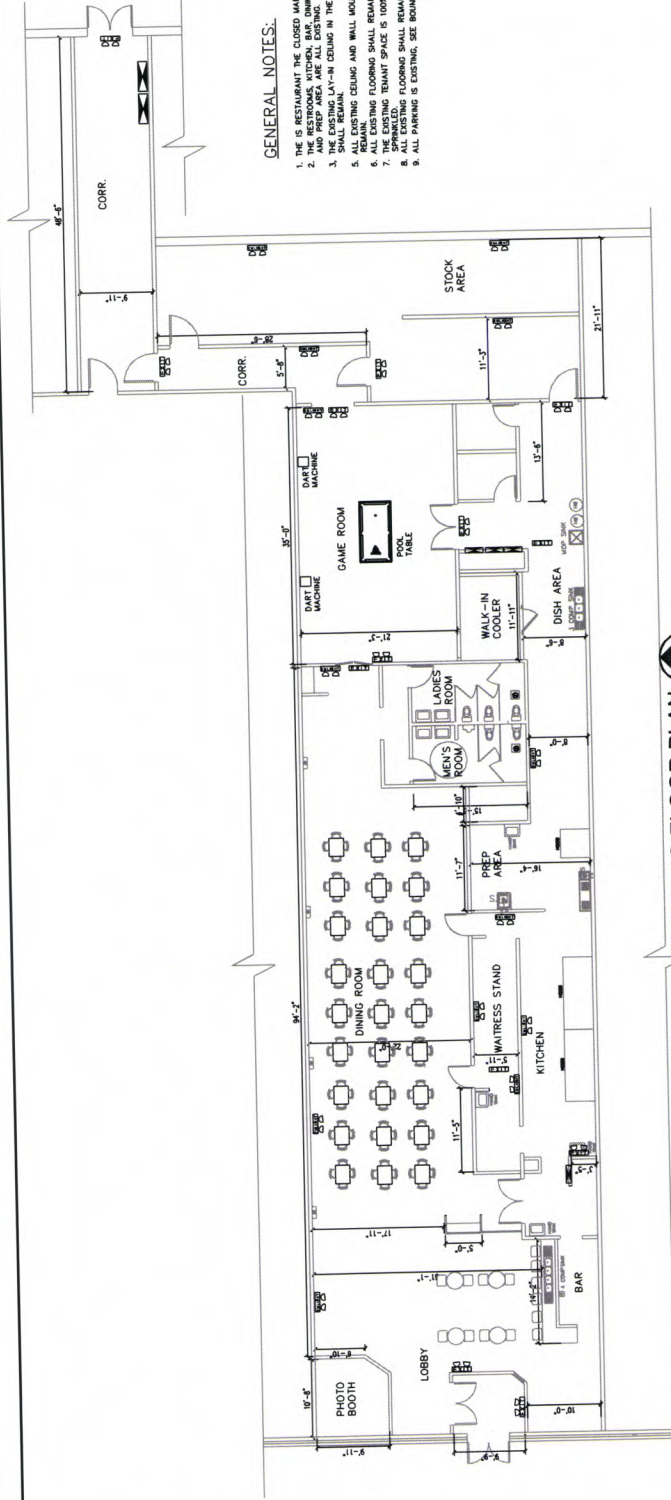
**In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, August 22, 2022 at 7:00 p.m. on the following proposition:**

**To authorize a Special Use Permit to allow for a sit-down, carry-out restaurant in a 'B-3' Extensive Business District located at 462 N Hwy 67 (2.0 Restaurant and Bar). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email [kgoodwin@florissantmo.com](mailto:kgoodwin@florissantmo.com).**

**CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk**

GENERAL NOTES:

1. THE RESTAURANT THE CLOSED MARCH OF THIS YEAR.
2. RESTROOMS, KITCHEN, BAR, DINING AREA, DISH AREA AND PREP AREA ARE ALL EXISTING.
3. THE EXISTING LAY-IN CEILING IN THE DINING AND KITCHEN SHALL REMAIN.
5. ALL EXISTING CEILING AND WALL MOUNTED LIGHTING SHALL REMAIN.
6. ALL EXISTING FLOORING SHALL REMAIN.
7. THE EXISTING TENANT SPACE IS 100% SPRINKLED.
8. ALL EXISTING FLOORING SHALL REMAIN.
9. ALL PARKING IS EXISTING. SEE BOUNDARY SURVEY.



**EXISTING FLOOR PLAN**  
SCALE: 1/8" = 1'  
NORTH



#### SITE IMAGE



## EFFECTIVE OCTOBER 29, 2013



NORTH
EAST
SOUTH
WEST
RIGHT-OF-WAY
ACRES
SQUARE FEET
CENTERLINE
PLATTED LOT NUMBER/LETTER

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM OBSERVED FIELD SURVEY INFORMATION. THE SURVEY MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. ALTHOUGH IT DOES CERTIFY THAT THEY ARE LOCATED AS POSSIBLY AS INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

[illegible]

3. EXISTING LAND USE: DEPARTMENT STORE, RETAIL
4. BUILDING SET-POINT LINES:  
A. MAXIMUM HEIGHT OF STORES: MAXIMUM 40 FEET, 3 STORIES  
B. EXISTING BUILDING HEIGHT OR STORES: 16 FEET, 1 STORY, PERS. SURVEY
4. DENSITY:  
A. BUILDING DENSITY FORMULA: NONE SPECIFIED
5. PARKING:  
A. PARKING SPACE FORMULA: 5 PERS. 1,000 SQUARE FEET OF GROSS FLOOR AREA (67,782 / 1,000 = 67.78) = 439 SPACES  
B. PARKING SPACES REQUIRED: 439 TOTAL PARKING SPACES

ITEM 14: TERMS AND PROVISIONS OF THE LONG-TERM LEASE BY AND BETWEEN CHINA NATIONAL LIFE INSURANCE COMPANY, AN INSURANCE COMPANY (LANDLORD) AND MERRILL FOODS, INC., A MASSACHUSETTS CORPORATION, D/B/A SAGE A LOT, LTD. (TENANT) FOR THE ITEMS THEREIN DEFINED, AS EVIDENCED BY THE MEMORANDUM OF LEASE DATED OCTOBER 25, 2005 AND RECORD NO. 2012-017 IN BOOK 2012 PAGE 1002, 2005-049545 TO AFFECT THE SUBJECT SITE, BUT IS

13. THE SUBJECT SITE HAS PHYSICAL DIRECT ACCESS TO UNDERGROUND STORAGE TANKS (USTS) LOCATED ALONG THE WEST SIDE OF THE INTERSECTION OF MASSACHUSETTS STATE ROUTE 140 OR U.S. HIGHWAY 67) AND WASHINGTON STREET (CARBORNER ROAD), WHICH ARE PUBLIC RIGHT-OF-WAYS.

14. THE SURVEYOR HAS NOT BEEN FURNISHED ANY INFORMATION REGARDING THE DETERMINATION OF THE RELATIONSHIP AND LOCATION OF CERTAIN DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES.

(D) APPARENT ADJOINER'S ASPHALT CURB LET'S NORTHWESTERLY OF THE  
SOUTHWEST DEED LINE BY NO MORE THAN 6.7'.  
(E) APPARENT ADJOINER'S ASPHALT CURB LET'S SOUTHWESTERLY OF THE  
NORTHWEST DEED LINE BY NO MORE THAN 2.5'.  
(F) APPARENT ADJOINER'S BRICK SHED LET'S SOUTHWESTERLY OF THE  
NORTHWEST DEED LINE BY NO MORE THAN 1.5'.

NOTE: 2  
 PARCEL DIS-  
 POSITIONS APPEARING IN THIS LIST ARE RECORDED IN BOOK 50  
 PAGE 469 OF THE ST. LOUIS COUNTY RECORDS.  
 NOTE: BEING PARCELS IN THE CITY OF FARMERSBURG, COUNTY OF SAINT LOUIS.  
 NOTE: BEING PARCELS NOT SHOWN FOR FEDERAL FINANCIAL PURPOSES ONLY.  
 NOTE: THE RECORDS HAVE DECEASED, THE SALE PROPERTY RECORDED IN SCHEDULE A OF FIRST MARRIAGE FILE  
 RECORDED COUNTY CLERK FOR THE RECORDS IN MARY-ANNE STREET, OCTOBER 29, 2011

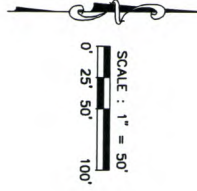
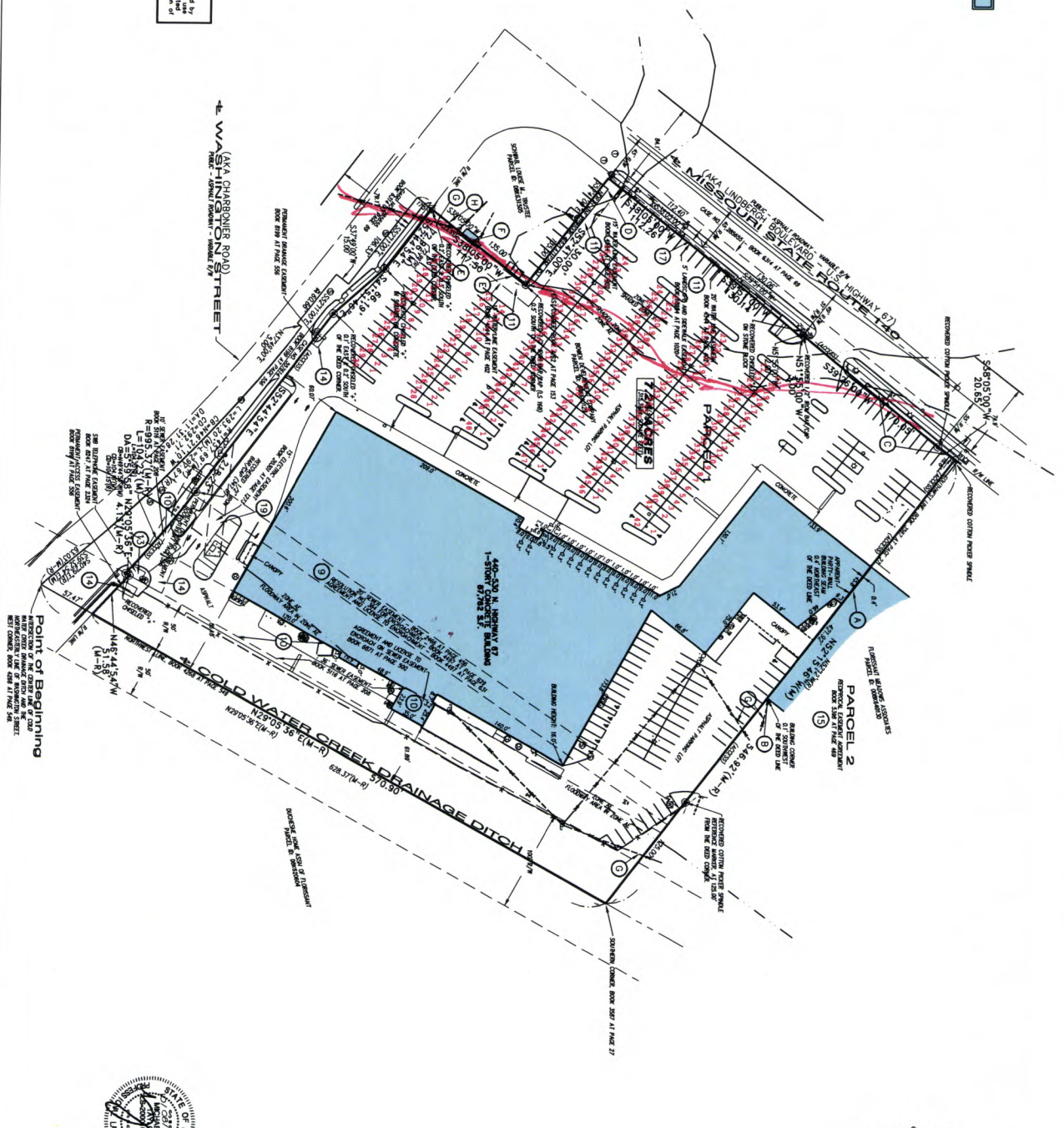
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# Legend of Symbols & Abbreviations

①	20' SQUARE MANHOLE (AS NOTED)
②	18" DIA. MANHOLE (AS NOTED)
③	15" DIA. MANHOLE (AS NOTED)
④	12" DIA. MANHOLE (AS NOTED)
⑤	10" DIA. MANHOLE (AS NOTED)
⑥	8" DIA. MANHOLE (AS NOTED)
⑦	6" DIA. MANHOLE (AS NOTED)
⑧	4" DIA. MANHOLE (AS NOTED)
⑨	3" DIA. MANHOLE (AS NOTED)
⑩	2" DIA. MANHOLE (AS NOTED)
⑪	1" DIA. MANHOLE (AS NOTED)
⑫	1/2" DIA. MANHOLE (AS NOTED)
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⑮	1/16" DIA. MANHOLE (AS NOTED)
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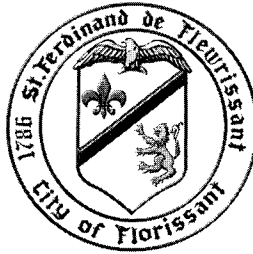
SHEET 1 OF 2



**Bock & Clark's National Surveyors Network**  
National Coordinators of ALTA/ACSM Land Title Surveys  
537 North Cleveland-Massillon Road Akron, Ohio 44333  
Phone: (800) SURVEYS, Fax: (330) 666-3608 www.1800surveys.com

1

## MEMORANDUM



2

3

### **CITY OF FLORISSANT- Building Division**

4 *"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant;*  
5 *while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

6

7 To: Planning and Zoning Commissioners Date: July 28, 2022

8

9 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,  
10 Director Public Works  
11 Deputy City Clerk  
12 Applicant  
13 File  
14

15 Subject: **Request recommended approval** of a New Special Use to allow for a sit  
16 down, carry out restaurant 2.0 Restaurant and Bar located at (formerly Cannoli's) in a 'B-3'  
17 Extensive Business District at **462 N Highway 67**.  
18  
19

20

## **STAFF REPORT**

### **CASE NUMBER PZ-080122-1**

21  
22

23

#### **I. PROJECT DESCRIPTION:**

24 This is a **Request recommended approval** of a New Special Use to allow for a sit down, carry  
25 out restaurant 2.0 Restaurant and Bar located at (formerly Cannoli's) in a 'B-3' Extensive  
26 Business District at **462 N Highway 67**. On 7/18/22 there was a referral from Council to  
27 determine if a transfer of Special Use Permit no. 5580 from Delor Distributing, Inc d/b/a  
28 Cannoli's Sicilian Cuisine to 2.0 Restaurant. The Planning and Zoning Commission  
29 determined that a Special Use Permit was in order.  
30

31

#### **II. EXISTING SITE CONDITIONS:**

32 The existing property at **462 N Highway 67** is an inactive restaurant property which  
33 operated under a Special Use, Ord. No. 5580 in an existing 'B-3' Planned Commercial  
34 District. The property is zoned 'B-3'.  
35

36 The subject property is an approximately a total of 5800 s.f.  
37

38 The shopping center was constructed in 1961 per county record and is 93,165 s.f. The  
39 previous tenant that vacated was a long standing business of specific operation and

character, with a private dining/meeting room and village like décor applied onto the north and south walls of the interior.

### **III. SURROUNDING PROPERTIES:**

The properties adjacent are located in a 'B-3' Extensive Business District to the north (Florissant Meadows SC) and to the south (Church's Chicken) and adjacent to the creek along the East.

### **IV. STAFF ANALYSIS:**

Applicant has submitted application for Special Use application 7/6/22 indicating Jerome Logan from DERU & Associates as agent, ALTA Survey from 2013 and DWG.1 dated 7/30/22 by DERU and Associates, sealed by Ramon Sarmiento, Architect, 7/25/22.

#### **Comments on submissions**

##### **ALTA Survey Comments:**

The survey shows 2013 conditions with last update of 12/30/2013 and a count of the parking spaces shown on the plan is 353. The petitioner reported existing spaces is 352 from his personal count. The shopping center size is listed on the survey as 87,762 s.f.

##### **Drawing DWG.1 Comments:**

Staff requested that the floor plan be shown with pertinent changes and that the s.f. of each tenant space be shown and parking calculations given to illustrate if there is compliance with the parking code with this petition for a restaurant.

##### **Parking Calculations**

The chart was obtained by the petitioner from the landlord rent roll. These s.f numbers are used generally to establish lease agreements and are also approximate and total 83,802 s.f. The number of Parking required for existing tenants is shown on the drawing 440 as compared to parking spaces provided 352 counted by the petitioner, a shortage of 88 spaces not including any spaces for the 3 vacant tenant spaces. The shortage of parking can result in denial of occupancy to the restaurant or the 3 vacant tenant spaces unless enough parking is created or recorded as shared for these spaces.

Parking calculated for proposed restaurant: DWG.1 calls for 43 parking, but should be 44. With the total number of chairs shown 122 this would represent 6 employees on the maximum shift. The plan also lists 181 occupants, which is not reflected on the plan, nor is it reflected in parking calculations, which would exacerbate the parking shortage. Petitioner has indicated that no more than 6 staff on the maximum shift would be working. Therefore, the correct parking required should be 44, not 43 and that is based upon 122 chairs, not 181 occupants which likely comes from the building code chapter 10, for max. occupant load determination during an emergency.

Calculations confirmed: Oak St Health and they have a storage room of 4165 s.f. within a total s.f. of 14,387 s.f., so that is about right per the parking code. Parking and occupant load

86  
87 Photos- there are photos of recent conditions after interior wall décor was removed,  
88 reported to staff as all but a false balcony in the proposed game room.

89  
90 The original room near the entry was formerly used as a Wine Room. This room is  
91 proposed to be a Photo Booth with cameras available for use by customers.

92  
93 The petitioner has acquired existing furnishings including round tables 2'-4" round and  
94 2'-8" square. The tables on the plan scale 2'-4" round and 2'-0"x 2'-4". The petitioner  
95 has arranged some of the tables to reflect the proposed plan of 3 rows x 9 rows of tables  
96 in the main dining area.

97  
98 The previous restaurant had a private dining room which is now proposed to be a Game  
99 Room, described as a diversion for family members while dining. A pool table and  
100 dartboards are shown. Other descriptions of activities within this room were discussed  
101 earlier.

102  
103  
104 **VI. STAFF RECOMMENDATIONS:**

105  
106 Since the parking lot is significantly short of required spaces, even with 3 vacancies, the  
107 Commission should consider a continuance until there is adequate off-street parking  
108 provided by way of a shared parking agreement approved by the City Attorney, per the  
109 zoning code. Reference parking calculations plan DWG.1 dated 7/30/22 by DERU and  
110 Associates. Recommended max. occupant load 130.

111  
112 **Suggested Motion:**

113 I move to continue the petition to \_\_\_\_\_ giving opportunity to the petitioner to  
114 satisfy parking requirements.

115  
116  
117  
118 (End of report and suggested motion)

1 INTRODUCED BY COUNCILMAN SIAM  
2 SEPTEMBER 6TH, 2022

3  
4 BILL NO. 9816

ORDINANCE NO.

5  
6 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO NGA**  
7 **INTERNATIONAL D/B/A AFRICAN NATURALS TO ALLOW FOR A CARRY-**  
8 **OUT RESTAURANT LOCATED AT 2715 N. HWY 67.**  
9

10 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of  
11 Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of a  
12 restaurant in the City of Florissant; and

13 WHEREAS, an application has been filed by NGA International d/b/a African Naturals to add a  
14 smoothie and juice bar to the existing business, and

15 WHEREAS, the Planning and Zoning Commission at their meeting on August 15th, 2022,  
16 recommended that a Special Permit be granted; and

17 WHEREAS, due notice of public hearing no. 22-09-021 on said application to be held on the 6<sup>th</sup>  
18 day of September, 2022 at 7:00 P.M. by the Council of the City of Florissant was duly published, held  
19 and concluded; and

20 WHEREAS, the Council, following said public hearing, and after due and careful consideration,  
21 has concluded that the issuance of a Special Permit for a sit-down, carry-out, restaurant would be in the  
22 best interest of the City of Florissant.

23  
24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF  
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:  
26

27 Section I: A Special Use Permit is hereby granted to allow for a bar area, carry-out restaurant for  
28 serving of smoothies, juices, and salads in a 'B-3' Zoning District, subject to the following stipulations:

- 29 1. The project shall be as shown on plans submitted, A-1, A-2, and A-3 21 by Anthony Duncan,  
30 Architect, dated 7/22/22 attached with no additional furnishings.  
31

32 Section 2: This ordinance shall become in force and effect immediately upon its passage and  
33 approval.  
34

35 Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2022.  
36

37 \_\_\_\_\_  
38 Joseph Eagan  
39 President of the Council

40 Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2022.  
41

42 \_\_\_\_\_  
43 Timothy J. Lowery  
44 Mayor, City of Florissant

45 ATTEST: \_\_\_\_\_  
46

47 \_\_\_\_\_  
48 Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

1 INTRODUCED BY COUNCILMAN CAPUTA  
2 SEPTEMBER 6<sup>TH</sup>, 2022  
3

4 BILL NO. 9817

ORDINANCE NO.

5 **ORDINANCE TO AUTHORIZE A TRANSFER OF AN EXISTING**  
6 **NONCONFORMING SPECIAL USE FROM CONVENIENCE ONE CORPORATION**  
7 **TO UNITED MART IN. D/B/A CONVENIENCE ONE FOR THE OPERATION OF A**  
8 **PACKAGE LIQUOR STORE LOCATED AT 22 PATTERSON PLAZA.**  
9

10 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of Florissant, by Special  
11 Use Permit, after public hearing thereon, to permit the location of a package liquor store; and

12 WHEREAS Convenience One Corporation d/b/a Convenience One is an existing non-conforming special  
13 use in a B-3 zoning district and requires a transfer for new ownership; and

14 WHEREAS United Mart Inc. has filed an application to transfer the existing non-conforming Special use  
15 Permit authorizing the location and operation of a package liquor store located at 22 Patterson Plaza to its name;  
16 and

17 WHEREAS, the City Council of the City of Florissant determined at its meeting on September 6th, 2022,  
18 that the business would be operated in substantially identical fashion as set out herein; and

19 WHEREAS, United Mart Inc. d/b/a Convenience One has accepted the terms and conditions as they  
20 apply to a special use permit for a package liquor store.

21 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT,**  
22 **ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

23 Section 1: The existing non-conforming Special Use Permit for a package liquor store is hereby  
24 transferred from Convenience One Corporation to United Mart In. d/b/a Convenience One for the operation of a  
25 Package Liquor store located at 22 Patterson Plaza.

26 Section 2: The Special Use Permit herein authorized shall terminate if the said business ceases operation  
27 for a period of more than one hundred and ninety (90) days.

28 Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.  
29

30 Adopted this \_\_\_\_ day of \_\_\_\_\_, 2022.

31 \_\_\_\_\_  
32 Joseph Eagan  
33 Council President

34 Approved this \_\_\_\_ day of \_\_\_\_\_, 2022.

35 \_\_\_\_\_  
36 Timothy J. Lowery  
37 Mayor, City of Florissant

38 ATTEST:

39 \_\_\_\_\_  
40 Karen Goodwin, MPPA/MMC/MRCC

41 City Clerk

1 INTRODUCED BY COUNCILMAN EAGAN  
2 SEPTEMBER 6TH, 2022  
3

4 BILL NO. 9818

ORDINANCE NO.

5  
6 **ORDINANCE TO AMEND CHAPTER 605 “BUSINESS REGULATIONS”**  
7 **ARTICLE XII “FEES GENERALLY” BY DELETING SECTION 605.347,**  
8 **SUBSECTION B, IN ITS ENTIRETY.**  
9

10 **Whereas** for clarification and consistency, the City Council feels it is in the best  
11 interest of the city to remove the recommended paragraph from the business  
12 regulations.  
13

14 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**  
15 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**  
16

17 Section 1: Chapter 605 “Business Regulations” Article XII “Fees Generally” section  
18 605.347, subsection B, is hereby amended by deleting it in its entirety.  
19

20 Section 2: This ordinance shall become in force and effect immediately upon its passage  
21 and approval.

22 Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2022.  
23  
24  
25

26 \_\_\_\_\_  
27 Joseph Eagan, Council President  
28

29 Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2022.  
30  
31

32 \_\_\_\_\_  
33 Timothy J. Lowery, Mayor  
34

35 ATTEST:

36 \_\_\_\_\_  
37 Karen Goodwin, MPPA/MMC/MRCC  
City Clerk

# FLORISSANT CITY COUNCIL

## AGENDA REQUEST FORM

Date: 8/30/22

Mayor's Approval:

Agenda Date Requested:

9/6/2022

Description of request:

Remove Section 605.347 (B) from the Municipal Code of the City of Florissant in order to clarify and be consistent with Business License fees.

Department:

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation	x	Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N
Public Hearing needed: Yes / No		3 readings? : Yes / No	N

Back up materials attached:

Minutes	
Maps	
Memo	x
Draft Ord.	

Back up materials needed:

Minutes	
Maps	
Memo	
Draft Ord.	

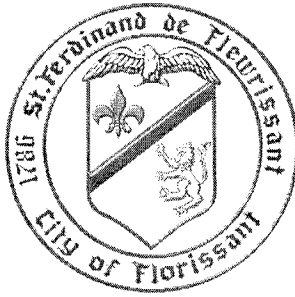
**Note:** Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: \_\_\_\_\_

PH Speaker: \_\_\_\_\_





Memo To: City Council

Date: August 30, 2022

Thru: Mayor Timothy Lowery

From: Kimberlee Johnson  
Director of Finance

Subject: Remove Section 605.347 (B) from the Municipal Code of the City of Florissant

To clarify and be consistent with Business License Fees, we request the following Section 605.347 (B) be removed:

“Any person engaged in the business of contracting may elect to pay an annual license fee based upon the number of employees as herein provided or to pay on the basis of gross receipts conducted within the City. The license for a new business shall be based on an estimate of regular employees or associated in such business during the calendar year.”

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Kimberlee Johnson", with a long, sweeping horizontal line extending to the right.

Kimberlee Johnson, Director of Finance

1 INTRODUCED BY COUNCILMAN EAGAN  
2 SEPTEMBER 6, 2022

3  
4 BILL NO. 9819

ORDINANCE NO.

5  
6  
7 **AN ORDINANCE AUTHORIZING A TRANSFER OF \$32,000 FROM**  
8 **CAPITAL IMPROVEMENT FUND ACCOUNT NO. 03-5-03-53000 "BRIDGE**  
9 **REPAIR TO ACCOUNT NO. 03-5-03-54000 "SIDEWALK REPLACEMENT".**

10  
11 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS  
12 COUNTY, MISSOURI, AS FOLLOWS:

13  
14 Section 1: There is hereby authorized a transfer of \$32,000 from Capital Improvement  
15 Fund account no. 03-5-03-53000 "Bridge Repair to Account no. 03-5-03-54000 "Sidewalk  
16 Replacement" to cover higher than forecasted bids on sidewalk repairs.

17 Section 2: This ordinance shall become in force and effect immediately upon its passage  
18 and approval.

19  
20  
21 Adopted this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

22  
23  
24 \_\_\_\_\_  
25 Joseph Eagan  
26 President of the Council  
27 City of Florissant  
28

29  
30 Approved this \_\_\_\_\_ day of \_\_\_\_\_, 2022.

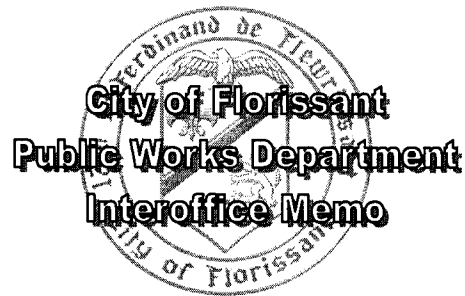
31  
32  
33 \_\_\_\_\_  
34 Timothy J. Lowery  
35 Mayor, City of Florissant

36 ATTEST:

37  
38 \_\_\_\_\_  
39 Karen Goodwin, MPPA/MMC/MRCC  
40 City Clerk

# FLORISSANT CITY COUNCIL AGENDA REQUEST FORM

8/29/2022		<b>Mayor's Approval:</b>																																					
Agenda Date Requested: 9/6/2022																																							
Description of request: Budget Transfer Sidewalk Repair																																							
Transfer of Funds from																																							
(See Attached Memo)																																							
Department: Public Works																																							
Recommending Board or Commission: N/A																																							
Type of request:	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px;"><b>Ordinances</b></td> <td style="padding: 2px; text-align: center;"><b>X</b></td> <td style="padding: 2px;"><b>Other</b></td> <td style="padding: 2px;"></td> </tr> <tr> <td style="padding: 2px;">Appropriation</td> <td style="padding: 2px;"></td> <td style="padding: 2px;">Liquor License</td> <td style="padding: 2px;"></td> </tr> <tr> <td style="padding: 2px;">Transfer</td> <td style="padding: 2px; text-align: center;"><b>X</b></td> <td style="padding: 2px;">Hotel License</td> <td style="padding: 2px;"></td> </tr> <tr> <td style="padding: 2px;">Zoning Amendment</td> <td style="padding: 2px;"></td> <td style="padding: 2px;">Special Presentations</td> <td style="padding: 2px;"></td> </tr> <tr> <td style="padding: 2px;">Amendment</td> <td style="padding: 2px;"></td> <td style="padding: 2px;">Resolution</td> <td style="padding: 2px;"></td> </tr> <tr> <td style="padding: 2px;">Special Use Transfer</td> <td style="padding: 2px;"></td> <td style="padding: 2px;">Proclamation</td> <td style="padding: 2px;"></td> </tr> <tr> <td style="padding: 2px;">Special Use</td> <td style="padding: 2px;"></td> <td style="padding: 2px;">Subdivision</td> <td style="padding: 2px;"></td> </tr> <tr> <td style="padding: 2px;">Budget Amendment</td> <td style="padding: 2px;"></td> <td style="padding: 2px;"></td> <td style="padding: 2px;"></td> </tr> <tr> <td style="padding: 2px;"></td> <td style="padding: 2px; text-align: center;">Y/N</td> <td style="padding: 2px;"></td> <td style="padding: 2px; text-align: center;">Y/N</td> </tr> </table>			<b>Ordinances</b>	<b>X</b>	<b>Other</b>		Appropriation		Liquor License		Transfer	<b>X</b>	Hotel License		Zoning Amendment		Special Presentations		Amendment		Resolution		Special Use Transfer		Proclamation		Special Use		Subdivision		Budget Amendment					Y/N		Y/N
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Memo To: City Council

Date: August 26, 2022

Thru: Mayor Timothy J. Lowery

From: Todd M. Hughes, P.E.  
Director of Public Works and Health

Copy: Kimberlee Johnson

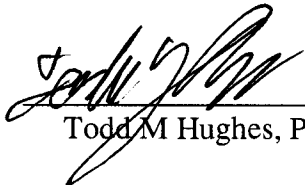
Subject: **Budget Transfer for Sidewalk Maintenance – Capital Improvement Fund**

Due to higher than forecasted bids for sidewalk repairs the fund needs more money to cover repair costs.

**Therefore, I respectfully request that \$32,000 be transferred from Capitol Improvement Fund Account 03-5-03-53000 – Bridge Repair be transferred to Capitol Improvement Fund Account 03-5-03-54000 Sidewalk Replacement.**

Thank you in advance.

Respectfully submitted,

  
\_\_\_\_\_  
Todd M Hughes, P.E.