



FLORISSANT CITY COUNCIL AGENDA
City Hall
955 rue St. Francois
Monday, April 11, 2022
7:00 PM
Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- City Council Meeting minutes of March 28, 2022

IV. SPECIAL PRESENTATION

- Introduction of the 2 new K-9's and their handlers.
 - Officer Chris Daub and K-9 Huk
 - Officer Matt Schaeffler and K-9 Tito

V. PROCLAMATION

- Hawthorn Players 75 years

VI. HEARING FROM CITIZENS

VII. COMMUNICATIONS

VIII. PUBLIC HEARINGS

22-03-008 (Ward 7) Application Staff Rept Plans	Request to approve a Special Use Permit within a B-5 "Planned Commercial District" to allow for a new restaurant located at 6 Grandview Plaza Shopping Center. (Postponed to this date on 3/28/22)	Jerdo Dennis
22-04-010 (Ward 9) Application Staff Rpt Plans	Request to amend an existing Special Use to allow for a building addition in a B-3 "Extensive Business District" located at 1779 N. Hwy 67.	Michael Moehlenkamp

IX. OLD BUSINESS

A. BILLS FOR SECOND READING

9762	Ordinance to amend ordinance no. 8734 to allow for changes to the exterior material in a B-5 Planned commercial district located at 2925 N. Highway 67.	Siam
9767	Ordinance authorizing an amendment to Chapter 120 “Boards, Commissions and Committees” by deleting Article XIV “Economic Development Commission”	Schildroth
9768 Memo	Ordinance authorizing an appropriation of \$65,000 from the General Revenue Fund to Account no. 09-5-09-29440 “Building and Maintenance – JJE” for additional yearly expenses at the James J. Eagan Center.	Schildroth

X. NEW BUSINESS

A. BOARD APPOINTMENTS

B. REQUESTS

SPU Xfr (Ward4) Application	Request to transfer Special Use Permit no. 8437 from Just 1 Taste Catering to Lee’s Kitchen & Catering for the operation of restaurant located at 17 & 18 Patterson Plaza Shopping Center.	Keith Lee
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C. BILLS FOR FIRST READING

9766	Ordinance to approve a Special Use Permit within a B-5 “Planned Commercial District” to allow for a new restaurant located at 6 Grandview Plaza Shopping Center.	Pagano
9769	Ordinance authorizing an amendment to an existing Special Use to allow for a building addition in a B-3 “Extensive Business District” located at 1779 N. Hwy 67.	Siam
9770	Ordinance authorizing a transfer of Special Use Permit no. 8437 from Just 1 Taste Catering t Lee’s Kitchen & Catering for the operation of restaurant located at 17 & 18 Patterson Plaza Shopping Center.	Caputa

XI. COUNCIL ANNOUNCEMENTS

XII. MESSAGE FROM THE MAYOR

XIII. ADJOURNMENT

THIS AGENDA WAS POSTED ON THE BULLETIN BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON APRIL 8, 2022 BY 12:00 PM.

ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, APRIL 11, 2022.

CITY OF FLORISSANT



COUNCIL MINUTES

March 28, 2022

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, March 28, 2022 at 7:00 p.m. with Council President Schildroth presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Mulcahy, Pagano, Parson, Siam, Harris, Manganelli, Eagan, Caputa, and Schildroth. Also present was Mayor Timothy Lowery, Deputy City Clerk Savanna Burton, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Schildroth moved to approve the City Council Minutes of March 14, 2022, seconded by Eagan. Motion carried.

The next item on the Agenda was *Special Presentations*.

Deputy City Clerk Savanna Burton was presented with a Certificate of Recognition from the Missouri City Clerks and Finance Officers Eastern Division Public Relations Committee for achieving the status of Missouri Registered City Clerk. Ms. Burton thanked the Council for their support of education and supporting her during employment.

The next item on the Agenda was *Resolutions*.

The Council as a whole introduce Resolution 1039 "Resolution of Florissant City Council and Mayor acknowledging and thanking Cannoli's for 28 years of dedication and service to the community". Councilman Mulcahy made a motion for a second reading, seconded by Eagan. Motion carried, Resolution 1039 was read for a second time. Councilman Eagan made a motion for a third reading, seconded by Mulcahy.

On roll call the Council voted: Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes, and Schildroth yes. Motion carried, Resolution 1039 was read for a third time. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes, and Schildroth yes. Motion carried, Resolution 1039 was passed. The City Clerk read the resolution in its entirety.

31 Mayor Lowery and Councilman Eagan thanked the Freesmeier family for their service to the
32 community and making them all feel like family. Councilman Eagan noted he was happy about their next
33 chapter and wished them well.

34 The next item on the Agenda was *Commendations*.

- 35 • Detective Sergeant Tony Mocca, Detective Dominic Margherio, and Detective Jeff Spalding
- 36 • Detective Sergeant Tony Mocca, Detective Sergeant Joe Monahan, Detective Joe Brockmeier,
37 Detective Dan Fletcher, Detective Dustin Chandler, Detective Dominic Margherio, Detective Jeff
38 Spalding, Detective Steve Beekman, and Detective Jodie Chapie
- 39 • Ice Rink Manager Courtney Neisler and Lifeguards Kevin Garrett and Quentin Milosevich
- 40 • Officer Raymond Hicks and Officer Brett Bowling.

41 The next item on the Agenda was *Hearing from Citizens*.

42 Mark Behlmann, 740 Lindsay Lane, wanted to ask permission to install a memorial bench in
43 honor of Frank Stahlschmidt. He noted he has been in contact with Cheryl Thompson, Parks and
44 Recreation Director, and received a quote for the bench which matches the current ones installed. Mr.
45 Behlmann noted he made a check out to the city for the cost of the bench which was ordered and should
46 arrive in two months. Tim Lee met with Kevin Green, Park Maintenance Superintendent, to find the
47 proper placement for the bench in the lower level patio of the Nature Lodge. Mr. Behlmann noted the
48 gentleman who sponsored this bench will be installing it in approximately two months. He stated the
49 plaque on the bench would state “In Memory of Frank Stahlschmidt”. The information was given to the
50 council to make them aware of the memorial and receive approval.

51 The next item on the Agenda was *Public Hearings*.

52 The City Clerk reported that Public Hearing 22-03-008 for the Request to approve a Special Use
53 Permit within a B-5 “Planned Commercial District” to allow for a new restaurant located at 6 Grandview
54 Plaza Shopping Center. The Chair declared the Public Hearing to be open. He asked if the petitioner was
55 present.

56 Seeing the petitioner was not in attendance, Councilwoman Pagano made a motion to remove the
57 Public Hearing from the agenda, seconded by Caputa. Motion carried.

58 The City Clerk reported that Public Hearing 22-03-009 for the Public Hearing to review the Fiscal
59 Year 2022 Annual Action Plan for the Florissant Community Development Block Grant Program
60 (CDBG). The Chair declared the Public Hearing to be open.

61 Carol O’Mara, Community Development and Housing Director, noted they met with the Citizen’s
62 Participation Committee who approved the budget. The commission approved the continuation of

63 assistance programs for the community and the 5-year Consolidated Comprehensive Plan. She noted the
64 Home Improvement Plan would increase from \$5,000 to \$7,000 due to the increase of costs with
65 construction and materials.

66 Being no further comments, Councilman Harris made a motion to close the Public Hearing,
67 seconded by Siam. Motion carried.

68 The Chair stated that the next item on the agenda was *Second Readings*.

69 Councilman Mulcahy moved to accept Substitute Bill No. 9758, seconded by Caputa. Motion
70 carried.

71 Councilman Mulcahy moved Bill No. 9758 an Ordinance authorizing an amendment to Special
72 Use Ordinance no. 8651 to allow for a tire storage structure in a B-3 “Extensive Business District” located
73 at 1685 N. Hwy 67 be read for a second time, seconded by Caputa. Motion carried and Bill No. 9758 was
74 read for a second time.

75 Councilman Schildroth moved that Bill no. 9758 be read for a third time, seconded by Harris.
76 Motion carried and Bill No. 9758 was read for a third time and placed upon its passage. Before the final
77 vote all interested persons were given an opportunity to be heard.

78 Being no persons who wished to speak, on roll call the Council voted: Mulcahy yes, Pagano yes,
79 Parson yes, Siam yes, Harris yes, Manganeli yes, Eagan yes, Caputa yes, and Schildroth yes.

80 Whereupon the Chair declared Bill No. 9758 to have passed and become Ordinance No. 8769.

81 Councilman Siam moved Bill No. 9763 an Ordinance to amend ordinance no. 6669 to allow for
82 a sit-down, drive-through, carryout restaurant in a B-5 Planned Commercial District located at 13963
83 New Halls Ferry Road be read for a second time, seconded by Caputa. Motion carried and Bill No. 9763
84 was read for a second time.

85 Councilman Siam moved that Bill no. 9763 be read for a third time, seconded by Harris. Motion
86 carried and Bill No. 9763 was read for a third time and placed upon its passage. Before the final vote all
87 interested persons were given an opportunity to be heard.

88 Being no persons who wished to speak, on roll call the Council voted: Mulcahy yes, Pagano yes,
89 Parson yes, Siam yes, Harris yes, Manganeli yes, Eagan yes, Caputa yes, and Schildroth yes.

90 Whereupon the Chair declared Bill No. 9763 to have passed and become Ordinance No. 8770.

91 moved that Bill no. 9764 an Ordinance establishing the boundaries of the various wards of they
92 City of Florissant be read for a second time, seconded by Caputa. Motion carried and No. 9764 was read
93 for a second time.

94 Councilman moved that Bill No. 9764 be read for a third time, seconded by . Motion carried and
95 Bill No. 9764 was read for a third time and placed upon its passage. Before the final vote all interested
96 persons were given an opportunity to be heard.

97 Being no persons who wished to speak, on roll call the Council voted: Mulcahy yes, Pagano yes,
98 Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes, and Schildroth yes.

99 Whereupon the Chair declared Bill No. 9764 to have passed and become Ordinance No. 8771.

100 Councilman moved that Bill No. 9765 an Ordinance authorizing an appropriation of \$100,000
101 from the Capital Improvement Fund to budget account no. 03-5-03-50050 “Professional Services –
102 Engineering” for right of way acquisition services for the St. Denis Phase 1 project be read for the second
103 time, seconded by . Motion carried and Bill No. 9765 was read for the second time.

104 Councilman moved that Bill No. 9765 be read for a third time, seconded by . Motion carried and
105 Bill No. 9765 was read for a third time and placed upon its passage. Before the final vote, all interested
106 persons were given an opportunity to be heard.

107 Bring no persons who wished to speak, on roll call the Council voted: Mulcahy yes, Pagano yes,
108 Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes, and Schildroth yes.

109 Whereupon the Chair declared Bill No. 9765 to have passed and become Ordinance No. 8772.

110 The Chair stated that the next item on the agenda was *Bills for First Reading*.

111 Councilman Siam introduced Bill No. 9762 an Ordinance to amend ordinance no. 8734 to allow
112 for changes to the exterior material in a B-5 Planned Commercial District located at 2925 N. Highway
113 67 was read for the first time.

114 Councilman Caputa made a motion to postpone Bill No. 9766 an Ordinance to approve a Special
115 Use Permit within a B-5 “Planned Commercial District” to allow for a new restaurant located at 6
116 Grandview Plaza Shopping Center to the meeting on Monday, April 11, 2022. Seconded by Pagano,
117 motion carried.

118 Councilman Schildroth introduced Bill No. 9767 an Ordinance authorizing an amendment to
119 Chapter 120 “Boards, Commissions, and Committees” by deleting Article XIV “Economic Development
120 Commission” was read for the first time.

121 Councilman Schildroth introduced Bill No. 9768 an Ordinance authorizing an appropriation of
122 \$65,000 from the General Revenue Fund to Account No. 09-5-09-29440 “Building and Maintenance –
123 JJE” for additional yearly expenses at the James J. Eagan Center was read for the first time.

124 The next item on the Agenda was *Council Announcements*.

125 Councilman Eagan reminded residents to donate to TEAM food pantry and Wards 1 to 4 would
126 be holding their Ward meeting on Tuesday, March 29 at the JJE Center.

127 Councilman Harris congratulated Savanna Burton, Deputy City Clerk for completing her
128 certification as a city clerk.

129 Councilman Manganelli noted the next Florissant Food Truck Night is Friday, April 22nd as well
130 as the Italian Festival on October 1.

131 Councilman Caputa reminded residents to lock up firearms inside their homes, not their vehicles
132 and lit porch lights are a great deterrent for theft. He stated March 29th is Vietnam Veterans Day and
133 thank any Vietnam Veterans for their service.

134 Councilwoman Pagano thanked everyone for their involvement in Angie's Playground and
135 encouraged residents to go look and let their kids play.

136 Councilman Schildroth thanked everyone for attending the grand opening of Angie's Playground
137 and for the city staff on all their hard work.

138 The next item was *Mayor Announcements*.

139 Mayor Lowery congratulated Savanna Burton, Deputy City Clerk, on her certification. He noted
140 on Saturday, April 2nd will be the Electronic Recycling Event at St. Ferdinand Park from 10am to 1pm
141 with fees associated through Midwest Recycling. On April 23rd the Free Document Shredding Event will
142 take place from 9:30am to noon at St. Ferdinand Park. Mayor Lowery stated April 19th will be the Senior
143 Resource Fair from 9am to noon at the James J. Eagan Center. A reminder of election day Tuesday, April
144 5th for Proposition U and Proposition A. He stated the Florissant Valley of Flowers is taking place May
145 6-8th.

146 next regular City Council Meeting will be Monday, April 11, 2022 at 7:00 pm.

147 Councilman Manganelli moved to adjourn the meeting, seconded by Parson. Motion carried. The
148 meeting was adjourned at 7:39 p.m.

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154 The following Bills were signed by the Mayor:

155 Bill No. S9758 Ord. No. 8769

156 Bill No. 9763 Ord. No. 8770

157 Bill No. 9764 Ord. No. 8771

158 Bill No. 9765 Ord. No. 8772

159 Resolution 1039



Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

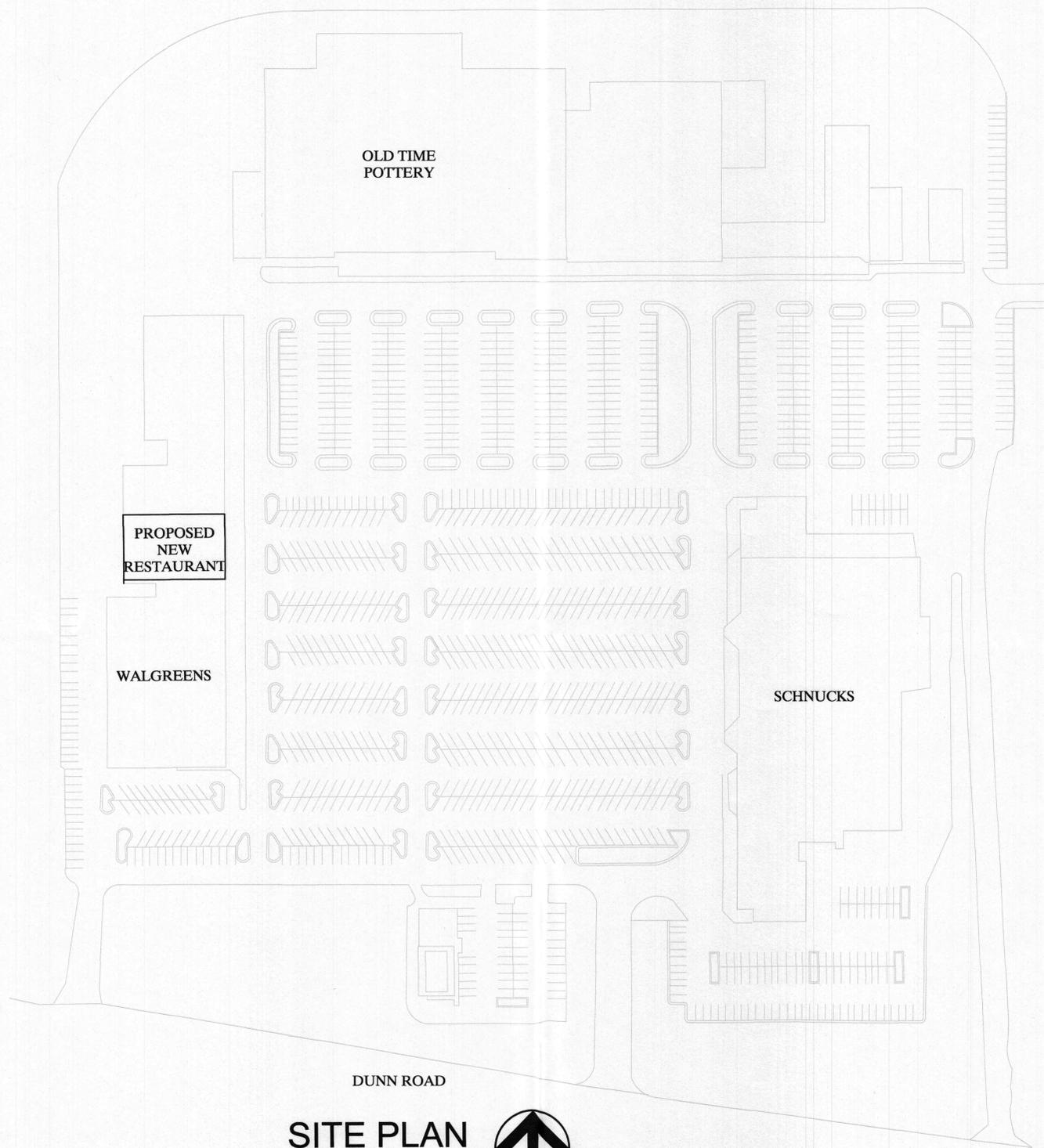
Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 28, 2022 at 7:00 p.m. on the following proposition:

To approve a Special Use Permit within a 'B-5' Planned Commercial District to allow for a new restaurant located at 6 Grandview Plaza Shopping Center (2.0 Restaurant & Bar). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk



DUNN ROAD

SITE PLAN
N.T.S



NORTH

PERMIT SET
FOR CONSTRUCTION



certificate of Authority: A-201301621
119 S. MAIN STREET
ST. CHARLES, MO 63301

CONSULTANT



DERU & ASSOCIATES, LLC
801 RUE ST. FRANCOIS ST.
SUITE C1
FLORISSANT, MO 63031
CONTACT: JEROME LOGAN
(314) 574-5770 CELL
jlogan@deruassociates.com

PROJECT

2.0 RESTAURANT AND BAR
6 GRANDVIEW PLAZA
FLORISSANT, MO 63033

FOR

REVISION

DATE JANUARY 17, 2022

JOB NUMBER DERU0103

DRAWING TITLE

DRAWN BY/ CHECKED BY

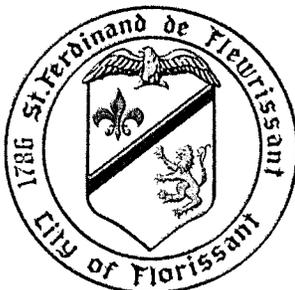
DRAWING NUMBER **A0.0**

COMMENTS

FOR BUILDING PERMIT APPLICATION

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SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward 7 Zoning B5'

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SPECIAL PERMIT FOR Restaurant and Bar

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR _____
ordinance # Statement of what the amendment is for.

LOCATION 6 Grandview Plaza
Address of property.

1) Comes Now Jerdo Dennis
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Lease
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Restaurant
And Bar _____ and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership X Corporation _____

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners Jerdo Dennis / Princeton Dew
- (2) Telephone numbers (618)304-1705- (314)356-5075
- (3) Business address 6 Grandview Plaza
- (4) Name under which business is operated 2.0 Restaurant and Bar
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name 2.0 Restaurant and Bar
Address 6 Grandview Plaza
Property Owner Adam Glosier
Location of property 1491 Dunn Rd, Florrisant Mo 63033
Dimensions of property 2950 Square Ft ?
Property is presently zoned Comm Requests Rezoning To _____
Proposed Use of Property Restaurant and Bar
Type of Sign _____ Height _____
Type of Construction _____ Number Of Stories 1
Square Footage of Building 4,750 ? Number of Curb Cuts _____
Number of Parking Spaces 200 ? Sidewalk Length _____
Landscaping: No. of Trees _____ Diameter _____
No. of Shrubs _____ Size _____
Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

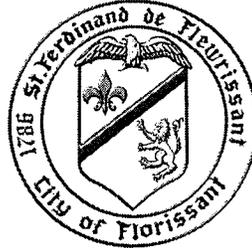
Date Application reviewed 3/2/22

STAFF REMARKS: see staff report for corrected sizes

 3/2/22
Building Commissioner or Staff Signature

1

MEMORANDUM



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CITY OF FLORISSANT- BUILDING DEPARTMENT

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"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: March 3, 2022

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From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E
Director Public Works
Deputy City Clerk
Applicant
File

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Subject: Request **recommended approval** of a Special Use, within a 'B-5' Planned Commercial District (Ord. No. 5239 as amended by Ords. Nos. 5421, 5422, 5469, 5504, 5970, and 6814) to allow for a new Restaurant (with bar) at 6 Grandview Plaza Shopping Center, **2.0 Restaurant/Bar.**

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STAFF REPORT

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CASE NUMBER PZ-030722-1

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I. PROJECT DESCRIPTION:

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This is a request for **recommended approval** of a Special Use, within a 'B-5' Planned Commercial District (Ord. No. 5239 as amended by Ords. Nos. 5421, 5422, 5469, 5504, 5970, and 6814) to allow for a new Restaurant (with bar) at 6 Grandview Plaza Shopping Center, **2.0 Restaurant/Bar.**

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II. EXISTING SITE CONDITIONS:

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The existing property at **6 Grandview Plaza Shopping Center** is a tenant space within a large shopping center, governed by provisions of Ord. No. 5239 as amended.

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The property is proposed to be a new restaurant/bar after alterations. Ord. No. 5239 identifies Permitted Uses as those Uses Permitted in a 'B-3' District without a Special Use, but requires a Special Use for new Restaurants. The petitioner proposes alterations for a new sit down, carryout, restaurant/bar. The zoning code has no definition for restaurant/bar, only "restaurant" or "tavern, nightclub or cocktail lounge". Since a bar is deemed to be "tavern, nightclub or cocktail lounge", the petitioner was asked to clarify the Use proposed. The petitioner responded that they will expect much more gross

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40 revenues from food sales. Therefore, the proposed Use is deemed to be a “restaurant”,
41 not a “tavern, nightclub or cocktail lounge”.

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43 **III. SURROUNDING PROPERTIES:**

44 Surrounding Properties and their zoning districts:

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46 <u>Parcel Locator#</u>	<u>Address</u>	<u>Zoning District</u>
47 09H130010	901 Wooden Drive	‘R-6’ Multiple Family Dwelling
48 09H141340	1335 South Waterford Drive	‘R-6’ Multiple Family Dwelling
49 09H120363	1397 South Waterford Drive	‘R-6’ Multiple Family Dwelling
50 09H120413	1401 South Waterford Drive	‘R-6’ Multiple Family Dwelling
51 09H120385	1357 Stonebury Ct.	‘B-3’ Extensive Business
52	1475 Dunn Road	‘B-5’ Planned Commercial

53

54 **IV. STAFF ANALYSIS:**

55 The application is accompanied by sealed plans marked for Conditional Use Review
56 Only. Drawings submitted include: A0.0 and A1.0, dated 1/17/22 by DERU and
57 Associates, LLC and sealed by the architect on 2/15/22. The following are Staff
58 comments on the plans pertaining to Zoning:

59

60 ○ A0.0 comments: Shows general location of parking lot and general layout
61 of parking.

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- 63 ▪ Does not show parking calculations for the shopping center and its
64 current Uses.
- 65 ▪ Does not show location of new ATM.
- 66 ▪ A review of the Ord. No. 5239 reveals that the ‘B-5’ Ordinance
67 allowed for a 20% reduction of the 1991 Parking Regulations.
- 68 ▪ It appears there is adequate paving to allow for enough parking for
69 the current Uses in the Shopping Center, however no parking
70 counts are presented. Staff recommends requirement of a revised
71 Site Development Plan showing the current Uses and the proper
72 number of parking spaces to be provided under said site plan under
73 this amending ordinance, if approved.

73

74 ○ A1.0 comments: the drawing appears to be a plan noted for alterations.
75 Much of the information on this plan, however, is incorrect.

76

- 77 ▪ Scale of plans noted as 3/16”= 1’-0”, apparent scale is 1/8”=1’-0”.
- 78 ▪ If the dimensions are correct, the overall tenant space calculates to
79 6169.1 s.f. which includes space noted as “Unfinished”.
- 80 ▪ Space noted as Unfinished measures 1171 s.f.
- 81 ▪ “Pervious” Use Group should be “Previous Use Group”.
- 82 ▪ Sprinkler System is required for Assembly Spaces this size, the
83 building is likely already sprinklered, alterations for new layout
84 will be necessary under building permits.
- 85 ▪ Dining Area s.f. area noted as 17 s.f. per person is not per Table
86 1004.5.
- Area calculations shall be superceded by number of chairs shown.

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- Chairs and staff areas including bar total 210 occupants.
- Unfinished area adds 78 more occupants per Table 1004.5 at tables and chairs. Access must be closed off if not finished.

VI. STAFF RECOMMENDATIONS:

1. If recommended approval is granted, the attached suggested motion shall alter the Uses within this district because restaurants are permitted under a Special Use petition, however, Restaurant/Bars are not permitted and therefore must be petitioned as an amended use, per ordinance no. 5239, "Section 1", paragraph "2. Permitted Uses".

Suggested Motion for 6 Grandview SC (2.0 Restaurant/Bar.):

I move to recommend approval of a Special Use Permit within an existing 'B-5' Zoning district, as depicted by the attached drawings A0.0 and A1.0, dated 1/17/22 by DERU and Associates, LLC subject to the regulations of the 'B-5' Planned Commercial District, Ord. No. 5239 (as amended by Ords. Nos. 5421, 5422, 5469, 5504, 5970, and 6814) and the following additional requirements:

1. The proposed Special Use includes an approximately 4998 square feet sit-down, carryout restaurant and bar **for 6 Grandview SC (2.0 Restaurant/Bar.)**
 - Maximum Occupancy: 210 occupants.
 - Unfinished area of approximately 1171 square feet shall be closed off from all access. Use of the unfinished shall require an amendment to this Special Use Permit to accommodate additional occupant load when the Use of the unfinished area is established and any additional occupant load is established.
 - Petitioner shall prepare an amended Site Plan for the proposed occupant load sufficient for this Use and considering parking required for all other Uses in the Shopping Center.

(end report and suggested motion)

Section 1: The Zoning Code of the City of Florissant, as heretofore amended, is hereby further amended, with respect to certain property heretofore zoned as B-3 District, to establish a B-5 Planned Commercial District, for the location and development of a planned commercial development, on the following described property:

A tract of land being part of Lots 114 and 122 of St. Ferdinand Commons in Township 47 North, Range 6 East, St. Louis County, Missouri; and described as follows:

Beginning at a Point in the northern line of United States Highway No. 66, 100 feet wide, distant 402.91 feet east of the southwestern corner of property described in deed to Ivie F. Poppelwell and wife, recorded in Book 2206, Page 282, St. Louis County Recorder's Office; thence eastwardly 969.09 feet along the northern line of United States Highway No. 66 to a point of curve; thence continuing eastwardly 188 feet along the northern line of United States Highway No. 66 along a curve to the left having a radius of 11,409.19 feet; thence northwardly 1326.11 feet and parallel with the western line of said Poppelwell property to a point 300 feet south of the northern line of said Lot 114; thence westwardly 1148.92 feet and parallel with the northern line of said Lot 114, thence southwardly 1180.58 feet and parallel with the western line of said Poppelwell property to the point of beginning and containing 33.073 acres, according to a survey made by Pitzman's Company of surveyors and engineers on February 24, 1958.

Section 2: The authority and approval embodied in this Ordinance is granted subject to all ordinances of the City of Florissant and on condition that the development and plan for the B-5 Planned Commercial District be carried out in accordance with the preliminary plans filed with the Planning & Zoning Commission of the City of Florissant and forwarded by said Planning & Zoning Commission to the Florissant City Council, and as further revised and depicted on the Final Development Plan, dated Rev. 12/17/90, Rev. 2/8/91, Rev. 3/4/91, approved by the Planning and Zoning Commission on 3/4/91, and attached hereto as Exhibit "A", which plans, except as otherwise provided herein, are hereby approved, adopted and incorporated herein by reference as if fully set out in this ordinance and made a part of this ordinance, subject to the following conditions:

1. PERMITTED USES

The uses permitted in the B-5 Planned Commercial District shall be limited to supermarket, home improvement center and all uses permitted in B-3 districts without a special use permit, and existing/relocated restaurant uses are permitted, but future restaurants will require future authorization by a special use permit; and, no use shall be authorized for the outlot, as depicted on the final development plan unless further approved by amendment of this ordinance. Further, the aforementioned uses shall not allow for the parking of any tractor trailers for a period in excess of 48 hours and no tractor trailer shall be parked along the west property line for more than 12 hours.

CITY OF FLORISSANT

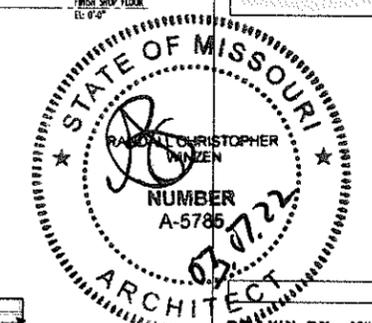
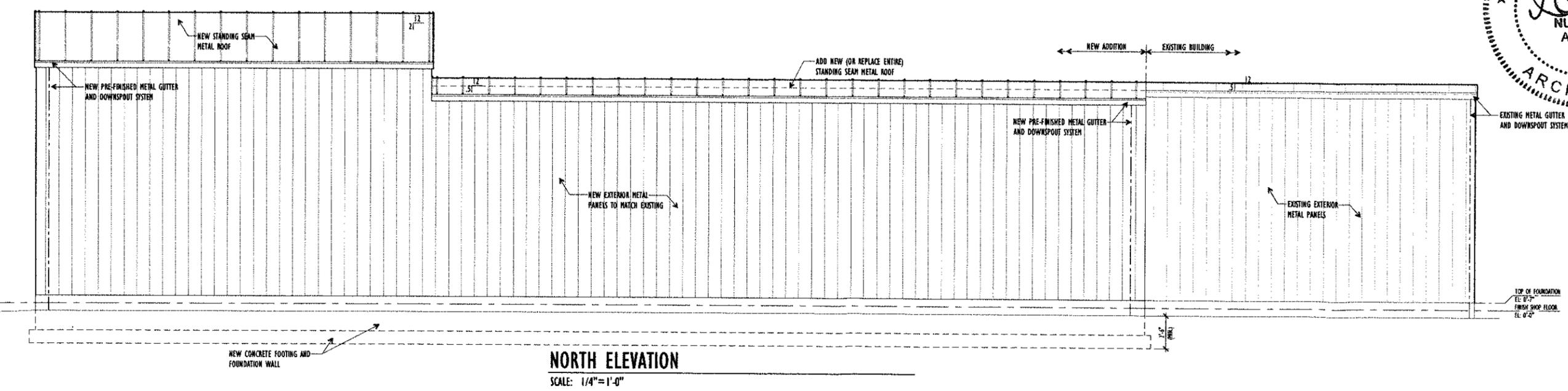
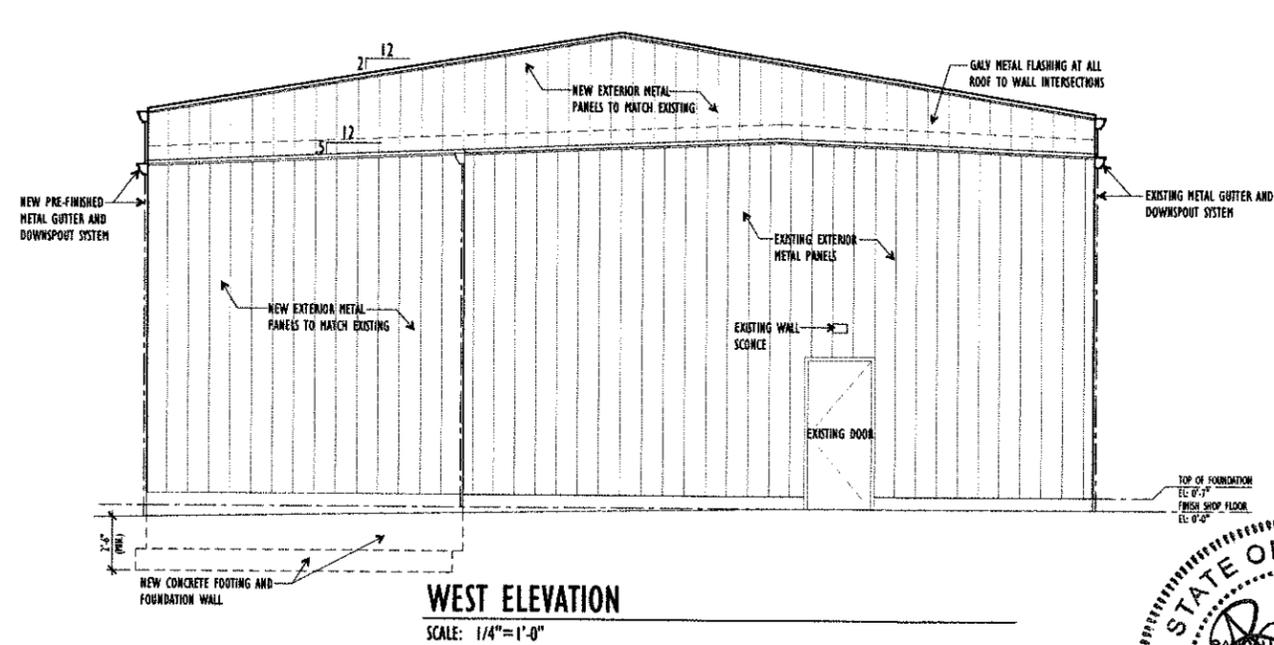
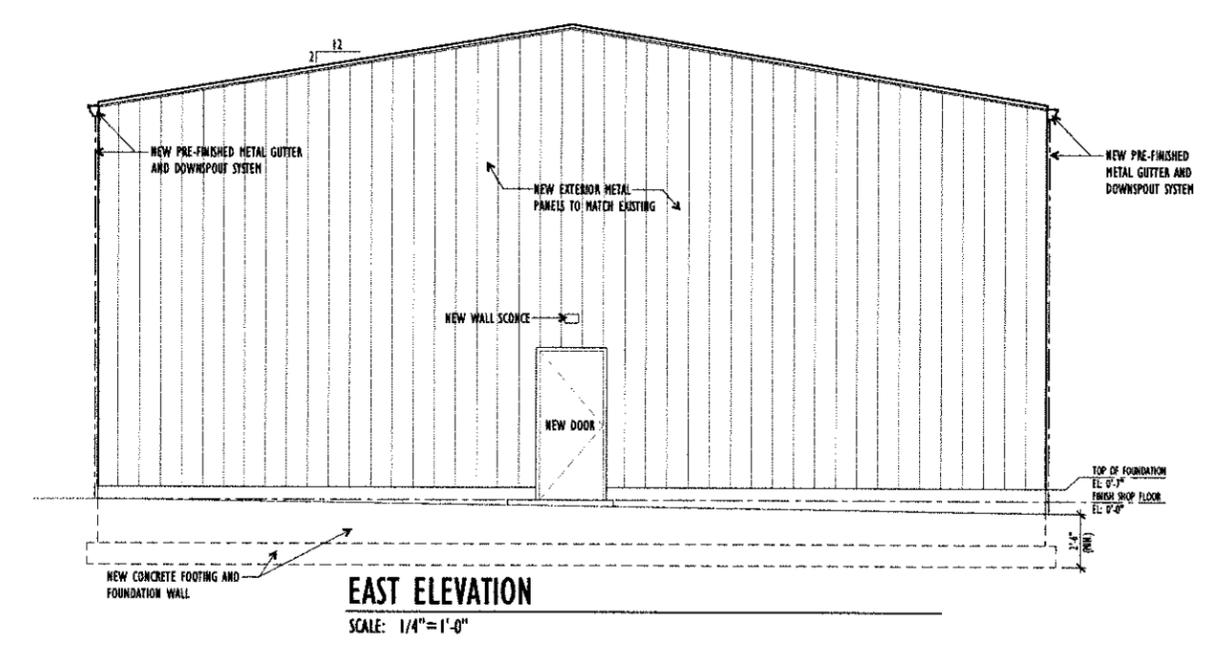
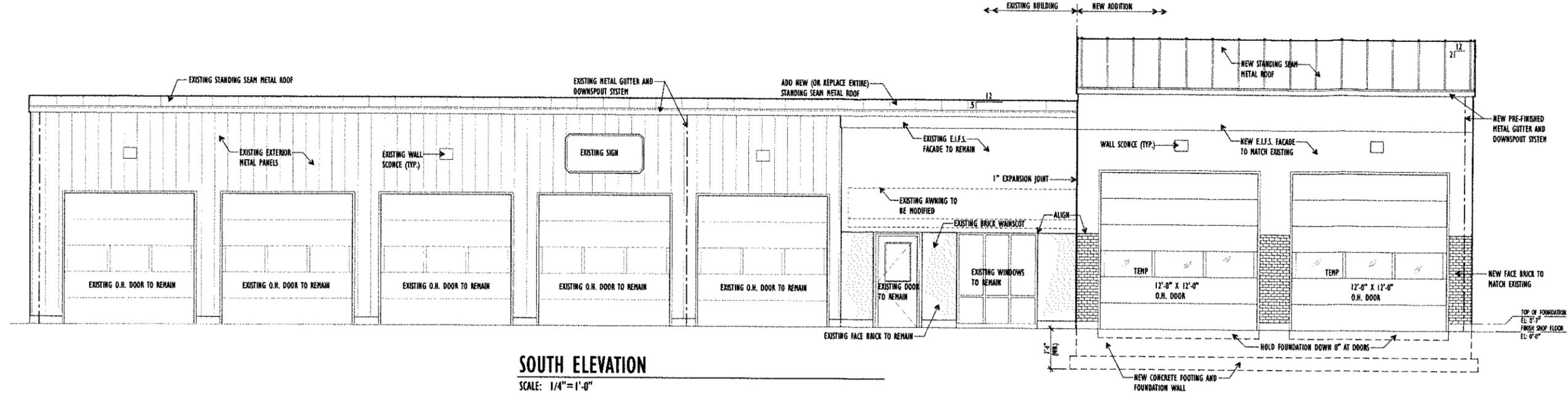
Public Hearing



In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, April 11, 2022 at 7:00 p.m. on the following proposition:

To amend an existing Special Use Permit to allow for a building addition in a 'B-3' Extensive Business District located at 1779 N Highway 67 (Gary's Auto Service). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk



DRAWN BY: RCW
 REVIEWED BY: RCW

CONTACT:
 RANDY WINZEN
 randy@aligned-studio.com
 MICKI WEHMEIER
 smicki@aligned-studio.com

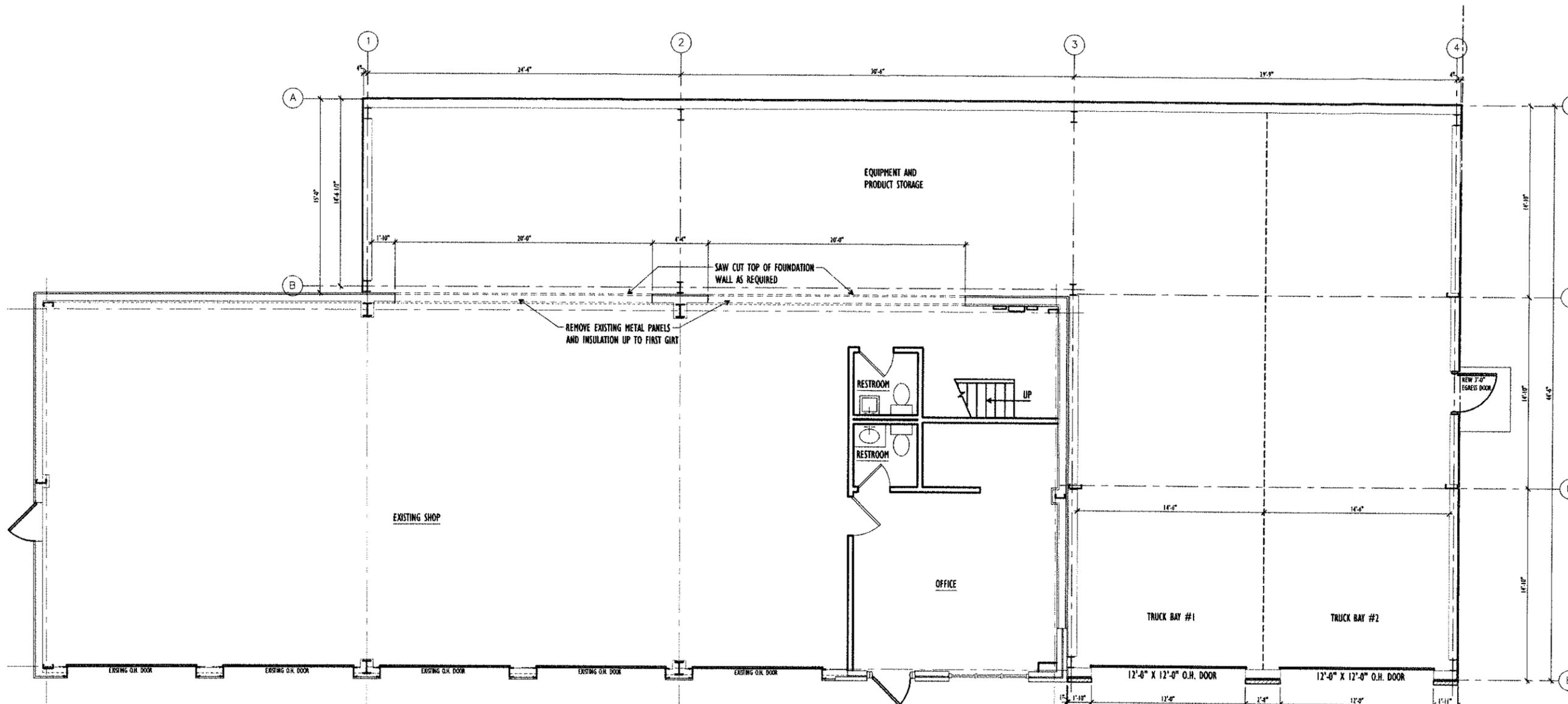
EXTERIOR ELEVATIONS

JOB NO. 2188

A4.01

3 OF 5

DATE: 03.07.22



FLOOR PLAN
SCALE: 1/4"=1'-0"



DRAWN BY: RCW
REVIEWED BY: RCW

CONTACT:
RANDY WINZEN
randy@aligned-studio.com
MECKI WEHMEIER
xmicki@aligned-studio.com

FLOOR PLAN

JOB NO. 2188

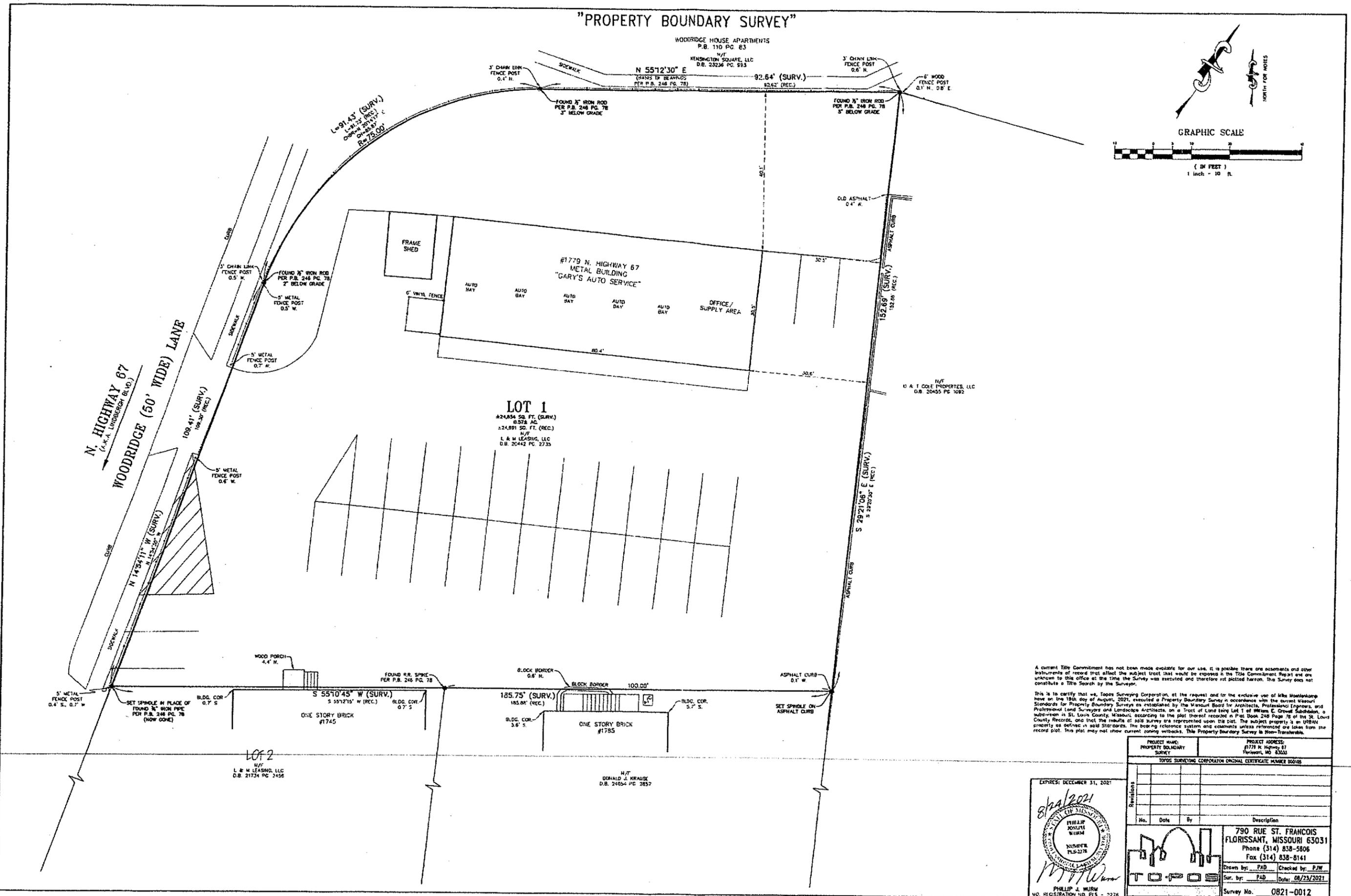
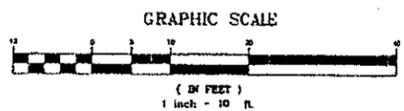
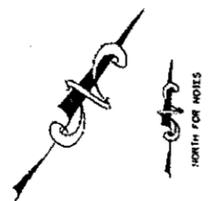
A2.01

2 OF 5

DATE: 03.07.22

"PROPERTY BOUNDARY SURVEY"

WOODRIDGE HOUSE APARTMENTS
P.B. 110 PC 83
N/T
KENSINGTON SQUARE, LLC
D.B. 23236 PG. 553



LOT 1
224,854 SQ. FT. (SURV.)
0.578 AC.
224,891 SQ. FT. (REC.)
N/T
L & M LEASING, LLC
D.B. 20442 PG. 2735

LOT 2
N/T
L & M LEASING, LLC
D.B. 21734 PG. 2456

A current Title Commitment has not been made available for our use. It is possible there are assessments and other instruments of record that affect the subject tract that would be expressed in the Title Commitment Report and are unknown to this office at the time the Survey was executed and therefore not plotted hereon. This Survey does not constitute a Title Search by the Surveyor.

This is to certify that we, Topos Surveying Corporation, at the request and for the exclusive use of Mike Montelione have on the 19th day of August, 2021, executed a Property Boundary Survey in accordance with the current Missouri Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, and Professional Land Surveyors and Landscape Architects, on a Tract of Land being Lot 1 of William C. Crowl Subdivision, a subdivision in St. Louis County, Missouri, according to the plat thereof recorded in Plat Book 248 Page 78 of the St. Louis County Records, and that the results of said survey are represented upon this plat. The subject property is an UNBID property as defined in said Standards. The bearing reference system and easements unless referenced are taken from the record plat. This plat may not show current zoning setbacks. This Property Boundary Survey is Non-Transferable.

PROJECT NAME: PROPERTY BOUNDARY SURVEY		PROJECT ADDRESS: #1779 N Highway 67 Frisco, MO 63033	
TOPOS SURVEYING CORPORATION ORIGINAL CERTIFICATE NUMBER 80018			
Revisions	No.	Date	By
DRAWN BY: PAD		CHECKED BY: PJW	
SURVEYED BY: PAD		DATE: 08/23/2021	
SURVEY NO. 0821-0012			

EXPIRES: DECEMBER 31, 2021

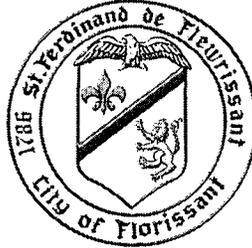
8/24/2021

PHILLIP J. MURN
STATE OF MISSOURI
LICENSE NO. PLS-2278

PHILLIP J. MURN
MO. REGISTRATION NO. PLS - 2278

1

MEMORANDUM



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7

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: March 16, 2022

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

16
17
18

Subject: 1779 N Hwy 67 Request Recommended Approval to amend a Special Use to allow for an addition in a 'B-3' Extensive Business District.

19
20
21

STAFF REPORT
CASE NUMBER PZ-032122-1

22
23
24

I. PROJECT DESCRIPTION:

This is a request for Recommended Approval to amend a Special Use to allow for an addition in a 'B-3' Extensive Business District.

25
26
27

II. EXISTING SITE CONDITIONS:

The existing property at 1779 N Hwy 67 is an unusual property which first has obtained a variance for the proposed addition from the Board of Adjustment. This property was operating as a Special Use as an "Automotive Service Garage" and was continued to be operated by the petitioner as a Special Use, although there is no written ordinance that lists any particular restrictions.

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The subject property is approximately 0.57 Acres. There are plans attached which shows the boundary limits and proposed structures.

33
34
35
36

The existing building was built in 1978 per County record, which was and remains a current Auto Repair area business of approximately 2382 s.f. The proposed addition is approximately 2126 s.f.

37
38
39
40

41 **III. SURROUNDING PROPERTIES:**

42 The property to the North is 1700 Woodridge Ln which is zoned 'R-6' Multiple Family
43 Dwelling District. The properties to the South are 1745 N Hwy 67 owned by Gary's
44 Auto and 1775 N Hwy 67 both similarly in the 'B-3' Extensive Business District. The
45 property to the West is 1775 N Hwy 67 in the 'B-3' Extensive Business District.

46

47 **IV. STAFF ANALYSIS:**

48 Plans received from the applicant include A-1.02 Special Use Site Plan and A-2.01 Floor
49 Plan and A4.01 Elevations by Aligned Studio, LLC, all dated 3/7/2022.

50

51 Variance: Staff has provided a copy of the survey and variance documents. The variance
52 grants 15 feet to the setback on the north side of the existing structure. Therefore, a line
53 even with the addition should eventually follow the curve until reaching the front yard.

54

55 **Comments on Survey**

56 This drawing shows the unusual shape and size of the property.

57

- 58 • This ½ acre lot has a curving North property line that becomes a tangent to
59 Woodridge Ln.
- 60 • The East line is a zero setback since it abuts a 'B-3' Zoning district.
- 61 • The North and South property lines are deemed to side yards, normally 35 feet,
62 but the North setback has been varied to be 15 feet from the existing building to
63 accommodate the addition.
- 64 • The front yard setback along Woodridge is 40 feet. A modified setback was
65 explored by the architect due to the existence of other structures on the block,
66 however, per the zoning code, averaging the setback is only permitted in the
67 Historic district, therefore, the front yard remains at 40 feet and the existing
68 building has some encroachment.
- 69 • There are 28 existing parking spaces shown on the survey.
- 70 • Accessory Structure: the existing shed was installed and under permit in 2006
- 71 • The existing trash enclosure was installed under a permit in 2010.

71

72

73 **Comments on Sheet A-1.02 Site Plan**

74 The area between 1745 and 1775 and Gary's Auto is used predominantly for customer
75 parking and cars awaiting service.

76

77 The parking code calls for "*1 space for every employee on the maximum shift, 3 spaces
78 for every service bay, and 1 space for every vehicle customarily used in operation of the
79 use.*"

80 Parking calculations on the plan indicate the added 2 bays increase the requirement for
81 off-street parking spaces, further, states that the office building at 1745 is not part of the
82 some shrubs along the north property line.

83

84 The addition displaces 3 parking spaces, leaving 25 remaining and 25 required.

85

86 Landscape: The petitioner proposes to replace the existing 4' chain link fence with a 6'
87 chain link fence and slats for screening. Since the screen cannot encroach on the front
88 yard, thorny shrubs are proposed to complete the fence replacement. One frontage tree
89 required along Woodridge is shown, 2 are required by the landscape code since the
90 survey indicates frontage of 109.3 feet.

91
92 A screened proposed tire storage area is proposed on the north side of the existing
93 building consisting of a similar chain link fence with slats for screening and double gate 4
94 feet wide.

95
96 Comments on Sheet A-2.01 Floor Plan
97 This drawing shows the addition has 2 truck bays with ¹²~~10~~ overhead doors and general
98 storage in the remainder of the addition. Openings are cut away from the existing north
99 wall to allow access.

100
101 The egress door to the East may need to be relocated so as not to end up onto adjacent
102 property.

103
104 Comments on Sheet A-4.01 Elevations
105 The existing building is a pre-engineered metal building. The addition is proposed to be
106 the same to match, including matching brick veneer to align with the small portion of
107 brick that exists on the existing building.

108
109

110 **III. STAFF RECOMENDATIONS:**

111 **Suggested Motion:**

112 I move for Recommended Approval to amend a Special Use to allow for a building
113 addition in a 'B-3' Extensive Business District as shown on plans A-1.02 Special Use
114 Site Plan and A-2.01 Floor Plan and A4.01 Elevations by Aligned Studio, LLC, all dated
115 3/7/2022, attached, subject to the conditions set forth below with these conditions being
116 part of the record:

117 *ok*
118 ~~Correct 40' setback lines on site plan A-102.1~~

119
120 ~~Screening: Petitioner shall install a screen consisting of 90% opacity slats in all~~
121 ~~existing chainlink screens and tire storage area.~~

122
123 ~~Add a second frontage tree along Woodridge Ln.~~

124 *→ replace landscaping on side lot line w/ 6' w.i. fencing.*

125
126 (End of report and suggested motion)

Remove tire storage area & ss shown on A1.02.

C

True/False The variance(s) will be in harmony with the general purpose and intent of the ordinance and will not be injurious to the neighborhood or other wise be detrimental to public welfare.

D

True/False Granting of the variance will not affect traffic conditions in the vicinity.

WHEREAS, the Board does further find and determine that the Applicant (has/has not) demonstrated sufficient practical difficulties or unnecessary hardship to support a variation from such strict application of the Zoning Ordinance in that

Variation from such strict application of the Zoning Ordinance (is/is not) deemed to be in order so as to relieve such difficulty or hardship.

NOW, THEREFORE, BE IT RESOLVED, That the requested variance(s) of

_____ is hereby (granted/denied) for the proposed

service bay addition (identify proposal or structure) to be within

_____ (state dimensions) of _____ (zoning requirement, e.g., rear, front, side yard setback line, etc.) and the Building Commissioner is hereby directed to _____

_____ (issue a building permit or take some other action), all in accordance with the decision of this Board, and provided that all other ordinances and regulations of the City of Florissant are met.

NAME

YES

NO

MATTHEW HARTMANN

X

RONALD AZZANNI

X

BRETT BERCHTOLD

X

SEAMUS DAILEY

X

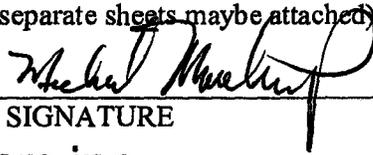
STEVE GETTEMEIER

X

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:

(If more space is needed, separate sheets maybe attached)

Michael Moehlenkamp



mike@GarysAutoOnline.com 314-831-5843

PRINT NAME

SIGNATURE

email and phone

FOR L&M Motors inc

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
1. I (we) have a legal interest in the herein above described property.
 2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE _____

ADDRESS _____
 STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL _____ / _____
 BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as

Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation X

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners Michael Moehlenkamp 2215 Oxford Dr Florissant, MO 63033

(2) Telephone numbers 314-831-5843 / 314-520-4296 cell

(3) Business address 1779 N Highway 67 Florissant, MO 63033

(4) State of Incorporation & a photocopy of incorporation papers MO

(5) Date of Incorporation 10/2/2006

(6) Missouri Corporate Number 00768415

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. Gary's Auto Service

(8) Name in which business is operated Gary's Auto Service

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name L&M Motors inc

Address 1779 N Highway 67 Florissant, MO 63033

Property Owner Michael Moehlenkamp

Location of property 1779 N Highway 67 Florissant, MO 63033

Dimensions of property 185.88' x 152.68'

Property is presently zoned _____ Requests Rezoning To _____

Proposed Use of Property Auto Service and Repair

Type of Sign N/A Height _____

Type of Construction II B Non Combustable (Metal) Number Of Stories 1

Square Footage of Building 4563 w/ addition Number of Curb Cuts 0

Number of Parking Spaces 23 Sidewalk Length 0

Landscaping: No. of Trees 0 Diameter 0

No. of Shrubs 0 Size 0

Fence: Type Chain link w/slats Length 110' Height 6'

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed 3/16/22

STAFF REMARKS: see staff report


Building Commissioner or Staff Signature

STATE OF MISSOURI



John R. Ashcroft
Secretary of State

CORPORATION DIVISION
CERTIFICATE OF GOOD STANDING

I, JOHN R. ASHCROFT, Secretary of State of the State of Missouri, do hereby certify that the records in my office and in my care and custody reveal that

L & M MOTORS, INC.
00768415

was created under the laws of this State on the 2nd day of October, 2006, and is in good standing, having fully complied with all requirements of this office.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, this 7th day of March, 2022.


Secretary of State



Certification Number: CERT-03072022-0085

STATE OF MISSOURI



John R. Ashcroft
Secretary of State

CORPORATION DIVISION
CERTIFICATE OF ABSTRACT

L & M MOTORS, INC.
00768415

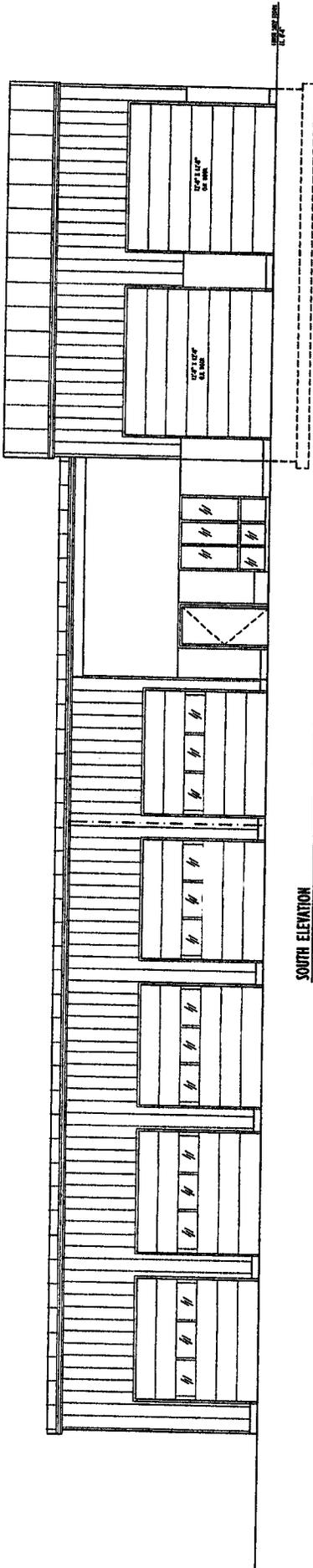
I, JOHN R. ASHCROFT, Secretary of State of the State of Missouri and Keeper of the Great Seal thereof, do hereby certify that the annexed abstract contains a true statement of the documents on file and of record in this office.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, this 7th day of March, 2022.

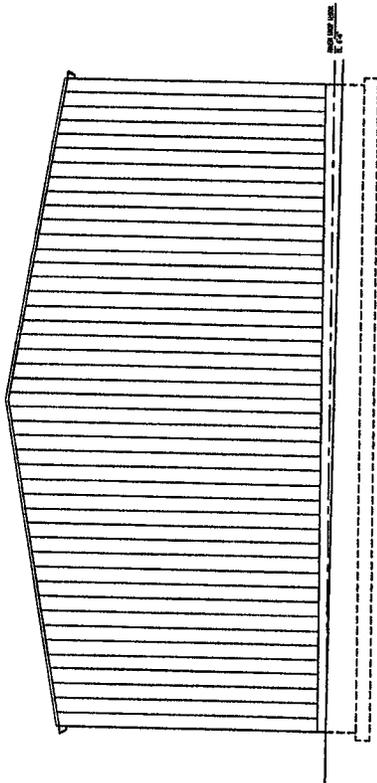

Secretary of State



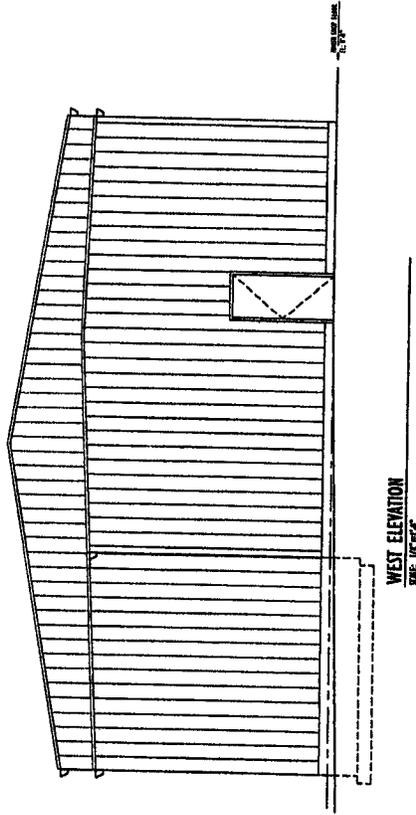
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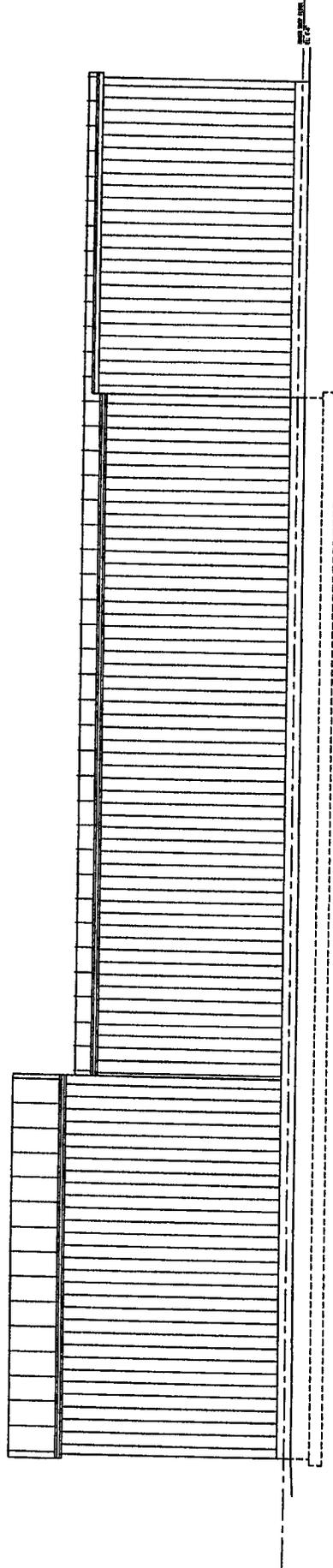
SOUTH ELEVATION
 SCALE: 1/4"=1'-0"



EAST ELEVATION
 SCALE: 1/4"=1'-0"



WEST ELEVATION
 SCALE: 1/4"=1'-0"



NORTH ELEVATION
 SCALE: 1/4"=1'-0"

Real Estate Information

[New Search](#)

Ownership & Assessment

Owner/Assessment	Property	Sketch
Tax Info & Receipt	Tax History	Documents

[2022](#)
 [2021](#)
 [2020](#)
 [2019](#)
 [2018](#)
 [2017](#)
 [2016](#)
 [2015](#)
 [2014](#)
 [2013](#)
 [2012](#)
 [2011](#)

Ownership and Legal Information: 07J220897 - 2022

Locator No. (Number):	07J220897	Tax Year:	2022
Tax District:	111DE	City Code:	024
Site Code:	0551	Destination Code:	
Owner's Name:	L & M LEASING LLC		
Taxing Address:	1779 N HIGHWAY 67 ST FLORISSANT, MO 63033		
Care-Of Name:			
Mailing Address:	1745 NORTH HWY 67 FLORISSANT, MO 63033		
Subdivision Book - Page:			
Assessor's Book - Page:	04 - 0237 H		
City Name:	FLORISSANT		
Subdivision Name:	WILLIAM E CROWELL		
Legal Description:	8 12 86		
	<i>Important: This is a brief legal description and is not meant for use in recorded legal documents.</i>		
Lot Number:	1	Block Number:	
Lot Dimensions:	0109 / 0153 - 0186 / 0184	Total Acres:	0.57
Tax Code - Description:	A - TAXABLE	Land Use Code:	641
Deed Document Number:	Deed Type:		
Deed Book and Page:	Book: 20442 Page: 2735	Trash District:	NOT APPLICABLE
Deed Index List:	View Deed Index Information Recorded With Locator Number 07J220897		
School District:	FERGUSON-FLORISSANT	County Council District:	4

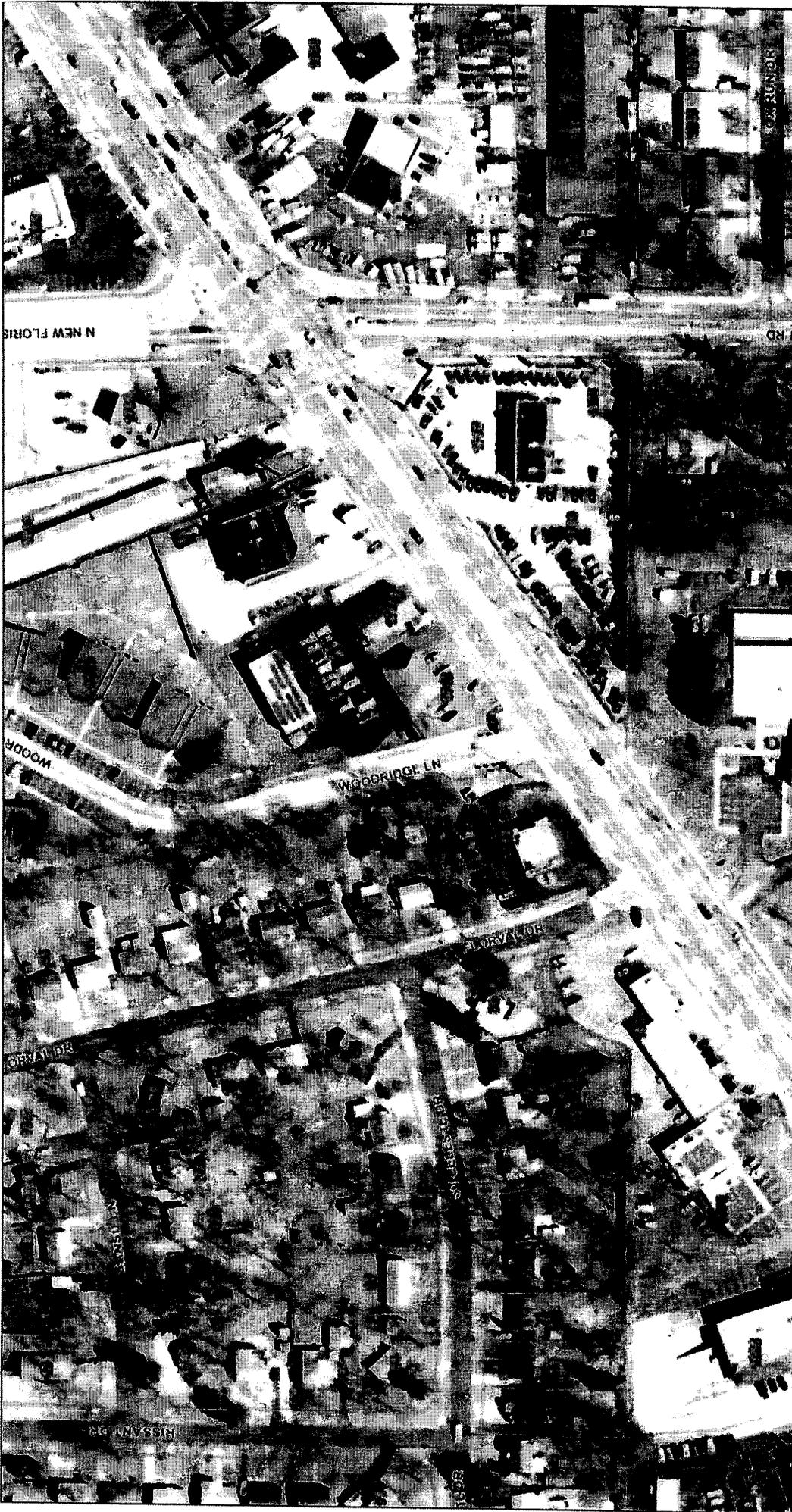
2022			±
Property Class	Appraised Total	Assessed Total	
2022 assessment information is currently not available.			
2021			±
Property Class	Appraised Total	Assessed Total	
Commercial	240,900	77,090	
2020			±
Property Class	Appraised Total	Assessed Total	
Commercial	238,400	76,290	
2019			±
Property Class	Appraised Total	Assessed Total	
Commercial	238,400	76,290	
2018			±
Property Class	Appraised Total	Assessed Total	
Commercial	231,600	74,110	
2017			±
Property Class	Appraised Total	Assessed Total	
Commercial	231,600	74,110	
2016			±
Property Class	Appraised Total	Assessed Total	
Commercial	232,900	74,530	
2015			±
Property Class	Appraised Total	Assessed Total	
Commercial	232,900	74,530	
2014			±
Property Class	Appraised Total	Assessed Total	
Commercial	271,000	86,720	
2013			±
Property Class	Appraised Total	Assessed Total	
Commercial	271,000	86,720	
2012			±

Property Class	Appraised Total	Assessed Total
Commercial	258,200	82,620
	2011	±
Property Class	Appraised Total	Assessed Total
Commercial	258,200	82,620

Please Note: Information maintained by the Assessor's Office is for assessment purposes only and should not be used to verify or transfer ownership. All maps maintained, provided and/or purchased are based on assessment information and do not represent a legal survey of the parcels shown, and should not be used for conveyance or the establishment of property boundaries. The Assessor's Office shall not be liable for errors contained herein or for any damages in connection with the use of this information.

Information on this page is current as of Friday, March 04, 2022.

St. Louis County Map



3/7/2022, 2:11:22 PM

Image Sales (Last 2 Years)

Red: Band_1

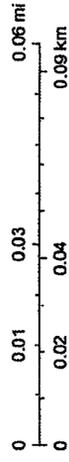
Green: Band_2

Blue: Band_3

Other Flood Areas (0.2% Annual Chance)

Special Flood Hazard Areas (1% Annual Chance)

1:1,200



St. Louis County GIS Service Center

1 INTRODUCED BY COUNCILMAN SIAM
2 MARCH 28, 2022

3
4 BILL NO. 9762

ORDINANCE NO.

5
6 **ORDINANCE TO AMEND ORDINANCE NO. 8734 TO ALLOW FOR**
7 **CHANGES TO THE EXTERIOR MATERIAL IN A B-5 PLANNED**
8 **COMMERCIAL DISTRICT LOCATED AT 2925 N. HIGHWAY 67.**
9

10 WHEREAS, ordinance no. 8734 was passed in October 2021 approving the rezoning of
11 2925 N Hwy 67 to a B-5 Planned Commercial District to allow for a car wash; and

12 WHEREAS Boing US Holdco Inc. has applied for an amendment to the development
13 plan authorized by ordinance 8734 to allow for changes in exterior materials; and

14 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
15 recommended to the City Council at their meeting of February 22, 2022 that an amendment to B-
16 5 ordinance no. 8734, to allow for changes in exterior materials; and

17 WHEREAS, due and lawful notice of a public hearing no. 22-03-005 on said proposed
18 change was duly published, held and concluded on 14th of March, 2022 by the Council of the
19 City of Florissant; and

20 WHEREAS, the Council, following said public hearing, and after due and careful
21 deliberation, has concluded that that an amendment to B-5 ordinance no. 8734 to allow for
22 exterior material changes located at 2925 N. Hwy 67 is in the best interest of the public health,
23 safety and welfare of the City of Florissant; and

24
25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
27

28 Section 1: B-5 ord. no. 8734, is hereby amended to allow a change in exterior materials
29 as depicted by the attached drawings A1.00 and A3.02 dated 1/17/22 by Method Architecture,
30 subject to the regulations of a ‘B-5’ Planned Commercial District, Ord. No. 8734 with the
31 following changes to said Ordinance:

32 Change Section 1 to remove “Elevations” and substitute drawings A1.00 and A3.02
33 dated 1/17/22 by Method Architecture with the following additional requirements added to the
34 record:

- 35 1. Documentation with the warranty and minimum 25-year lifespan of the thin brick to be
- 36 submitted prior to the public hearing.
- 37 2. No signage is approved until an additional amendment to the ‘B-5’ ordinance is made.
- 38 (Time to complete of 12 months, remains as described in the ordinance.).

39

40 Section 2: This ordinance shall become in full force and effect immediately upon its passage and

41 approval.

42

43

44 Adopted this _____ day of _____, 2022.

45

46 _____

47 Keith Schildroth

48 President of the Council

49

50 Approved this _____ day of _____, 2022.

51

52

53 _____

54 Timothy J. Lowery

55 Mayor, City of Florissant

56

57 ATTEST:

58

59 _____

60 Karen Goodwin, MPPA/MMC/MRCC

61 City Clerk

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DISTRICT



PLANNING & ZONING ACTION:

Address of Property:

2925 N. Highway 67 (Lindbergh Blvd.)

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward _____ Zoning _____

SIGN:

DATE:

2-22-22

Initial Date Petitioner Filed _____

Building Commissioner to complete ward, zoning & date filed

PETITION FOR A B-5 RE-ZONING:

1) Comes Now Boing US Holdco, Inc. a Delaware corporation
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Lessee (copy of lease submitted with application)
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 1.09

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B3 District and is presently being used for: Vacant building, previously used for restaurant

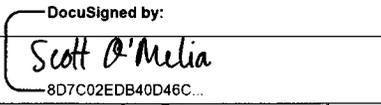
State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following purpose to justify the re-zoning to a B-5:

Construction of an automated express car wash facility

List purpose for this request.

- 4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
- 5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Boing US Holdco, Inc.
Print Name By: 
 PETITIONER(S) SIGNATURE (S) _____
8D7C02EDB40D46C...
 FOR Boing US Holdco, Inc.
Scott O'Melia, Executive VP
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or LLC Managing PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 6. I (we) hereby certify that (indicate one of the following):
 - () I (we) have a legal interest in the herein above described property.
 - (X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

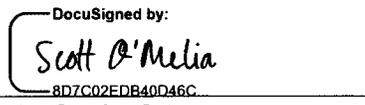
Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE 

ADDRESS 1101 Central Expressway S., Suite 215 Allen Texas 75013
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER (469) 270-3758

I (we) the petitioner (s) do hereby appoint BUSINESS Kyle Flaming as
Print name of agent. Boing US Holdco, Inc.
 my (our) duly authorized agent to represent me (us) in regard to this petition.

By: 
Signature of Petitioner(s) or Authorized Agent
 Scott O'Melia, Executive VP

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation/LLC:

(a) If an Individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a Partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a Corporation or LLC:

- (1) Names & addresses of all partners Jonathan Fitzpatrick, CEO
- (2) Telephone numbers (704) 377-8855
- (3) Business address 440 South Church St., Ste. 700, Charlotte, NC 28202
- (4) State of corporation & a photocopy of incorporation papers DE - Corporate documents submitted with application
- (5) Date of corporation Incorporated 07/28/2015 in Delaware
- (6) Missouri Corporate Number Qualification in Missouri pending with Missouri Sec. of State's Office
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. Pending application with the Missouri Secretary of State's Office
- (8) Name in which business is operated Take 5 Car Wash Express
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Boing US Holdco, Inc.

Address 440 S. Church St., Ste. 700, Charlotte NC 28202

Property Owner National Retail Properties, LP

Location of property 2925 N. Highway 67 (Lindbergh Blvd.)

Dimensions of property 311' x 162' (1.08 acres)

Current Use of Property Vacant building

Proposed Use of Property Automated Express Car Wash

Type of Sign _____ Height _____

Type of Construction Type III-B Number Of Stories 1

Square Footage of Building 4219 sf Number of Curb Cuts 1. using existing curb cut

Number of Parking Spaces 21 Sidewalk Length _____

Landscaping: No. of Trees 5 Diameter 2.5

No. of Shrubs 67 Size 3 gals and 5 gals

Fence: Type none Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

1) a. Uses - Are uses stipulated _____ Yes / No

b. What current District would this proposal be a permitted use: _____

c. Proposed uses for out lots: _____

2) Performance Standards:

a) Vibration: Is there any foreseen vibration problems at the property line? Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No

c) Odor is there any foreseen problem with odor? Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. I on the Ringleman Chart? Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No

f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? Yes / No

g) Is there any dangerous amount of radiation produced from the operation? Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? Yes / No

j) Is buildings screened from adjoining residential? Yes / No

3) Are height of structures shown? Yes / No

4) Are all setbacks shown? Yes / No

5) Are building square footages shown? Yes / No

6) What is the exterior construction of the buildings? _____

7) Is off street loading shown? Yes / No

8) Parking:

a) Does parking shown meet the ordinance? Yes / No

b) Is a variance required in accordance with the ordinance? Yes / No

c) Ratio shown _____ to _____

d) Total Number _____

e) Will cross access and cross parking agreements be required? Yes / No

f) Is the parking lot adequately landscaped? Yes / No

9) Are there any signs? Yes / No

Number of signs shown _____

Type of Signs _____

Are sizes, heights, details, and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient handicapped access? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

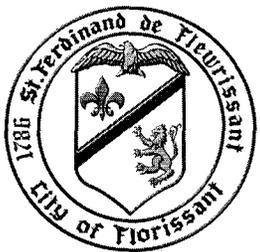
25) Staff Comments: _____

Date Application reviewed

Building Commissioner or Staff Signature

1

MEMORANDUM



2

CITY OF FLORISSANT- BUILDING DEPARTMENT

3

4

5

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

6

7

To: Planning and Zoning Commissioners Date: February 16, 2022

8

9

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From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E
Director Public Works
Deputy City Clerk
Applicant
File

15

16

17

Subject: Request **Recommended Approval** to amend a **'B-5' at 2925 N Highway 67 Take 5 Carwash** Ord. No. 8734) to allow for proposed changes in exterior materials.

18

19

STAFF REPORT
CASE NUMBER PZ-022222-1

20

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24

I. PROJECT DESCRIPTION:

This is a request recommended approval to amend a 'B-5' planned commercial district to allow for changes in exterior materials.

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II. EXISTING SITE CONDITIONS:

The existing property at **2925 N. Highway 67** is a vacant property (and was formerly Denny's).

The property is proposed to be a new car wash after the existing restaurant is removed. Building permits were submitted with different exterior materials than approved in Ord. No. 8734. The petitioner proposes the improved exterior design, including changes to exterior materials.

III. SURROUNDING PROPERTIES:

The adjacent property to the West is an access drive to 14249 New Halls Ferry, a Self-Storage Facility in a B-5 District. There is one property to the North and East at 3025 N. Highway 67 in a B-5 District.

40 **IV. STAFF ANALYSIS:**

41 The application is accompanied by professionally prepared plans: A1.00 and A3.02 dated
42 1/17/21 by Method Architecture. The Petitioner has proposed alternate exterior materials
43 and color predominantly substituting thin brick for architectural block, metal panels of
44 different colors, accent lighting remains. The following are Staff comments on the plans:
45

46 A1.00: Revision note 2 includes ‘bubbled note S19’ underground conduit to a separately
47 submitted “monument” sign. A monument sign would be subject to another amendment
48 to the B-5. Approval of this amendment would only incorporate the buried power line to
49 this location and does not guarantee approval of a sign design not yet submitted or its
50 location.
51

52 A3.02: It appears the elevations substitute predominant areas of architectural block with
53 thin brick, per the previously submitted construction drawings for building permit. There
54 are color scheme changes that are also proposed as improvements.
55

56 Materials proposed are:

57 ACME Thin Brick “Pikes Peak” Pikes Peak | brick.com

58 Provia Obsidian, Edge Cut-

59 Manufactured Stone Colors | Stone Veneer Color (provia.com)
60
61

62 **VI. STAFF RECOMMENDATIONS:**

63

64 1. If recommended approval is granted, the attached shall establish restrictions of the
65 ordinance of this district. Staff supports the aesthetic, as an improvement.
66

67 **Suggested Motion for 2925 N Highway 67 (Take 5 Car Wash):**

68 I move to recommend approval to amend the B-5, as depicted by the attached
69 drawings A1.00 and A3.02 dated 1/17/21 by Method Architecture, subject to
70 the regulations of a ‘B-5’ Planned Commercial District, Ord. No. 8734 with the
71 following changes to said Ordinance:
72

73 Change Section 1 to remove “Elevations” and substitute drawings A1.00 and A3.02 dated
74 1/17/21 by Method Architecture.
75

76 (Time to complete of 12 months, remains as described in the ordinance.)
77

77

78

(end report and suggested motion)

* KEYNOTES - SITE

#	NOTE
S1	CONCRETE DUMPSTER PAD AND APRON, RE: CIVIL
S2	PARKING STRIPE, RE: CIVIL
S3	ADA PARKING SIGNAGE, RE: CIVIL
S4	CONCRETE WHEEL STOP, RE: CIVIL
S5	ILLUMINATED MONUMENTAL SIGNAGE, TO BE PERMITTED SEPARATELY. GC TO CONFIRM LOCATION W/ OWNER
S6	STOP/GO TRAFFIC LIGHT EQUIPMENT, RE: ELECTRICAL
S7	LIGHT POLE, RE: ELECTRICAL
S8	VENDING MACHINE PROVIDED BY OWNER
S9	PAD MOUNTED UTILITY TRANSFORMER, RE: CIVIL
S10	OVERHEAD VACUUM LINE FURNISHED AND INSTALLED BY CONTRACTOR
S11	VACUUM ARCHES, RE: DETAIL 5/A1.02
S12	SPLASH BLOCK
S13	4" PURE CLEAN UNDERGROUND WATER RECLAMATION HOLDING TANKS, RE: PLUMBING
S14	UNDERGROUND WATER / WATER SEPARATOR TANK, RE: PLUMBING
S15	6" SOLID CORE PVC BURIED PRIMARY VACUUM PIPE
S16	6" SOLID CORE PVC SECONDARY VACUUM PIPE
S17	6" BACK-UP VACUUM PIPE STUB LOCATION
S18	REFER TO EQUIPMENT VENDOR FOR ALL FINAL CAMERA LOCATIONS
S19	PROVIDE UNDERGROUND CONDUIT WHERE SHOWN FOR REMOTE SITE MONUMENT SIGN. MONUMENT SIGN TO BE PERMITTED SEPARATELY. GC TO CONFIRM WITH OWNER FOR FINAL LOCATION PRIOR TO START OF WORK. RE: MEP DRAWINGS.

- OWNER FURNISHED PRODUCTS AND NOTES**
- REFER TO ENLARGED SITE PLANS AND SITE DETAILS FOR ADDITIONAL INFORMATION REGARDING OWNER FURNISHED PRODUCTS & RESPONSIBILITIES
 - OWNER'S CONTRACTOR SHALL FURNISH AND INSTALL 3/4" COMPRESSED AIR TUBING FROM EQUIPMENT ROOM TO EACH VACUUM STALL ROWS. GC SHALL PROVIDE UNDERGROUND PVC CHASE PER PLUMBING DRAWINGS.
 - MONUMENT/POLE SIGN AND FOOTING FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. SHOULD THE SIGN HAVE A BASE, GC SHALL FURNISH AND INSTALL THE SPECIFIED FINISHED MATERIAL. GC SHALL FURNISH AND INSTALL REQUIRED POWER PER ELECTRICAL DRAWINGS.
 - OWNER SHALL FURNISH A TEMPORARY "COMING SOON" SIGN TO BE INSTALLED BY GC. THE GC SHALL INTALL (2) 4"x4"x12" PRESSURE TREATED POSTS PAINTED PRIMER WHITE EMBEDDED A MINIMUM 3'-0" DEEP IN CONCRETE FOOTING. GC TO COORDINATE WITH OWNER CONTRACTOR.
 - SITE SIGNAGE SHALL BE FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. GENERAL CONTRACTOR TO FURNISH AND INSTALL POWER & DATA PER ELECTRICAL DRAWINGS.
 - VENDING MACHINE FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. GENERAL CONTRACTOR TO FURNISH AND INSTALL POWER & DATA PER ELECTRICAL DRAWINGS.
 - VACUUM ARCHES FURNISHED AND INSTALLED BY EQUIPMENT MANUFACTURER. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL UNDERGROUND VACUUM LINE PIPING, ELECTRICAL CONDUIT AND WIRE, TRENCHING, BACKFILLING, EMBEDS, JABOLTS, AND FOOTINGS. REFER TO MANUF. DRAWINGS FOR COMPLETE INSTALLATION REQUIREMENTS OF VACUUM SYSTEM

FIRE DEPARTMENT ACCESS WAY DESIGNATION

POSTING SHALL BE AT THE EXTREMITIES OF SUCH FIRE LANE, AND SHALL BE LETTERED, "FIRE LANE—NO PARKING AT ANY TIME." SUCH SIGNS SHALL BE OF A STANDARD SIZE, COLOR, LETTERING, AND MOUNTING SO AS TO CONFORM TO SAMPLES AND INSTRUCTIONS FOR SAME TO BE OBTAINED FROM THE DEPARTMENT OF TRAFFIC AND TRANSPORTATION.

"FIRE LANES" DESIGNATED AS SET OUT ABOVE SHALL ALSO BE CONSPICUOUSLY MARKED WITH A RED PAINTED LINE AT LEAST FOUR (4) INCHES WIDE AROUND THE PERIMETER THEREOF WITH THE WORDS "FIRE LANE" IN LETTERS AT LEAST TEN (10) INCHES HIGH PAINTED ON THE SURFACE OR, IN THE EVENT AREAS ARE DESIGNATED AS "FIRE LANES" THE SURFACE OF WHICH IS NOT AMENABLE TO PAINT, THEN THE AREA WILL BE CONSPICUOUSLY DESIGNATED BY SIGNS NOT LESS THAN FOUR (4) FEET TALL.

FIRE DEPARTMENT ACCESS WAY

FIRE CODE ACCESS WAY TO MEET ALL APPLICABLE REQUIREMENTS OF IFC, APPENDIX D

ALL FIRE DEPARTMENT ACCESS ROADS COMPLY WITH IBC SECTION 503.2.3 (SURFACE) - FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND CONSTRUCTED TO SUPPORT THE IMPOSED LOADS OF 75,000 POUNDS FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES - STRIPE FIRE LANE

FIRE HYDRANTS

REFER TO CIVIL DRAWINGS FOR LOCATIONS OF EXISTING AND PROPOSED FIRE HYDRANTS

GENERAL NOTES - SITE

REFER TO BOUNDARY SURVEY TO ESTABLISH PROPERTY LINES AND EASEMENTS

REFER TO GEOTECHNICAL INVESTIGATION REPORT FOR PAVING SUBGRADE

REFER TO CIVIL DRAWINGS FOR SITE GRADING/DRAINAGE AND DRIVEWAY AND DETENTION DETAILS

REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE AND IRRIGATION SCOPE

ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 1:50 SLOPE IN ANY DIRECTION

ACCESSIBLE ROUTES FROM PARKING TO BUILDING SHALL NOT EXCEED 1:20 SLOPE

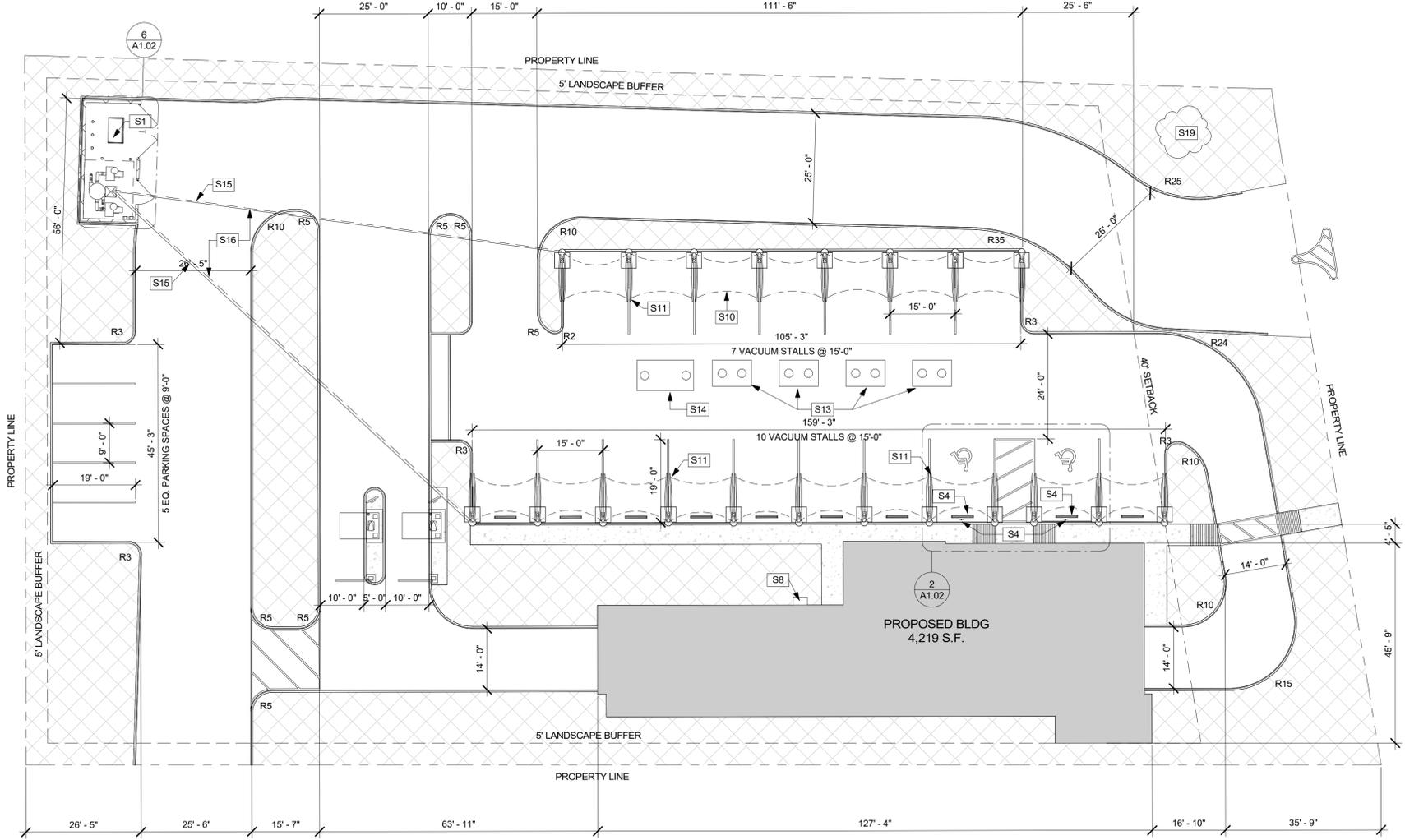
NO CROSS SLOPES SHALL EXCEED 1:50 (2.0% SLOPE) OR 1/4" PER FOOT IN ANY LOCATION

SIGNAGE WILL BE PERMITTED SEPARATLY

SYMBOL LEGEND - SITE

R3 = 3'-0" RADIUS	R20 = 20'-0" RADIUS	R35 = 35'-0" RADIUS
R5 = 5'-0" RADIUS	R25 = 25'-0" RADIUS	R40 = 40'-0" RADIUS
R10 = 10'-0" RADIUS	R28 = 28'-0" RADIUS	R45 = 45'-0" RADIUS
R15 = 15'-0" RADIUS	R30 = 30'-0" RADIUS	R50 = 50'-0" RADIUS

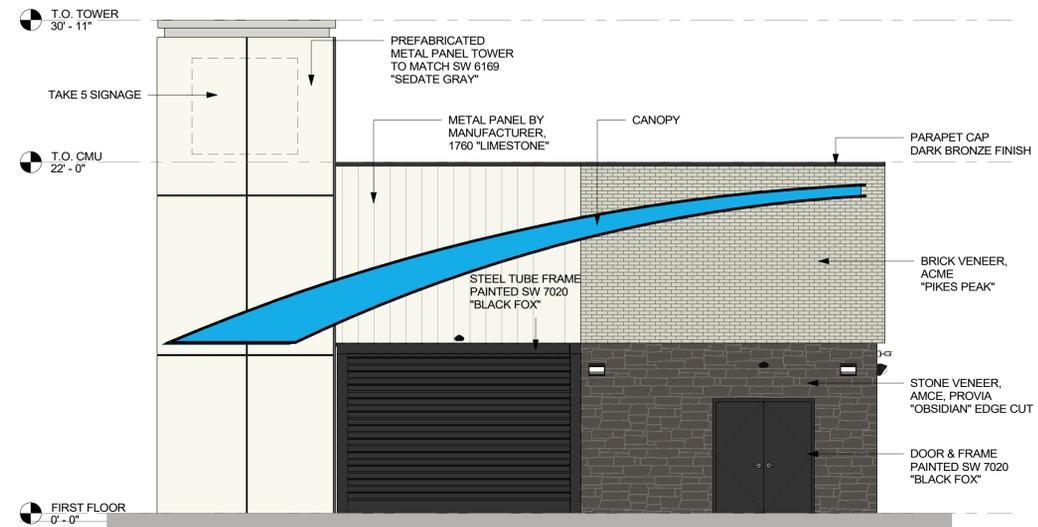
CONCRETE PAVING	SIDEWALK AREA	FIRE LANE	LANDSCAPED AREA
-----------------	---------------	-----------	-----------------



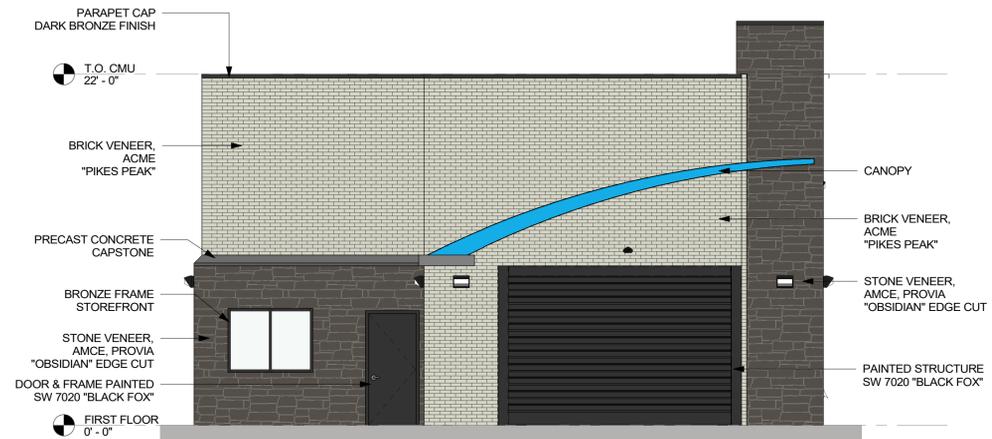
LINBERGH BLVD



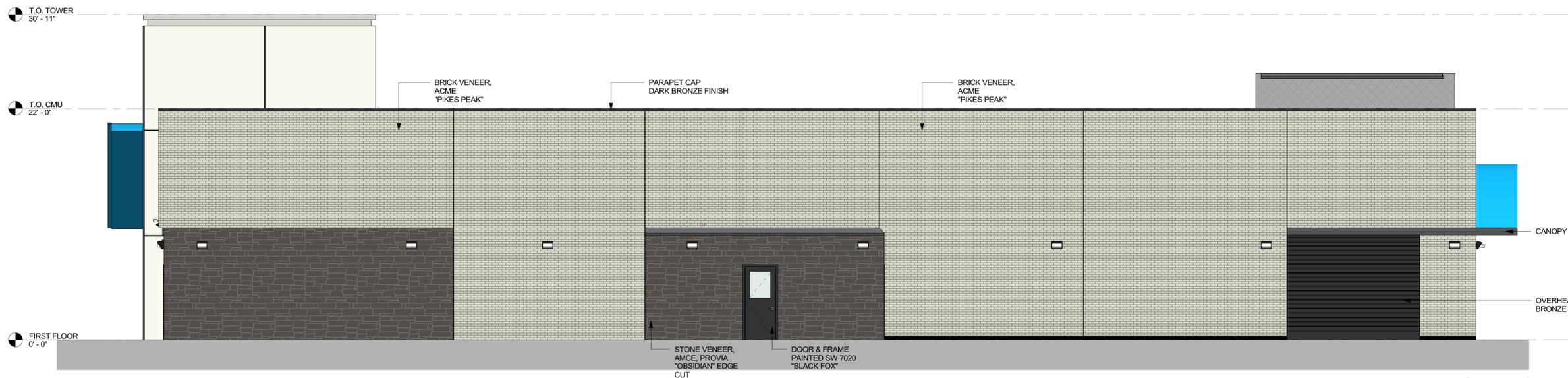
METHOD ARCHITECTURE, PLLC
THESE DRAWINGS ARE THE PROPERTY OF METHOD ARCHITECTURE, PLLC. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF METHOD ARCHITECTURE, PLLC.



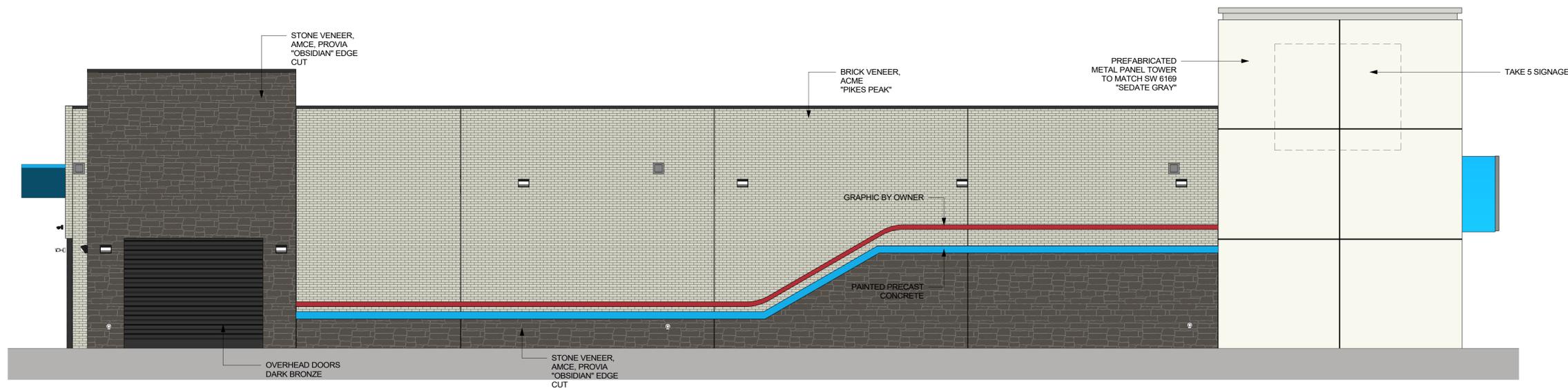
SOUTHEAST ELEVATION 4
3/16" = 1'-0"



NORTHWEST ELEVATION 3
3/16" = 1'-0"



NORTHEAST ELEVATION 2
3/16" = 1'-0"



SOUTHWEST ELEVATION 1
3/16" = 1'-0"

CITY OF FLORISSANT

Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 14, 2022 at 7:00 p.m. on the following proposition:

To amend Ord. No. 8734 to allow for changes to the exterior material in a 'B-5' Planned Commercial District located at 2925 N Highway 67 (Take 5 Carwash). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

1 INTRODUCED BY COUNCILMAN SIAM
2 OCTOBER 11, 2021

3
4 BILL NO. 9715

ORDINANCE NO. **8734**

5
6 **ORDINANCE TO REZONE THE PROPERTY AT 2925 N. HWY 67 FROM B-3**
7 **“EXTENSIVE BUSINESS DISTRICT” TO B-5 “PLANNED COMMERCIAL**
8 **DISTRICT” FOR THE LOCATION OF A CAR WASH.**
9

10 WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant district
11 classifications for the purpose of regulating their construction and use of land, buildings and property
12 within the said various districts, and said Ordinance provides the nature, kind and character of buildings
13 that may be erected in each of the said districts and the use to which the land and buildings may be put;
14 and

15 WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to
16 the City Council at their meeting of September 7, 2021 that Ordinance No. 1625 be amended to change
17 the classification of the property at 2925 N. Hwy 67 from B-3 “Extensive Business District to B-5
18 “Planned Commercial District”; and

19 WHEREAS, due and lawful notice of a public hearing no. 21-10-026 on said proposed zoning
20 change was duly published, opened on October 11, 2021 at 7:00 P.M. by the Council of the City of
21 Florissant; and

22 WHEREAS, the Council, following said public hearing, and after due and careful deliberation,
23 has concluded that the amendment of Ordinance No. 1625, as amended, as hereinafter set forth, to be in
24 the best interest of the public health, safety and welfare of the City of Florissant; and

25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
27

28 Section 1: A B-5 “Planned Commercial District” is hereby approved, as depicted by the
29 attached drawings plans Site Plan C-100, C-300, C-310, C-600, Landscape Plan LP-1 , LP-2 all dated
30 08/06/21 by JM Civil, Floor Plan and Elevations dated 8/12/21 and lighting Plan dated 8/16/21, subject
31 to the regulations of a ‘B-5’ Planned Commercial District, with permitted uses allowed being a car wash,
32 those within the B-3 “Extensive Business District” without a Special Permit, and the following
33 additional requirements:
34

35 **1. PERMITTED USES**

36 The uses permitted for this property shall be limited to car wash, those within the B-3
37 “Extensive Business District” without a Special Permit. Other uses than those permitted
38 shall require approval by amendment to this ‘B-5’ Ordinance.
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2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

The building space shall be limited to a single story 4164 SF car wash, with uses permitted within the B-3 "Extensive Business District" without a Special Permit.

3. PERFORMANCE STANDARDS

In addition to all other requirements, uses within the "B-5" Planned Commercial District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. Screening.
 - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
 - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Trash container shall meet or exceed city trash enclosure requirements.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawings attached, including entire property, trash enclosures, landscape, lighting and legal description.

3. SITE DEVELOPMENT PLAN CRITERIA:

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a. Height, Area And Bulk Restrictions:

1. Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District

b. Internal Drives:

(1) There shall be parking as shown on plans attached.

c. Minimum Parking/Loading Space Requirements.

(1) There shall be a minimum of 22 parking spaces provided on the property.

d. Road Improvements, Access and Sidewalks (not applicable)

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) The light level for parking lot lighting shall be as shown on attached photometric plan.

(2) All site lighting and exterior building lighting shall be directed down and inward

f. Sign Requirements.

(1) All signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

(1) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

(2) An automatic permanent irrigation system shall be designed and installed to cover all landscaped areas.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

(1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.

(2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

(1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.

(2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.

- 130 (3) All storm water and drainage facilities shall be constructed, and all landscaping shall
131 be installed, prior to occupancy of the building, unless remitted by the Director of
132 Public Works due to weather related factors.
- 133
- 134 (4) All mechanical equipment, electrical equipment, and communication equipment shall
135 be screened in accordance with the Florissant Zoning Code.
- 136
- 137 (5) The exterior design of the buildings shall be constructed in accordance with the
138 renderings as approved by the Florissant Planning and Zoning Commission and
139 attached hereto.
- 140
- 141 (6) All other requirements of the Florissant Municipal Code and other ordinances of the
142 city shall be complied with unless otherwise allowed by this ordinance.
- 143

144 **7. FINAL SITE DEVELOPMENT PLAN**

145 A final site development plan shall be submitted to the Building Commissioner to review
146 for compliance with the applicable "B-5" Planned Commercial Development ordinance
147 prior to recording. Any variations from the ordinance approved by the City Council
148 and/or the conceptual plans attached to such ordinance shall be processed in accordance
149 with the procedure established in the Florissant Zoning Code.

151 **8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

152 Any changes to the approved plans attached hereto must be reviewed by the Building
153 Commissioner. The Building Commissioner shall make a determination as to the extent of the
154 changes per the following procedure:

- 155
- 156 a. The property owner or designate representative shall submit in writing a request for an
157 amendment to the approved plans. The building commissioner shall review the plans for
158 consistency with the purpose and content of the proposal as originally or previously
159 advertised for public hearing and shall make an advisory determination.
- 160 b. If the building commissioner determines that the requested amendment is not consistent
161 in purpose and content with the nature of the purpose as originally proposed or
162 previously advertised for the public hearing, then an amendment to the special use
163 permit shall be required and a review and recommendation by the planning and zoning
164 commission shall be required and a new public hearing shall be required before the City
165 Council.
- 166 c. If the building commissioner determines that the proposed revisions are consistent with
167 the purpose and content with the nature of the public hearing then a determination of
168 non-necessity of a public hearing shall be made.
- 169 d. Determination of minor changes: If the building commissioner determines that an
170 amendment to the special use permit is not required and that the changes to the plans are
171 minor in nature the Building Commissioner may approve said changes.
- 172 e. Determination of major changes: If the Building Commissioner determines that an
173 amendment to the B-5 is not required but the changes are major in nature, then the owner
174 shall submit an application for review and approval by the Planning and Zoning
175 commission.

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9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

10. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

9. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

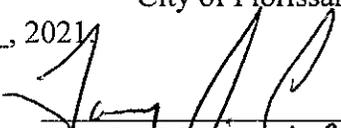
Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this 8 day of Nov, 2021.



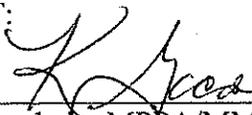
 Keith Schildroth
 President of the Council
 City of Florissant

Approved this 8 day of Nov, 2021.



 Timothy J. Lowery
 Mayor, City of Florissant

ATTEST:

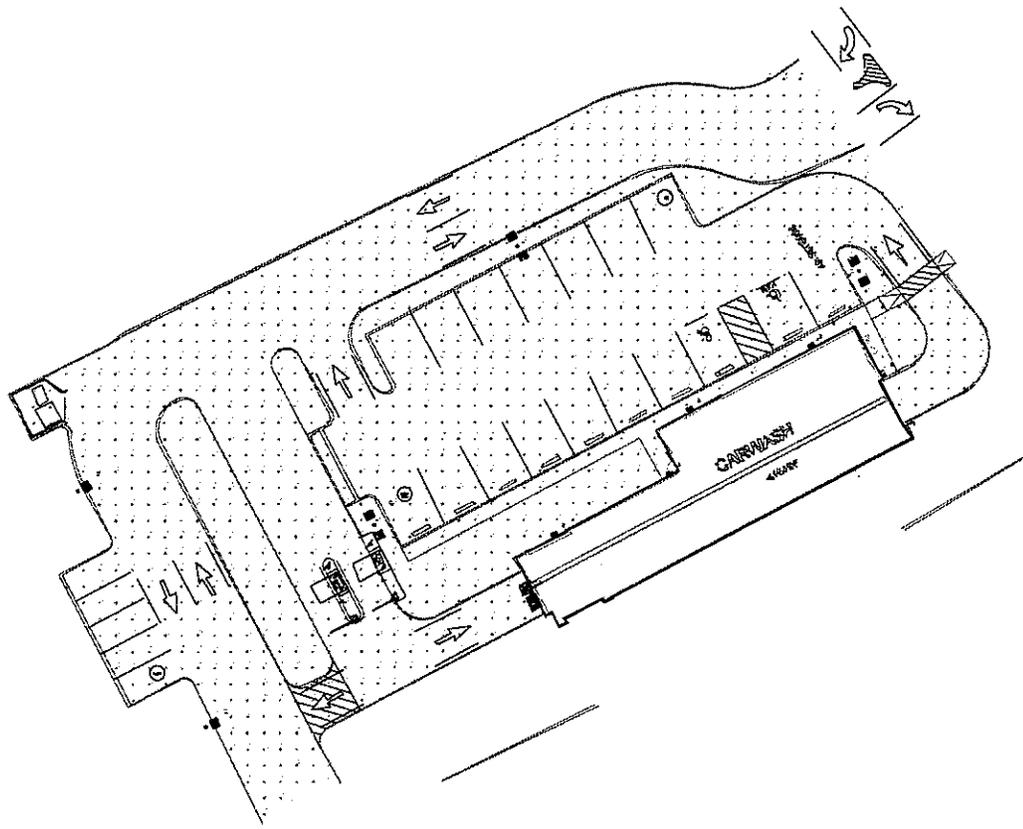


 Karen Goodwin, MPPA/MMC/MRCC
 City Clerk



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Scale
Date

1 INTRODUCED BY COUNCILWOMAN PAGANO
2 APRIL 11, 2022

3
4 BILL NO. 9766

ORDINANCE NO.

5
6 **ORDINANCE TO APPROVE A SPECIAL USE PERMIT WITHIN A B-5**
7 **“PLANNED COMMERCIAL DISTRICT” TO ALLOW FOR A NEW**
8 **RESTAURANT LOCATED AT 6 GRANDVIEW PLAZA SHOPPING**
9 **CENTER.**

10
11 WHEREAS, ordinance no. 5239 was passed in 1991 approving the rezoning of the
12 property known as Grandview Shopping Center to a B-5 Planned Commercial District; and

13 WHEREAS ordinance no. 5239 has been amended by ordinance nos.
14 5421,5422,5469,5504,5970 and 6814; and

15 WHEREAS B-5 ordinance no. 5239 specifically requires restaurants to acquire a special
16 use permit to locate in the Grandview Shopping Center; and

17 WHEREAS Jerdo Denis and Princeton Dew d/b/a 2.0 Restaurant and Bar, LLC have
18 filed an application for Special Use Permit to allow for a restaurant as required by B-5 ordinance
19 no. 5239 located at 6 Grandview Plaza Shopping Center; and

20 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
21 recommended to the City Council at their meeting of March 7th, 2022 that special use permit be
22 granted to 2.0 Restaurant and Bar, LLC for the operation of a restaurant within the B-5
23 development established by ordinance no. 5239 and located at 6 Grandview Plaza Shopping
24 Center; and

25 WHEREAS, due and lawful notice of a public hearing no. 22-03-008 on said proposed
26 change was duly published, held and concluded on 28th of March, 2022 by the Council of the
27 City of Florissant; and

28 WHEREAS, the Council, following said public hearing, and after due and careful
29 deliberation, has concluded that special use permit granted to 2.0 Restaurant and Bar, LLC for
30 the operation of a restaurant within the B-5 development established by ordinance no. 5239 and
31 located at 6 Grandview Plaza Shopping Center is in the best interest of the public health, safety
32 and welfare of the City of Florissant; and

33
34 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
35 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

36

37 Section 1: A special use permit is hereby granted to 2.0 Restaurant and Bar, LLC for the
38 operation of a restaurant within the B-5 development established by ordinance no. 5239 and
39 located at 6 Grandview Plaza Shopping Center as depicted by the attached drawings A0.0 and
40 A1.0, dated 1/17/22 by DERU and Associates, LLC subject to the regulations of the 'B-5'
41 Planned Commercial District, Ord. No. 5239 (as amended by Ords. Nos. 5421, 5422, 5469, 5504,
42 5970, and 6814) with permitted uses section amended as follows and the following additional
43 requirements:

44 1. PERMITTED USE CHANGES TO ORD. NO. 5239

45 Change permitted uses in ordinance no. 5239, "Section 1", paragraph "2. Permitted Uses", adding
46 the following sub-paragraph 2:

47 The uses permitted shall include an approximately 4998 square feet sit-down, carryout restaurant
48 and bar for 6 Grandview SC (2.0 Restaurant/Bar.)

- 49 • Maximum Occupancy: 210 occupants.
- 50 • Unfinished area of approximately 1171 square feet shall be closed off from all access.
51 Parking shall accommodate additional occupant load when the area is finished under
52 building permit and Use is established.
- 53 • Prepare an amended Site Development Plan for the proposed occupant load sufficient for
54 this Use and considering parking required for other Uses in the Shopping Center.

55 2. FINAL SITE DEVELOPMENT PLAN

56 An amended Site Development Plan shall be submitted to the Building Commissioner to review
57 for compliance with the applicable "B-5" Planned Commercial Development ordinance prior to
58 recording, per ordinance no. 5239, Section 2, paragraph 8.

59 3. PROJECT COMPLETION.

60 Construction shall start within 90 days of the issuance of building permits for the project and
61 shall be developed in accordance of the approved final development plan within 12 months of
62 start of construction.

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64 Section 2: This ordinance shall become in full force and effect immediately upon its passage and
65 approval.

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68 Adopted this _____ day of _____, 2022.

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Keith Schildroth
President of the Council

Approved this _____ day of _____, 2022.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 MARCH 28TH, 2022

3
4 BILL NO. 9767

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO CHAPTER 120**
7 **“BOARDS, COMMISSIONS AND COMMITTEES” BY DELETING**
8 **ARTICLE XIV “ECONOMIC DEVELOPMENT COMMISSION”**

9
10 WHEREAS the Florissant City Council established the Economic Development
11 Commission by ordinance no. 8737; and

12
13 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
14 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

15
16
17 Section 1: Chapter 120 “Boards, Commissions and Committees” is hereby
18 amended by deleting article XIV “Economic Development Commission” in its entirety.

19
20 Section 2: This ordinance shall become in force and effect immediately upon its passage
21 and approval.

22 Adopted this _____ day of _____, 2022.

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25 _____
26 Keith Schildroth, Council President

27 Approved this _____ day of _____, 2022.

28
29 _____
30 Timothy J. Lowery, Mayor

31 ATTEST:
32 _____
33 Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN
2 MARCH 28, 2022

3
4 BILL NO. 9768

ORDINANCE NO.

5
6 **AN ORDINANCE AUTHORIZING AN APPROPRIATION OF \$65,000**
7 **FROM THE PARK IMPROVEMENT FUND TO ACCOUNT NO. 09-5-09-**
8 **29440 “BUILDING AND MAINTENANCE – JJE” FOR ADDITIONAL**
9 **YEARLY EXPENSES AT THE JAMES J. EAGAN CENTER.**

10
11 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
12 COUNTY, MISSOURI, AS FOLLOWS:

13
14 Section 1: There is hereby appropriated and set apart from the Park Improvement Fund
15 of the City of Florissant the sum of \$65,000 to Budget Account No. 09-5-09-29440 “Building
16 and Maintenance – JJE” for additional yearly expenses at the James J. Eagan Civic Center.

17 Section 2: This ordinance shall become in force and effect immediately upon its
18 passage and approval.

19
20
21 Adopted this _____ day of _____, 2022.

22
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24 _____
25 Keith Schildroth
26 President of the Council
27 City of Florissant
28

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30 Approved this _____ day of _____, 2022.

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33 _____
34 Timothy J. Lowery, Sr.
35 Mayor, City of Florissant
36

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38 ATTEST:

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40 _____
41 Karen Goodwin, MMC/MRCC
42 City Clerk
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FLORISSANT CITY COUNCIL

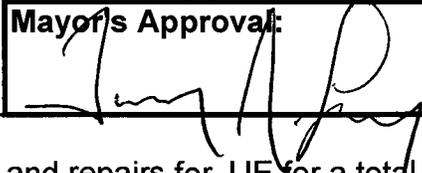
AGENDA REQUEST FORM

Date: March 24, 2022

Mayor's Approval:

Agenda Date Requested: |

28-Mar-22



Appropriate monies to for additional yearly expenses and repairs for JJE for a total of \$65,000 to account # 09-5-09-29440 builing & grounds - JJE

Department: Parks and Recreation

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment	X		

Public Hearing needed: **Yes / No**

NO

3 readings? : **Yes / No**

YES

Back up materials attached:		Back up materials needed:	
Minutes		Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

**CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum**

Date: March 24, 2022
To: City Council
Thru: Mayor Tim Lowery
Cc: Kimberlee Johnson
From: Cheryl A. Thompson-Stimage
Subject: Appropriation of Funds – to Park Improvement Funds

MM 3-27-22

I am requesting to appropriate an additional \$65,000 to account -Building and Maintenance – JJE 09-5-09-29440. Unfortunately, we have had many repairs this year to equipment. Repairs to the chillers, plumbing and electric that have had to be made so far this year total approximately \$30,000 along with a \$9,000 repair to the elevator.

The monthly expenses for the building are approximately \$3,300 for janitorial supplies, mat cleaning, extermination, water treatment and various other expenses. For the remained for this fiscal year that would be \$24,000. We still have other repairs that are being held on to for at least another \$20,000. Other unforeseen expense that cannot be projected at this time could be another \$18,000 - \$20,000. Thus, we are asking for an additional \$65,000 for the building expenses at JJE for the year.

Please advise if additional information is needed. Thank you for your consideration on this matter.

1 INTRODUCED BY COUNCILMAN SIAM
2 APRIL 11, 2022

3
4 BILL NO. 9769

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO AN EXISTING**
7 **SPECIAL USE TO ALLOW FOR A BUILDING ADDITION IN A B-3**
8 **“EXTENSIVE BUSINESS DISTRICT” LOCATED AT 1779 N. HWY 67.**
9

10 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
11 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of an
12 automotive repair business; and

13 WHEREAS L&M Motors, Inc. d/b/a Gary’s Auto Service operated an automotive repair
14 business at 1779 N. Hwy 67 prior to the requirement of a special use permit; and

15 WHEREAS, an application has been filed by L&M Motors, Inc. d/b/a Gary’s Auto
16 Service to amend the existing special use to allow for a building addition; and

17 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
18 meeting of March 21, 2022 has recommended that the Special Use Permit amendment be
19 approved to allow for a building addition; and

20 WHEREAS, due notice of public hearing no. 22-04-010 on said application to be held on
21 the 11th of April, 2022 at 7:00 P.M. by the Council of the City of Florissant was duly published,
22 held and concluded; and

23 WHEREAS, the Council, following said public hearing, and after due and careful
24 consideration, has concluded that the granting of an amendment to the pre-existing Special Use
25 Permit, as hereinafter provided, would be in the best interest of the City of Florissant and will not
26 adversely affect the health, safety, morals and general welfare of the City.

27 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
28 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
29

30 Section 1: The pre-existing Special Use for an automotive repair business located at
31 1779 N. Hwy 67 is hereby amended to allow for a building addition in a ‘B-3’ Extensive
32 Business District as shown on plans A-1.02 Special Use Site Plan and A-2.01 Floor Plan and
33 A4.01 Elevations by Aligned Studio, LLC, all dated 3/7/2022, attached, subject to the conditions
34 set forth below with these conditions being part of the record:

35 **Correct 40’ setback lines on site plan A-1.02**

1 INTRODUCED BY COUNCILMAN CAPUTA
2 APRIL 11, 2022

3
4 BILL NO. 9770

ORDINANCE NO.

5

6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**
7 **PERMIT NO. 8437 FROM JUST 1 TASTE CATERING TO LEE'S**
8 **KITCHEN & CATERING FOR THE OPERATION OF RESTAURANT**
9 **LOCATED AT 17 & 18 PATTERSON PLAZA SHOPPING CENTER.**

10

11 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a
13 restaurant; and

14 WHEREAS Special Use permit no. 8115 was issued to AJB's Barbecue in 2015 and
15 transferred to J & L Enterprises d/b/a Just 1 Taste Catering in 2018; and

16 WHEREAS Special Use permit 8115 as transferred by ordinance 8437 was amended by
17 ordinance no. 8531 in 2019 to allow for an expansion; and

18 WHEREAS Keith A Lee Jr d/b/a Lee's Kitchen and Catering has filed an application to
19 transfer Special use Permit no. 8437 for the use of a restaurant located at 17 & 18 Patterson Plaza
20 Shopping Center to its name; and

21 WHEREAS, the City Council of the City of Florissant determined at its meeting on April
22 11, 2022 that the business would be operated in substantially identical fashion as set out herein;
23 and

24 WHEREAS, Keith A Lee Jr d/b/a Lee's Kitchen and Catering has accepted the terms and
25 conditions as they apply to a special use permit for a restaurant-bar.

26

27 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
28 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

29 Section 1: Special Use Permit no. 8437 as amended is hereby transferred from J & L
30 Enterprises d/b/a Just 1 Taste Catering to Keith A. Lee Jr d/b/a Lee's Kitchen and Catering for
31 the operation of a restaurant located at 17 & 18 Patterson Plaza Shopping Center.

32 Section 2: The Special Use Permit herein authorized shall terminate if the said business
33 ceases operation for a period of more than ninety (90) days.

34 Section 3: This ordinance shall become in force and effect immediately upon its passage
35 and approval.
36

37

38 .
39 Adopted this ____ day of _____, 2022.

39

40

Keith Schildroth
Council President

41

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43 Approved this ____ day of _____, 2022.

44

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46

Timothy J. Lowery
Mayor, City of Florissant

47

48

49 ATTEST:

50

51

52 _____
Karen Goodwin, MPPA/MMC/MRCC

53 City Clerk

TRANSFER OF SPECIAL PERMIT

AUTHORIZED BY ORDINANCE NUMBER (S) ~~845~~ 8437

FROM Just One Taste

TO Lee's Kitchen & Catering

FOR Restaurant

ADDRESS 17-18 Patterson Plaza

Ward 4 Zoning _____ Date Filed _____ Accepted By _____

TRANSFER OF SPECIAL USE PERMIT PETITION

TO THE CITY COUNCIL OF THE CITY OF FLORISSANT:

1. Comes now Keith Lee and states to the City Council that he (she) (they) has (have) the following legal interest in the property located at 17-18 Patterson Plaza in the City of Florissant, Missouri. Legal interest: Lease or () Simple Title
(Attach signed copy of lease or deed)

2. The petitioner(s) further state that he (she) (they) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly to any official, employee, or appointee of the City of Florissant, with respect to this petition.

3. The applicant will operate the business in the same manner and under the same conditions as set out in the original ordinance granting the special permit or any amendments thereto, except for any proposed change in sign face of an authorized sign.

PETITIONER SIGNATURE Keith A Lee
Individual's Name

FOR: Lee's Kitchen & Catering
Company, Corporation, Partnership

4. I (we) hereby certify that (indicate **one only**):

I (we) have a legal interest in the above described property.

I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE Keith A Lee Jr

ADDRESS 17-18 Patterson Plaza

Telephone No. (314) 201-0137 Email address kg052320@gmail.com

I (we) the petitioner(s) do hereby appoint _____ as my (our) duly authorized agent to represent me (us) in regard to this petition.

Keith A Lee Jr
PETITIONER SIGNATURE

Note: Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of owner to Transfer Special Permit Petition.

Keith A Lee Jr
SIGNATURE OF OWNER

Information sheet to be attached to all requests for Transfer of Special Permit

Type of Operation: (Select One)

Individual Partnership Corporation LLC

INDIVIDUAL:

Name & address Keith A Lee Jr 6038 Washington Ave

Telephone number & email address (314) 204-0137

Business name/address/phone Lee's Kitchen & Catering

Copy of fictitious name registration, if applicable _____

PARTNERSHIP:

Name & address of partner (s) _____

Telephone number(s) and email address (s) _____

Business name/ address /phone _____

Copy of fictitious name registration, if applicable _____

CORPORATION OR LLC:

Name & address of all corporate officers _____

Telephone numbers & email addresses _____

Business name/address/phone _____

Photocopy of Corporation/LLC Articles and Certificate _____

Date of incorporation/LLC _____

Copy of fictitious name registration, if applicable

Copy of latest Missouri Anti-Trust affidavit (annual registration of corporate officers)

TRANSFER OF SPECIAL USE PERMIT

The undersigned hereby acknowledges receipt of a copy of Ordinance
Number _____ which authorized a Special Permit:

TO: Lee's Kitchen + Catering

FOR: 17-18 Patterson Plaza

and agree to the terms and conditions listed in said ordinance and to any
additional term and conditions that the City Council shall deem appropriate.

Lee, Keith A Jr

PRINT - NAME OF APPLICANT

Keith A Lee

SIGNATURE OF APPLICANT

1 INTRODUCED BY COUNCILMAN CAPUTA
2 AUGUST 27, 2018

3
4 BILL NO. 9412

ORDINANCE NO. **8437**

5
6 **ORDINANCE TO AUTHORIZE A TRANSFER OF SPECIAL USE**
7 **PERMIT NO. 8115 FROM AJB'S BBQ TO J & L ENTERPRISES LLC**
8 **D/B/A JUST 1 TASTE CATERING FOR THE LOCATION AND**
9 **OPERATION OF A CARRY-OUT, DELIVERY RESTAURANT FOR THE**
10 **PROPERTY LOCATED AT 18 PATTERSON PLAZA SHOPPING**
11 **CENTER.**

12
13 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
14 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
15 operation of a carry-out, delivery restaurant; and

16 WHEREAS, pursuant to Ordinance No. 8115, AJB's BBQ was granted a Special Use
17 Permit for the location and operation of carry-out, delivery restaurant on the property known as
18 18 Patterson Plaza Shopping Center; and

19 WHEREAS, an application has been filed by J&L Enterprises LLC to transfer the Special
20 Use Permit authorized by Ordinance No. 8115 to its name; and

21 WHEREAS, the City Council of the City of Florissant determined at its meeting on
22 August 27th, 2018 that the business operated under Ordinance Nos. 8115 would be operated in a
23 substantially identical fashion as set out herein; and

24 WHEREAS, J&L Enterprises LLC has accepted the terms and conditions set out in
25 Ordinance No. 8115.

26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
27 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

28
29 Section 1: The Special Use Permit authorized by Ordinance No. 8115 originally issued
30 AJB's BBQ is hereby transferred to J&L Enterprises LLC d/b/a for the location and operation of
31 a carry-out, deliver restaurant on the property known as 18 Patterson Plaza Shopping Center.

32 Section 2: The terms and conditions of said Special Permit authorized by Ordinance No.
33 8115 shall remain in full force and effect.

34 Section 3: The Special Use Permit herein authorized shall terminate if the said business
35 ceases operation for a period of more than ninety (90) days.

36 Section 4: This ordinance shall become in force and effect immediately upon its passage
37 and approval.

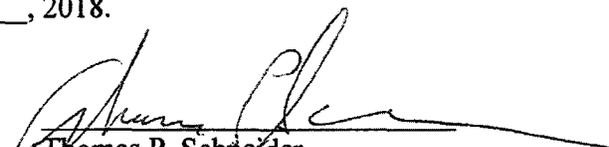
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Adopted this 27 day of August, 2018.



Jeff Caputa
Council President

Approved this 29 day of April, 2018.



Thomas P. Schneider
Mayor, City of Florissant

ATTEST:



Karen Goodwin, MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN CAPUTA
2 JANUARY 26, 2015

3
4 BILL NO. 9067

ORDINANCE NO. 8115

5
6 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO AJB'S**
7 **BARBECUE LLC D/B/A AJB'S BBQ TO ALLOW FOR THE**
8 **OPERATION OF A CARRY-OUT, DELIVERY RESTAURANT FOR**
9 **THE PROPERTY LOCATED AT 18 PATTERSON PLAZA SHOPPING**
10 **CENTER.**

11
12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
14 operation of a carry-out, delivery restaurant; and

15 WHEREAS, an application has been filed by Keisha Union for the location and
16 operation of a carry-out, delivery restaurant on the property known as 18 Patterson Plaza
17 Shopping Center; and

18 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their
19 meeting of January 5, 2015 has recommended that the said Special Use Permit be granted; and

20 WHEREAS, due notice of public hearing no. 15-01-002 on said application to be held on
21 the 26th of January, 2015 at 7:30 P.M. by the Council of the City of Florissant was duly published,
22 held and concluded; and

23 WHEREAS, the Council, following said public hearing, and after due and careful
24 consideration, has concluded that the granting of the Special Use Permit as hereinafter provided
25 would be in the best interest of the City of Florissant.

26
27 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
28 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

29
30 Section 1: A Special Use Permit is hereby granted to Anthony Barber d/b/a AJB's
31 Barbeque for the location and operation of a carry-out, delivery restaurant on the property
32 known as 18 Patterson Plaza Shopping Center with the following stipulations:

- 33 1. Any signage will not exceed 40 square foot.
34 2. No exterior smoker.

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3. Hours of operation 9 am - 10:30 pm, 7 days a week.

Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

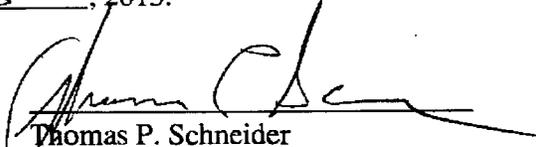
Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this 9 day of Feb, 2015.



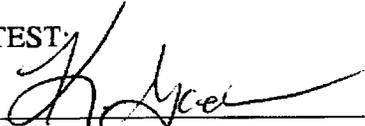
Joseph Eagan
President of the Council
City of Florissant

Approved this 12 day of FEB, 2015.



Thomas P. Schneider
Mayor, City of Florissant

ATTEST:



Karen Goodwin, MMC/ MRCC
City Clerk

