



FLORISSANT CITY COUNCIL AGENDA

City Hall

955 rue St. Francois

Monday, March 28, 2022

7:00 PM

Karen Goodwin, MMC/MRCC



I. *PLEDGE OF ALLEGIANCE*

II. *ROLL CALL OF MEMBERS*

III. *APPROVAL OF MINUTES*

- City Council Meeting minutes of March 14, 2022

IV. *SPECIAL PRESENTATION*

- Savanna Burton, Deputy City Clerk

V. *RESOLUTIONS*

1039	Resolution of Florissant City Council and Mayor acknowledging and thanking Cannoli's for 28 years of dedication and service to the community.	Council as a whole
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VI. *COMMENDATIONS*

- Detective Sergeant Tony Mocca, Detective Margherio, Detective Jeff Spalding
- Detective Sergeant Tony Mocca, Detective Sergeant Joe Monahan, Detective Joe Brockmeier, Detective Dan Fletcher, Detective Dustin Chandler, Detective Dominic Margherio, Detective Jeff Spalding, Detective Steve Beekman, Detective Jodie Chapie
- Officer Matt Schaeffler
- Officer Raymond Hicks and Officer Brett Bowling

VII. *HEARING FROM CITIZENS*

VIII. *COMMUNICATIONS*

IX. PUBLIC HEARINGS

22-03-008 (Ward 7) Application Staff Report Plans	Request to approve a Special Use Permit within a B-5 “Planned Commercial District” to allow for a new restaurant located at 6 Grandview Plaza Shopping Center.	Jerdo Dennis
22-03-009 Memo	Public Hearing to review the Fiscal Year 2022 Annual Action Plan for the Florissant Community Development Block Grant Program (CDBG).	Carol O’Mara

X. OLD BUSINESS

A. BILLS FOR SECOND READING

9758	Ordinance authorizing an amendment to Special Use Ordinance no. 8651 to allow for a tire storage structure in a B-3 “Extensive Business District” located at 1685 N. Hwy 67.	Mulcahy
9763	Ordinance to amend ordinance no. 6669 to allow for a sit-down, drive-through, carryout restaurant in a B-5 Planned commercial district located at 13963 New Halls Ferry Road.	Siam
9764	Ordinance establishing the boundaries of the various wards of the City of Florissant.	Council as a whole
9765 Memo	Ordinance authorizing an appropriation of \$100,000 from the Capital Improvement Fund to budget account no. 03-5-03-50050 “Professional Services-Engineering” for right of way acquisition services for the St. Denis Phase 1 project.	Schildroth

XI. NEW BUSINESS

A. BOARD APPOINTMENTS

B. BILLS FOR FIRST READING

9762	Ordinance to amend ordinance no. 8734 to allow for changes to the exterior material in a B-5 Planned commercial district located at 2925 N. Highway 67.	Siam
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9766	Ordinance to approve a Special Use Permit within a B-5 “Planned Commercial District” to allow for a new restaurant located at 6 Grandview Plaza Shopping Center.	Pagano
9767	Ordinance authorizing an amendment to Chapter 120 “Boards, Commissions and Committees” by deleting Article XIV “Economic Development Commission”	Schildroth
9768	Ordinance authorizing an appropriation of \$65,000 from the General Revenue Fund to Account no. 09-5-09-29440 “Building and Maintenance – JJE” for additional yearly expenses at the James J. Eagan Center	Schildroth

XII. COUNCIL ANNOUNCEMENTS

XIII.MESSAGE FROM THE MAYOR

XIV.ADJOURNMENT

THIS AGENDA WAS POSTED ON THE BULLETIN BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON MARCH 25, 2022 BY 12:00 PM.

ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, MARCH 28, 2022.

CITY OF FLORISSANT



COUNCIL MINUTES

March 14, 2022

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, March 14, 2022 at 7:00 p.m. with Council President Schildroth presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Schildroth, Mulcahy, Pagano, Parson, Siam, Harris, Manganelli, Eagan, and Caputa. Also present was Mayor Timothy Lowery, Deputy City Clerk Savanna Burton, and Acting City Attorney Jackie Graves. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Manganelli moved to approve the City Council Minutes of February 28, 2022, seconded by Eagan. Motion carried.

The next item on the Agenda was *Hearing from Citizens*.

Joyce Chancey, 445 Myrtle Dr, thanked Councilmen Eagan and Mulcahy for their hard work on the St. Patrick's Day Parade and for the Florissant staff for their work over the weekend.

The next item on the Agenda was *Public Hearings*.

The City Clerk reported that Public Hearing 22-02-003 for the Request to amend Special Use Ordinance no. 8651 to allow for a tire storage structure in a B-3 "Extensive Business District" located at 1685 N. Hwy 67. The Chair declared the Public Hearing to be open. He asked if the petitioner was present.

Seeing the petitioner was not in attendance, Councilman Mulcahy made a motion to remove the Public Hearing from the agenda, seconded by Eagan. Motion carried.

The City Clerk reported that Public Hearing 22-03-005 for the Request to amend ordinance no. 8734 to allow for changes to the exterior material in a B-5 Planned Commercial District located at 2925 N. Highway 67. The Chair declared the Public Hearing to be open.

Kyle Flaming, engineer, stated the business is wanting to change to the thin brick system because of a model change with Take 5 stores all over. Mr. Flaming noted the business would be installing the veneer to the CMU wall section. Phil Lum, Building Commissioner clarified the thin brick will be replacing the previous approved efis. Councilman Eagan noted the previously approved exterior material also did not meet the masonry ordinance. He also requested information on the cost difference to be given to the City Council. Councilman Caputa stated he would like a copy of the brick proposal with

specifications which were not given to the City Council. He noted he would like to have the specifications to the City Council prior to a decision being made. Mr. Manganelli requested the warranty information to be sent along as well. Mr. Flaming stated he is waiting for the manufacturer to send Take 5 the warranty and lifespan information. He noted this material would be installed by a mason.

Being no further comments, Councilman Siam made a motion to close the Public Hearing, seconded by Parson. Motion carried.

The City Clerk reported that Public Hearing 22-03-006 for the Request to amend ordinance no. 6669 for a sit-down, drive-through, carryout restaurant in a B-5 Planned Commercial District located at 13963 New Halls Ferry Road. The Chair declared the Public Hearing to be open.

Bill Syms, petitioner, noted the recommendation from the Planning and Zoning meeting was to use real brick and the business has agreed to use the real brick instead of thin brick. He clarified the business would be using the existing structure instead of complete demolishment. Mr. Syms stated the parking lot would be re-paved and re-striped. It was noted everything should be started about 16 weeks after the permits are received and completed about 90 to 180 days. Mr. Syms stated the business does not have a prototype for a new structure and have continued to only use second generation restaurants.

Being no further comments, Councilman Siam made a motion to close the Public Hearing, seconded by Caputa. Motion carried.

The City Clerk reported that Public Hearing 22-03-007 for the Public Hearing to review the report of the Redistricting Commission of the City of Florissant. The Chair declared the Public Hearing to be open.

John Heithaus, Vice Chair, stated that the Redistricting Commission followed the standards of the city of Missouri as well as Florissant Charter. The commission made changes to minimize lines, the number of citizens to be affected by the changes, and rebalance the wards. Ms. Geerling, Chair, noted the commission worked to keep the largest and smallest wards at less than 10% difference and the commission achieved a 6% difference. She stated the dark red sections on the map were areas which residents change wards. Councilman Siam clarified the city received the most accurate numbers based on census data which was confirmed to be numbers were received directly from the census rather than St. Louis County. Ms. Geerling noted the majority minority wards are wards 8 and 9, however the exact breakdown can be sent to the council. Mayor Lowery thanked Mr. Heithaus, Ms. Geerling, and the Redistricting Commission for their hard work over the last several months.

Being no further comments, Councilman Schildroth made a motion to close the Public Hearing, seconded by Eagan. Motion carried.

64 Councilman Mulcahy made a motion to bring back Public Hearing 22-02-003 to the table,
65 seconded by Eagan. Motion carried.

66 Donnell “Malik” Sims, petitioner, noted the business expanded and did not take a heavy loss over
67 the last few years. He stated they needed to expand their storage area for the tires. The fence would match
68 the décor of the building and would hide the trailer which stores tires from the neighbors in the back and
69 the highway. Councilman Mulcahy verified the trailer is already in place on the business lot, clarified
70 work on vehicles would not be allowed to take place in the parking lot, and no tires would be allowed
71 outside. Mr. Sims noted the fencing on the request is not the business responsibility because it is the
72 property owner responsibility to screen as per the discussion of the Planning and Zoning Commission.
73 He did confirm old tires are picked up within 24 hours of removal from vehicles.

74 Being no further comments, Councilman Siam made a motion to close the Public Hearing,
75 seconded by Caputa. Motion carried.

76 The Chair stated that the next item on the agenda was *Second Readings*.

77 Councilman Schildroth moved Bill No. 9760 an Ordinance authorizing an appropriation of
78 \$108,000 from the Capital Improvement to budget account no. 03-5-03-29075 “Building and Grounds
79 Maintenance and Supplies – Janitorial Services” be read for a second time, seconded by Caputa. Motion
80 carried and Bill No. 9760 was read for a second time.

81 Councilman Schildroth moved that Bill no. 9760 be read for a third time, seconded by Harris.
82 Motion carried and Bill No. 9760 was read for a third time and placed upon its passage. Before the final
83 vote all interested persons were given an opportunity to be heard.

84 Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Mulcahy
85 yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes.

86 Whereupon the Chair declared Bill No. 9760 to have passed and become Ordinance No. 8767.

87 Councilman Schildroth moved Bill No. 9761 an Ordinance authorizing the Mayor of the City of
88 Florissant to enter into an agreement with Bell Cleaning for janitorial services for city facilities be read
89 for a second time, seconded by Caputa. Motion carried and Bill No. 9761 was read for a second time.

90 Councilman Schildroth moved that Bill no. 9761 be read for a third time, seconded by Harris.
91 Motion carried and Bill No. 9761 was read for a third time and placed upon its passage. Before the final
92 vote all interested persons were given an opportunity to be heard.

93 Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Mulcahy
94 yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes.

95 Whereupon the Chair declared Bill No. 9761 to have passed and become Ordinance No. 8768.

96 The Chair stated the next item on the agenda was *Board Appointments*.

Councilwoman Pagano made a motion to accept Mayor Lowery's appointment of William Switzer, 2035 Cordoba Dr, to the Emergency Management Commission as a member from Ward 9 for a term expiring on March 14, 2023. Seconded by Mulcahy, motion carried.

The Chair stated the next item on the agenda was *Resolutions*.

The Council as a whole introduce Resolution 1038 "Resolution of Florissant City Council and Mayor standing in support of Ukraine and urging the end of Russia's invasion". Councilman Schildroth made a motion for a second reading, seconded by Eagan. Motion carried, Resolution 1038 was read for a second time. Councilwoman Pagano made a motion for a third reading, seconded by Caputa.

On roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes. Motion carried, Resolution 1038 was read for a third time. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes. Motion carried, Resolution 1038 was passed. The City Clerk read the resolution in its entirety.

The Chair stated that the next item on the agenda was *Bills for First Reading*.

Councilman Mulcahy introduced Bill No. 9758 an Ordinance authorizing an amendment to Special Use Ordinance no. 8651 to allow for a tire storage structure in a B-3 "Extensive Business District" located at 1685 N. Hwy 67 was read for the first time.

Councilman Caputa made a motion to postpone Bill No. 9762 an Ordinance amending Ordinance no. 8734 to allow for changes to the exterior material in a B-5 Planned Commercial District located at 2925 N. Highway 67 to the meeting on Monday, March 28, 2022. Seconded by Eagan, motion carried.

Councilman Siam introduced Bill No. 9763 an Ordinance amending Ordinance no. 6669 to allow for a sit-down, drive-through, carryout restaurant in a B-5 Planned Commercial District located at 13963 New Halls Ferry Road was read for the first time.

The council as a whole introduced Bill No. 9764 an Ordinance establishing the boundaries of the various wards of the City of Florissant was read for the first time.

Councilman Schildroth introduced Bill No. 9765 an Ordinance authorizing an appropriation of \$100,000 from the Capital Improvement Fund to budget account no. 03-5-03-50050 "Professional Services-Engineering" for right of way acquisition services for the St. Denis Phase 1 project was read for the first time.

The next item on the Agenda was *Council Announcements*.

Councilwoman Pagano thanked everyone for a great St. Patrick's Celebration.

Councilman Caputa reminded residents to lock up firearms in their home, encouraged residents to join Neighborhood Watch by speaking to Officer Steve Michael, and to keep their porch lights on the deter theft. He wished a Happy 80th Birthday to the U.S. Navy Seabees.

Councilman Eagan reminded residents to donate to TEAM food pantry. He hoped to keep all residents like Hannah Houston serving in the military and deploying to dangerous areas in their thoughts. Finally, he thanked the Parks, Street, and Police staff for their hard work over the last week to prepare for the St. Patrick's Celebration.

Councilman Manganelli reminded residents about the Florissant Food Truck Nights on April 22, 2022 with food trucks and Wheelhouse band. He noted the Italian Festival will be taking place on October 1st, 2022. Finally, the next Ward 2 get together is planning and more information would be coming out soon.

Councilman Harris reminded residents of the combined Wards 1 through 4 would be holding a meeting on March 29, 2022 at the JFK Center at 6:30 pm.

Councilman Mulcahy congratulated everyone on their hard work for the St. Patrick's Day Celebration and thanked Mayor Lowery, city staff, Andy Quinones, Police Department, Street Department, Parks Department, Gateway Disposal, and other sponsors.

Councilman Schildroth noted the committee did a great job, just like with every event held by the city.

The next item was *Mayor Announcements*.

Mayor Lowery stated the event was outstanding and the committee did a great job. He stated the next open house for Prop A and Prop U would be on Wednesday, March 23rd from 6:30pm to 8pm at JJE Center. Mayor Lowery encouraged residents to call if they have any questions about the propositions and noted their importance to the city. He noted the voting will take place on Tuesday, April 5th. Mayor Lowery stated the public hearing for the Community Development Block Grant will be on Monday, March 28th during the Council meeting. He stated the Florissant Valley of Flowers is taking place May 6-8th and the event would be moving forward this year and still looking for sponsors, vendors, and food booth vendors with more information at florissantvalleyofflowers.com. On Saturday, April 2nd, a recycling event will be held at St. Ferdinand Park from 10am to 1pm. Mayor Lowery stated Angie's All-Inclusive Playground Grand Opening would be Saturday, March 26th at 11am with many events planned for the day at Mannion Park. He announced Angie's All-Inclusive Playground will receive a Community Development Leadership Award and Councilman Eagan will receive a Public Service Award from North County Incorporated which will be presented at the 45th Annual Breakfast at Marriot St. Louis Airport

161 on May 6th. He thanked Joe Eagan for his work for the City of Florissant and all his work serving other
162 communities as a Police Officer.


163 The Council President stated that the next regular City Council Meeting will be Monday, March
164 28, 2022 at 7:00 pm.

165 Councilman Parson moved to adjourn the meeting, seconded by Harris. Motion carried. The
166 meeting was adjourned at 8:13 p.m.

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Karen Goodwin, MPPA/MMC/MRCC
City Clerk

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172 The following Bills were signed by the Mayor:

173 Bill No. 9760 Ord. No. 8767

174 Bill No. 9761 Ord. No. 8768

175 Resolution 1038

INTRODUCED BY COUNCIL AS A WHOLE
MARCH 28, 2022

RESOLUTION NO. 1039

**A RESOLUTION OF FLORISSANT CITY COUNCIL AND MAYOR
ACKNOWLEDGING AND THANKING CANNOLI'S FOR 28 YEARS OF
DEDICATION AND SERVICE TO THE COMMUNITY.**

WHEREAS, *Tom and Lori Freesmeier opened the doors of Cannoli's, named after the Italian dessert, in 1994;*

WHEREAS, *along with their daughter Abby, the Freesmeiers, and their wonderful staff, have been serving lunch and dinner for the Florissant community for 28 years; and*

WHEREAS, *Cannoli's setting was created to emulate a street in Italy portraying storefront businesses and balconies to provide a family atmosphere complete with family recipes; and*

WHEREAS, *Cannoli's has been involved in the Florissant Senior Dining Center Lunch Program and hosted weekly card games for years; and*

WHEREAS, *Cannoli's has hosted an unknown number of civic groups, weddings, showers, and funerals; and*

WHEREAS, *Cannoli's has sponsored 10 queen Valley of Flowers candidates over the years; and*

WHEREAS, *Cannoli's has provided first work experiences to many teens for more than 28 years;*

NOW THEREFORE BE IT RESOLVED *that the City Council and the Mayor of the City of Florissant extend a heartfelt thank you to Tom and Lori Freesmeier and their family for their 28 years of service and dedication to the Florissant community and wish them the best of luck in the future.*

This resolution passed and approved this 28th day of March, 2022.

ATTEST:

Keith Schildroth, Council President

*Karen Goodwin, MPPA/MMC/MRCC
City Clerk*

COMMENDATIONS MARCH 28, 2022

Det. Sgt. Tony Mocca, Det. Dominic Margherio, Det. Jeff Spalding

In the month of December 2021, the Anti- Crime unit received numerous anonymous tips of drug activity involving an area within the Florissant City limits. After compiling the information received, the Anti-Crime unit opened an investigation. Throughout the next six weeks you and the other detectives conducted numerous hours of surveillance which yielded their discovering an elaborate narcotics operation and five of the main suppliers. Search warrants were obtained by you and the other detectives and you were able to seize thirteen firearms, fentanyl, methamphetamine, and a large amount of U.S. currency. This case was presented to the United States Attorney's Office and the suspects are awaiting federal indictments. Sgt. Mocca and the Anti-Crime investigators worked tirelessly to ensure these violent narcotics dealers' were taken off the streets and for this you are to be officially commended.

Det. Sgt. Tony Mocca, Det. Sgt. Joe Monahan, Det. Joe Brockmeier, Det. Dan Fletcher, Det. Dustin Chandler, Det. Dominic Margherio, Det. Jeff Spalding, Det. Steve Beekman, Det. Jodi Chapie

On January 5th 2022 an armed robbery occurred at the Gamestop located on New Halls Ferry. Through the evidence at the robbery, it was quickly determined that the suspect of that robbery had committed several other robberies within the City of Florissant. Through investigation by the detectives they were able to identify the suspects' vehicle and then through countless hours of surveillance the detectives were able to identify the suspect. On January 28th, 2022, the suspect committed an armed robbery at the Subway on N. Lindbergh and after a short pursuit the detectives were able to take the suspect into custody without incident. The suspect later confessed to committing a total of seven armed robberies within the city of Florissant. The suspect was charged with seven counts of Robbery 1st, seven counts of Armed Criminal Action and one count of Felony Resisting. Due to the leadership of Sgt. Mocca and Sgt. Monahan and the determination and commitment of the detectives a persistent violent offender was taken off the streets of Florissant. For this these detectives should be officially commended.

Officer Matt Schaeffler

On December 21st 2021 Officer Schaeffler received a call for a sick case at the ice rink at the James J. Egan Center. When Officer Schaeffler arrived, he saw that chest compressions were being administered to the victim. Lifeguards Kevin Garrett and Quentin Milosevich were tending to the victim along with the ice rink manager Courtney Neisler. A medical doctor who was also at the ice rink, Dr. Dan Bauer, was managing the victim's care. All subjects involved including Officer Schaeffler continued CPR until a faint pulse was detected. An AED was administered by Courtney Neisler and the victim showed some improvement. The patient was transported to De Paul Hospital where Doctors stated that he only survived because of the immediate and quick actions taken by all involved. For this they should be officially commended.

Officer Raymond Hicks and Officer Brett Bowling

On November 4th 2021 Officers Bowling and Hicks received a call for a subject potentially suffering from a mental health crisis. When Officer Hicks arrived at the residence, he was able to determine that the subject involved suffers from Bi-Polar Disorder and Schizophrenia. It was further learned that the subject was off his medications and acting very irrational. His mother advised he left the residence armed with a firearm, was making delusional statements and threatening violence. Officers Hicks and Bowling were able to locate the subject along Florissant Rd. Both officers approached the suspect and calmly attempting to offer aid but he refused. The suspect continued to walk away while the officers still attempted to de-escalate his irrational behavior. While still trying to rationalize with the subject he fired a shot. While both officers remained calm they still attempted to rationalize with the subject. Realizing the subject was walking into a residential neighborhood they found it necessary to incapacitate the suspect by using a less lethal taser. The suspect was then able to be taken into custody without further incident. Due to these officers' actions, attentiveness and calm demeanor, this incident ended with a positive outcome for this they should be officially commended.

CITY OF FLORISSANT

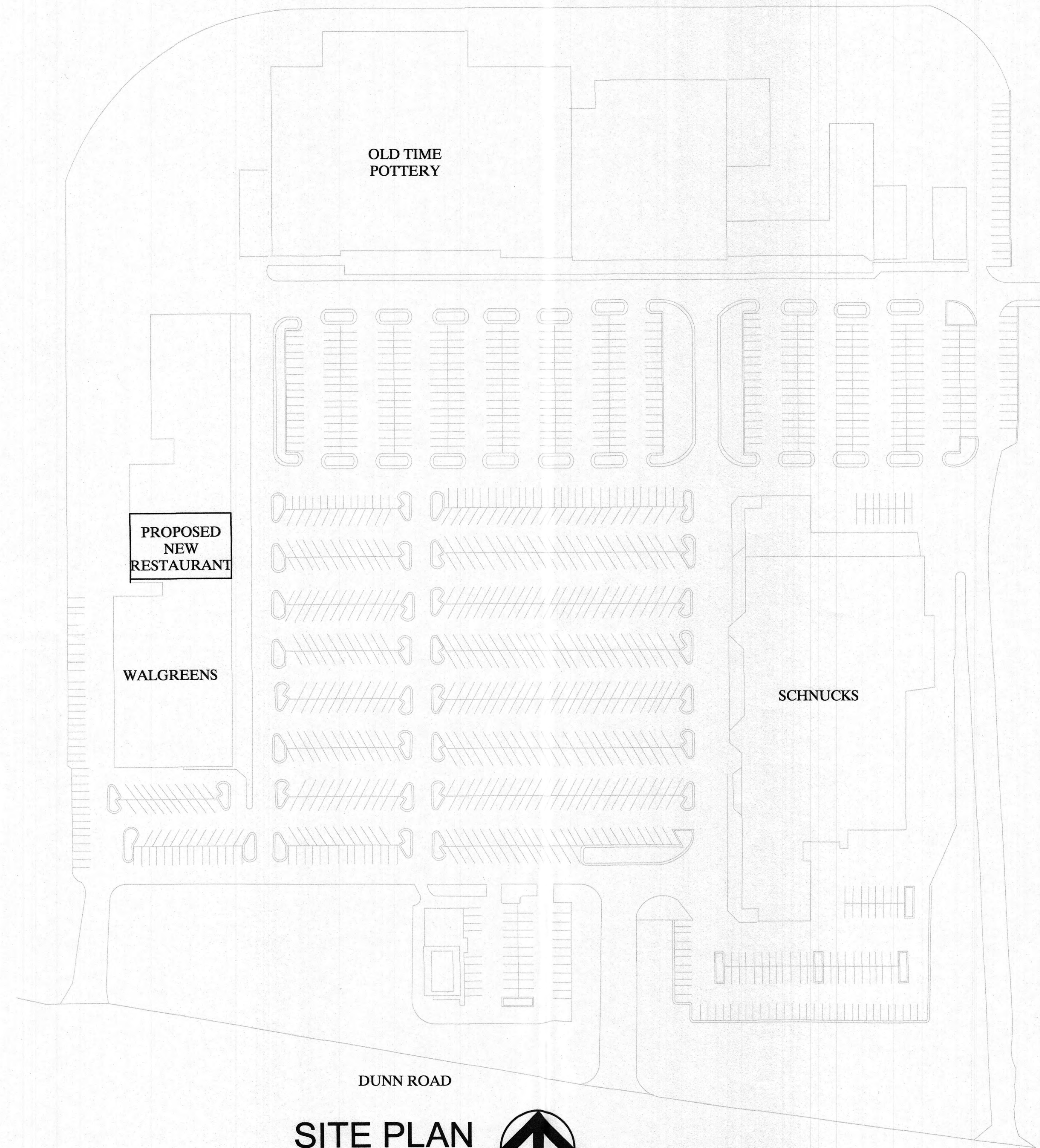
Public Hearing




In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 28, 2022 at 7:00 p.m. on the following proposition:

To approve a Special Use Permit within a 'B-5' Planned Commercial District to allow for a new restaurant located at 6 Grandview Plaza Shopping Center (2.0 Restaurant & Bar). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

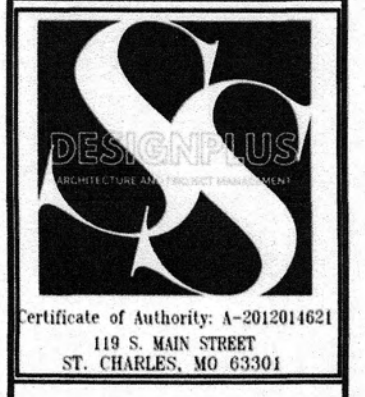


SITE PLAN
N.T.S



NORTH

PERMIT SET
FOR CONSTRUCTION



CONSULTANT
 DERU and Associates
DERU & ASSOCIATES, LLC
801 RUE ST. FRANCOIS ST.
SUITE C1
FLORISSANT, MO 63031
CONTACT: JEROME LOGAN
(314) 574-5770 CELL
jlogan@deruassociates.com

PROJECT
2.0 RESTAURANT AND BAR
6 GRANDVIEW PLAZA
FLORISSANT, MO 63033

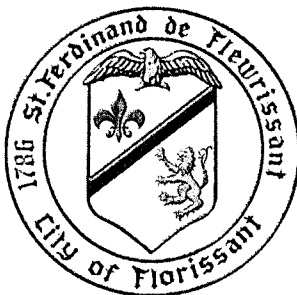
FOR _____

REVISION	

DATE JANUARY 17, 2022
JOB NUMBER DERU0103
DRAWING TITLE

DRAWN BY/ CHECKED BY
DRAWING NUMBER **A0.0**
COMMENTS
FOR BUILDING PERMIT APPLICATION
© 2013

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward 7 Zoning B5'

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SPECIAL PERMIT FOR Restaurant and Bar

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR _____
ordinance # Statement of what the amendment is for.

LOCATION 6 Grandview Plaza

Address of property.

1) Comes Now Jerdo Dennis

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Lease

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Restaurant
And Bar _____ and that the deed restrictions for the property do not prohibit the use which
would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Jerdo Dennis Jerdodennis@gmail.com
PRINT NAME SIGNATURE email and phone

FOR Partnership

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE _____

ADDRESS 4922 Hooke Ave St. Louis MO 63115
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL (618)304-1705 Jerdodennis@gmail.com
BUSINESS

I (we) the petitioner (s) do hereby appoint Jerdo Dennis as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.


Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership X Corporation _____

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners Jerdo Dennis / Princeton Dew
- (2) Telephone numbers (618)304-1705- (314)356-5075
- (3) Business address 6 Grandview Plaza
- (4) Name under which business is operated 2.0 Restaurant and Bar
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name 2.0 Restaurant and Bar
Address 6 Grandview Plaza
Property Owner Adam Glosier
Location of property 1491 Dunn Rd, Florissant Mo 63033
Dimensions of property 2950 Square Ft ?
Property is presently zoned Comm Requests Rezoning To _____
Proposed Use of Property Restaurant and Bar
Type of Sign _____ Height _____
Type of Construction _____ Number Of Stories 1
Square Footage of Building 4,750 ? Number of Curb Cuts _____
Number of Parking Spaces 200 ? Sidewalk Length _____
Landscaping: No. of Trees _____ Diameter _____
No. of Shrubs _____ Size _____
Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

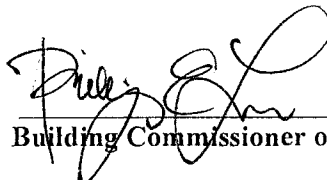
PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed 3/2/22

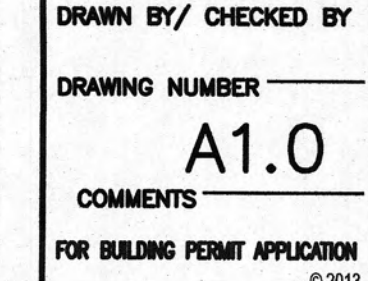
STAFF REMARKS: See staff report for corrected sizes

 3/2/22
Building Commissioner or Staff Signature


$$3/16'' = 1'$$

$$\frac{3}{16}'' = 1'$$

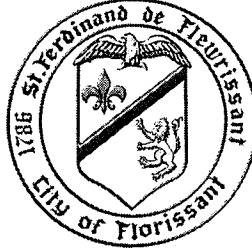
- FOR CONDITIONAL USE
REVIEW ONLY



ATED

1

MEMORANDUM



2

3

CITY OF FLORISSANT- BUILDING DEPARTMENT

4 *"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant;*
5 *while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

6

7 To: Planning and Zoning Commissioners Date: March 3, 2022

8

9 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.
10 Director Public Works
11 Deputy City Clerk
12 Applicant
13 File
14

15 Subject: Request **recommended approval** of a Special Use, within a 'B-5' Planned Commercial
16 District (Ord. No. 5239 as amended by Ords. Nos. 5421, 5422, 5469, 5504, 5970, and 6814) to
17 allow for a new Restaurant (with bar) at 6 Grandview Plaza Shopping Center, 2.0
18 **Restaurant/Bar.**

19

STAFF REPORT

20

CASE NUMBER PZ-030722-1

21

22 I. PROJECT DESCRIPTION:

23 This is a request for **recommended approval** of a Special Use, within a 'B-5' Planned
24 Commercial District (Ord. No. 5239 as amended by Ords. Nos. 5421, 5422, 5469, 5504, 5970,
25 and 6814) to allow for a new Restaurant (with bar) at 6 Grandview Plaza Shopping Center, 2.0
26 **Restaurant/Bar.**

27

28

29 II. EXISTING SITE CONDITIONS:

30 The existing property at **6 Grandview Plaza Shopping Center** is a tenant space within a
31 large shopping center, governed by provisions of Ord. No. 5239 as amended.

32

33 The property is proposed to be a new restaurant/bar after alterations. Ord. No. 5239
34 identifies Permitted Uses as those Uses Permitted in a 'B-3' District without a Special
35 Use, but requires a Special Use for new Restaurants. The petitioner proposes alterations
36 for a new sit down, carryout, restaurant/bar. The zoning code has no definition for
37 restaurant/bar, only "restaurant" or "tavern, nightclub or cocktail lounge". Since a bar is
38 deemed to be "tavern, nightclub or cocktail lounge", the petitioner was asked to clarify
39 the Use proposed. The petitioner responded that they will expect much more gross

revenues from food sales. Therefore, the proposed Use is deemed to be a "restaurant", not a "tavern, nightclub or cocktail lounge".

III. SURROUNDING PROPERTIES:

Surrounding Properties and their zoning districts:

Parcel Locator#	Address	Zoning District
09H130010	901 Wooden Drive	'R-6' Multiple Family Dwelling
09H141340	1335 South Waterford Drive	'R-6' Multiple Family Dwelling
09H120363	1397 South Waterford Drive	'R-6' Multiple Family Dwelling
09H120413	1401 South Waterford Drive	'R-6' Multiple Family Dwelling
09H120385	1357 Stonebury Ct.	'B-3' Extensive Business
	1475 Dunn Road	'B-5' Planned Commercial

IV. STAFF ANALYSIS:

The application is accompanied by sealed plans marked for Conditional Use Review Only. Drawings submitted include: A0.0 and A1.0, dated 1/17/22 by DERU and Associates, LLC and sealed by the architect on 2/15/22. The following are Staff comments on the plans pertaining to Zoning:

- A0.0 comments: Shows general location of parking lot and general layout of parking.
 - Does not show parking calculations for the shopping center and its current Uses.
 - Does not show location of new ATM.
 - A review of the Ord. No. 5239 reveals that the 'B-5' Ordinance allowed for a 20% reduction of the 1991 Parking Regulations.
 - It appears there is adequate paving to allow for enough parking for the current Uses in the Shopping Center, however no parking counts are presented. Staff recommends requirement of a revised Site Development Plan showing the current Uses and the proper number of parking spaces to be provided under said site plan under this amending ordinance, if approved.
- A1.0 comments: the drawing appears to be a plan noted for alterations. Much of the information on this plan, however, is incorrect.
 - Scale of plans noted as 3/16"= 1'-0", apparent scale is 1/8"=1'-0".
 - If the dimensions are correct, the overall tenant space calculates to 6169.1 s.f. which includes space noted as "Unfinished".
 - Space noted as Unfinished measures 1171 s.f.
 - "Pervious" Use Group should be "Previous Use Group".
 - Sprinkler System is required for Assembly Spaces this size, the building is likely already sprinklered, alterations for new layout will be necessary under building permits.
 - Dining Area s.f. area noted as 17 s.f. per person is not per Table 1004.5.
 - Area calculations shall be superceded by number of chairs shown.

- Chairs and staff areas including bar total 210 occupants.
- Unfinished area adds 78 more occupants per Table 1004.5 at tables and chairs. Access must be closed off if not finished.

VI. STAFF RECOMMENDATIONS:

1. If recommended approval is granted, the attached suggested motion shall alter the Uses within this district because restaurants are permitted under a Special Use petition, however, Restaurant/Bars are not permitted and therefore must be petitioned as an amended use, per ordinance no. 5239, "Section 1", paragraph "2. Permitted Uses".

Suggested Motion for 6 Grandview SC (2.0 Restaurant/Bar.):

I move to recommend approval of a Special Use Permit within an existing 'B-5' Zoning district, as depicted by the attached drawings A0.0 and A1.0, dated 1/17/22 by DERU and Associates, LLC subject to the regulations of the 'B-5' Planned Commercial District, Ord. No. 5239 (as amended by Ords. Nos. 5421, 5422, 5469, 5504, 5970, and 6814) and the following additional requirements:

1. The proposed Special Use includes an approximately 4998 square feet sit-down, carryout restaurant and bar **for 6 Grandview SC (2.0 Restaurant/Bar.)**
 - Maximum Occupancy: 210 occupants.
 - Unfinished area of approximately 1171 square feet shall be closed off from all access. Use of the unfinished shall require an amendment to this Special Use Permit to accommodate additional occupant load when the Use of the unfinished area is established and any additional occupant load is established.
 - Petitioner shall prepare an amended Site Plan for the proposed occupant load sufficient for this Use and considering parking required for all other Uses in the Shopping Center.

(end report and suggested motion)

Section 1: The Zoning Code of the City of Florissant, as heretofore amended, is hereby further amended, with respect to certain property heretofore zoned as B-3 District, to establish a B-5 Planned Commercial District, for the location and development of a planned commercial development, on the following described property:

A tract of land being part of Lots 114 and 122 of St. Ferdinand Commons in Township 47 North, Range 6 East, St. Louis County, Missouri; and described as follows:

Beginning at a Point in the northern line of United States Highway No. 66, 100 feet wide, distant 402.91 feet east of the southwestern corner of property described in deed to Ivie F. Poppelwell and wife, recorded in Book 2206, Page 282, St. Louis County Recorder's Office; thence eastwardly 969.09 feet along the northern line of United States Highway No. 66 to a point of curve; thence continuing eastwardly 188 feet along the northern line of United States Highway No. 66 along a curve to the left having a radius of 11,409.19 feet; thence northwardly 1326.11 feet and parallel with the western line of said Poppelwell property to a point 300 feet south of the northern line of said Lot 114; thence westwardly 1148.92 feet and parallel with the northern line of said Lot 114, thence southwardly 1180.58 feet and parallel with the western line of said Poppelwell property to the point of beginning and containing 33.073 acres, according to a survey made by Pitzman's Company of surveyors and engineers on February 24, 1958.

Section 2: The authority and approval embodied in this Ordinance is granted subject to all ordinances of the City of Florissant and on condition that the development and plan for the B-5 Planned Commercial District be carried out in accordance with the preliminary plans filed with the Planning & Zoning Commission of the City of Florissant and forwarded by said Planning & Zoning Commission to the Florissant City Council, and as further revised and depicted on the Final Development Plan, dated Rev. 12/17/90, Rev. 2/8/91, Rev. 3/4/91, approved by the Planning and Zoning Commission on 3/4/91, and attached hereto as Exhibit "A", which plans, except as otherwise provided herein, are hereby approved, adopted and incorporated herein by reference as if fully set out in this ordinance and made a part of this ordinance, subject to the following conditions:

1. PERMITTED USES

The uses permitted in the B-5 Planned Commercial District shall be limited to supermarket, home improvement center and all uses permitted in B-3 districts without a special use permit, and existing/relocated restaurant uses are permitted, but future restaurants will require future authorization by a special use permit; and, no use shall be authorized for the outlot, as depicted on the final development plan unless further approved by amendment of this ordinance. Further, the aforementioned uses shall not allow for the parking of any tractor trailers for a period in excess of 48 hours and no tractor trailer shall be parked along the west property line for more than 12 hours.



PUBLIC NOTICE CITY OF FLORISSANT

**Public Hearing for the Community Development Block Grant (CDBG)
Fiscal Year (FY) 2022 Annual Action Plan**

**Florissant City Hall, Council Chambers
955 rue St. Francois
Florissant, Missouri 63031
March 28, 2022 at 7:00 p.m.**

PUBLIC NOTICE IS HEREBY GIVEN that a public hearing will be held on Monday, March 28, 2022, at 7:00 p.m. at Florissant City Hall Council Chambers concerning the Fiscal Year 2022 Annual Plan for the Florissant Community Development Block Grant Program.

Anyone who needs assistance or auxiliary aids for the meeting should contact Carol O'Mara at (314) 839-7680 At least 24 hours before the meeting.

Posted this 11th day of March, 2022



**M. Carol O'Mara, Director
Housing and Community Development
314.839.7680**

CDBG

ANNUAL ACTION PLAN FY2022



DRAFT

Executive Summary

AP-05 Executive Summary - 24 CFR 91.200(c), 91.220(b)

1. Introduction

The Consolidated Plan is a strategic planning instrument required by the Department of Housing and Urban Development (HUD) as part of the Community Development Block Grant (CDBG) Program. The Consolidated Plan helps the City of Florissant identify key community issues and the resources to deal with those issues.

This Annual Plan outlines the use of Community Development Block Grant (CDBG) funds for FY2022.

The Annual Action Plan process requires that the grantee outline an action plan, which addresses the priority needs and local objectives of the community over a one-year period.

2. Summarize the objectives and outcomes identified in the Plan

This could be a restatement of items or a table listed elsewhere in the plan or a reference to another location. It may also contain any essential items from the housing and homeless needs assessment, the housing market analysis or the strategic plan.

As an entitlement community, the City of Florissant has determined, through a need's assessment, market analysis, and public participation process that it is in the best interest of the community to continue to concentrate limited CDBG funds in a few areas of primary concern over the next five years. Housing, Public Services, and the Removal of Architectural Barriers have been the focus in the past and will remain the focus over the next five years. There continues to be a need and concern regarding the preservation and maintenance of existing structures, homeownership, lead, and emergency repair throughout the City. The programs addressing these issues that the City currently funds have been very popular and have met a great need in the community. In addition, Public Services programs such as programs for emergency mortgage, rental, and utility assistance have been identified through the needs assessment and public participation process as important strategies for serving City residents.

3. Evaluation of past performance

This is an evaluation of past performance that helped lead the grantee to choose its goals or projects.

The City of Florissant has an excellent performance record and, as of the end of 2021, is on track to far exceed performance goals for the six CDBG funded activities from the last Consolidated Plan (covering FY2021-FY2025).

4. Summary of Citizen Participation Process and consultation process

Summary from citizen participation section of plan.

The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council.

In accordance with our Citizen Participation Plan, our 2022 Annual Action Plan process included a public hearing. The CPC committee met on September 23, 2021 and a public hearing was held on March 28, 2022 at 7:30 p.m. in the Florissant City Council Chamber. Public hearing notices were posted on the City's cable television channel and the City's website, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and the Independent Newspaper.

A summary of the draft plan was posted on our website and all of our other media outlets. The summary described the contents of the plan and the entire Annual Action Plan could be reviewed on line and at the City's Government Center or by written request. The plan was available for public comment for 30 days starting on March 29, 2022. The city also provides free copies of the plan to citizens and groups that request a copy in writing. The draft-action plan is made available to persons with disabilities in a format that is readily accessible upon request.

5. Summary of public comments

This could be a brief narrative summary or reference an attached document from the Citizen Participation section of the Con Plan.

At this point in time, there have been no public comments beyond the discussion at the March 28, 2022 Public Hearing and Citizen Participation Committee meeting. Discussion of the FY2022 Annual Action Plan and data at that meeting revealed that the City's priority need is still single-family housing but with the continued increase in rental dwelling there is a need in this area that is currently going unmet. In response to this unmet need, the City of Florissant will continue to fund the Mortgage, Rental and Utility Assistance Program for FY2022. The funding of this program could assist in possibly opening up more opportunities for Florissant residents.

6. Summary of comments or views not accepted and the reasons for not accepting them

N/A

7. Summary

PR-05 Lead & Responsible Agencies – 91.200(b)

1. Agency/entity responsible for preparing/administering the Consolidated Plan

Describe the agency/entity responsible for preparing the Consolidated Plan and those responsible for administration of each grant program and funding source.

Agency Role	Name	Department/Agency
CDBG Administrator	FLORISSANT	Community Development Department

Table 1 – Responsible Agencies

Narrative (optional)

The City of Florissant has always been proactive in its communications with residents and we have many mechanisms for public input in place. We publish and mail a monthly newsletter directly to residents. We also produce our own cable television channel. We have had an active Citizens Participation Committee (CPC) for many years. It was developed as part of the City of Florissant's effort to include as many citizens as possible in the community development planning process. The CPC is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC is the major mechanism whereby the citizens of Florissant have an opportunity to express their needs as well as to be kept aware of the performance of the city's community development programs.

The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council. The CPC:

- Conducts regular meetings on the second Thursday of each month, except June, July and August
- Evaluates and recommends priorities regarding community development needs
- Evaluates existing CDBG programs
- Evaluates and recommends programs for possible inclusion in future Annual Plans
- Evaluates any amendments to approved CDBG projects, except those for urgent need activities
- Evaluates suggested uses of any CDBG funds earmarked for contingency activities
- The CPC may recommend against such expenditures.
- Reviews the draft Consolidated Plan prior to its being made available for public comment

Annual Action Plan
2022

- Recommends changes in the draft Consolidated Plan.
- Reviews the Citizen Participation Plan annually
- Provides assistance and information to interested individuals and/or groups within Florissant

As a Metropolitan City entitlement community, our goal is to educate the community on the Community Development Block Grant (CDBG) program and to encourage citizen participation in the local consolidated planning process. Our long-term goal is to keep the public involved in our community and to provide opportunities to participate in the consolidated planning process on an annual basis.

In accordance with our Citizen Participation Plan, our process included a public hearing. The CPC committee met and a public hearing for the FY2022 Annual Action Plan was held on March 28, 2022 at 7:30 p.m. in the Florissant City Council Chamber. Public hearing notices were posted on the City's cable television channel and the City's website, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and in the Independent Newspaper.

A summary of the draft plan was posted on our website, cable TV channel and social media sites. The summary described the contents of the plan and the entire Annual Plan could be reviewed on line, at the City's Government Center or by written request. The plan was available for public comment for 30 days starting on March 29, 2022. The city also provides free copies of the plan to citizens and groups that request a copy in writing. The draft-consolidated plan is made available to persons with disabilities in a format that is readily accessible upon request.

Consolidated Plan Public Contact Information

Mrs. M. Carol O'Mara
 Director of Housing and Community Development
 Florissant Government Building
 1055 rue St. Francois
 Florissant, Missouri 63031
 (314) 839-7680

AP-10 Consultation – 91.100, 91.200(b), 91.215(l)

1. Introduction

The City of Florissant collaborates with a vast network of area nonprofit organizations to utilize their experience and expertise in the areas of housing, homelessness, and identifying met and unmet needs in the city and St. Louis County community. Through the participation and partnerships with Nonprofits that serve the City’s aging community, residents with disabilities, as well as health, employment and wellness-based organizations serving the city’s LMI residents, city staff has learned and identified needs, service gaps and areas for improvement, while also identifying what organizations are already serving the community well. These aspects are important when it comes to identifying city and CDBG allocation goals and priorities.

Provide a concise summary of the jurisdiction’s activities to enhance coordination between public and assisted housing providers and private and governmental health, mental health and service agencies (91.215(l))

The City of Florissant’s Housing & Community Development Office works closely with area nonprofits that serve those in the community in need of housing. The City has a relationship with the Community Action Agency of St Louis County that delivers a variety of social service programs to low-income elderly, youth, individuals with disabilities and LMI individuals and families through grants and contractual agreements with federal, state, county and local governments, other not-for-profit organizations, and private businesses. They also administer the city’s Mortgage Rent and Utility Assistance Program.

There is currently no Public Housing Authority or Public Housing Developments in the City of Florissant. However, the St Louis County Housing Authority has and continues to administer the Housing Choice Voucher (formerly called Section 8) Program for all of St Louis County where Florissant is located. The waiting list for vouchers is seldom open, but communication is shared quickly and effectively when it is open for application.

Aging Ahead is the Area Agency on Aging that serves the city’s population aged sixty plus. The serve the community in several ways, including but not limited to operating senior centers, providing home delivered meals, in-home services, respite care, and information and assistance. The City of Florissant senior center staff are available by phone and email to assist Florissant senior residents in need of resources, guidance, reassurance, and support with the goal of keeping the aging resident living safely and independently in their own homes.

Describe coordination with the Continuum of Care and efforts to address the needs of homeless persons (particularly chronically homeless individuals and families, families with children, veterans, and unaccompanied youth) and persons at risk of homelessness.

The City of Florissant relies on data provided by the COC to institute programs aimed at eradicating homelessness in the area and assisting those who are currently homeless in the community. The City consults with the COC regarding future plans, reporting, and identifying needs in the community, especially as it relates to homelessness. The City of Florissant does not directly offer any shelters or beds for individuals or families who have lost their homes, but the City does offer a Mortgage, Rent & Utility Assistance program to our residents, and plan to continue to do so through CDBG funding and CDBG- CV (CARES ACT) funding. This program will provide funds to one or more social service agencies to help people on the verge of homelessness.

Describe consultation with the Continuum(s) of Care that serves the jurisdiction's area in determining how to allocate ESG funds, develop performance standards for and evaluate outcomes of projects and activities assisted by ESG funds, and develop funding, policies and procedures for the operation and administration of HMIS

The City of Florissant does not receive ESG funds from HUD

2. Describe Agencies, groups, organizations and others who participated in the process and describe the jurisdiction's consultations with housing, social service agencies and other entities

1	Agency/Group/Organization	Citizen Participation Committee
	Agency/Group/Organization Type	Civic Leaders
	What section of the Plan was addressed by Consultation?	Housing Need Assessment Market Analysis

	<p>How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?</p>	<p>The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council. In accordance with our Citizen Participation Plan, our 2022 Annual Action Plan process included a public hearing. The CPC committee met and a public hearing was held on March 28, 2022 at 7:30 p.m. in the Council Chambers. Public hearing notices were posted on the City website, cable television channel and social media sites, soliciting comments and participation in the process.</p>
2	Agency/Group/Organization	City of Florissant
	Agency/Group/Organization Type	<p>Services-Broadband Internet Providers</p> <p>Other government-Local</p> <p>Planning Organization</p>
	What section of the Plan was addressed by Consultation?	<p>Other: Broadband Services</p> <p>Market Analysis</p>

	<p>How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?</p>	<p>Steve Weiersmueller, I.T. & Media Director for the City of Florissant has consulted with and is in regular contact with:</p> <p>Grant Lee, Major Account Manager, Spectrum Enterprise</p> <p>Timothy Wolfe, Client Solutions Executive 2, AT&T National Business</p> <p>Grover Watson, T-Mobile for Government</p> <p>Christopher Clark, Verizon Wireless, Government Account Manager</p> <p>Mike Elam, VP, Community Affairs & Market Development, i3 Broadband</p> <p>To discuss, purchase, implement and negotiate everything from cellular contracts, land line contracts, public WIFI, hot spots, fiber-optic implementation, broadband access, etc. Also, according to the FCC Broadband map, there are multiple providers of broadband throughout the municipality</p>
3	Agency/Group/Organization	Emergency Management Commission
	Agency/Group/Organization Type	<p>Agency-Emergency Management</p> <p>Other government-Local</p> <p>Regional Organization</p>
	What section of the Plan was addressed by Consultation?	Other-Resilience

<p>How was the Agency/Group/Organization consulted and what are the anticipated outcomes of the consultation or areas for improved coordination?</p>	<p>The City of Florissant’s Emergency Management Organization is responsible for the Emergency Operations Plan that was drafted in conjunction with the Missouri Department of Public Safety State Emergency Management Agency. The plan is audited every two years by the Missouri Region C Emergency Management Coordinator. The plan outlines planned responses to natural hazards such as tornado, winter storms, floods, earthquake, drought, heat wave, and wildfire.</p> <p>As part of the preparedness planning, the Florissant Emergency Management Organization worked with the St. Louis Area Regional Response System (S.T.A.R.R.S) to have a trailer of supplies to address emergencies. They offer Community Emergency Response Team training for volunteers as a partnering effort between emergency services and the people that they serve. Over 250 residents have completed this training.</p> <p>The Florissant Office of Community Development has consulted with the Director of Emergency Management to update the plan to address the emergency preparedness of low to moderate housing.</p>
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Table 2 – Agencies, groups, organizations who participated

Identify any Agency Types not consulted and provide rationale for not consulting

The City of Florissant aims to consult with as many agencies as possible and did not exclude any agencies or agency types from consultation

Other local/regional/state/federal planning efforts considered when preparing the Plan

Name of Plan	Lead Organization	How do the goals of your Strategic Plan overlap with the goals of each plan?
Continuum of Care		The Continuum of Care (COC) provides networking opportunities for area agencies to gather to discuss the state of the community regarding their clients, programs, and assistance and leads the charge to end homelessness. Florissant networks with Continuum agencies to provide assistance in reaching their goals to assist those in need within the community.

Table 3 – Other local / regional / federal planning efforts

Narrative (optional)

The City of Florissant coordinates with various St. Louis County departments and is a member of the St. Louis County Housing Consortium.

AP-12 Participation – 91.105, 91.200(c)

1. Summary of citizen participation process/Efforts made to broaden citizen participation Summarize citizen participation process and how it impacted goal-setting

The City of Florissant has had an active Citizens Participation Committee (CPC) for many years. It is made up of Florissant residents who are appointed from their respective wards by the City Council. It serves as the official citizen advisory body for all phases of the Community Development Block Grant (CDBG) application development, program implementation, monitoring and evaluation processes. The CPC meets to review CDBG activities and to propose an annual CDBG budget to the City Council. In accordance with our Citizen Participation Plan, our 2022 Annual Action Plan process included a public hearing. The CPC committee met and a public hearing was held on March 28, 2022 at 7:30 p.m. in the Florissant City Council Chamber. Public hearing notices were posted on the City's cable television channel, the City's website, and social media sites soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and the Independent Newspaper.

A summary of the draft plan was posted on our website, cable TV channel and social media sites. The summary described the contents of the plan and the entire Annual Action Plan could be reviewed on line, at the City's Government Center or by written request. The plan was available for public comment for 30 days starting on March 29, 2022. The city also provides free copies of the plan to citizens and groups that request a copy in writing. The draft-annual plan is made available to persons with disabilities in a format that is readily accessible upon request.

At this point in time, there have been no public comments beyond the discussion at the March 28, 2022 Public Hearing and Citizen Participation Committee meeting. Discussion revealed that the City's priority need is still single-family housing but with the continued increase in rental dwelling there is a need in this area that is currently going unmet. In response to this unmet need, the City of Florissant will continue to fund the Mortgage, Rental and Utility Assistance Program for FY2022. The funding of this program could assist in possibly opening up more opportunities for Florissant residents.

Citizen Participation Outreach

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
1	Public Meeting	<p>Minorities</p> <p>Non-English Speaking - Specify other language: various</p> <p>Persons with disabilities</p> <p>Non-targeted/broad community</p> <p>Citizen Participation Committee</p>				

2	Public Hearing	<p>Minorities</p> <p>Non-English Speaking - Specify other language: various</p> <p>Persons with disabilities</p> <p>Non-targeted/broad community</p> <p>Residents of Public and Assisted Housing</p>	<p>In accordance with our Citizen Participation Plan, our 2022 Annual Action Plan process included a public hearing. The Citizen Participation Plan committee met and a public hearing was held on March 28, 2022 at 7:30 p.m. in the Council Chambers. Public hearing notices were posted on the City's cable television channel, the City's website and social media sites, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and in the Independent Newspaper.</p>	<p>No comments received</p>		
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Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
3	News Release	Non-targeted/broad community	In accordance with our Citizen Participation Plan, our 2022 Annual Action Plan process included a public hearing. The CPC committee met and a public hearing was held on March 28, 2022 at 7:30 p.m. Public hearing notices were posted on the City's cable television channel, the City's website and social media sites, soliciting comments and participation in the process. Other announcements were posted across the city at community centers, City Hall, and in the Independent Newspaper.	No comments received		

Sort Order	Mode of Outreach	Target of Outreach	Summary of response/attendance	Summary of comments received	Summary of comments not accepted and reasons	URL (if applicable)
4	Internet Outreach	Non-targeted/broad community	Notice of CPC meeting and Public Hearing was put on the City's website and cable channel reaching thousands of people which included the solicitation of comments, public hearing and draft plan availability	No comments received		
5	Mailing to Tribes re: Public Hearing	Minorities Indian Tribes				
6	Public Municipal Posting-Public Hearing	Non-targeted/broad community				

Table 4 – Citizen Participation Outreach

Expected Resources

AP-15 Expected Resources – 91.220(c) (1, 2)

Introduction

The City of Florissant expects an allocation of \$266,269 in CDBG funding for FY2022. During the FY2016-FY2020 Consolidated Plan period, CDBG allocations varied between \$212,059 (lowest allocation) and 257,640 (highest allocation) with an average allocation of \$296,579. The chart below assumes that same average allocation of \$296,579 for each of the five years FY2021, FY2022, FY2023, FY2024 and FY2025.

Priority Table

Program	Source of Funds	Uses of Funds	Expected Amount Available Year 4			Expected Amount Available Reminder of ConPlan \$	Narrative Description
			Annual Allocation: \$	Program Income: \$	Prior Year Resources: \$	Total: \$	
CDBG	public - federal	Acquisition Admin and Planning Economic Development Housing Public Improvements Public Services	266,269	0	0	266,269	Funds various programs throughout the City of Florissant The City of Florissant expects a CDBG allocation of \$266,269 for FY2022 and the average allocation of \$296,579 for following years.
						950,357	

Table 5 - Expected Resources – Priority Table

Explain how federal funds will leverage those additional resources (private, state and local funds), including a description of how matching requirements will be satisfied

While the City of Florissant has a small CDBG allocation, it is very highly leveraged through the Project I.M.P.A.C.T. program in order to provide additional assistance to low to moderate income Florissant residents and city spaces with projects like vegetation overgrowth removal, exterior predications, housing court violations and address public space clean up as well as accessibility improvements to the maximum number of low- to moderate-income and/or disabled Florissant residents.

The Project I.M.P.A.C.T. program uses CDBG funding to purchase materials, supplies, dumpster rentals, and accessibility modifications for homes and individuals that then uses qualified volunteers. The volunteer labor allows more households to be served with limited funding.

If appropriate, describe publicly owned land or property located within the jurisdiction that may be used to address the needs identified in the plan

At the current time, no identified publicly owned land or property to be sued to address the needs identified in the plan.

Discussion

Over the past decade The City of Florissant has become more effective at stretching CDBG dollars by creating new relationships with donors, volunteers, and other organizations to support the highly leveraged Project I.M.P.A.C.T. program.

Annual Goals and Objectives

AP-20 Annual Goals and Objectives - 91.420, 91.220(c)(3)&(e)

Goals Summary Information

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
1	Home Improvement Program	2021	2025	Affordable Housing	City of Florissant	Housing Repair and Improvement	CDBG: \$142,016	Homeowner Housing Rehabilitated: 30 Household Housing Unit
2	Home Improvement Program - Mechanical	2021	2025	Affordable Housing	City of Florissant	Housing Repair and Improvement	CDBG: \$60,000	Homeowner Housing Rehabilitated: 12 Household Housing Unit
3	Project I.M.P.A.C.T.	2021	2022	Public Services	City of Florissant	Housing Accessibility Services for Persons with Disabilities	CDBG: \$0	Public service activities other than Low/Moderate Income Housing Benefit: 15 Persons Assisted
4	Mortgage, Rental & Utility Assistance	2021	2022	Public Services	City of Florissant	Emergency Mortgage, Rental, and Utility Assistance	CDBG: \$11,000	Public service activities other than Low/Moderate Income Housing Benefit: 10 Persons Assisted

Sort Order	Goal Name	Start Year	End Year	Category	Geographic Area	Needs Addressed	Funding	Goal Outcome Indicator
5	Administration	2021	2022	Administration	City of Florissant	Housing Repair and Improvement Housing Accessibility Services for Persons with Disabilities Emergency Mortgage, Rental, and Utility Assistance	CDBG: \$53,253	Other: 1 Other

Table 6 – Goals Summary

Goal Descriptions

1	Goal Name	Home Improvement Program
	Goal Description	<p>The Home Improvement Project will provide \$7,000 zero-percent interest, five-year forgivable loans to moderate level income households within the city limits of Florissant, MO. The loans will be provided to single-family owner-occupied residences to address code violations and perform much needed home repairs. All of the homes will be in sufficient condition to be safely occupied, but repairs are need to ensure the continued health and safety of the residents. The program doesn't permit any additions to be made to the land or the structure.</p> <p>The project benefits the community by maintaining and increasing property values. It also helps low to moderate income residents to build equity in their home which is critical to building generational wealth. The scope of work excludes remodeling and may include the repair or replacement of existing items and/or health and safety issues.</p>

2	Goal Name	Home Improvement Program - Mechanical
	Goal Description	The Home Improvement Program – Mechanical provides grants up to \$5,000 to households for the replacement of HVAC units and/or water heaters. Funds are available for single-family owner-occupied households within the city limits of Florissant. The purpose of the program is to reduce temperature-related illness and death by ensuring that low- to moderate income residents have working furnaces, air conditioners and/or water heaters.
3	Goal Name	Project IMPACT: Initiative to Maintain Properties and Assist our Community Together
	Goal Description	The Project I.M.P.A.C.T. program provides additional assistance to low to moderate income Florissant residents and city spaces with projects like vegetation overgrowth removal, exterior predications, housing court violations and address public space clean up as well as accessibility improvements to the maximum number of low- to moderate-income and/or disabled Florissant residents. The program uses CDBG funding to purchase materials, supplies, dumpster rentals, and accessibility modifications for homes and individuals that then uses qualified volunteers. The volunteer labor allows more households to be served with limited funding. Funds up to \$3,000 for each project will be used to assist approximate 15 clientele.
4	Goal Name	Mortgage, Rental & Utility Assistance
	Goal Description	MRU Assist will provide a onetime payment up to \$1,000.00 to 10 low- to moderate-income Florissant residents who have experienced severe economic hardship and are behind on payments of mortgage, rent, and/or utilities. This program is designed to reduce homelessness by helping residents stay in their homes, whether they are home owners or renters.
5	Goal Name	Administration
	Goal Description	Salary and benefits for staff who are administering the CDBG-funded programs. Other program administrative costs include training, travel and mileage reimbursement.

Table 7 – Goal Descriptions

Estimate the number of extremely low-income, low-income, and moderate-income families to whom the jurisdiction will provide affordable housing as defined by HOME 91.215(b):

The City of Florissant does not have a large enough allocation to provide new affordable housing units. However, The City of Florissant anticipates serving 265 households with programs to maintain affordability through home repair and mortgage and rental assistance over a five-year period.

AP-35 Projects – 91.220(d)

Introduction

The table below lists the four (4) projects – two (2) housing programs and two (2) public service programs – that the City of Florissant will undertake in FY2020 in order to address the needs identified through this Consolidated Plan Process.

#	Project Name
1	Home Improvement Program
2	Home Improvement Program - Mechanical
3	Project IMPACT
4	Mortgage, Rental & Utility Assistance
5	Administration

Table 8 – Project Information

Describe the reasons for allocation priorities and any obstacles to addressing underserved needs

The most recent Analysis of Impediments to Fair Housing identified several impediments within the City of Florissant and surrounding community, as well as offered suggestions to tackle and ameliorate them. These projects and programs are the City's attempt to meet the identified needs in the community based on the A.I. feedback, consultation with area social service agencies, nonprofit organizations, elected officials, and housing Consolidated Plan organizations. Much of the city consists of single-family homes with a growing rate of rental housing. CDBG funds will be used to ensure the existing housing stock remains safe and accessible for its residents, while also providing services for residents to access essential living functions and providing financial assistance to agencies keeping residents in their homes and off the streets. Education will continue to be a priority for the City via CDBG funding to ensure better and more comprehensive understanding of fair and affordable housing. The CDBG funds will be used to work hard for the city's aging population, disabled and/or LMI, by helping Florissant's most vulnerable populations.

Projects

AP-38 Projects Summary

Project Summary Information

Table 9 – Project Summary

1	Project Name	Home Improvement Program
	Target Area	City of Florissant
	Goals Supported	Home Improvement Program
	Needs Addressed	Housing Repair and Improvement
	Funding	CDBG: \$126,144
	Description	<p>The Home Improvement Project will provide \$7,000 zero-percent interest, five-year forgivable loans to low-to-moderate level income households within the city limits of Florissant, MO. The loans will be provided to single-family owner-occupied residences to address code violations and perform much needed home repairs. All of the homes will be in sufficient condition to be safely occupied, but repairs are need to ensure the continued health and safety of the residents. The program doesn't permit any additions to be made to the land or the structure.</p> <p>The project benefits the community by maintaining and increasing property values. It also helps low to moderate income residents to build equity in their home which is critical to building generational wealth. The scope of work excludes remodeling and may include the repair or replacement of existing items and/or health and safety issues.</p>
	Target Date	8/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	The City estimates assisting 30 households with the Home Improvement Loan Program
	Location Description	The City will accept households within the city limits
	Planned Activities	The Home Improvement Program provides up to \$7000 as a 0% interest forgivable loan to eligible City of Florissant residents to assist with home improvement projects.

2	Project Name	Home Improvement Program - Mechanical
	Target Area	City of Florissant
	Goals Supported	Home Improvement Program - Mechanical
	Needs Addressed	Housing Repair and Improvement
	Funding	CDBG: \$60,000
	Description	The Home Improvement Program – Mechanical provides grants up to \$5,000 to low-to moderate income households for the replacement of HVAC units and/or water heaters. Funds are available for single-family owner-occupied households within the city limits of Florissant. The purpose of the program is to reduce temperature-related illness and death by ensuring that low- to moderate income residents have working furnaces, air conditioners and/or water heaters.
	Target Date	8/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	The City estimates assisting 12 households with the HIP-M Program
	Location Description	The City will accept households within the city limits
	Planned Activities	The Home Improvement Program - Mechanical program provides up to \$5000 grant to low- to moderate-income homeowners for the replacement of water heaters, heating and/or cooling units.
3	Project Name	Project IMPACT: Initiative to Maintain Properties and Assist our Community Together
	Target Area	City of Florissant
	Goals Supported	Project IMPACT: Initiative to Maintain Properties and Assist our Community Together
	Needs Addressed	Housing Accessibility / Services for Persons with Disabilities
	Funding	CDBG: \$0

	Description	<p>The Project I.M.P.A.C.T. program provides additional assistance to low to moderate income Florissant residents and city spaces with projects like vegetation overgrowth removal, exterior predications, housing court violations and address public space clean up as well as accessibility improvements to the maximum number of low- to moderate-income and/or disabled Florissant residents.</p> <p>The program uses CDBG funding to purchase materials, supplies, dumpster rentals, and accessibility modifications for homes and individuals that then uses qualified volunteers. The volunteer labor allows more households to be served with limited funding. Funds up to \$3,000 for each project.</p>
	Target Date	8/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	The City estimates that 15 households will be assisted with Project IMPACT
	Location Description	Participants of this program will be City Wide
	Planned Activities	The program uses CDBG funding to purchase materials, supplies, dumpster rentals, and accessibility modifications for homes and individuals that then uses qualified volunteers. The volunteer labor allows more households to be served with limited funding.
4	Project Name	Mortgage, Rental & Utility Assistance
	Target Area	City of Florissant
	Goals Supported	Mortgage, Rental & Utility Assistance
	Needs Addressed	Emergency Mortgage, Rental, and Utility Assistance
	Funding	CDBG: \$11,000
	Description	MRU Assist will provide a onetime payment up to \$1,000.00 to low- to moderate-income Florissant residents who have experienced severe economic hardship and are behind on payments of mortgage, rent, and/or utilities. This program is designed to reduce homelessness by helping residents stay in their homes, whether they are home owners or renters.

	Target Date	8/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	The City estimates that 10 individuals will be assisted with the MRU Assist Program
	Location Description	Participants will be accepted from within the City of Florissant limits
	Planned Activities	Mortgage, rental, and utility assistance will be provided to those who are in jeopardy of becoming homeless due to past due or late rent/mortgage and utility payments.
5	Project Name	Administration
	Target Area	City of Florissant
	Goals Supported	Administration
	Needs Addressed	Housing Repair & Improvement Housing Accessibility Services for Persons with Disabilities Emergency Mortgage, Rental, and Utility Assistance
	Funding	CDBG: \$53,253
	Description	Salary and benefits for staff who are administering the CDBG-funded programs. Other program administrative costs include training, travel and mileage reimbursement.
	Target Date	8/30/2024
	Estimate the number and type of families that will benefit from the proposed activities	This activity is administration and will not benefit low income families directly.
	Location Description	City of Florissant
	Planned Activities	Administration of the program

AP-50 Geographic Distribution – 91.220(f)

Description of the geographic areas of the entitlement (including areas of low-income and minority concentration) where assistance will be directed

The City of Florissant will not be allocating CDBG funded programs based on geographic target areas. CDBG investments are made city-wide, since low- to moderate-income persons are not concentrated in a single geographic area of the City. Instead, program funds will be distributed based on need and eligibility. Future Annual Action Plans will allow the City of Florissant to reevaluate community conditions and determine whether geographic targeting for one or more CDBG funded programs is appropriate.

Geographic Distribution

Target Area	Percentage of Funds
City of Florissant	100

Table 10 - Geographic Distribution

Rationale for the priorities for allocating investments geographically

The City of Florissant will not be allocating CDBG funded programs based on geographic target areas. CDBG investments are made city-wide, since low- to moderate-income persons are not concentrated in a single geographic area of the City. Instead, programs funds will be distributed based on need and eligibility.

Discussion

Future Annual Action Plans will allow the City of Florissant to re-evaluate community conditions and determine whether geographic targeting for one or more CDBG funded programs is appropriate.

It is important to note that other City of Florissant programs not covered by the Consolidated Plan are geographically targeted. For example, the City of Florissant applied for and received a grant from the Neighborhood Stabilization Program (NSP) through the Department of Housing and Urban Development (HUD) Recovery Act funds. The City was awarded \$1.5 million dollars for the purchase, rehabilitation, and resale of foreclosed homes in order to stabilize neighborhoods and stem the decline of house values of neighboring homes. The City continues to administer this program through the original award amount and additional Program Income. No other local, state, or federal funds will be utilized for these projects. These NSP projects are geographically targeted to NSP-eligible areas within the City of Florissant.

AP-75 Barriers to affordable housing – 91.220(j)

Introduction

The Analysis of Impediments to Fair Housing Choice (AI) is a comprehensive review of a jurisdiction's laws, regulations, and administrative policies, procedures and practices affecting the location, availability, and accessibility of housing, as well as an assessment of conditions, both public and private, affecting fair housing choice. Impediments to fair housing choice are any actions, omissions, or decisions taken because of race, color, religion, sex, disability, familial status, or national origin. Policies, practices, or procedures that appear neutral on their face, but which operate to deny or adversely the provision of housing to persons of a particular race, color, religion, sex, disability, familial status, or national origin may constitute such impediments.

The City of Florissant, along with the other members of the St. Louis HOME Consortium (St. Louis County, St. Charles County, Jefferson County and the City of O'Fallon) and the Housing Authority of St. Louis County during 2020 retained Mosaic Community Planning, LLC to conduct and prepare a Regional Analysis of Impediments to Fair Housing Choice study. This study, while regional, has specific recommendations for each of the consortium members. The City of Florissant will address any and all barriers identified within its jurisdiction and act accordingly.

Actions it planned to remove or ameliorate the negative effects of public policies that serve as barriers to affordable housing such as land use controls, tax policies affecting land, zoning ordinances, building codes, fees and charges, growth limitations, and policies affecting the return on residential investment

Many of the Impediments to Fair Housing that have been identified in the 2020 Analysis of Impediments to Fair Housing report as being applicable to the City of Florissant are also Barriers to Affordable Housing. These barriers are largely systemic & will require effort from both private & public sectors across the entire regional area to correct. Florissant will strive to undertake the stated strategies recommended in the report. For any of these strategies to move forward, the City of Florissant will need to collaborate with St. Louis County and/or other local jurisdictions, agencies, & private entities. Therefore, specific action items are dependent on further community engagement, planning, & coordination. However, these proposed strategies give a rough idea of where the City of Florissant might focus its efforts. More detailed explanations of all the barriers & proposed strategies can be found in the Analysis of Impediments to Fair Housing. The Impediments/Barriers that were identified as applicable to the City of Florissant include:

Barrier: Low labor market engagement & limited incomes restrict housing choice & access to opportunity among protected classes

Strategies: Increase access to workforce development & employment opportunities

Barrier: Lack of access to transportation services in some areas of the region limits housing choices & access to employment, services, & resources

Strategies: Expand transportation services & connections to other areas of the region

Barrier: Insufficient housing for people with disabilities

Strategies: Consider opportunities to encourage or incentivize the construction of new accessible housing units for people with disabilities. Continue to partner with agencies & commissions to identify areas where the city can improve accessibility.

Barrier: Limited access to quality schools disproportionately impacts residents of color

Strategies: Support development of workforce housing in areas with high-performing school districts to reduce affordability barriers to accessing these districts. Partner with school districts, youth- and community development-focused organizations, community institutions, businesses, & residents to identify youth education, mentoring, recreation, & family support needs.

Barrier: Lack of affordable housing supply prevents members of protected classes from living in areas of opportunity

Strategies: Develop & deliver community education around the need for affordable housing & its cultural and economic value to the community. Consider & adopt zoning codes amendments that could increase possibilities for the development of affordable multifamily housing

Barrier: Ongoing need for fair housing outreach, education, & enforcement

Strategies: Continued education regarding fair housing rights, recognizing discrimination, & how & where to file a housing discrimination complaint. Housing industry professionals continued education regarding their fair housing obligations & strategies for recognizing & dismantling implicit biases Continued funding commitment to fair housing enforcement measures

Barrier: Continued need for neighborhood investment & expanding opportunity in North St Louis County

Strategies: Expand community engagement efforts focused on community needs & priorities in low-moderate income census tracts, including working with residents & community groups to shape the approach to community engagement. Implement targeted outreach to engage with

residents to identify areas for investment.

Barrier: NIMBYism and prejudice reduce housing choice for protected classes

Strategies: Develop-deliver community education around the need for affordable housing & its cultural & economic value to the community. Explore-promote community events & programming such as cultural celebrations & food fairs that celebrate the regions diversity & encourage interaction among diverse participants in neighborhoods throughout the region

While all of these barriers affect Florissant, many are regional issues that the City of Florissant cannot address on its own. Florissant is sensitive to the effects that public policies have on the cost (including development, maintenance, rehabilitation, or management) of affordable housing within its jurisdiction. In the AI Study, none of the impediments listed were related to public policies that would or could hinder the development, maintenance or rehabilitation of affordable housing or add to the cost of existing affordable units within the city. Since Florissant does not have any local policy or regulation that would create a significant barrier to the development, maintenance or improvement of any affordable housing within its jurisdiction, there is no need, at this point in time to develop a strategy to address such policies. Over the next five-years, the city will work to remove or ameliorate the identified impediments to the best of its ability.

Discussion

As a member of the St. Louis HOME Consortium, the City of Florissant is served by several local fair housing, affordable housing, and homeless service organizations (EHOC-Equal Housing Opportunity Council, Beyond Housing, Community Action Agency of St Louis County, Better Family Life, The Housing Partnership, and Catholic Charities). Activities include fair housing testing, complaint investigation, fair housing education, transitional housing, rent and mortgage assistance, and other housing-related assistance.

AP-85 Other Actions – 91.220(k)

Introduction

The City of Florissant has a record of strong performance in meeting underserved needs through the CDBG program.

Actions planned to address obstacles to meeting underserved needs

The largest obstacle to meeting underserved needs is funding. City staff will investigate creative leveraging strategies, such as the leveraging of volunteers in the existing Project I.M.P.A.C.T. program, to continue to make a larger community impact with limited resources.

Actions planned to foster and maintain affordable housing

The City of Florissant will strive to undertake the following strategies recommended in the Analysis of Impediments to Fair Housing to remove or ameliorate the barriers to fair/affordable housing. For any of these strategies to move forward, the City of Florissant will need to collaborate with St. Louis County and/or other local jurisdictions, agencies, and private entities. Therefore, specific action items are dependent on further community engagement, planning, and coordination. However, these proposed strategies give a rough idea of where the City of Florissant might focus its efforts. More detailed explanations of all the barriers and proposed strategies can be found in the Analysis of Impediments to Fair Housing.

Actions planned to reduce lead-based paint hazards

The City of Florissant continues to pursue an active role in eliminating the hazards of the lead-based paint in its housing stock. Staff successfully completed HUD's Office of Lead Hazard Control's Visual Assessment course pursuant to 24 CFR Part 35. All homeowners in the Home Improvement Program Loan Program with houses built before 1978 are given the "Protect Your Family from Lead In Your Home" Pamphlet and the Lead Renovation Guide and must sign a "Confirmation of Receipt" for documentation purposes. In addition, the homes must undergo Lead Based Paint Testing on the areas of the home where a visual inspection is made for flaking and peeling paint does not pass. Bid packages containing work specifications will be bid out to pre-approved licensed lead abatement contractors. Dust and soil clearance tests will be performed after the work has been completed.

The City will continue to work with the St. Louis County Lead Surveillance Program to screen and evaluate children for lead absorption, and initiate treatment when needed. The Community Development Office will continue to be responsible for networking with appropriate City and County departments and other service providers in this area. In addition, the Community Development Office will maintain its close contact with the St. Louis Office of Community Development's Home Improvement staff and the designated lead coordinator, in

order to comply with the lead-based paint regulations that went into effect in September 2000.

Actions planned to reduce the number of poverty-level families

While poverty is a complex issue and not solvable with CDBG funding alone, the City of Florissant has designed existing CDBG programs and policies with the goal of contributing to the reduction of the number of poverty-level families in the jurisdiction. The City of Florissant housing rehabilitation programs (the Home Improvement Program, Home Improvement Program – Mechanical and the Project IMPACT Program) provides a way for low income persons to maintain their existing homes without investing their own resources into repairs and rehabilitation. The emergency mortgage, rental, and utility assistance program provides a similar safety net for both owner and renter households.

A great deal of national research has been done on the importance of “housing as a platform” to improve quality of life. Access to safe, stable, and affordable housing has been linked to higher educational achievement for children, better economic prospects for parents, and improved health and well-being. Given that the City of Florissant’s Analysis of Impediments to Fair Housing identifies Florissant as an area of high opportunity (low poverty, high school proficiency, and high labor market engagement) relative to many areas in north St. Louis County, safe, stable, and affordable housing options within the City of Florissant are especially likely to contribute to positive outcomes for individuals and families and ultimately reduce poverty. Therefore, City of Florissant CDBG programs around housing repair and assistance are important tools for long term poverty reduction.

Actions planned to develop institutional structure

The institutional structure to carry out the programs referenced in this Annual Action Plan is already strong. The City of Florissant Department of Housing and Community Development administer the programs funded by the Community Development Block Grant. Private contractors do the actual work of rehabilitation services. The City staff is able to adequately monitor these contractors to assure that services are provided as promised.

Actions planned to enhance coordination between public and private housing and social service agencies

City staff will continue to attend meetings involving a wide spectrum of agencies and groups involved in issues such as housing, homelessness, foreclosures, community services, AIDS, persons with disabilities, and environmental concerns. City staff will also continue to attend regular meetings to coordinate with the St. Louis County Continuum of Care.

Discussion

Program Specific Requirements

AP-90 Program Specific Requirements – 91.220(l)(1,2,4)

Introduction

Community Development Block Grant Program (CDBG) Reference 24 CFR 91.220(l)(1)

Projects planned with all CDBG funds expected to be available during the year are identified in the Projects Table. The following identifies program income that is available for use that is included in projects to be carried out.

- | | |
|--|----------|
| 1. The total amount of program income that will have been received before the start of the next program year and that has not yet been reprogrammed | 0 |
| 2. The amount of proceeds from section 108 loan guarantees that will be used during the year to address the priority needs and specific objectives identified in the grantee's strategic plan. | 0 |
| 3. The amount of surplus funds from urban renewal settlements | 0 |
| 4. The amount of any grant funds returned to the line of credit for which the planned use has not been included in a prior statement or plan | 0 |
| 5. The amount of income from float-funded activities | 0 |
| Total Program Income: | 0 |

Other CDBG Requirements

- | | |
|---|-------|
| 1. The amount of urgent need activities | 0 |
| 2. The estimated percentage of CDBG funds that will be used for activities that benefit persons of low and moderate income. Overall Benefit - A consecutive period of one, two or three years may be used to determine that a minimum overall benefit of 70% of CDBG funds is used to benefit persons of low and moderate income. Specify the years covered that include this Annual Action Plan. | 0.00% |

Discussion

PROPOSED USE OF CDBG FUNDS

2022 *ESTIMATED* Financial Summary

FY2022 CDBG Program

Community Development Block Grant Resources

Entitlement Amount Estimate	\$266,269.00
Total FY2022 Anticipated Funding	\$266,269.00

Proposed Uses of CDBG Funds

Housing Programs

Home Improvement Program	\$142,016.00
Home Improvement Program – Mechanical	\$ 60,000.00

Public Services

Project IMPACT	\$ 0.00
Mortgage, Rental & Utility Assistance	\$ 11,000.00

Grant Administration

Administration	\$ 53,253.00
Total	\$266,269.00

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

3/10/2022

Mayor's Approval:

Agenda Date Requested: 28-Mar-22

Description of request: Public Hearing for Fiscal
Year 2022 Annual Plan
for the Florissant
Community
Development Block
Grant Program (CDBG)

Department: Community Development

Recommending Board or Commission: Citizens Participation Committee

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N

Public Hearing needed: Yes / No

YES

3 readings? : Yes / No

NO

Back up materials
attached:

Back up materials
needed:

Minutes		Minutes	
Maps		Maps	
Memo	X	Memo	
Draft FY2022 Annual Plan	X	Draft Ord.	

I will email this before 3/28 PH

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____



MEMORANDUM

To: MAYOR LOWERY & FLORISSANT CITY COUNCIL
From: M. Carol O'Mara, Director Community Development
Re: Community Development Block Grant (CDBG) 2022 Annual Action Plan
Date: March 10, 2022

This is a request for the approval of the Community Development Block Grant (CDBG) 2022 Annual Action Plan.

PROPOSED USE OF CDBG FUNDS 2022 *Estimated* Financial Summary

FY2022 CDBG Program

Community Development Block Grant Resources	
Entitlement Amount Estimate	\$266,269.00

Total FY2022 Anticipated Funding	\$266,269.00
----------------------------------	--------------

Proposed Uses of CDBG Funds

Housing Programs	
Home Improvement Program	\$142,016.00
Home Improvement Program – Mechanical	\$ 60,000.00

Public Services	
Mortgage, Rental & Utility Assistance	\$ 11,000.00

Grant Administration	\$ 53,253.00
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Total	\$262,402.00
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1 INTRODUCED BY COUNCILMAN MULCAHY
2 FEBRUARY 28TH, 2022

3
4 BILL NO. 9758

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO SPECIAL USE**
7 **ORDINANCE NO. 8651 TO ALLOW FOR A TIRE STORAGE**
8 **STRUCTURE IN A B-3 “EXTENSIVE BUSINESS DISTRICT” LOCATED**
9 **AT 1685 N. HWY 67.**

10
11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of an
13 automotive repair business; and

14 WHEREAS Voss Automotive operated an automotive repair business at 1685 N. Hwy 67
15 prior to the requirement of a special use permit; and

16 WHEREAS ordinance no. 8651 was passed and transferred the existing Special use permit
17 to Quick Stop Automotive, LLC in November of 2020; and

18 WHEREAS, an application has been filed by Quick Stop Tire Shop to amend ordinance
19 no.8651 to allow for a tire storage structure; and

20 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
21 meeting of February 7, 2022 has recommended that the Special Use Permit amendment be
22 approved to allow for a tire storage structure; and

23 WHEREAS, due notice of public hearing no. 22-02-003 on said application to be held on
24 the 28th of February, 2022 at 7:00 P.M. by the Council of the City of Florissant was duly
25 published, held and concluded; and

26 WHEREAS, the Council, following said public hearing, and after due and careful
27 consideration, has concluded that the granting of an amendment to the amended Special Use
28 Permit authorized by Ordinance No. 8651, as hereinafter provided, would be in the best interest
29 of the City of Florissant and will not adversely affect the health, safety, morals and general
30 welfare of the City.

31 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
32 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

33
34 Section 1: Special Use, Ord. No. 8651 is hereby amended to allow for a tire storage
35 structure in a ‘B-3’ Extensive Business District as shown on plans A-1 Existing Conditions and
36 Site Plan and A-2 Elevations by James Zavist, Registered Architect, all dated 12/14/2021,
37 attached, subject to the conditions set forth below with these conditions being part of the record.

Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2022.

Keith Schildroth
President of the Council
City of Florissant

Approved this ____ day of _____, 2022.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN MULCAHY
2 FEBRUARY 28TH, 2022

3
4 SUBSTITUTE BILL NO. 9758

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO SPECIAL USE**
7 **ORDINANCE NO. 8651 TO ALLOW FOR A TIRE STORAGE**
8 **STRUCTURE IN A B-3 “EXTENSIVE BUSINESS DISTRICT” LOCATED**
9 **AT 1685 N. HWY 67.**

10
11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of an
13 automotive repair business; and

14 WHEREAS Voss Automotive operated an automotive repair business at 1685 N. Hwy 67
15 prior to the requirement of a special use permit; and

16 WHEREAS ordinance no. 8651 was passed and transferred the existing Special use permit
17 to Quick Stop Automotive, LLC in November of 2020; and

18 WHEREAS, an application has been filed by Quick Stop Tire Shop to amend ordinance
19 no.8651 to allow for a tire storage structure; and

20 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
21 meeting of February 7, 2022 has recommended that the Special Use Permit amendment be
22 approved to allow for a tire storage structure; and

23 WHEREAS, due notice of public hearing no. 22-02-003 on said application to be held on
24 the 28th of February, 2022 at 7:00 P.M. by the Council of the City of Florissant was duly
25 published, held and concluded; and

26 WHEREAS, the Council, following said public hearing, and after due and careful
27 consideration, has concluded that the granting of an amendment to the amended Special Use
28 Permit authorized by Ordinance No. 8651, as hereinafter provided, would be in the best interest
29 of the City of Florissant and will not adversely affect the health, safety, morals and general
30 welfare of the City.

31 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
32 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

33
34 Section 1: Special Use, Ord. No. 8651 is hereby amended to allow for a tire storage
35 structure in a ‘B-3’ Extensive Business District as shown on plans A-1 Existing Conditions and
36 Site Plan and A-2 Elevations by James Zavist, Registered Architect, all dated 12/14/2021,
37 attached, subject to the conditions set forth below with these conditions being part of the record.

1. **No outside repair activities permitted.**
2. **Tire Displays: limited to rack storage as approved by the Planning & Zoning Commission.**
3. **No other outside storage of tires permitted.**

Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2022.

Keith Schildroth
President of the Council
City of Florissant

Approved this ____ day of _____, 2022.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



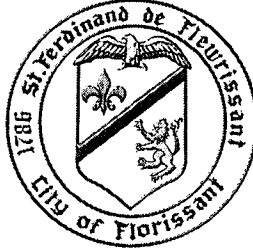
In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, February 28, 2022 at 7:00 p.m. on the following proposition:

To amend Special Use No. 9638 to allow for a tire storage structure in a 'B-3' Extensive Business District located at 1685 N. Hwy 67 (QuickStop Automotive). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

1

MEMORANDUM



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CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: December 22, 2021

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: 1685 N Hwy 67 Request Recommended Approval to amend a Special Use
to allow for tire storage in a 'B-3' Extensive Business District.

STAFF REPORT
CASE NUMBER PZ-010322-3

I. **PROJECT DESCRIPTION:**

This is a request for Recommended Approval to amend a Special Use to allow for an accessory structure tire storage, with screening, in a 'B-3' Extensive Business District.

II. **EXISTING SITE CONDITIONS:**

The existing property at 1685 N Hwy 67 is a property which changed from a 'B-1' Local Shopping District to a 'B-3' Extensive Business District. This tenant space was operating as a Special Use as an "Automotive Service Garage" and would now be deemed a legal Special Use after re-zoning, although there is no written ordinance that lists restrictions.

The subject property is approximately 0.66 Acres. There are plans attached which shows the boundary limits and proposed structures.

The existing building was built in 1978 per County record, which lists the portion of the Shopping Center that currently houses offices as 4218 s.f. and the current Auto Repair area as 1305 s.f. This county data probably was obtained from Aerial measurement or other data.

41 **III. SURROUNDING PROPERTIES:**

42 The property to the West is 1575 N Highway 67 (Cugino's) is zoned similarly in the 'B-
43 1' Local Shopping District. The properties to the North are 44, 46, 48 and 50 St Celeste
44 in the 'R-4' Single Family Dwelling District.

45
46 **IV. STAFF ANALYSIS:**

47 Plans received from the applicant include A-1 Existing Conditions and Site Plan and A-2
48 Elevations by James Zavist, Registered Architect, all dated 11/19/2021.

49
50 Comments on Sheet A-1

51 This sheet contains an aerial photo and proposed structure location.

52
53 The size of the tenant space is 1200 s.f.

54
55 Site Plan: The site is in compliance with the parking code as follows:

56 Parking required 3 spaces for each bay and employees on the maximum shift. Site plan
57 indicates the same pattern of vehicles on the parking lot.

58
59 Parking required for the entire building as calculated by staff:

60 Office portion of Shopping Center if 4218 s.f. @ 3/1000 s.f. = 12.6 spaces, 13 provided.

61 Automotive Service Garage: 3 space per each bay plus employees = 6 plus a number of
62 parking for staff. The petitioner does not address exactly how many max. staff, so it's
63 reasonable to assume a number similar to other repair shops, i.e. a certain number of staff
64 per bay and receptionist. 1 or 2 per bay and one reception might work, say 5 spaces max
65 for employees. If so, total required spaces = 11 spaces. Site plan aerial shows parking
66 striping, 31 provided, complies.

67
68
69 Existing Floor Plan layout: 2 bays and customer area exist, drinking fountains, ADA
70 entry, doors and ADA restroom. The previous tenant of over 35 years was Voss
71 Automotive Repair shop.

72
73 The proposed tire storage consists of a shipping container with vinyl fence screening for
74 concealing the shipping container.

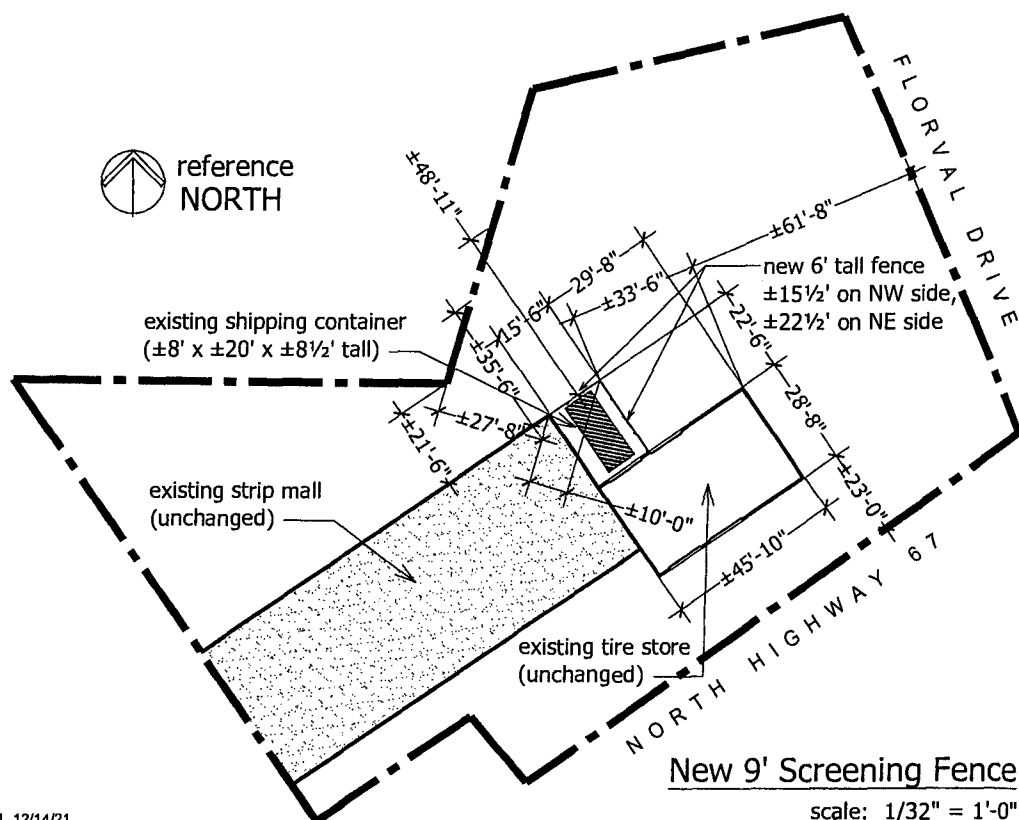
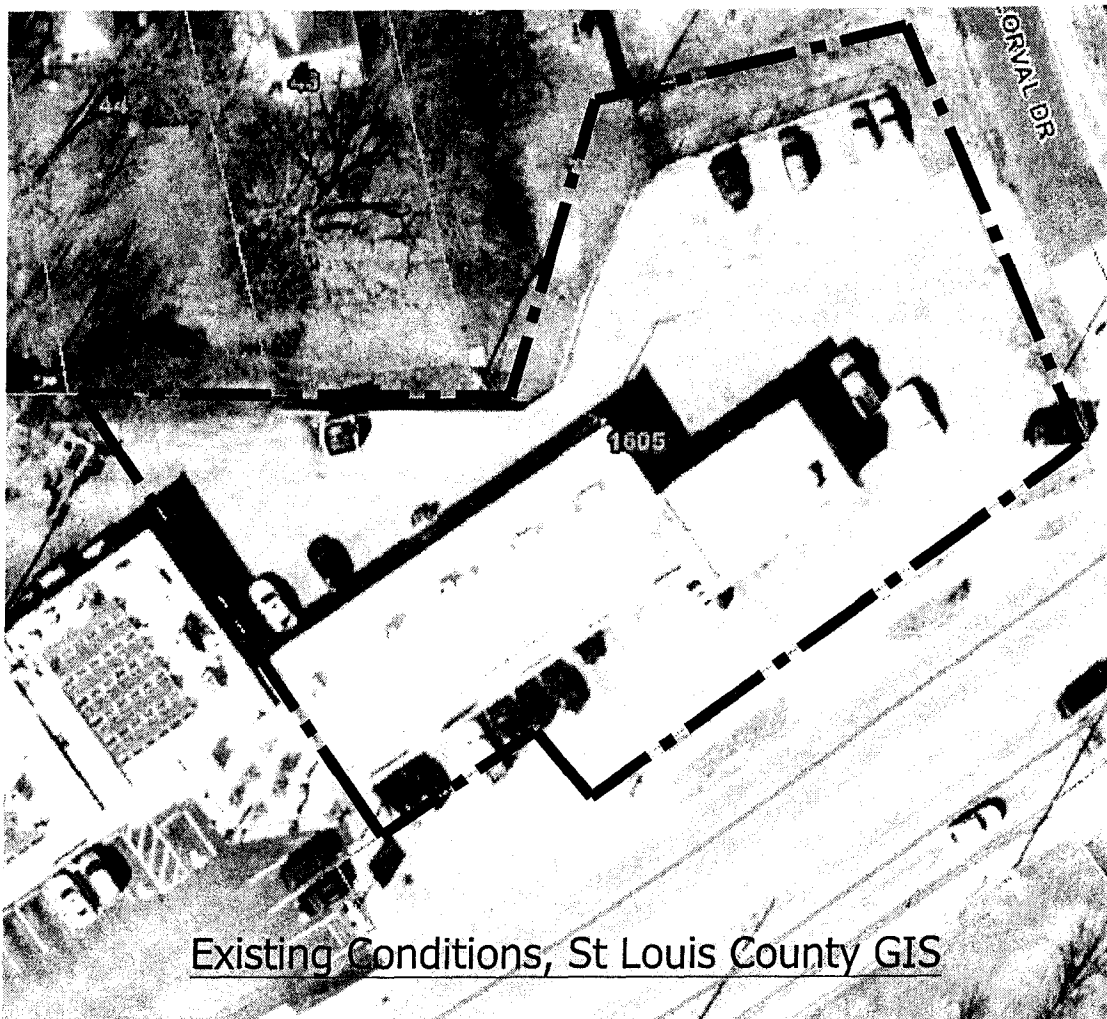
75
76 **III. STAFF RECOMENDATIONS:**

77 **Suggested Motion:**

78 I move for Recommended Approval to amend a Special Use to allow for a tire storage
79 structure in a 'B-3' Extensive Business District as shown on plans A-1 Existing
80 Conditions and Site Plan and A-2 Elevations by James Zavist, Registered Architect, all
81 dated 11/19/2021. attached, subject to the conditions set forth below with these conditions
82 being part of the record:

83
84 **1. Screening: Petitioner shall install a screen consisting of the following**
85 **(options):**

- 86 **a. 90% opacity slats within existing chainlink fence.**



Issue Dates: 11/19/21, 12/14/21

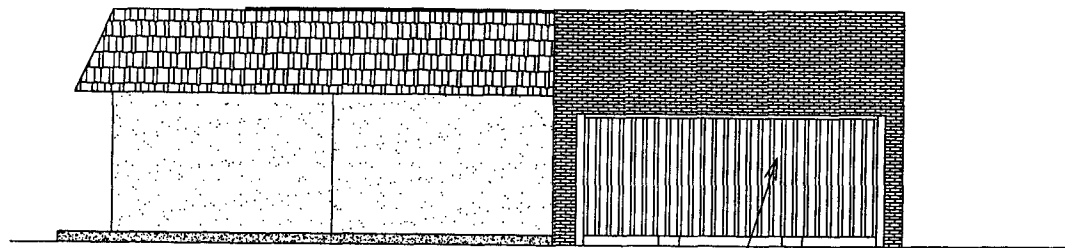
Tire Store Fence - 1685 N Hwy 67

Florissant, Missouri

James Zavist, Registered Architect

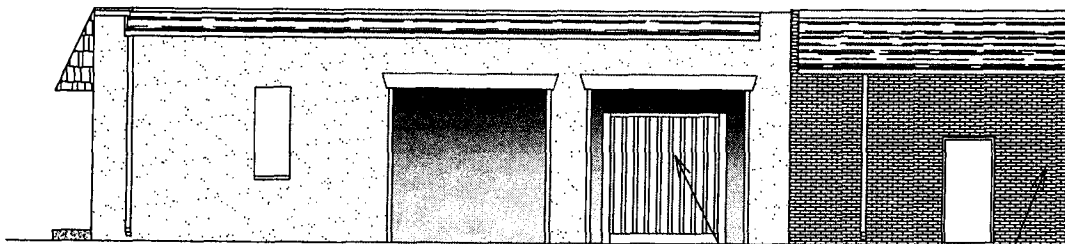
707 Hutchins Dr, St Louis, MO 63126, 314-973-6724, jzavist@gmail.com

A-1



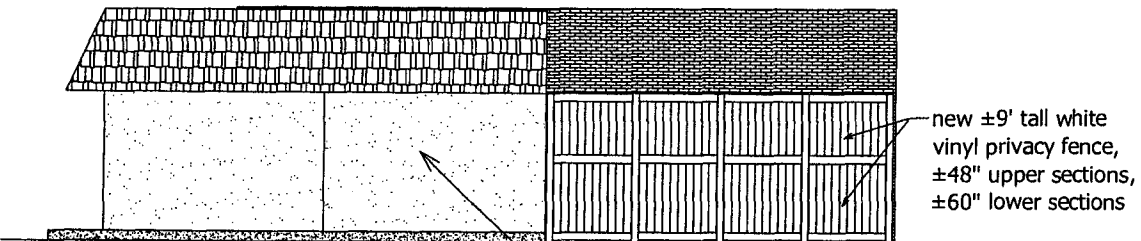
Existing Northeast Elevation

scale: 1/8" = 1'-0"



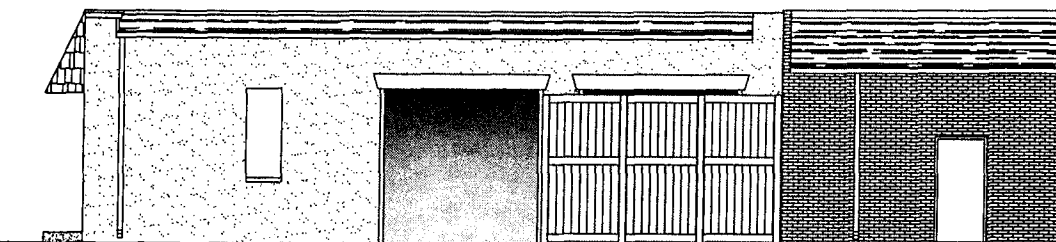
Existing Northwest Elevation

scale: 1/8" = 1'-0"



Northeast Elevation with New Fence

scale: 1/8" = 1'-0"



Northwest Elevation with New Fence

scale: 1/8" = 1'-0"

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward 6 Zoning 'B-3'

RECOMMENDED APPROVAL
PLANNING & ZONING
COMMISSION

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN

DATE: 2-7-22

SPECIAL PERMIT FOR

Container Storage (Tires)

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #

8651

ordinance #

TO ALLOW FOR

Tire Storage Structures

Statement of what the amendment is for.

LOCATION

1685 N. Hwy 67, Florissant, MO 63031

Address of property.

1) Comes Now

Quick Stop Tire Shop < DBA

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property)

Owner

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Installing and repairing cars on vehicle and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- x Omar hassein 2/over /
PRINT NAME SIGNATURE email and phone

Special Use Permit Application
Page 2 of 5- Revised 7/15/15

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual X Partnership _____ Corporation per

(a) If an individual:

- (1) Name and Address Omar Hussein
- (2) Telephone Number 636-290-0769
- (3) Business Address 1685 N. Hwy 67, Florissant, MO 63031
- (4) Date started in business 12-20-2020
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name N/A
Address _____
Property Owner _____
Location of property _____
Dimensions of property _____
Property is presently zoned _____ Requests Rezoning To _____
Proposed Use of Property _____
Type of Sign _____ Height _____
Type of Construction _____ Number Of Stories _____
Square Footage of Building _____ Number of Curb Cuts _____
Number of Parking Spaces _____ Sidewalk Length _____
Landscaping: No. of Trees _____ Diameter _____
No. of Shrubs _____ Size _____
Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

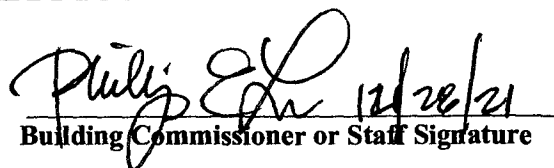
PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

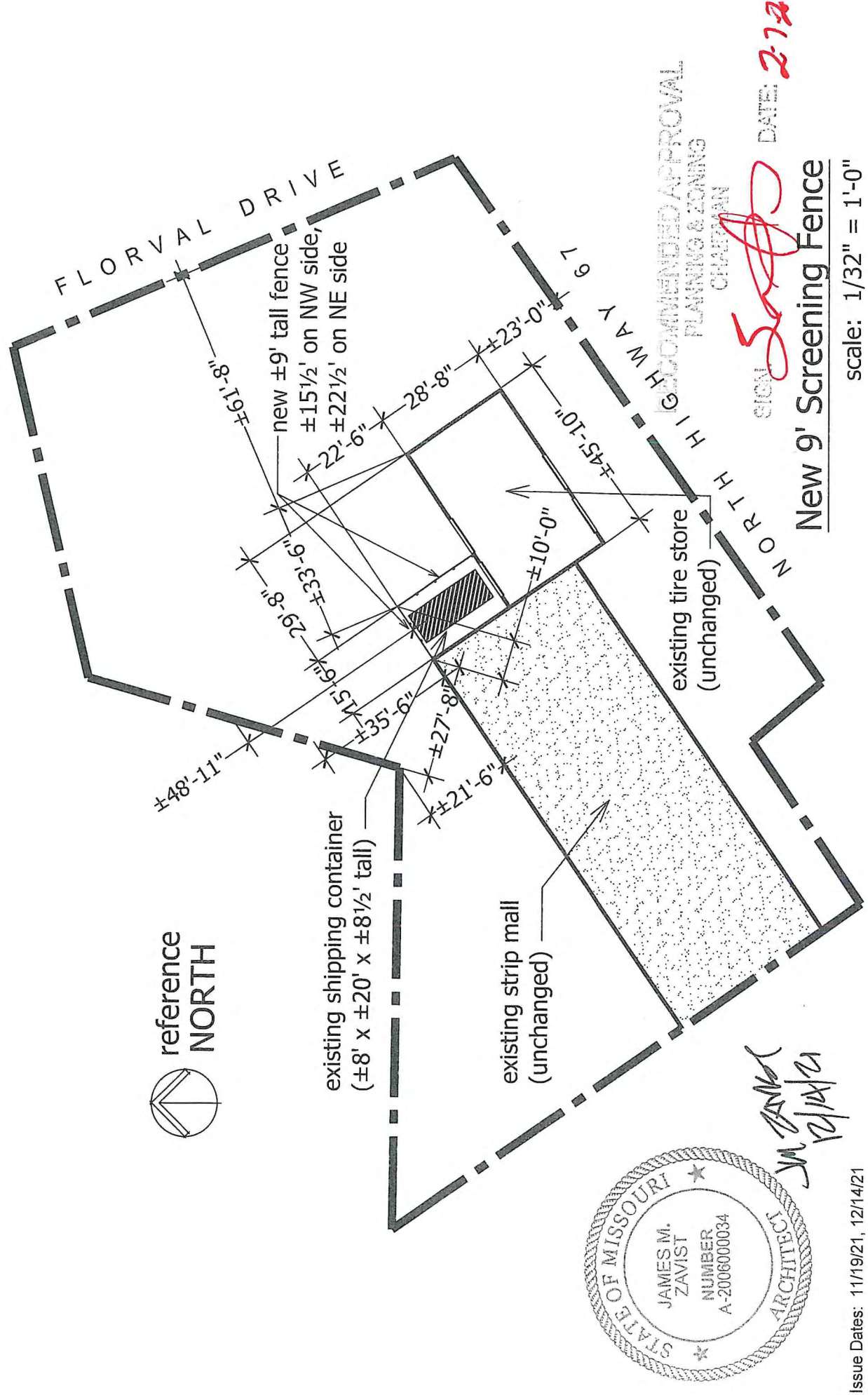
Date Application reviewed _____

STAFF REMARKS: _____


Building Commissioner or Staff Signature



Existing Conditions, St Louis County GIS

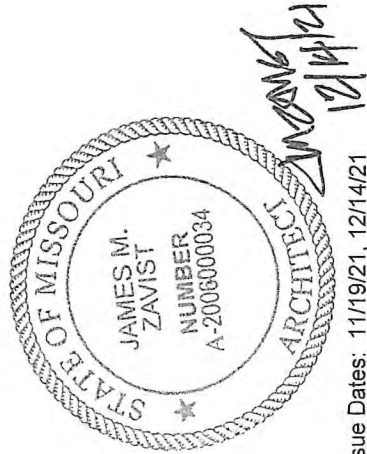
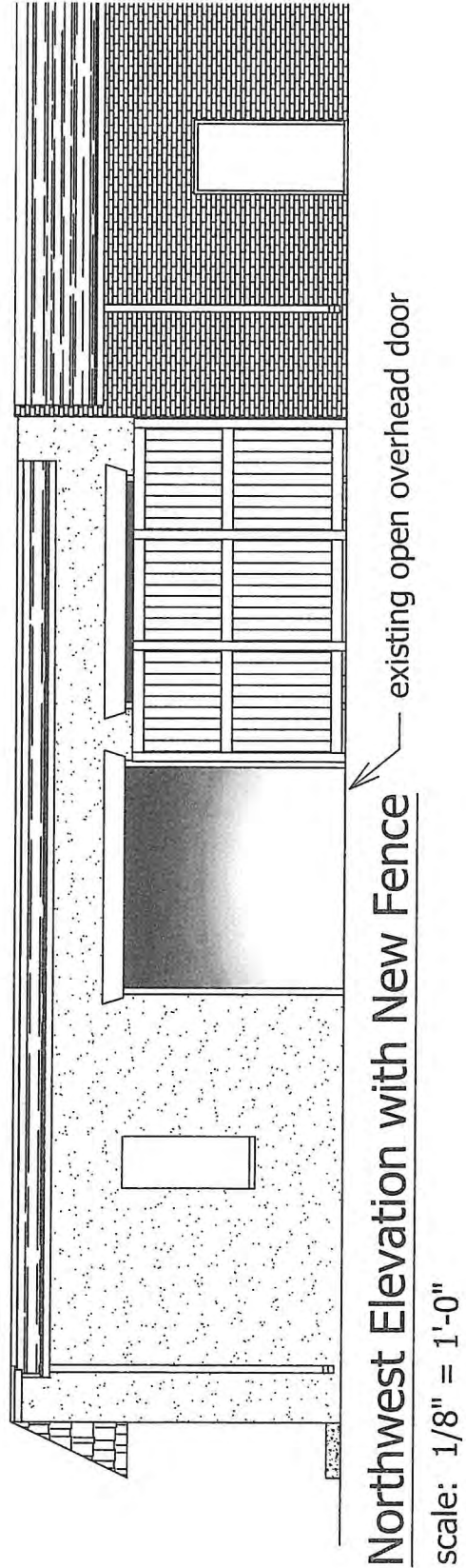
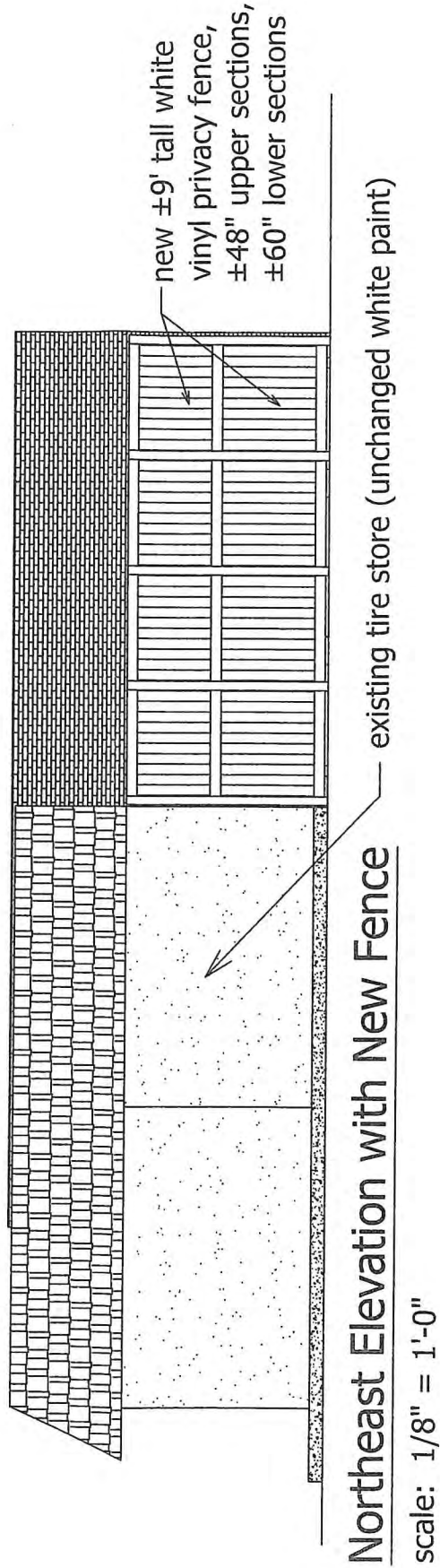
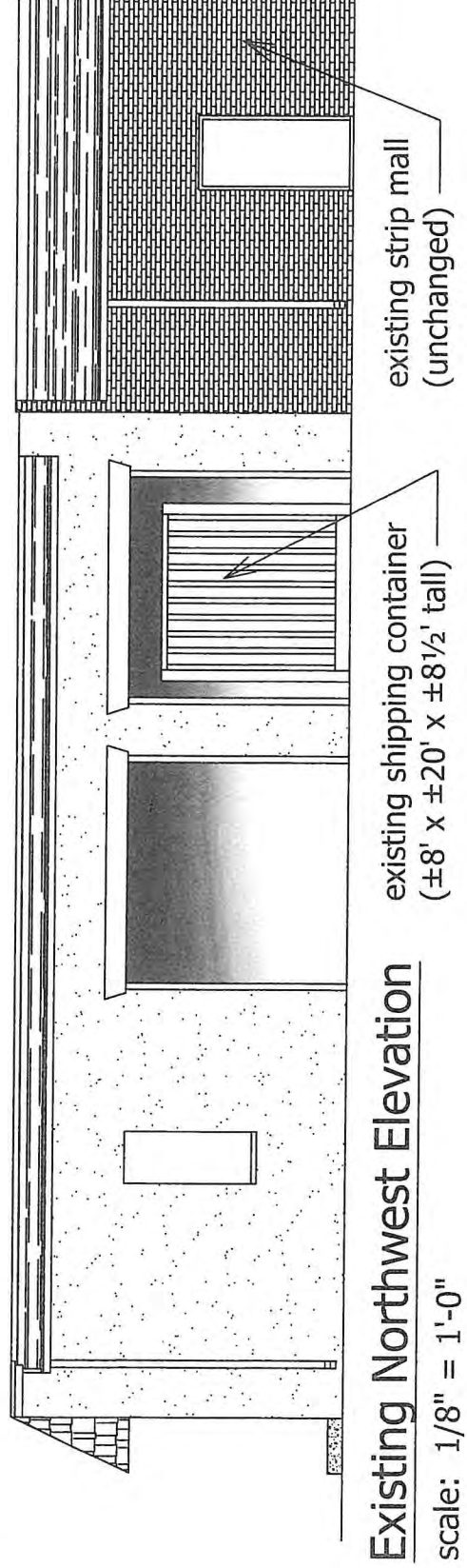
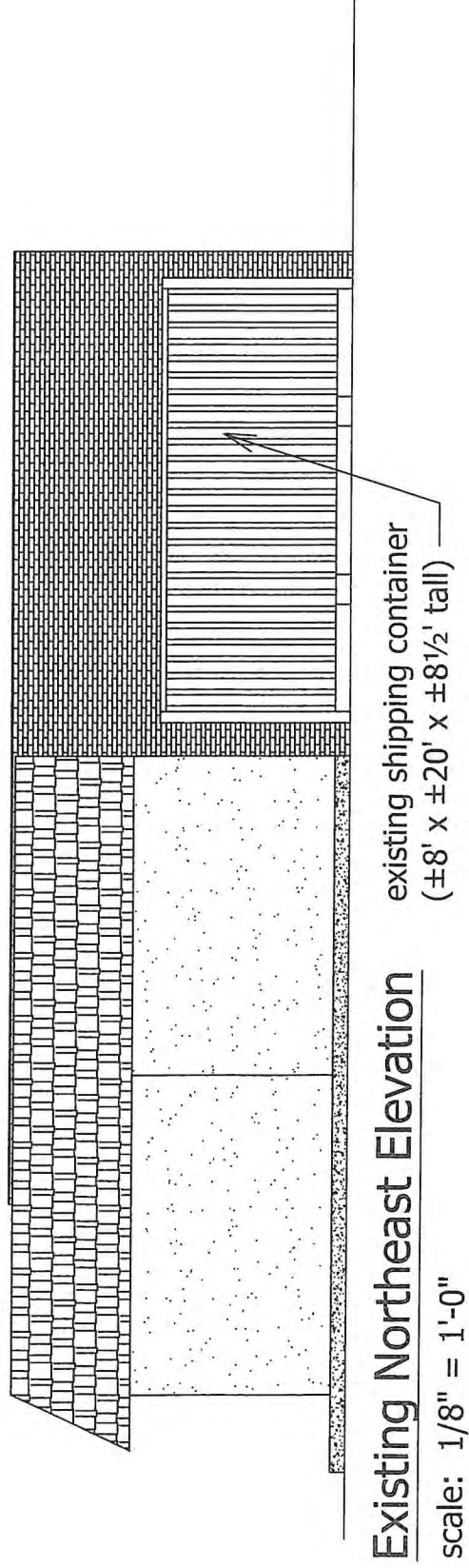


Tire Store Fence - 1685 N Hwy 67

James Zavist, Registered Architect

Florissant, Missouri

707 Hutchins Dr, St Louis, MO 63126, 314-973-6724, jzavist@gmail.com



Issue Dates: 11/19/21, 12/14/21

Tire Store Fence - 1685 N Hwy 67

Florissant, Missouri

James Zavist, Registered Architect

707 Hutchins Dr, St Louis, MO 63126, 314-973-6724, jzavist@gmail.com

A-2

1 INTRODUCED BY COUNCILMAN SIAM
2 MARCH 14, 2022

3
4 BILL NO. 9763

ORDINANCE NO.

5
6 **ORDINANCE TO AMEND ORDINANCE NO. 6669 TO ALLOW FOR A SIT-**
7 **DOWN, DRIVE-THROUGH, CARRYOUT RESTAURANT IN A B-5**
8 **PLANNED COMMERCIAL DISTRICT LOCATED AT 13963 NEW HALLS**
9 **FERRY ROAD.**

10
11 WHEREAS, ordinance no. 6669 was passed in 2013 approving the rezoning of 13963
12 New Halls Ferry Road to a B-5 Planned Commercial District to allow for a restaurant; and

13 WHEREAS Hawaiian Brothers has applied for an amendment to the development plan
14 authorized by ordinance 6669 to allow for alterations to an out lot for a sit-down, drive-through,
15 carryout restaurant; and

16 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
17 recommended to the City Council at their meeting of February 22, 2022 that an amendment to B-
18 5 ordinance no. 6669, to allow for a sit-down, drive-through, carry out restaurant located at
19 13963 New Halls Ferry Road; and

20 WHEREAS, due and lawful notice of a public hearing no. 22-03-006 on said proposed
21 change was duly published, held and concluded on 14th of March, 2022 by the Council of the
22 City of Florissant; and

23 WHEREAS, the Council, following said public hearing, and after due and careful
24 deliberation, has concluded that that an amendment to B-5 ordinance no. 6669 to allow to allow
25 for a sit-down, drive-through, carry out restaurant located at 13963 New Halls Ferry Road is in
26 the best interest of the public health, safety and welfare of the City of Florissant; and

27
28 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
29 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

30
31 Section 1: B-5 ord. no. 6669, is hereby amended to allow for a sit-down, drive-through,
32 carry-out restaurant as depicted by the attached drawings C0.1, C1.0, C1.1, C1.2, C1.3, C1.4,
33 C2.0, C3.1 and C3., A1.1, A2.0 and A2.1 all dated 11/16/21 by Excel Engineers, subject to the
34 regulations of a 'B-5' Planned Commercial District, with permitted uses allowed being a sit-

35 down, drive-through, carryout restaurant., with customer pickup parking and the following
36 additional requirements:

37 1. PERMITTED USES

38 The uses permitted for this property shall be limited to a sit-down, drive-through, carryout
39 restaurant. Other uses than those permitted shall require approval by amendment to this 'B-5'
40 Ordinance.

41 2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

42 The building space shall be limited to a single story 3643 SF a sit-down, drive-through, carryout
43 restaurant that includes an 82 s.f. additions in the drive through and entry vestibule areas.

44 3. PERFORMANCE STANDARDS

45 In addition to all other requirements, uses within the "B-5" Planned Commercial District shall
46 conform to the most restrictive performance standards as follows:

47 1. Vibration. Every use shall be so operated that the maximum ground vibration generated
48 is not perceptible without instruments at any point on the lot line of the lot on which the use is
49 located.

50 2. Odor. Every use shall be so operated that no offensive or objectionable odor is
51 perceptible at any point on the lot line on which the use is located.

52 3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted
53 of a greater density than the density described as No. 1 on the Ringelmann Chart as published by
54 the United States Bureau of Mines.

55 4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or
56 corrosive fumes or gases.

57 5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt,
58 dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths
59 (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-
60 tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be
61 retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a
62 stationary furnace or a combustion device, these standards shall apply to a condition of fifty
63 percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to
64 the deviation of the percentage of excess air from fifty percent (50%).

65 6. Radiation. Every use shall be so 2 operated that there is no dangerous amount of

66 radioactive emissions.

67 7. Glare and heat. Any operation producing intense glare or heat shall be performed in an
68 enclosure in such a manner as to be imperceptible along any lot line.

69 8.Screening.

70 a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or
71 grade shall be screened architecturally in such a manner as to be a part of the design of the
72 building.

73 b. Incinerators and stacks shall be enclosed in the same material as the main exterior building
74 material.

75 4. TRASH SCREENING

76 Trash container shall be kept within a screened area as shown on C1.1 dated 11/16/21 by Excel
77 Engineers, with visibility of trash container screened from the New Halls Ferry right-of-way
78 using compatible materials to the building.

79 5. PLAN SUBMITTAL REQUIREMENTS

80 Final Development Plan shall include improvements as shown on drawings attached, including
81 entire property, trash enclosures, landscape, lighting and legal description.

82 6. SITE DEVELOPMENT PLAN CRITERIA:

83 a. Height, Area And Bulk Restrictions:

84 1. Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-
85 5" Planned Commercial District.

86 b. Internal Drives:

87 (1) There shall be parking as shown on plans attached.

88 c. Minimum Parking/Loading Space Requirements.

89 (1) There shall be a minimum of 41 parking spaces provided on the property, including 4
90 customer pickup spaces.

91 d. Road Improvements, Access and Sidewalks

92 (1) There shall be parking as shown on plans attached.

93 e. Lighting Requirements.

94 Lighting of the property shall comply with the following standards and requirements:

95 (1) The light level for parking lot lighting shall be as shown on attached photometric plan C3.1
96 dated 11/16/21 by Excel Engineers.

97 (2) All site lighting and exterior building lighting shall be directed down and inward.

98 f. Sign Requirements.

99 (1) All signage shall comply with the City of Florissant sign ordinance for commercial
100 districts.

101 g. Landscaping and Fencing.

102 (1) Any modifications to the landscaping plan shall be reviewed and approved by the
103 Planning and Zoning Commission.

104 h. Storm Water.

105 Storm Water and drainage facilities shall comply with the following standards and requirements:

106 (1) The Director of Public Works shall review the storm water plans to assure that storm
107 water flow will have no adverse effect the neighboring properties.

108 (2) No building permits shall be issued until the storm water plan has been approved by the St.
109 Louis Metropolitan Sewer District.

110 i. Miscellaneous Design Criteria.

111 (1) All applicable parking, circulation, sidewalks, and all other site design features shall comply
112 with the Florissant City Code.

113 (2) All dumpsters and grease containers shall be contained within a trash enclosure with gates
114 compatible with existing building.

115 (3) All storm water and drainage facilities shall be constructed, and all landscaping shall be
116 installed, prior to occupancy of the building, unless remitted by the Director of Public Works due
117 to weather related factors.

118 (4) All mechanical equipment, electrical equipment, and communication equipment shall be
119 screened in accordance with the Florissant Zoning Code.

120 (5) The exterior design of the buildings shall be constructed in accordance with the renderings as
121 approved by the Florissant Planning and Zoning Commission and attached hereto.

122 (6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall
123 be complied with unless otherwise allowed by this ordinance.

124 (7) All thin brick to be replaced with full-sized brick meeting the masonry code of the City of
125 Florissant.

126 7. FINAL SITE DEVELOPMENT PLAN

127 A final site development plan shall be 4 submitted to the Building Commissioner to

128 review for compliance with the applicable "B-5" Planned Commercial Development
129 ordinance prior to recording. Any variations from the ordinance approved by the City Council
130 and/or the conceptual plans attached to such ordinance shall be processed in accordance with the
131 procedure established in the Florissant Zoning Code.

132 8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

133 Any changes to the approved plans attached hereto must be reviewed by the Building
134 Commissioner. The Building Commissioner shall make a determination as to the extent of the
135 changes per the following procedure:

136 1. The property owner or designate representative shall submit in writing a request for an
137 amendment to the approved plans. The building commissioner shall review the plans for
138 consistency with the purpose and content of the proposal as originally or previously advertised
139 for public hearing and shall make an advisory determination.

140 2. If the building commissioner determines that the requested amendment is not consistent
141 in purpose and content with the nature of the purpose as originally proposed or previously
142 advertised for the public hearing, then an amendment to the special use permit shall be required
143 and a review and recommendation by the planning and zoning commission shall be required and
144 a new public hearing shall be required before the City
145 Council.

146 3. If the building commissioner determines that the proposed revisions are consistent with
147 the purpose and content with the nature of the public hearing then a determination of non-
148 necessity of a public hearing shall be made.

149 4. Determination of minor changes: If the building commissioner determines that an
150 amendment to the special use permit is not required and that the changes to the plans are minor in
151 nature the Building Commissioner may approve said changes.

152 5. Determination of major changes: If the Building Commissioner determines that an
153 amendment to the B-5 is not required but the changes are major in nature, then the owner shall
154 apply for review and approval by the Planning and Zoning commission.

155 9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

156 a. Any new roadway improvements shall be completed prior to the issuance of any final
157 occupancy permit.

158 b. Any new stormwater detention shall be 5 completed prior to the issuance of any

159 occupancy permit.

160 c. All fencing and/or landscaping intended as screening properties shall be completed prior to the
161 issuance of any occupancy permit, unless remitted by the Director of Public Works due to
162 weather related factors.

163 10. GENERAL DEVELOPMENT CONDITIONS.

164 a. Unless, and except to the extent, otherwise specifically provided herein, the development
165 shall be effected only in accordance with all ordinances of the City of Florissant.

166 b. The Department of Public Works shall enforce the conditions of this ordinance in accordance
167 with the Final Site Development Plan approved by the Planning & Zoning Commission and all
168 other ordinances of the City of Florissant.

169 11. PROJECT COMPLETION.

170 Construction shall start within 90 days of the issuance of building permits for the project and
171 shall be developed in accordance of the approved final development plan within 12 months of
172 start of construction.

173

174 Section 2: This ordinance shall become in full force and effect immediately upon its passage and
175 approval.

176

177

178 Adopted this _____ day of _____, 2022.

179

180

181

182

183

184

Approved this _____ day of _____, 2022.

185

186

187

188

189

190

191

ATTEST:

192

193

194

Karen Goodwin, MPPA/MMC/MRCC

195

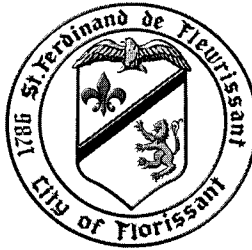
City Clerk

Keith Schildroth
President of the Council

Timothy J. Lowery
Mayor, City of Florissant

1

MEMORANDUM



2

3

4

5

6

CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

7 To: Planning and Zoning Commissioners Date: February 16, 2022

8

9 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E
10 Director Public Works
11 Deputy City Clerk
12 Applicant
13 File
14

15 Subject: Request **Recommended Approval** to amend a 'B-5' at **13963 New Halls**
16 **Ferry (Hawaiian Brothers)** Ord. No. 6669, to allow for alterations to an outlot for a sit-
17 down, drive-through, carryout restaurant with customer pick up parking.
18

19

20

STAFF REPORT
CASE NUMBER PZ-022222-1

21

22 **I. PROJECT DESCRIPTION:**

23 This is a request recommended approval to amend a 'B-5' planned commercial district to
24 allow alterations to an outlot for a sit-down, drive-through, carryout restaurant.
25

26 **II. EXISTING SITE CONDITIONS:**

27 The existing property at **13963 New Halls Ferry** is a vacant property (and was originally
28 an Arby's Restaurant).
29

30 The property is proposed to be a new restaurant after alterations. Ord. No. 6669
31 identifies this as an existing outlot for Arby's as a Permitted Use. The petitioner
32 proposes alterations and 82 s.f. additions for a new sit down, carryout, drive through
33 restaurant.
34

35 **III. SURROUNDING PROPERTIES:**

36 There was an intervening subdivision of the Cross Keys Shopping Center at the County
37 level that created multiple parcels as a course of action during a sale in 2013. The
38 property sale and division did not affect the Zoning of the property. Therefore, the
39 surrounding property to this out-lot is a parcel that consists of the vehicle roadway around

the Cross Keys SC site of 5.87 acres known as 13959 New Halls Ferry, in a 'B-5' Planned Commercial District.

IV. STAFF ANALYSIS:

The application is accompanied by professionally prepared plans that appear to be Construction Document level of completion: C0.1, C1.0, C1.1, C1.2, C1.3, C1.4, C2.0, C3.1 and C3.2, A1.1, A2.0 and A2.1 all dated 11/16/21 by Excel Engineers. The following are Staff comments on the plans pertaining to Zoning:

- C0.1: Contains general information and identifies Clayton Engineering survey.
- C1.0: Describes removal of all existing paving, drive-through island, building shrubs, protection of existing tree by building and site utility work.
- C1.1: Site Information table includes
 - Site area 0.77 acres with 0.56 acre land disturbance.
 - Setback line of 40 feet along New Halls Ferry.
 - Building height of 21 feet.
 - Parking requirement calls for 40, met by 41 shown.
 - Parking per 405.225
 - Spaces required per seats 36 or 37 if all benches count.
 - Employees on max shift, then is 9 or 6, correspondingly.
 - Total required 41, 41 provided.
 - Drive through to contain 6 total spaces, unclear compliance.
 - Landscape requirement stated, not matching City code, section 405.245:
 - One landscaped island for every 15 spaces, complies
 - One shrub for every 5' building perimeter- 96 provided, complies.
 - One frontage tree for every 50', excepted by Ord. 6669.
- C1.2: Site topography and erosion control shown.
- C1.3: Site utilities shown.
- C1.4: Landscape and site restoration shown.
- C2.0: Site details include pavement marking details for pickup spaces.
- C3.1: Site lighting and photometrics
 - shows 0.4 fc along the West property line to 1.0-2.4 fc at the drive lane.
 - shows 1.5 fc along the North property line 2.0-2.4 fc at the drive lane.
 - shows 0.5 fc along the East property line 1.0-2.4 fc at the drive lane.
 - shows 0.5 fc along the South property line 1.0-2.3 fc at the drive lane.
- C3.2: Grease Interceptor details.
- A1.1: Floor Plan shows 67 chairs and opposing bench areas. If all bench areas are considered, 74 seating is possible. Recommended Occupant Load: 80-83.
- A2.1 and A2.2: Elevations include
 - painted thin brick: recommend opaque breathable stain.
 - Wood look aluminum siding.
 - Blue EIFS
 - Redwood fascia, columns and canopies, painted to match alum. siding.
 - Dark Gray metal screens.

86 **VI. STAFF RECOMMENDATIONS:**

- 87 1. If recommended approval is granted, the attached suggested motion shall establish
88 regulations within this district.
89

90 **Suggested Motion for 2925 N Highway 67 (Take 5 Car Wash):**

91 I move to recommend approval to amend the B-5, as depicted by the attached drawings
92 C0.1, C1.0, C1.1, C1.2, C1.3, C1.4, C2.0, C3.1 and C3., A1.1, A2.0 and A2.1 all dated
93 11/16/21 by Excel Engineers, subject to the regulations of a 'B-5' Planned Commercial
94 District, with permitted uses allowed being a a sit-down, drive-through, carryout restaurant.,
95 with customer pickup parking and the following additional requirements:
96

97 **1. PERMITTED USES**

98 The uses permitted for this property shall be limited to a sit-down, drive-
99 through, carryout restaurant. Other uses than those permitted shall require
100 approval by amendment to this 'B-5' Ordinance.
101

102 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

103 The building space shall be limited to a single story 3643 SF a sit-down, drive-
104 through, carryout restaurant that includes an 82 s.f. additions in the drive through and
105 entry vestibule areas.
106

107 **3. PERFORMANCE STANDARDS**

108 In addition to all other requirements, uses within the "B-5" Planned
109 Commercial District shall conform to the most restrictive performance
110 standards as follows:

- 111 1. Vibration. Every use shall be so operated that the maximum
112 ground vibration generated is not perceptible without instruments
113 at any point on the lot line of the lot on which the use is located.
114 2. Odor. Every use shall be so operated that no offensive or
115 objectionable odor is perceptible at any point on the lot line on
116 which the use is located.
117 3. Smoke. Every use shall be so operated that no smoke from any
118 source shall be emitted of a greater density than the density
119 described as No. 1 on the Ringelmann Chart as published by the
120 United States Bureau of Mines.
121 4. Toxic gases. Every use shall be so operated that there is no
122 emission of toxic, noxious or corrosive fumes or gases.
123 5. Emission of dirt, dust, fly ash and other forms of particulate matter.
124 Emission of dirt, dust, fly ash and other forms of particulate matter
125 shall not exceed eighty-five one-hundredths (0.85) pounds per one
126 thousand (1,000) pounds of gases of which amount not to exceed
127 five-tenths (0.5) pound per one thousand (1,000) pounds of gases
128 shall be of such size as to be retained on a 325-mesh U.S. standard
129 sieve. In the case of emission of fly ash or dust from a stationary
130 furnace or a combustion device, these standards shall apply to a
131 condition of fifty percent (50%) excess air in the stack at full load,

132 which standards shall be varied in proportion to the deviation of
133 the percentage of excess air from fifty percent (50%).

- 134 6. Radiation. Every use shall be so operated that there is no
135 dangerous amount of radioactive emissions.
136 7. Glare and heat. Any operation producing intense glare or heat
137 shall be performed in an enclosure in such a manner as to be
138 imperceptible along any lot line.
139 8. Screening.
140 a. All mechanical equipment, air-handling units, cooling towers,
141 condensers, etc., on roof or grade shall be screened architecturally
142 in such a manner as to be a part of the design of the building.
143 b. Incinerators and stacks shall be enclosed in the same material as
144 the main exterior building material.
145

146 **4. TRASH SCREENING**

147 Trash container shall be kept within a screened area as shown on C1.1
148 dated 11/16/21 by Excel Engineers, with visibility of trash container
149 screened from the New Halls Ferry right-of-way using compatible
150 materials to the building.
151

152 **5. PLAN SUBMITTAL REQUIREMENTS**

153 Final Development Plan shall include improvements as shown on
154 drawings attached, including entire property, trash enclosures, landscape,
155 lighting and legal description.
156

157 **6. SITE DEVELOPMENT PLAN CRITERIA:**

158 a. Height, Area And Bulk Restrictions:

159 1. Height, Area And Bulk Regulations. The height, area and bulk
160 regulations for uses in the "B-5" Planned Commercial District.
161

162 b. Internal Drives:

163 (1) There shall be parking as shown on plans attached.
164

165 c. Minimum Parking/Loading Space Requirements.

166 (1) There shall be a minimum of 41 parking spaces provided on the
167 property, including 4 customer pickup spaces.
168

169 d. Road Improvements, Access and Sidewalks

170 (1) There shall be parking as shown on plans attached.
171

172 e. Lighting Requirements.

173 Lighting of the property shall comply with the following standards and
174 requirements:

175 (1) The light level for parking lot lighting shall be as shown on attached
176 photometric plan C3.1 dated 11/16/21 by Excel Engineers.

- 177 (2) All site lighting and exterior building lighting shall be directed down
178 and inward.
179

180 f. Sign Requirements.

- 181 (1) All signage shall comply with the City of Florissant sign ordinance for
182 commercial districts.
183

184 g. Landscaping and Fencing.

- 185 (1) Any modifications to the landscaping plan shall be reviewed and
186 approved by the Planning and Zoning Commission.
187

188 h. Storm Water.

189 Storm Water and drainage facilities shall comply with the following
190 standards and requirements:

- 191 (1) The Director of Public Works shall review the storm water plans to
192 assure that storm water flow will have no adverse affect the
193 neighboring properties.
194 (2) No building permits shall be issued until the storm water plan has been
195 approved by the St. Louis Metropolitan Sewer District.
196

197 i. Miscellaneous Design Criteria.

- 198 (1) All applicable parking, circulation, sidewalks, and all other site design
199 features shall comply with the Florissant City Code.
200
201 (2) All dumpsters and grease containers shall be contained within a trash
202 enclosure with gates compatible with existing building.
203
204 (3) All storm water and drainage facilities shall be constructed, and all
205 landscaping shall be installed, prior to occupancy of the building,
206 unless remitted by the Director of Public Works due to weather related
207 factors.
208
209 (4) All mechanical equipment, electrical equipment, and communication
210 equipment shall be screened in accordance with the Florissant Zoning
211 Code.
212
213 (5) The exterior design of the buildings shall be constructed in accordance
214 with the renderings as approved by the Florissant Planning and Zoning
215 Commission and attached hereto.
216
217 (6) All other requirements of the Florissant Municipal Code and other
218 ordinances of the city shall be complied with unless otherwise allowed
219 by this ordinance.
220
221 (7) Thin brick shall receive an opaque breathable stain in lieu of paint.
222

223
224 **7. FINAL SITE DEVELOPMENT PLAN**

225 A final site development plan shall be submitted to the Building
226 Commissioner to review for compliance with the applicable "B-5"
227 Planned Commercial Development ordinance prior to recording. Any
228 variations from the ordinance approved by the City Council and/or the
229 conceptual plans attached to such ordinance shall be processed in
230 accordance with the procedure established in the Florissant Zoning Code.
231

232 **8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

233 Any changes to the approved plans attached hereto must be reviewed by the
234 Building Commissioner. The Building Commissioner shall make a determination
235 as to the extent of the changes per the following procedure:
236

- 237 1. The property owner or designate representative shall submit in writing a
238 request for an amendment to the approved plans. The building
239 commissioner shall review the plans for consistency with the purpose and
240 content of the proposal as originally or previously advertised for public
241 hearing and shall make an advisory determination.
242 2. If the building commissioner determines that the requested amendment is
243 not consistent in purpose and content with the nature of the purpose as
244 originally proposed or previously advertised for the public hearing, then
245 an amendment to the special use permit shall be required and a review
246 and recommendation by the planning and zoning commission shall be
247 required and a new public hearing shall be required before the City
248 Council.
249 3. If the building commissioner determines that the proposed revisions are
250 consistent with the purpose and content with the nature of the public
251 hearing then a determination of non-necessity of a public hearing shall be
252 made.
253 4. Determination of minor changes: If the building commissioner determines
254 that an amendment to the special use permit is not required and that the
255 changes to the plans are minor in nature the Building Commissioner may
256 approve said changes.
257 5. Determination of major changes: If the Building Commissioner
258 determines that an amendment to the B-5 is not required but the changes
259 are major in nature, then the owner shall apply for review and approval by
260 the Planning and Zoning commission.
261

262 **9. VERIFICATION PRIOR TO OCCUPANCY PERMIT**

- 263 a. Any new roadway improvements shall be completed prior to the issuance
264 of any final occupancy permit.
265 b. Any new stormwater detention shall be completed prior to the issuance of
266 any occupancy permit.

- 267 c. All fencing and/or landscaping intended as screening properties shall be
268 completed prior to the issuance of any occupancy permit, unless remitted
269 by the Director of Public Works due to weather related factors.
270

271 **10. GENERAL DEVELOPMENT CONDITIONS.**

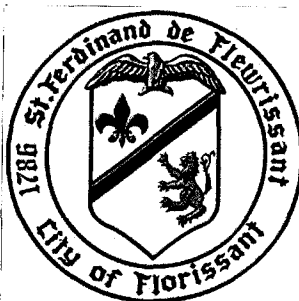
- 272 a. Unless, and except to the extent, otherwise specifically provided herein, the
273 development shall be effected only in accordance with all ordinances of
274 the City of Florissant.
275 b. The Department of Public Works shall enforce the conditions of this
276 ordinance in accordance with the Final Site Development Plan approved
277 by the Planning & Zoning Commission and all other ordinances of the
278 City of Florissant.
279

280 **11. PROJECT COMPLETION.**

281 Construction shall start within 90 days of the issuance of building permits for
282 the project and shall be developed in accordance of the approved final
283 development plan within 12 months of start of construction.
284

285 (end report and suggested motion)

**APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5
PLANNED COMMERCIAL DISTRICT ORDINANCE**



PLANNING & ZONING ACTION:

Address of Property:

13963 New Halls Ferry Rd

**RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

Council Ward 9 Zoning B-5

Initial Date Petitioner Filed _____
**Building Commissioner to complete
ward, zone & date filed**

X SIGN. [Signature] DATE: 2-22-22

PETITION TO AMEND B-5 ORDINANCE # _____

6669

Enter ordinance number or number requesting to amend.

1) Comes Now Hawaiian Bros

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Lease

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 0.77
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for Former Arby's restaurant

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:
The PUD Amendment is required for the change of use from Arby's to a Hawaiian Bros quick serve restaurant.
All City zoning requirements will be met including setbacks and off-street parking.

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME

Mitch Truster VP-Development

Print Name

PETITIONER(S) SIGNATURE (S)

Mitch Truster

FOR

Hawaiian Bros Island Grill

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
- (x) I (we) have a legal interest in the herein above described property.
- () I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE

Mitch Truster VP-Development Hawaiian Bros

ADDRESS

720 Main Kansas City MO 64105

STREET

CITY

STATE

ZIP CODE

TELEPHONE NUMBER

816-916-3571

BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as

Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐

Partnership: ☐

Corporation: ☒

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners Cameron McNie, Tyler McNie, Joel Worcester, Paul Worcester

(2) Telephone numbers 816-916-3571

(3) Business address 720 Main Kansas City, MO 64105

(4) State of Incorporation & a photocopy of incorporation papers Delaware

(5) Date of Incorporation _____

(6) Missouri Corporate Number _____

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.

(8) Name in which business is operated _____

(9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Hawaiian Bros

Address 720 Main St, Kansas City, MO 64105

Property Owner Ck Center LLC, 125 Half Mile Rd, Suite 207, Red Bank NJ 07701

Location of property 13963 New Halls Ferry Rd, 63033

Dimensions of property 155' x 172'

Property is presently zoned B-5 per ordinance # 6669

Current & Proposed Use of Property Current: Vacant Arby's, Proposed: Hawaiian Bros quick serve restaurant

Type of Sign NA Height NA

Type of Construction V(B) Number Of Stories 1

Square Footage of Building 3,643 Number of Curb Cuts 0 (Existing)

Number of Parking Spaces 41 Sidewalk Length 0 (Existing)

Landscaping: No. of Trees Existing (19) + Proposed (4) Diameter 2" minimum caliper

No. of Shrubs Existing (16) + Proposed (80) Size 18"-24" planted diameter

Fence: Type NA (Existing) Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PARCEL 1:

ALL OF LOT 5 OF CROSS KEYS SUBDIVISION (PLAT OF CORRECTION), A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, AS PER PLAT RECORDED IN PLAT BOOK 351, PAGE 789, ST. LOUIS COUNTY, MISSOURI, RECORDS.

PARCEL 2:

PERPETUAL EASEMENT FOR CONSTRUCTION, RECONSTRUCTION, REPLACEMENT, OPERATION, MAINTENANCE AND REPAIR OF SIGN STRUCTURE ON LOT 2, AS ESTABLISHED BY OPERATION AND EASEMENT AGREEMENT, RECORDED DECEMBER 01, 2003 IN BOOK 15497, PAGE 2128, AS AMENDED BY BOOK 15911, PAGE 1, AFFECTING THE LAND AS MORE FULLY DESCRIBED THEREIN, OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS.

PARCEL 3:

NON-EXCLUSIVE EASEMENTS FOR (I) INGRESS AND EGRESS, (II) MAINTENANCE, (IV) LANDSCAPING, AND (V) SIGNAGE PURPOSES OVER THE DISTRICT PROPERTY AS ESTABLISHED BY THE EASEMENT AND MAINTENANCE AGREEMENT RECORDED NOVEMBER 21, 2002 IN BOOK 14339, PAGE 2039 AFFECTING THE LAND AS MORE FULLY DESCRIBED THEREIN, OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.



STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

1) a. Uses - Are uses stipulated _____ Yes / No

b. What current District would this proposal be a permitted use: _____

c. Proposed uses for out lots: _____

2) Performance Standards:

a) Vibration: Is there any foreseen vibration problems at the property line? _____ Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? _____ Yes / No

c) Odor is there any foreseen problem with odor? _____ Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? _____ Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? _____ Yes / No

f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? _____ Yes / No

g) Is there any dangerous amount of radiation produced from the operation? _____ Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? _____ Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? _____ Yes / No

j) Is buildings screened from adjoining residential? _____ Yes / No

3) Are height of structures shown? _____ Yes / No

4) Are all setbacks shown? _____ Yes / No

5) Are building square footages shown? _____ Yes / No

6) What is the exterior construction of the buildings? _____

7) Is off street loading shown? _____ Yes / No

8) Parking:

a) Does parking shown meet the ordinance? _____ Yes / No

b) Is a variance required in accordance with the ordinance? _____ Yes / No

c) Ratio shown _____ to _____

d) Total Number _____

e) Will cross access and cross parking agreements be required? _____ Yes / No

f) Is the parking lot adequately landscaped? _____ Yes / No

9) Are there any signs? _____ Yes / No

Number of signs shown _____

Type of Signs _____

Are sizes, heights, details, and setbacks shown? _____ Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? _____ Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? _____ Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient handicapped access? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

25) Staff Comments: _____

Date Application reviewed

Building Commissioner or Staff Signature

PLAN SPECIFICATIONS

PROJECT INFORMATION

[illegible][illegible]

<p>OWNER</p> <p>HAWAIIAN BROS ISLAND GRILL 1220 WASHINGTON STREET SUITE 200 KANSAS CITY, MO 64105 CONTACT: MARK CRAMER mcramer@hawaiianbros.com</p>	<p>CIVIL</p> <p>EXCEL ENGINEERING 100 CAMELOT DRIVE FOND DU LAC, WISCONSIN 54935 DR: JASON DAVE, P.E. CONTACT: ERIC DRAZKOWSKI P: (920) 242-9800 F: (920) 242-9801 devin.v.w@excelengineer.com</p>
--	---

SHEET NUMBER

2021 © EXCEL ENGINEERING, INC.

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

SURVEY NOTE:
EXISTING CONDITIONS SURVEY WAS COMPLETED BY THE
CLAYTON ENGINEERING COMPANY INC. (PROJECT #21241) ON
NOVEMBER 10, 2021. PRIOR TO CONSTRUCTION
CONTRACTOR SHALL FIELD VERIFY ALL SITE IMPROVEMENTS,
UTILITY LOCATIONS, INVERTS, SIZES, ETC. NOTIFY ENGINEER
OF DISCREPANCIES. ENGINEER TO NOTIFY SURVEYOR AS
NEEDED. FAILURE TO NOTIFY ENGINEER SHALL BE THE
CONTRACTOR'S RESPONSIBILITY FOR ANY DAMAGES AS A
RESULT OF FAILURE TO FIELD VERIFY.

NOTE:
CONTRACTOR TO ADJUST ALL STRUCTURES IN
DEVELOPMENT AREAS TO FINISHED GRADE. COORDINATE
WITH UTILITY COMPANIES AS NECESSARY.

CLAYTON ENGINEERING LEGEND

AI	Area Inlet	L	Length of Curve	○	Clean Out	■	Valve or Meter (Gas or Water)
Asph	Asphalt	MH	Manhole	□	Catch Basin/Curb Inlet/Area Inlet	☐	Cable TV Box
B/W	Bottom of Wall	N/F	Now or Formerly	○	Double Catch Basin/Curb Inlet	Ⓛ	Electric Co. Box
B/B	Back to Back	OHE or OHW	Overhead Electric or Wires	◡	Flared End Section	Ⓜ	Electric Meter
CB	Catch Basin	OIP	Old Iron Pipe	▨	Grated Inlet	☎	Telephone Co Box
ChB	Chord Bearing	PG	Page	○	Manhole	⚡	Traffic Signal
CI	Curb Inlet	PS	Flat Book	◉	Grated Manhole	☎	Traffic Signal Box
CL or t	Centerline	PL or t	Property Line	○	HDS Unit	🌳	Deciduous Tree
CMP	Corrugated Metal Pipe	PVC	Polyvinyl Chloride Pipe	⦿	Drain	🌲	Evergreen Tree
Conc	Concrete	Pvmt	Pavement	⦿	Sign	⦿	Bush
CTV	Underground Cable TV	R	Radius	⦿	Light Standard	⦿	Test Hole/ Soil Boring
DB	Deed Book	RCP	Reinforced Concrete Pipe	⦿	Utility Pole	⦿	ADA Parking Space
DCB	Double Catch Basin	R/W	Right of Way	⦿	Faucet	⦿	Parking Space Count
DCI	Double Curb Inlet	Trans	Transformer	⦿	Fire Hydrant		
DIP	Ductile Iron Pipe	TW	Top of Wall				
DS	Downspout	Typ	Typical				
FES	Flared End Section	UGE	Underground Electric				
FF	Finished Floor	UGFO	Underground Fiber Optic				
FL or t	Flow Line	UGT	Underground Telephone				
FO	Underground Fiber Optic	VCP	Vitrified Clay Pipe				
GM	Gas Meter	WM	Water Meter				
GV	Gas Valve	WV	Water Valve				
GI	Grated Inlet	32L3017S	Sewer Identification #				
HDPE	High Density Polyethylene Pipe						

GENERAL NOTES:

Basis of Bearings: Grid Bearings, Missouri Coordinate System of 1983, East Zone

A zoning report or letter has not been supplied to the surveyor by the client. As per the City of Florissant GIS the subject tracts is zoned B5"Planned Commercial District". Building lines are depicted as per the subdivision plat.

The utilities have been located as marked by Missouri One Call.

There are 45 regular spaces and 2 handicapped for a total of 47 spaces

We have examined Flood Insurance Rate Map Map Number 29189C0066K, having an effective date of February 4, 2015, of the National Flood Insurance Program prepared by the Federal Emergency Management Agency for the area containing the subject property. By graphic plotting only, the subject property is located within: "Zone X" areas determined to be outside the 0.2% annual chance floodplain.

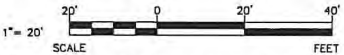
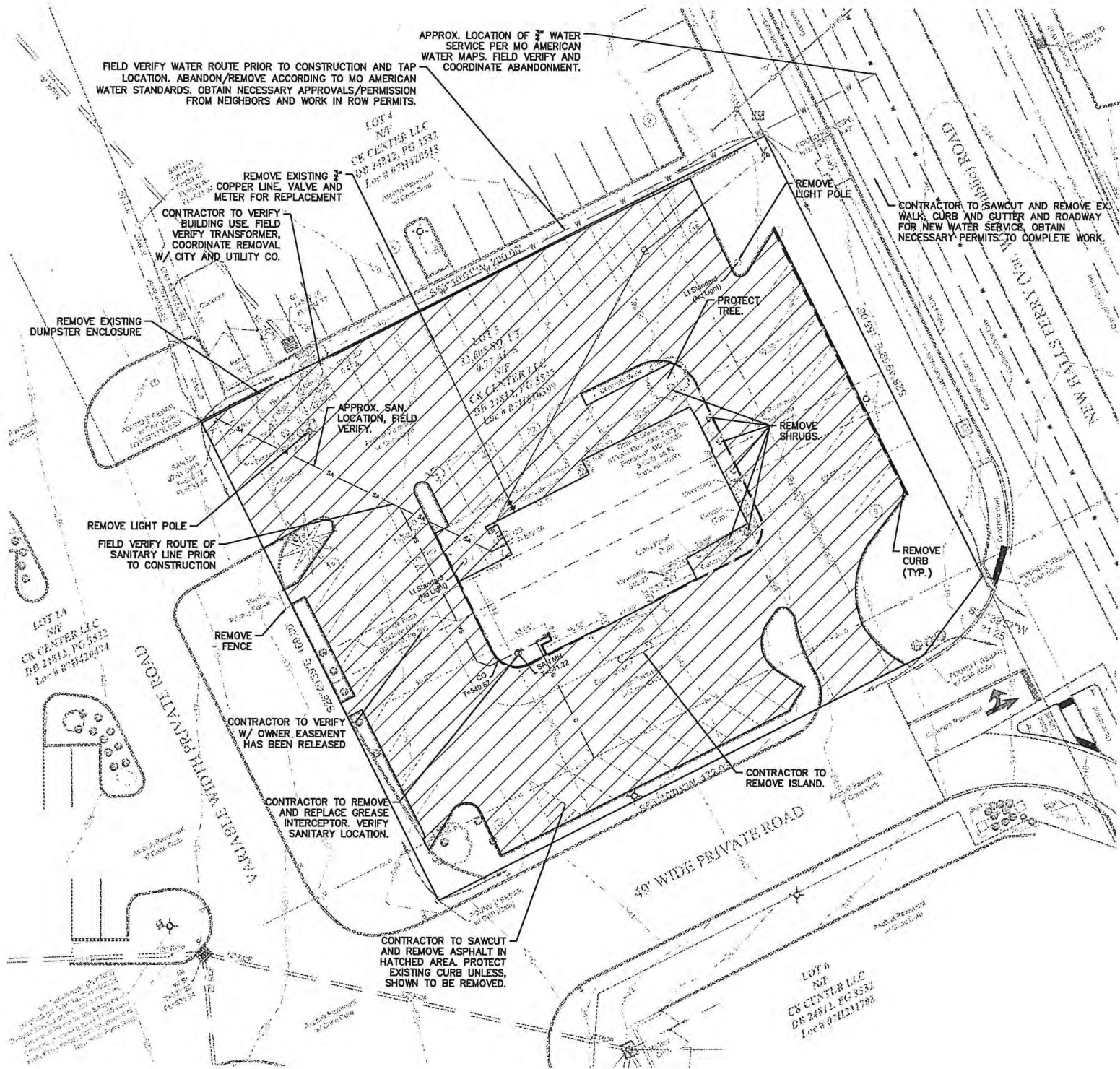
This note is for the purpose of providing information as indicated on the current Flood Insurance Rate Maps for this area, and should not be construed as an indication as to whether flood insurance should, or should not be purchased.

CLAYTON ENGINEERING BENCHMARKS:

St. Louis County Benchmark 4322
NAVD88(SLC2011a) Elev. = 547.09 FIUS

Cut "L" on the southwest corner of the raised concrete base for metal traffic signal control box situated in grassy area several feet east of the curb at the northern end of the right turn lane from westbound Lindbergh Boulevard onto northbound New Halls Ferry Road, and generally west of a Mobil gas station addressed as #3125 N. Highway 67 Street (also known as North Lindbergh Boulevard), roughly 65 feet south of the center of access drive from New Halls Ferry Road to the Mobil gas station, 41 feet east of the center of a median island in New Halls Ferry Road, and 100 feet more or less north of the centerline of Lindbergh Boulevard.

Site Benchmark:
TBM#679
NAVD88(SLC2011a) Elev.=540.28 FIUS
Chiseled Square on the light base of the Southeast Island for the Shoppes at Cross Keys parking lot at 13965 New Halls Ferry Road; 330' +/- Southwest of New Halls Ferry Road



CIVIL EXISTING SITE AND DEMOLITION PLAN

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PROJECT INFORMATION

PROPOSED BUILDING RENOVATION
HAWAIIAN BROS - STR: 45
13963 HWY AC • FLORISSANT, MO. 63033

PROFESSIONAL SEAL

SHEET DATES	
SHEET ISSUE	NOV. 16, 2021
REVISIONS	

JOB NUMBER
2164180

SHEET NUMBER
C1.0

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

CURB & CUTTER MARKING KEY:
REPLACE CURB

- PAVEMENT HATCH KEY:
- STANDARD ASPHALT
 - HEAVY DUTY ASPHALT
 - SIDEWALK CONCRETE
 - DUMPSTER CONCRETE
 - DRIVE THRU CONCRETE

SITE INFORMATION:

LEGAL DESCRIPTION: Lot 5 of "Cross Keys Subdivision" as recorded in plat Book 351 Page 789 of the St. Louis County records (noted as plat of correction).

PROPERTY AREA: AREA = 33,605 S.F. (0.77 ACRES).

EXISTING ZONING: B-5 (PLANNED COMMERCIAL DISTRICT)

PROPOSED ZONING: B-5 (PLANNED COMMERCIAL DISTRICT)

PROPOSED USE: QUICK-SERVE RESTAURANT

AREA OF SITE DISTURBANCE: 24,599 S.F. (0.56 ACRES).

SETBACKS: BUILDING: FRONT (EAST) = 40'
PAVEMENT: FRONT (EAST) = 40'

PROPOSED BUILDING HEIGHT: 21' (MAX. HEIGHT ALLOWED: 45')

PARKING REQUIRED: 1 SPACE PER 2 SEATS + 2 SPACES PER 3 EMPLOYEES
40 SPACES REQ.
5 STACKING SPOTS + 1 ORDER STATION

PARKING PROVIDED: 41 SPACE (2 H.C. ACCESSIBLE)

HANDICAP STALLS REQUIRED: 2, HANDICAP STALLS PROVIDED: 2

LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 0%

EXISTING SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.77	33,605	
BUILDING FLOOR AREA	0.09	3,718	11.1%
PAVEMENT (ASP. & CONC.)	0.53	23,204	69.0%
TOTAL IMPERVIOUS	0.62	26,922	80.1%
LANDSCAPE/ OPEN SPACE	0.15	6,683	19.9%

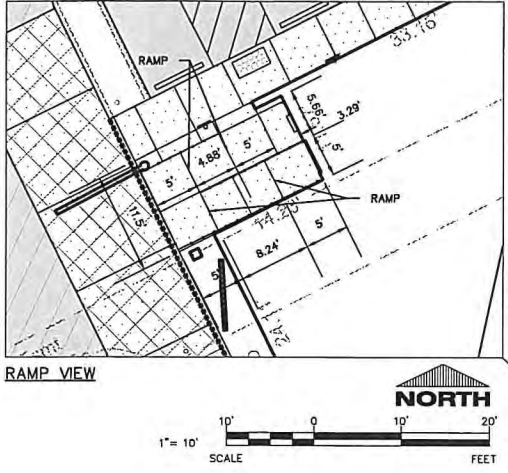
PROPOSED SITE DATA			
	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.77	33,605	
BUILDING FLOOR AREA	0.08	3,643	10.8%
PAVEMENT (ASP. & CONC.)	0.54	23,359	69.5%
TOTAL IMPERVIOUS	0.62	27,002	80.4%
LANDSCAPE/ OPEN SPACE	0.15	6,603	19.6%

- SITE PLAN KEYNOTES
- 1 STANDARD ASPHALT SECTION (TYP.)
 - 2 HEAVY DUTY ASPHALT SECTION (TYP.)
 - 3 CONCRETE SIDEWALK (TYP.)
 - 5 DRIVE THRU CONCRETE (TYP.)
 - 7 DUMPSTER PAD/APRON CONCRETE (TYP.)
 - 8 CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
 - 9 RAISED WALK (TYP.)
 - 10 FLUSH WALK (TYP.)
 - 11 CURB RAMP (TYP.)
 - 13 CURB HEAD (TYP.)
 - 16 CURB CUT (TYP.)
 - 17 CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
 - 18 HANDICAP SIGN (TYP.)
 - 19 HANDICAP STALL & STRIPING PER STATE CODES.
 - 20 HAWAIIAN BROS PICKUP PARKING PAVEMENT MARKINGS.
 - 21 WHEEL STOPS (TYP.)
 - 22 DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
 - 25 FLAGPOLE (PROVIDED BY SIGN VENDOR)
 - 27 DETECTABLE WARNING PLATE
 - 28 TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING.
 - 29 RAILING (SEE ARCH PLAN FOR DETAILS)
 - 30 PROPOSED CLEARANCE POLE. PROVIDED AND INSTALLED BY VENDOR.
 - 31 PROPOSED SPEAKER BOX. PROVIDED AND INSTALLED BY VENDOR.
 - 32 PROPOSED MENU BOARD. PROVIDED AND INSTALLED BY VENDOR.
 - 33 HAWAIIAN BROS PICKUP PARKING SIGNS (NUMBERED SIGNS PROVIDED BY VENDOR) VERIFY LOCATIONS WITH OWNER.
 - 34 STRIPING (TYP.)

NORTH

1" = 20' SCALE

MAGNETIC VEHICLE DETECTION LOOP NOTE:
G.C. TO VERIFY IF EXISTING IN-GROUND MAGNETIC VEHICLE DETECTION LOOP IS INSTALLED. IF NOT, G.C. TO INSTALL PRE-FABRICATED IN-GROUND MAGNETIC VEHICLE DETECTION LOOP IN FRONT OF EACH ORDERING POST. REMOVE EXISTING PAVEMENT AS REQUIRED. LOOP TO BE PROVIDED BY VENDOR. PROVIDE CONDUIT INSIDE WALL. VERIFY SIZE WITH LOW VOLTAGE INSTALLER.



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PROJECT INFORMATION

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HAWAIIAN BROS - STR: 45
13963 HWY AC • FLORISSANT, MO. 63033

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE NOV. 16, 2021

REVISIONS

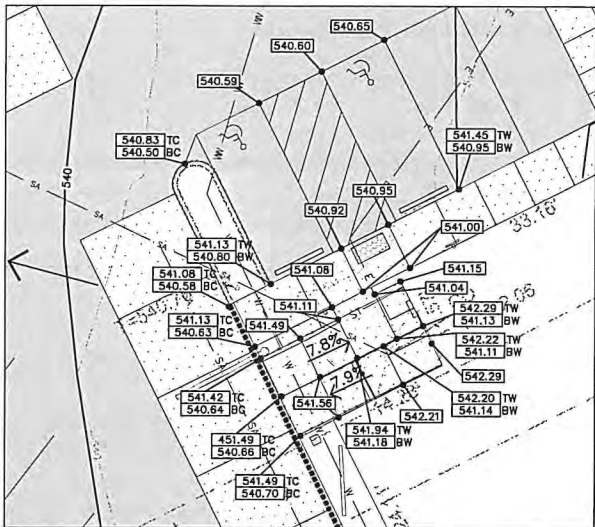
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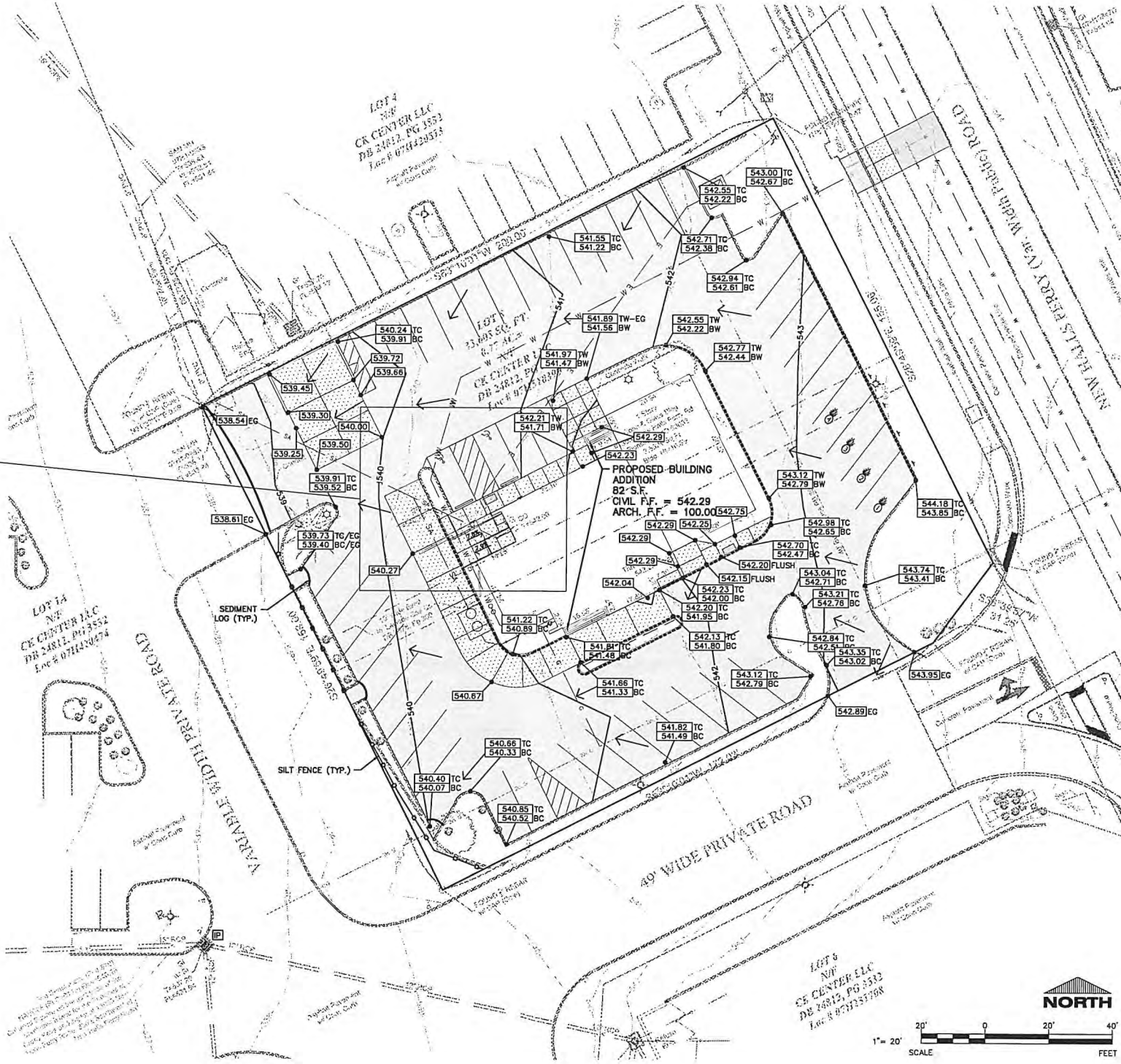
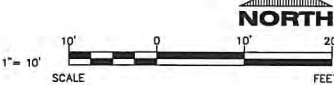
SHEET NUMBER

C1.1

CIVIL SITE PLAN



RAMP VIEW



CLAYTON ENGINEERING BENCHMARKS:

St. Louis County Benchmark 4322
NAVD88(SLC2011a) Elev. = 547.09 FIUS
Cut "L" on the southwest corner of the raised concrete base for metal traffic signal control box situated in grassy area several feet east of the curb at the northern end of the right turn lane from westbound Lindbergh Boulevard onto northbound New Halls Ferry Road, and generally west of a Mobil gas station addressed as #3125 N. Highway 67 Street (also known as North Lindbergh Boulevard); roughly 65 feet south of the center of access drive from New Halls Ferry Road to the Mobil gas station, 41 feet east of the center of a median island in New Halls Ferry Road, and 100 feet more or less north of the centerline of Lindbergh Boulevard.

Site Benchmark:
TBM#679
NAVD88(SLC2011a) Elev.=540.28 FIUS
Chiseled Square on the light base of the Southeast Island for the Shoppes at Cross Keys parking lot at 13965 New Halls Ferry Road; 330' +/- Southwest of New Halls Ferry Road

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

- NOTES:
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

INLET PROTECTION NOTE:
CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:
CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:
CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

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PROFESSIONAL SEAL

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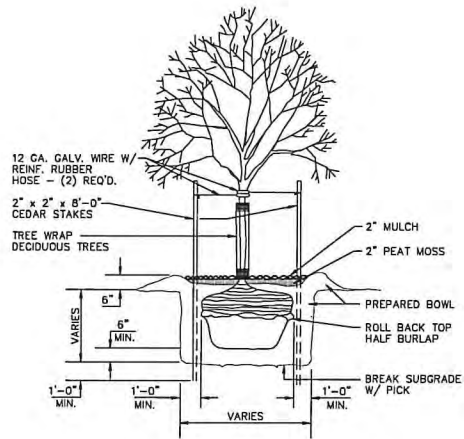
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C1.2



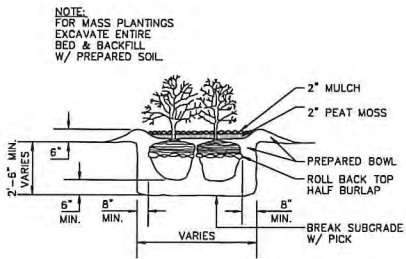
SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

EROSION MATTING LOCATION

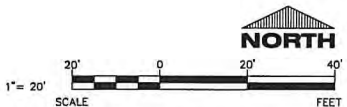
LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
EXISTING TREES				
⊙	Existing Deciduous tree		15'	2
⊗	Existing Evergreen tree		18'	1
⊗	Existing Evergreen shrub		3'	16
DECIDUOUS TREES				
⊙	Autumn Blaze Maple	Acer x freemanii 'Jeffers'	2"	4
DECIDUOUS SHRUBS				
⊗	Emerald Mound Honeysuckle	Lonicera x xylosteum 'Emerald Mound'	18"	22
EVERGREEN SHRUBS				
⊗	Taunton Yew	Tauntonii	24"	12
⊗	Dwarf Norway Spruce	Picea abies 'Pumila'	2'	28
⊗	Pfitzer Juniper	Juniperus chinensis 'Pfitzeriana'	12"-15"	7
PERENNIALS				
*	Karl Foerster Reed Grass	Clamagrostis x acutiflora 'Karl Foerster'	1 gal pot	11



TREE PLANTING DETAIL
NO SCALE



SHRUB PLANTING DETAIL
NO SCALE



CIVIL LANDSCAPE AND RESTORATION PLAN

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SHEET ISSUE NOV. 16, 2021

REVISIONS

NO.	DESCRIPTION

JOB NUMBER

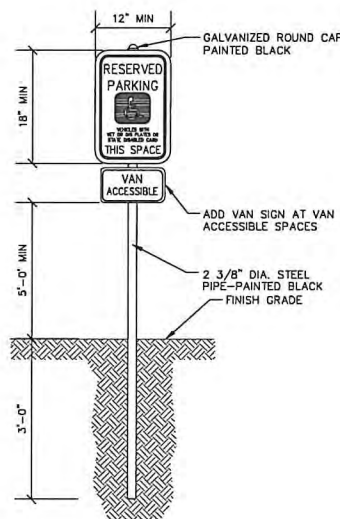
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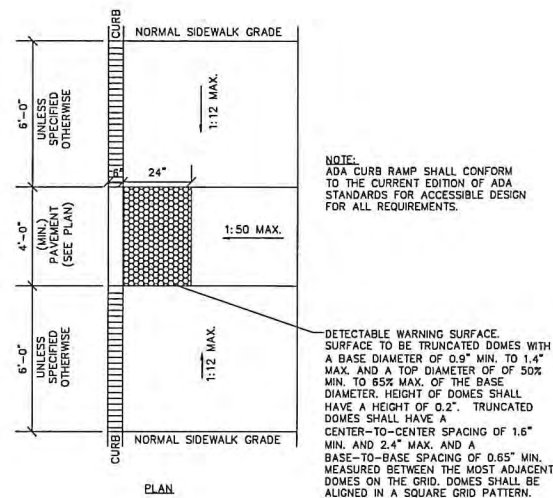
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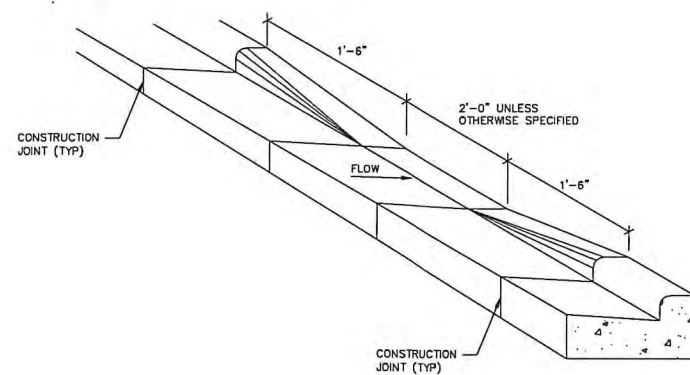
PICKUP PARKING PAVEMENT MARKING
NO SCALE



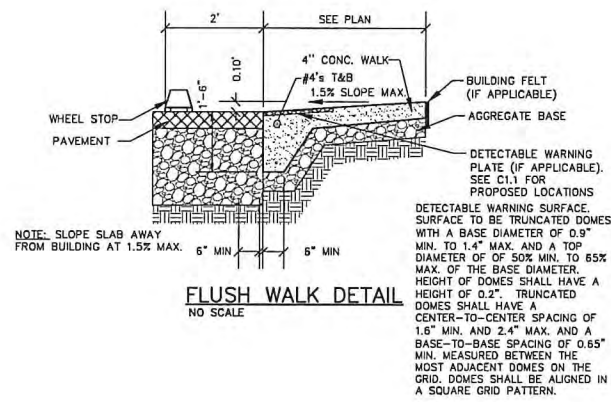
HANDICAP SIGNAGE WITHOUT CONCRETE BASE DETAIL
NO SCALE



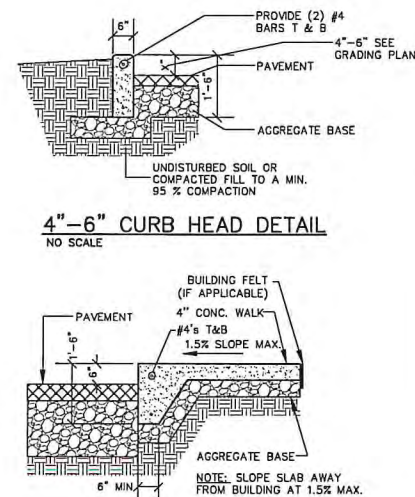
ADA SIDEWALK RAMP #1 DETAIL
NO SCALE



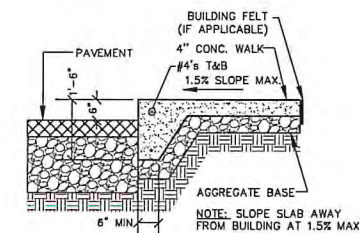
CURB CUT DETAIL
NO SCALE



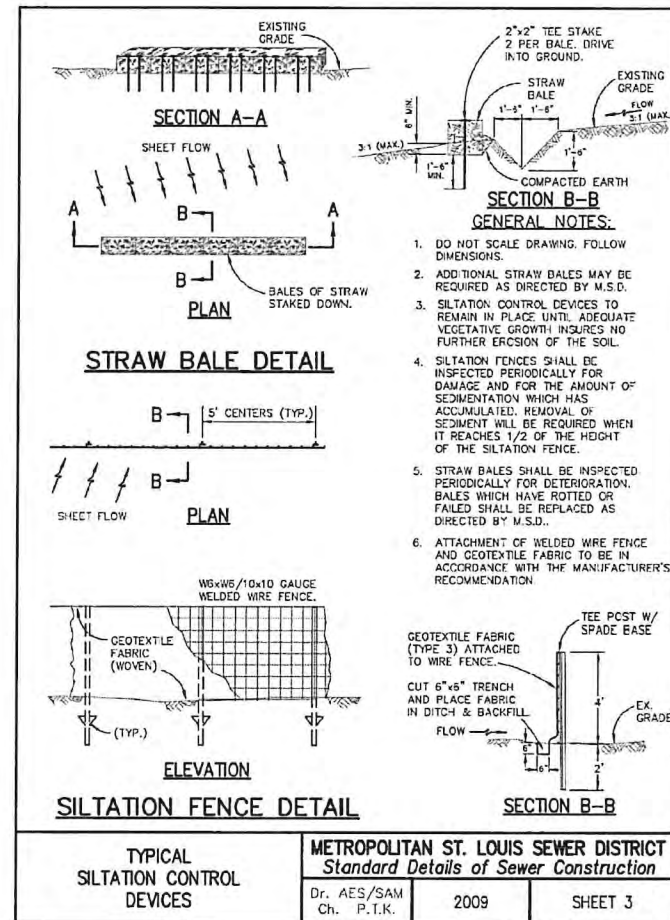
FLUSH WALK DETAIL
NO SCALE



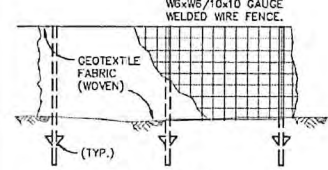
4\"/>



RAISED WALK DETAIL
NO SCALE



STRAW BALE DETAIL



SILTATION FENCE DETAIL

SILT FENCE — INSTALLATION DETAIL
NO SCALE

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN
SPECIFICATIONS AND REQUIREMENTS

PROJECT INFORMATION

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HAWAIIAN BROS - STR: 45
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PROFESSIONAL SEAL

SHEET DATES

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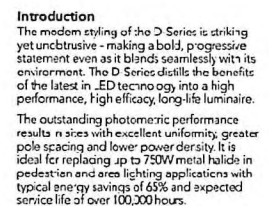
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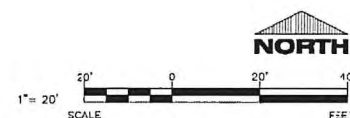
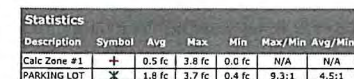
C2.0



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the night
take
control.



CIVIL SITE PHOTOMETRIC PLAN & DETAILS



PROPOSED BUILDING RENOVATION
HAWAIIAN BROS - STR: 45
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PROFESSIONAL STAFF

SHEET DATES

SHEET ISSUE NOV. 15, 2021

REVISIONS

JOB NUMBER

2164180

SHEET NUMBER

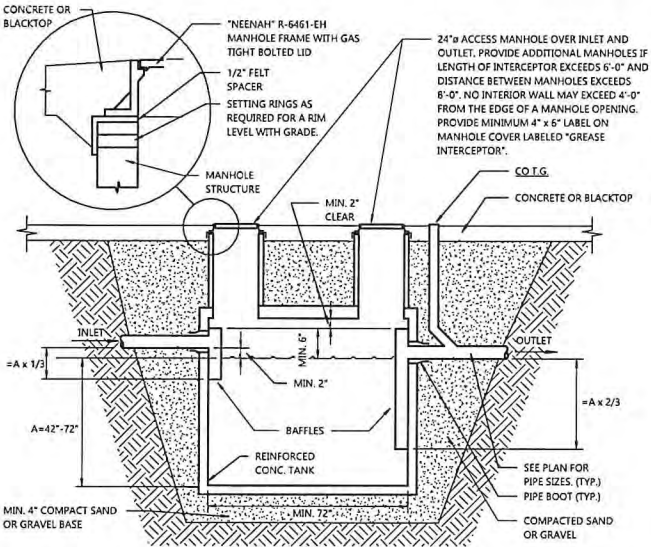
C3.1

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EXTERIOR GREASE INTERCEPTOR SCHEDULE (GI)											
NO.	MAT'L	LENGTH (INCHES)	WIDTH (INCHES)	HEIGHT (INCHES)	LIQUID LEVEL (INCHES)	CAPACITY (GAL.)	INLET & OUTLET SIZE	MANHOLES	APPROX. COVER DEPTH	MODEL	REMARKS
1	PRECAST	110	93	70	51	1565	4"	(1)	12"	W1565GI	WEISER

- ACCEPTABLE MANUFACTURERS: WEISER OR EQUAL.
(1) SEE EXTERIOR GREASE INTERCEPTOR DETAIL FOR ADDITIONAL INFORMATION.

GREASE INTERCEPTOR CALCULATIONS							
FIXTURE	NUMBER OF	COMPARTMENT				VOLUME (GALLONS)	0.75 x VOLUME (GPM)
		LENGTH (INCHES)	WIDTH (INCH)	DEPTH (INCHES)	VOLUME (CU. IN.)		
3-COMP	3	18	18	12	11,664	50	38
PREP	3	20	20	12	14,400	62	47
HAND WASH	4	15.5	14	5	4,340	19	14
DOLE WHIP	1	10	18.5	5	925	4	3
SERVICE SINK	1	24	24	10	5,760	25	19
DISHWASHER	1	-	-	-	-	1.25 PER CYCLE	1.25
TOTAL (MINIMUM FLOW RATE)						122	
MINIMUM GREASE HOLDING CAPACITY						243	
DISHWASHER CYCLE TIME						97	SECONDS
30 MINUTE DISHWASHER CONSUMPTION						23.2	GALLONS
HOLDING CAPACITY OF SINKS						120	GALLONS
REQUIRED LIQUID HOLDING CAPACITY						144	GALLONS



2 EXTERIOR GREASE INTERCEPTOR DETAIL
C3.2 NOT TO SCALE

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PROFESSIONAL SEAL

SHEET DATES

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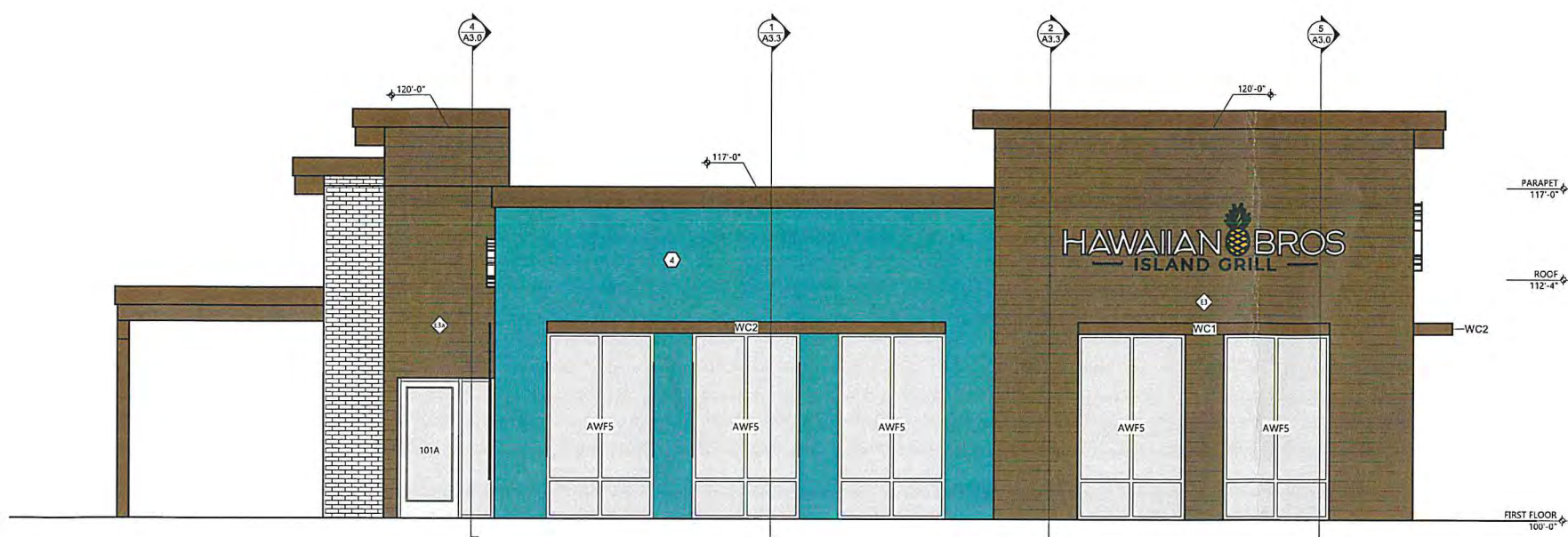
REVISIONS

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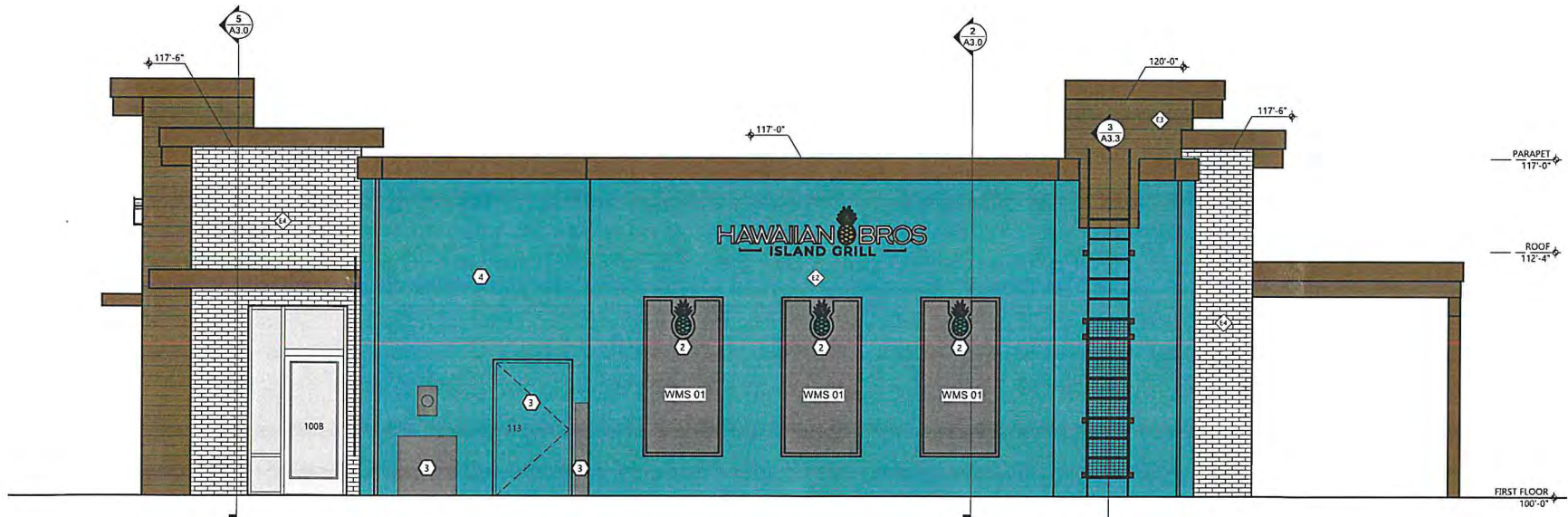
2164180

SHEET NUMBER

C3.2



(NEW HALLS FERRY ROAD)
EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR WALL TYPE LEGEND

EXTERIOR WALL TYPE	ADDITIONAL MODIFIER	GENERAL NOTES
E1a		<ul style="list-style-type: none">SEE EXTERIOR MATERIAL KEY FOR ALL EXTERIOR FINISHESSEE INTERIOR FINISH SCHEDULE FOR ALL INTERIOR FINISHNOT ALL WALL TYPES WILL BE USED ON ALL PROJECTSWHEN A NEW EIFS WALL (E2) INFILL IS PLACED INTO EXISTING WALL, THE NEW EIFS THICKNESS IS TO MATCH ADJACENT EXISTING EIFS THICKNESS
E1	NOT USED	
E2	EIFS (TYP. WOOD STUD CONSTRUCTION)	<ul style="list-style-type: none">EIFS INSTALLED PER MFR SPECIFICATIONS *1" RIGID INSUL (U.N.O.) AND INTEG. DRAINAGE PLANE *LIQUID APPLIED AIR/MOISTURE BARRIER *WOOD SHEATHING2X6 WOOD STUD (U.N.O.) @ 16" O.C. W/ R -21 BATT INSUL5/8" GYPSUM BOARD
E2a	EXTERIOR FINISH (*) TO BE APPLIED OVER EXISTING SHEATHING AND STUDS	
E3	LONGBOARD (TYP. WOOD STUD CONST.)	<ul style="list-style-type: none">LONGBOARD 6" V-GROOVE SIDING PANEL *LIQUID APPLIED AIR/MOISTURE BARRIER *WOOD SHEATHING2X6 WOOD STUD (U.N.O.) @ 16" O.C. W/ R -21 BATT INSUL5/8" GYPSUM BOARD
E3a	EXTERIOR FINISH (*) TO BE APPLIED OVER EXISTING SHEATHING AND STUDS	
E3b	SIMILAR TO E4 BUT 2X FURRING WALL WITH BATT INSULATION INSTEAD OF 2X6. NO GYPSUM BOARD ON INTERIOR SIDE OF FURRING WALL (SEE PLAN FOR DIM.)	
E4	THIN BRICK (TYP. WOOD STUD CONST.)	<ul style="list-style-type: none">THIN BRICK VENEER *SCRATCH COAT *LIQUID APPLIED AIR/MOISTURE BARRIER *WOOD SHEATHING2X6 WOOD STUD (U.N.O.) @ 16" O.C. W/ R -21 BATT INSUL5/8" GYPSUM BOARD
E4a	EXTERIOR FINISH (*) TO BE APPLIED OVER EXISTING SHEATHING AND STUDS	

GENERAL EXT. NOTES

- SIGNAGE SHOWN FOR REFERENCE ONLY. COORDINATE SIGNAGE LOCATIONS WITH SIGNAGE SUPPLIER AND PROVIDE BLOCKING AS REQUIRED.

- NOT USED
- WALL MOUNTED METAL SCREEN. PROVIDE 1" STAND OFF FROM WALL FINISH. FINAL CONNECTION REQUIREMENTS BY SUPPLIER.
- PAINT DOWNSPOUT, SCUPPER, DOORS, FIXTURE, AND EQUIPMENT TO MATCH FINISH MATERIAL BEHIND DOWNSPOUT, SCUPPER, DOORS, FIXTURE, AND EQUIPMENT.
- EXISTING EIFS TO BE PATCHED AND PAINTED. SEE EXTERIOR MATERIAL KEY.

EXTERIOR MATERIAL KEY

	PAINTED THIN BRICK MFR: GLEN-GERY STYLE: EXTRUDED TEXTURE: SMOOTH COLOR: WHITE (SW 7005 PURE WHITE)
	WOOD LOOK ALUMINUM SIDING & SOFFIT (LONGBOARD) PRODUCT: LONGBOARD 6" V-GROOVE SIDING PANEL MATERIAL: HEAVY GAUGE ALUMINUM COLOR: LIGHT NATIONAL WALNUT
	EIFS MFR: DRYVIT TEXTURE: SANDBLAST COLOR: SW 6767 AQUARIUM (PAINTED)
	FASCIA BOARD WOOD TYPE: REDWOOD COLOR: STAINED TO MATCH LONGBOARD SIDING
	METAL SCREENS PATTERN: TBD COLOR: DARK GRAY (TBD BY OWNER) SEE A9 SHEET
	WOOD COLUMN, BEAM, AND CANOPIES WOOD TYPE: REDWOOD COLOR: STAINED TO MATCH LONGBOARD SIDING

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ARCHITECTS • ENGINEERS • SURVEYORS
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100 Camelot Drive
Fond Du Lac, WI 54935
Phone: (920) 926-9800
www.EXCELENGINEER.com

PROJECT INFORMATION

PROPOSED BUILDING RENOVATION
HAWAIIAN BROS - STR: 45
13963 STATE HWY AC • FLORISSANT, MO. 63033

PROFESSIONAL SEAL

SHEET DATES	
SHEET ISSUE	NOV. 16, 2021
REVISIONS	

JOB NUMBER
2164180

SHEET NUMBER
A2.0

PROJECT INFORMATION

PROPOSED BUILDING RENOVATION
HAWAIIAN BROS - STR: 45
13963 STATE HWY AC • FLORISSANT, MO. 63033

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE NOV. 16, 2021

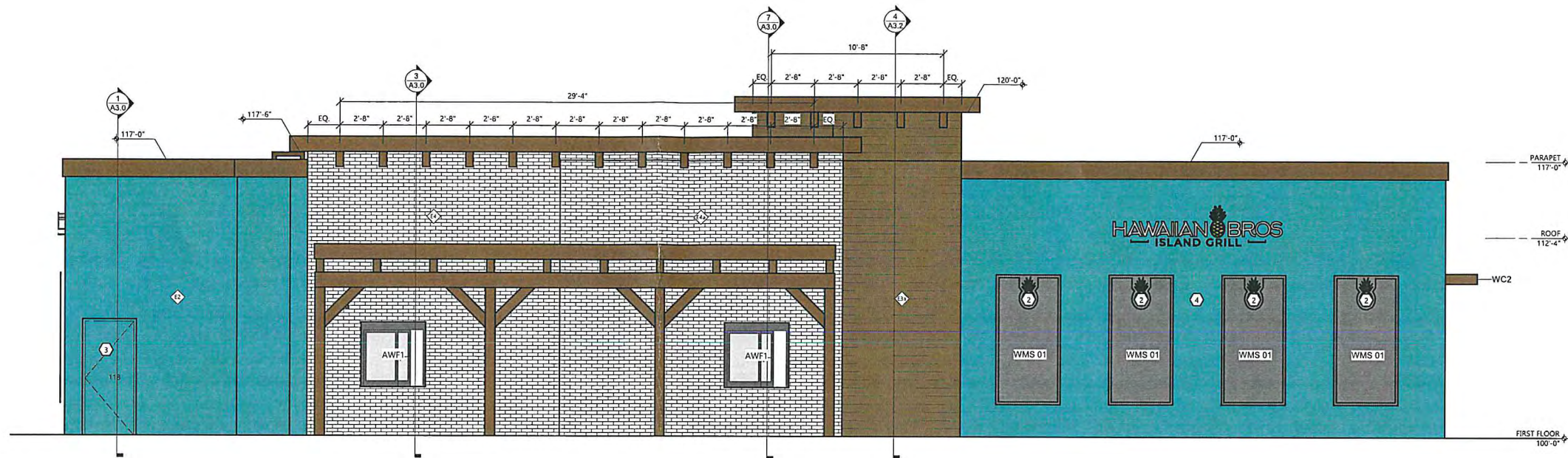
REVISIONS

JOB NUMBER

2164180

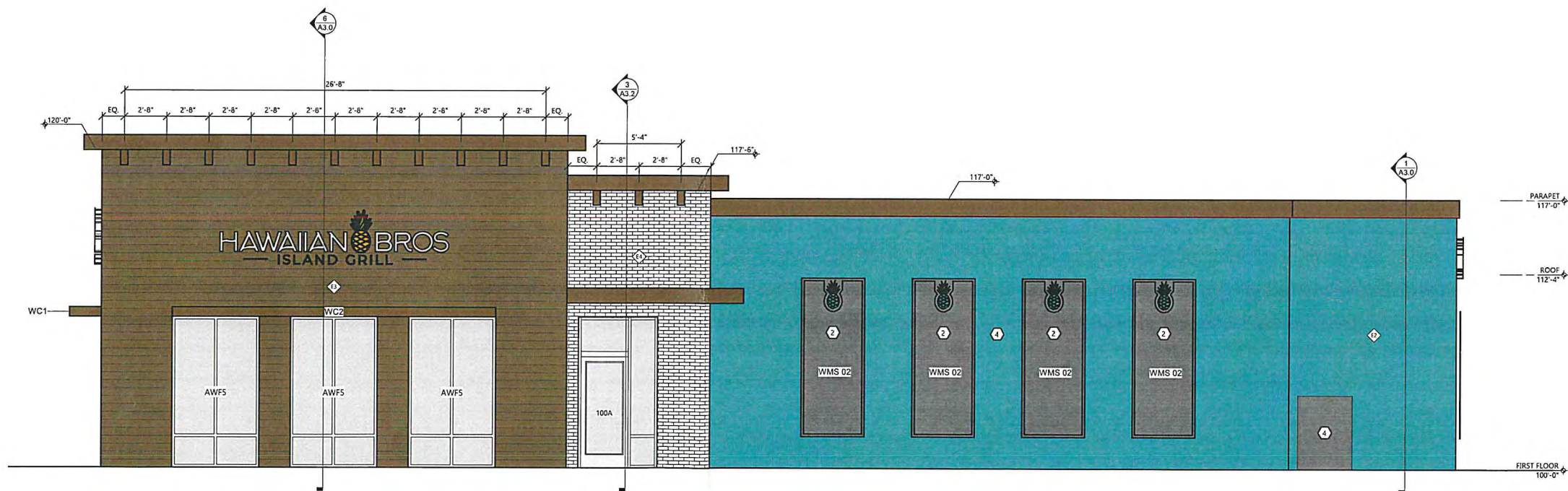
SHEET NUMBER

A2.1



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

CITY OF FLORISSANT

Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 14, 2022 at 7:00 p.m. on the following proposition:

To amend Ord. No. 6669 to allow for a sit-down, drive-through, carryout restaurant in a 'B-5' Planned Commercial District located at 13963 New Halls Ferry. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

1 INTRODUCTION BY COUNCIL AS A WHOLE
2 MARCH 14, 2022

3
4 BILL NO. 9764

ORDINANCE NO.

5
6 **AN ORDINANCE ESTABLISHING THE BOUNDARIES OF THE VARIOUS**
7 **WARDS OF THE CITY OF FLORISSANT.**
8

9 WHEREAS, Section 1.4 of the Florissant City Charter establishes that following each
10 federal decennial census, the City Council shall appoint a Redistricting Commission who shall
11 review the ward boundaries and recommend such changes in ward boundaries as it deems
12 appropriate to the end that wards shall comprise compact and contiguous territory and contain, as
13 nearly as possible, an equal number of inhabitants; and

14 WHEREAS, the City Council passed and approved Ordinance No. 7835 on October 10th,
15 2011 to establish the boundaries of the wards based upon the Census Block data provided by St.
16 Louis County; and

17 WHEREAS, the City was advised in April, 2015 that the wards were malapportioned
18 because the City had a population deviation among the wards in excess of 10% and convened a
19 Redistricting Commission to review and recommend revisions; and

20 WHEREAS, the City Council passed and approve Ordinance no. 8232 in May of 2016
21 approving the recommended revisions to the boundary map; and

22 WHEREAS, following the 2020 Census, a Redistricting Commission was appointed in
23 November, 2021 and held meetings on January 19th, February 1st and February 8th, 2022, to review
24 the ward boundaries for the purpose of recommending changes to the ward boundaries so that the
25 wards would be comprised of compact and contiguous territory and contain, as nearly as possible,
26 an equal number of inhabitants and to address the malapportionment so that the ward boundaries
27 also satisfied the Voting Rights Act and all other applicable laws; and

28 WHEREAS, the Redistricting Commission reviewed and considered various scenarios,
29 together with the statistical information associated with each map; and

30 WHEREAS, after careful consideration, the Redistricting Commission recommended the
31 adoption of the scenario 4 map; and

32 WHEREAS, the City Council of the City of Florissant held a public hearing on the 14th of
33 March, 2022 heard a presentation from the Chair of the Redistricting Commission, City Staff and
34 citizen comment, and received exhibits, including all of the maps and statistical information
35 considered by the Redistricting Commission.

36
37 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
38 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**
39

40 Section 1: After careful consideration of all of the data and information, the City
41 Council determines that the boundaries of the wards of the City of Florissant are hereby
42 established as designated on the map attached hereto as Exhibit A1 and made a part hereof as if
43 fully set out herein.

Section 2: The ward boundaries hereby established shall be effective for the regular municipal election to be held in April 2023, and for each succeeding election until changed in accordance with the provisions of the Charter of the City of Florissant and applicable law.

Section 3: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this _____ day of _____ 2022.

Keith Schildroth
Council President

Approved this _____ day of _____ 2022

Timothy J. Lowery
Mayor

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing

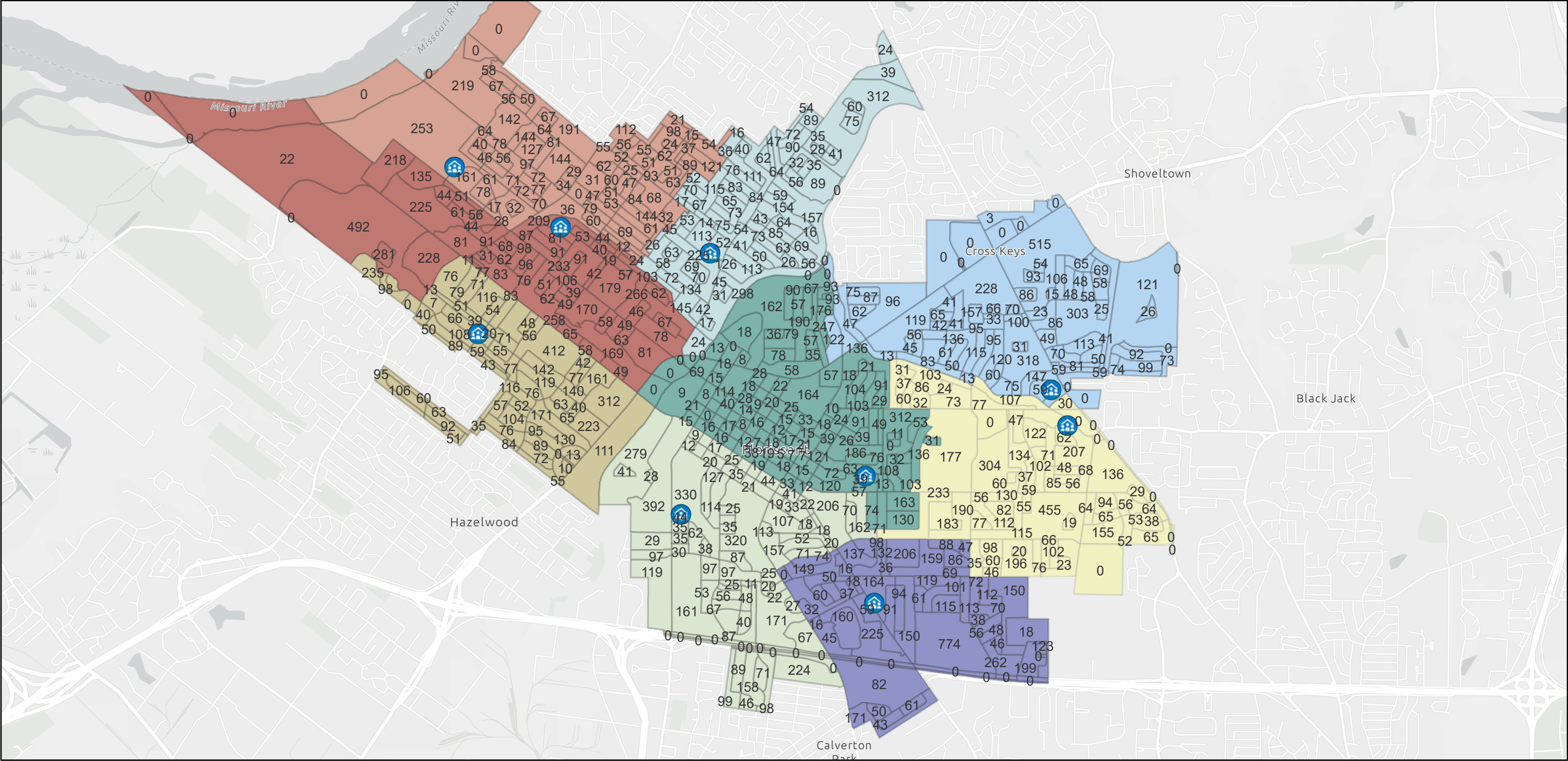


In accordance with Section 1.4 of the Florissant City Charter a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 14, 2022 at 7:00 p.m. on the following proposition:

To review the report of the Redistricting Commission of the City of Florissant. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk



Florissant Redistricting Scenario 4 Map










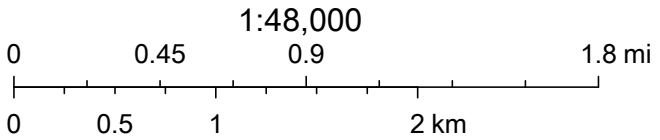
2/8/2022

 INCUMBENT COUNCIL MEMBERS

Florissant Redistricting SCENARIO 4

 1
 2

 3
 4
 5
 6
 7
 8
 9



County of St. Louis, Missouri Dept. of Conservation, Missouri DNR, Esri, HERE, Garmin, SafeGraph, METI/NASA, USGS, EPA, NPS, USDA

REDISTRICTING COMMISSION
CITY OF FLORISSANT
Redistricting Criteria
February 8th, 2022

The Florissant Redistricting Commission applied the following considerations in arriving at a proposed redistricting plan for the city. These considerations align with the criteria of the Voting Rights Act of 1965 while incorporating new standards adopted by Missouri and other states in a spirit of equity, diversity, and inclusion.

- **Compactness:** Changes to the existing nine Florissant districts attempted to minimize distance between all the parts of a constituency (a circle, square or a hexagon is the most compact district).
- **Contiguity:** The recommended scenario ensures that all parts of a district are connected at some point with the rest of the district.
- **Preservation of counties and other political subdivisions:** The recommended scenario avoids crossing county, city, or town, boundaries.
- **Preservation of communities of interest:** The recommended scenario preserved geographical areas, such as neighborhoods within Florissant.
- **Preservation of cores of prior districts:** The recommended scenario maintains districts as previously drawn, to the extent possible. This leads to continuity of representation. Changes to boundaries minimized the number of people impacted and adjusted the minimum number of lines needed to create a minimal deviation between districts.
- **Avoiding pairing incumbents:** The recommended scenario avoids districts that would create contests between incumbents.
- **Prohibition on favoring or disfavoring an incumbent, candidate or party.** The recommended scenario avoids intentionally or unduly favoring a person or group, including incumbent candidates.
- **Prohibition on using partisan data:** The recommended scenario does not rely on incumbent residences, election results, party registration, or other socio-economic data as an input when redrawing districts.
- **Competitiveness:** The recommended scenario avoids the intentional creation of “safe” districts for a particular party or candidate.
- **Proportionality:** The recommended scenario corresponds closely to Florissant voter representation.

FLORISSANT REDISTRICTING

WARD	TOTAL POPULATION	IDEAL	DIFFERENCE TO IDEAL
1	5722	5837	115.00
2	5921	5837	-84.00
3	5752	5837	85.00
4	5665	5837	172.00
5	5888	5837	-51.00
6	6007	5837	-170.00
7	5649	5837	188.00
8	5955	5837	-118.00
9	5974	5837	-137.00
Total	52533		

REDISTRICTING DETAILS	
52533 TOTAL POPULATION	WARD
6007 LARGEST WARD POPULATION	6
5649 SMALLEST WARD POPULATION	7
5837 IDEAL WARD SIZE	N/A
6% DEVIATION	10% MAX
NOTE Deviation Formula:	
* $\frac{(\text{population of largest district} - \text{ideal population})}{\text{ideal population}} + \frac{(\text{population of ideal district} - \text{population of smallest district})}{\text{ideal population}} = \text{total deviation}$	
MATH	$(6516 - 5837) / 5837 + (5837 - 5543) / 5837$

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 MARCH 14, 2022

3
4 BILL NO. 9765

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN APPROPRIATION OF \$100,000**
7 **FROM THE CAPITAL IMPROVEMENT FUND TO BUDGET**
8 **ACCOUNT NO. 03-5-03-50050 "PROFESSIONAL SERVICES-**
9 **ENGINEERING" FOR RIGHT OF WAY ACQUISITION SERVICES**
10 **FOR THE ST. DENIS PHASE 1 PROJECT.**

11
12 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
13 COUNTY, MISSOURI, AS FOLLOWS:
14
15

16 Section 1: There is hereby authorized an appropriation of of \$100,000 from the
17 Capital Improvement Fund to budget account no. 03-5-03-50050 "Professional Services-
18 Engineering" for right of way acquisition services for the St. Denis Phase 1 project.
19
20

21 Section 2: This ordinance shall become in force and effect immediately upon its passage
22 and approval.
23

24 Adopted this ____ day of _____, 2022.
25

26 _____
27 Keith Schildroth
28 President of the Council
29 City of Florissant
30

31 Approved this ____ day of _____, 2022.
32

33 _____
34 Timothy J. Lowery
35 Mayor, City of Florissant
36

37 ATTEST:
38

39 _____
40 Karen Goodwin, MPPA/MMC/MRCC,
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

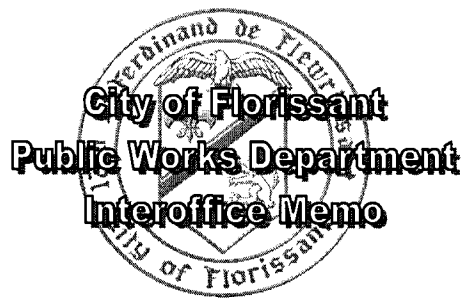
3/10/2022		Mayor's Approval: 																																					
Agenda Date Requested:		3/14/2022																																					
Description of request: Appropriate money for ROW Acquisition services for St. Dennis Phase I, \$100,000 to account # 03-5-03-50050																																							
Transfer of Funds from																																							
(See Attached Memo)																																							
Department: Public Works																																							
Recommending Board or Commission: N/A																																							
Type of request:		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">Ordinances</td> <td style="width: 5%; text-align: center;">X</td> <td style="width: 40%;">Other</td> <td style="width: 5%;"></td> </tr> <tr> <td>Appropriation</td> <td style="text-align: center;">x</td> <td>Liquor License</td> <td></td> </tr> <tr> <td>Transfer</td> <td></td> <td>Hotel License</td> <td></td> </tr> <tr> <td>Zoning Amendment</td> <td></td> <td>Special Presentations</td> <td></td> </tr> <tr> <td>Amendment</td> <td></td> <td>Resolution</td> <td></td> </tr> <tr> <td>Special Use Transfer</td> <td></td> <td>Proclamation</td> <td></td> </tr> <tr> <td>Special Use</td> <td></td> <td>Subdivision</td> <td></td> </tr> <tr> <td>Budget Amendment</td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td style="text-align: center;">Y/N</td> <td></td> <td style="text-align: center;">Y/N</td> </tr> </table>		Ordinances	X	Other		Appropriation	x	Liquor License		Transfer		Hotel License		Zoning Amendment		Special Presentations		Amendment		Resolution		Special Use Transfer		Proclamation		Special Use		Subdivision		Budget Amendment					Y/N		Y/N
Ordinances	X	Other																																					
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Special Use Transfer		Proclamation																																					
Special Use		Subdivision																																					
Budget Amendment																																							
	Y/N		Y/N																																				
Public Hearing needed: Yes / No		3 readings? : Yes / No <div style="display: flex; justify-content: space-between; width: 100%;"> N </div>																																					
Back up materials attached: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>Minutes</td><td></td></tr> <tr><td>Maps</td><td></td></tr> <tr><td>Memo</td><td style="text-align: center;">X</td></tr> <tr><td>Draft Ord.</td><td></td></tr> </table>		Minutes		Maps		Memo	X	Draft Ord.		Back up materials needed: <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>Minutes</td><td></td></tr> <tr><td>Maps</td><td></td></tr> <tr><td>Memo</td><td></td></tr> <tr><td>Draft Ord.</td><td></td></tr> </table>		Minutes		Maps		Memo		Draft Ord.																					
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Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____



Memo To: City Council

Date: March 10, 2022

Thru: Mayor Timothy J Lowery

From: Todd M. Hughes, P.E.
Director of Public Works and Health

Copy: Kimberlee Johnson

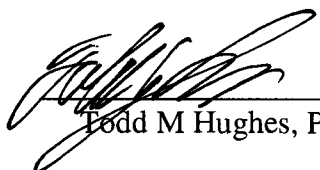
Subject: **Appropriate money for right of way acquisition services, for St. Dennis Phase I.**

I am requesting appropriation of money for right of way acquisition services, for St. Dennis Phase I, in the amount of \$100,000.00 be appropriated and put into account 03-5-03-50050 for this purpose. Please see the attached contract. This is an 80% Federal / 20% Local Match.

Therefore, I respectfully request the appropriation of money for right of way acquisition services, for St. Dennis Phase I, in the amount of \$100,000.00 be appropriated and put into account 03-5-03-50050.

Thank you in advance.

Respectfully submitted,



Todd M Hughes, P.E.

1 INTRODUCED BY COUNCILMAN SIAM
2 MARCH 28, 2022

3
4 BILL NO. 9762

ORDINANCE NO.

5
6 **ORDINANCE TO AMEND ORDINANCE NO. 8734 TO ALLOW FOR**
7 **CHANGES TO THE EXTERIOR MATERIAL IN A B-5 PLANNED**
8 **COMMERCIAL DISTRICT LOCATED AT 2925 N. HIGHWAY 67.**
9

10 WHEREAS, ordinance no. 8734 was passed in October 2021 approving the rezoning of
11 2925 N Hwy 67 to a B-5 Planned Commercial District to allow for a car wash; and

12 WHEREAS Boing US Holdco Inc. has applied for an amendment to the development
13 plan authorized by ordinance 8734 to allow for changes in exterior materials; and

14 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
15 recommended to the City Council at their meeting of February 22, 2022 that an amendment to B-
16 5 ordinance no. 8734, to allow for changes in exterior materials; and

17 WHEREAS, due and lawful notice of a public hearing no. 22-03-005 on said proposed
18 change was duly published, held and concluded on 14th of March, 2022 by the Council of the
19 City of Florissant; and

20 WHEREAS, the Council, following said public hearing, and after due and careful
21 deliberation, has concluded that that an amendment to B-5 ordinance no. 8734 to allow for
22 exterior material changes located at 2925 N. Hwy 67 is in the best interest of the public health,
23 safety and welfare of the City of Florissant; and

24
25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
27

28 Section 1: B-5 ord. no. 8734, is hereby amended to allow a change in exterior materials
29 as depicted by the attached drawings A1.00 and A3.02 dated 1/17/22 by Method Architecture,
30 subject to the regulations of a 'B-5' Planned Commercial District, Ord. No. 8734 with the
31 following changes to said Ordinance:

32 Change Section 1 to remove "Elevations" and substitute drawings A1.00 and A3.02
33 dated 1/17/22 by Method Architecture with the following additional requirements added to the
34 record:

1. Documentation with the warranty and minimum 25-year lifespan of the thin brick to be submitted prior to the public hearing.
2. No signage is approved until an additional amendment to the 'B-5' ordinance is made. (Time to complete of 12 months, remains as described in the ordinance.).

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2022.

Keith Schildroth
President of the Council

Approved this _____ day of _____, 2022.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

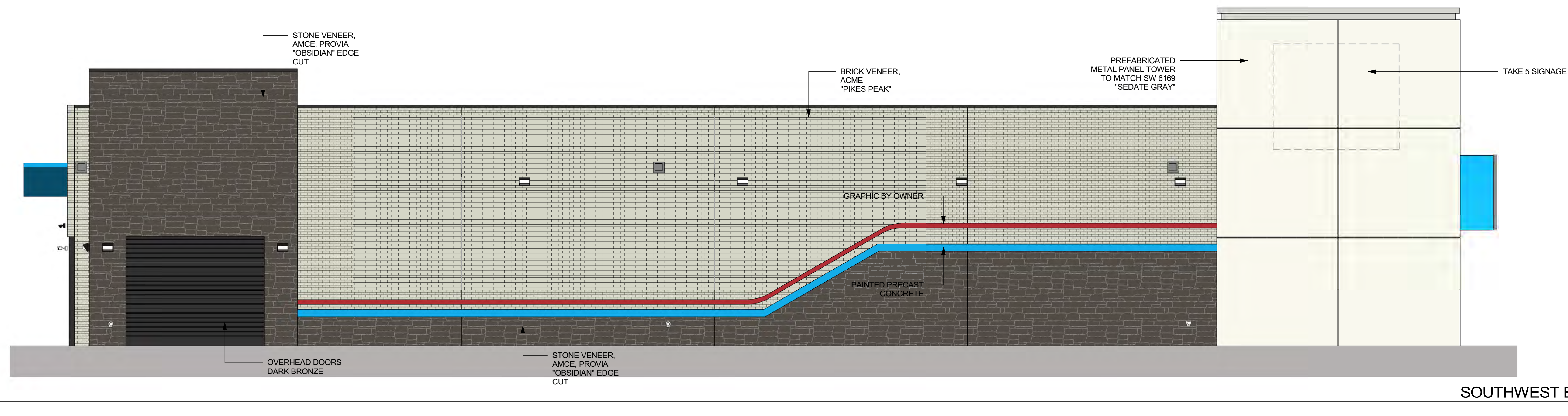
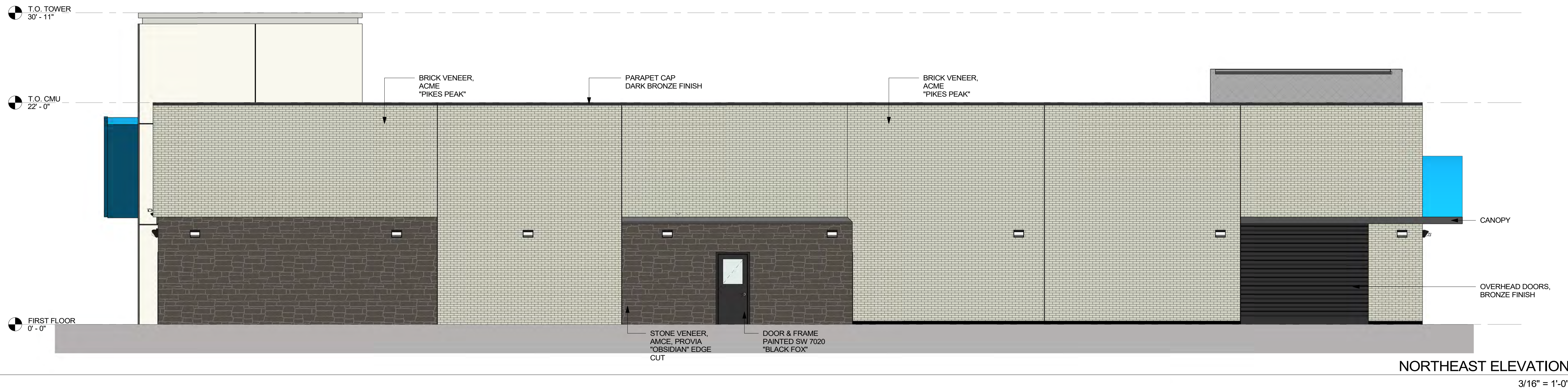
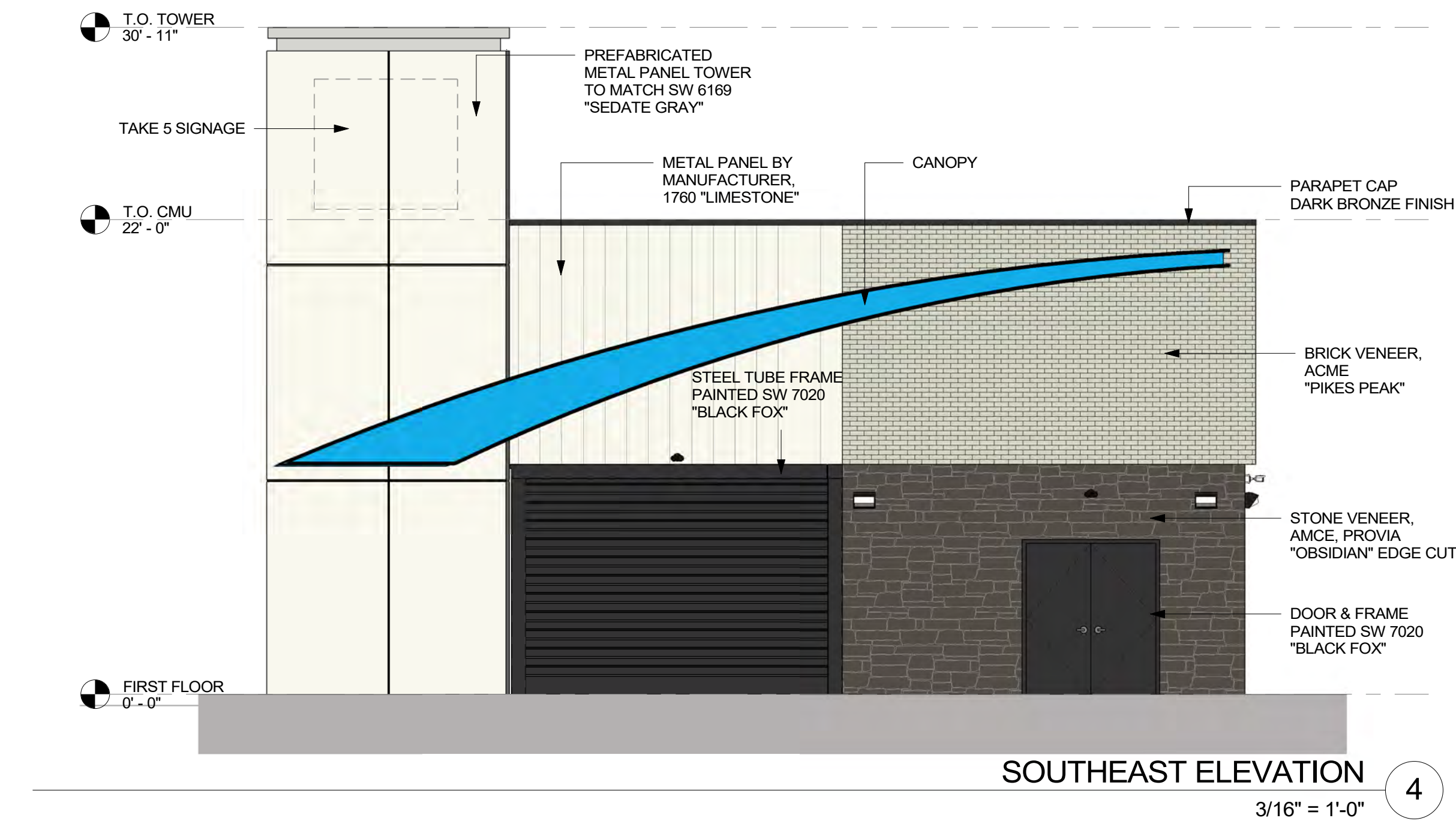
Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 14, 2022 at 7:00 p.m. on the following proposition:

To amend Ord. No. 8734 to allow for changes to the exterior material in a 'B-5' Planned Commercial District located at 2925 N Highway 67 (Take 5 Carwash). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk



1 INTRODUCED BY COUNCILMAN SIAM
2 OCTOBER 11, 2021

3
4 BILL NO. 9715

ORDINANCE NO. 8734

5
6 **ORDINANCE TO REZONE THE PROPERTY AT 2925 N. HWY 67 FROM B-3**
7 **“EXTENSIVE BUSINESS DISTRICT” TO B-5 “PLANNED COMMERCIAL**
8 **DISTRICT” FOR THE LOCATION OF A CAR WASH.**
9

10 WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant district
11 classifications for the purpose of regulating their construction and use of land, buildings and property
12 within the said various districts, and said Ordinance provides the nature, kind and character of buildings
13 that may be erected in each of the said districts and the use to which the land and buildings may be put;
14 and

15 WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to
16 the City Council at their meeting of September 7, 2021 that Ordinance No. 1625 be amended to change
17 the classification of the property at 2925 N. Hwy 67 from B-3 “Extensive Business District to B-5
18 “Planned Commercial District”; and

19 WHEREAS, due and lawful notice of a public hearing no. 21-10-026 on said proposed zoning
20 change was duly published, opened on October 11, 2021 at 7:00 P.M. by the Council of the City of
21 Florissant; and

22 WHEREAS, the Council, following said public hearing, and after due and careful deliberation,
23 has concluded that the amendment of Ordinance No. 1625, as amended, as hereinafter set forth, to be in
24 the best interest of the public health, safety and welfare of the City of Florissant; and

25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
27

28 Section 1: A B-5 “Planned Commercial District” is hereby approved, as depicted by the
29 attached drawings plans Site Plan C-100, C-300, C-310, C-600, Landscape Plan LP-1 , LP-2 all dated
30 08/06/21 by JM Civil, Floor Plan and Elevations dated 8/12/21 and lighting Plan dated 8/16/21, subject
31 to the regulations of a ‘B-5’ Planned Commercial District, with permitted uses allowed being a car wash,
32 those within the B-3 “Extensive Business District” without a Special Permit, and the following
33 additional requirements:
34

35 **1. PERMITTED USES**

36 The uses permitted for this property shall be limited to car wash, those within the B-3
37 “Extensive Business District” without a Special Permit. Other uses than those permitted
38 shall require approval by amendment to this ‘B-5’ Ordinance.
39

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

The building space shall be limited to a single story 4164 SF car wash, with uses permitted within the B-3 "Extensive Business District" without a Special Permit.

3. PERFORMANCE STANDARDS

In addition to all other requirements, uses within the "B-5" Planned Commercial District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. Screening.
 - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
 - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Trash container shall meet or exceed city trash enclosure requirements.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawings attached, including entire property, trash enclosures, landscape, lighting and legal description.

3. SITE DEVELOPMENT PLAN CRITERIA:

8734

a. Height, Area And Bulk Restrictions:

1. Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District

b. Internal Drives:

- (1) There shall be parking as shown on plans attached.

c. Minimum Parking/Loading Space Requirements.

- (1) There shall be a minimum of 22 parking spaces provided on the property.

d. Road Improvements, Access and Sidewalks (not applicable)e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

- (1) The light level for parking lot lighting shall be as shown on attached photometric plan.
- (2) All site lighting and exterior building lighting shall be directed down and inward

f. Sign Requirements.

- (1) All signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

- (1) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.
- (2) An automatic permanent irrigation system shall be designed and installed to cover all landscaped areas.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

- (1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.
- (2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

- (1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.
- (2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.

- 130 (3) All storm water and drainage facilities shall be constructed, and all landscaping shall
131 be installed, prior to occupancy of the building, unless remitted by the Director of
132 Public Works due to weather related factors.
133
- 134 (4) All mechanical equipment, electrical equipment, and communication equipment shall
135 be screened in accordance with the Florissant Zoning Code.
136
- 137 (5) The exterior design of the buildings shall be constructed in accordance with the
138 renderings as approved by the Florissant Planning and Zoning Commission and
139 attached hereto.
140
- 141 (6) All other requirements of the Florissant Municipal Code and other ordinances of the
142 city shall be complied with unless otherwise allowed by this ordinance.
143

144 7. FINAL SITE DEVELOPMENT PLAN

145 A final site development plan shall be submitted to the Building Commissioner to review
146 for compliance with the applicable "B-5" Planned Commercial Development ordinance
147 prior to recording. Any variations from the ordinance approved by the City Council
148 and/or the conceptual plans attached to such ordinance shall be processed in accordance
149 with the procedure established in the Florissant Zoning Code.
150

151 8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

152 Any changes to the approved plans attached hereto must be reviewed by the Building
153 Commissioner. The Building Commissioner shall make a determination as to the extent of the
154 changes per the following procedure:
155

- 156 a. The property owner or designate representative shall submit in writing a request for an
157 amendment to the approved plans. The building commissioner shall review the plans for
158 consistency with the purpose and content of the proposal as originally or previously
159 advertised for public hearing and shall make an advisory determination.
- 160 b. If the building commissioner determines that the requested amendment is not consistent
161 in purpose and content with the nature of the purpose as originally proposed or
162 previously advertised for the public hearing, then an amendment to the special use
163 permit shall be required and a review and recommendation by the planning and zoning
164 commission shall be required and a new public hearing shall be required before the City
165 Council.
- 166 c. If the building commissioner determines that the proposed revisions are consistent with
167 the purpose and content with the nature of the public hearing then a determination of
168 non-necessity of a public hearing shall be made.
- 169 d. Determination of minor changes: If the building commissioner determines that an
170 amendment to the special use permit is not required and that the changes to the plans are
171 minor in nature the Building Commissioner may approve said changes.
- 172 e. Determination of major changes: If the Building Commissioner determines that an
173 amendment to the B-5 is not required but the changes are major in nature, then the owner
174 shall submit an application for review and approval by the Planning and Zoning
175 commission.

9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

10. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

9. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

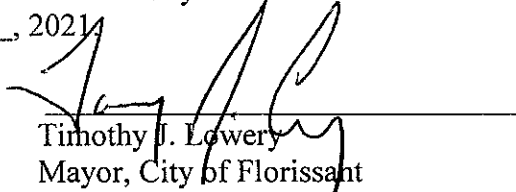
Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this 8 day of Nov, 2021.



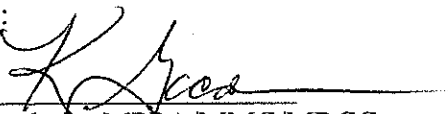
Keith Schildroth
President of the Council
City of Florissant

Approved this 8 day of Nov, 2021



Timothy J. Lowery
Mayor, City of Florissant

ATTEST:



Karen Goodwin, MPPA/MMC/MRCC
City Clerk

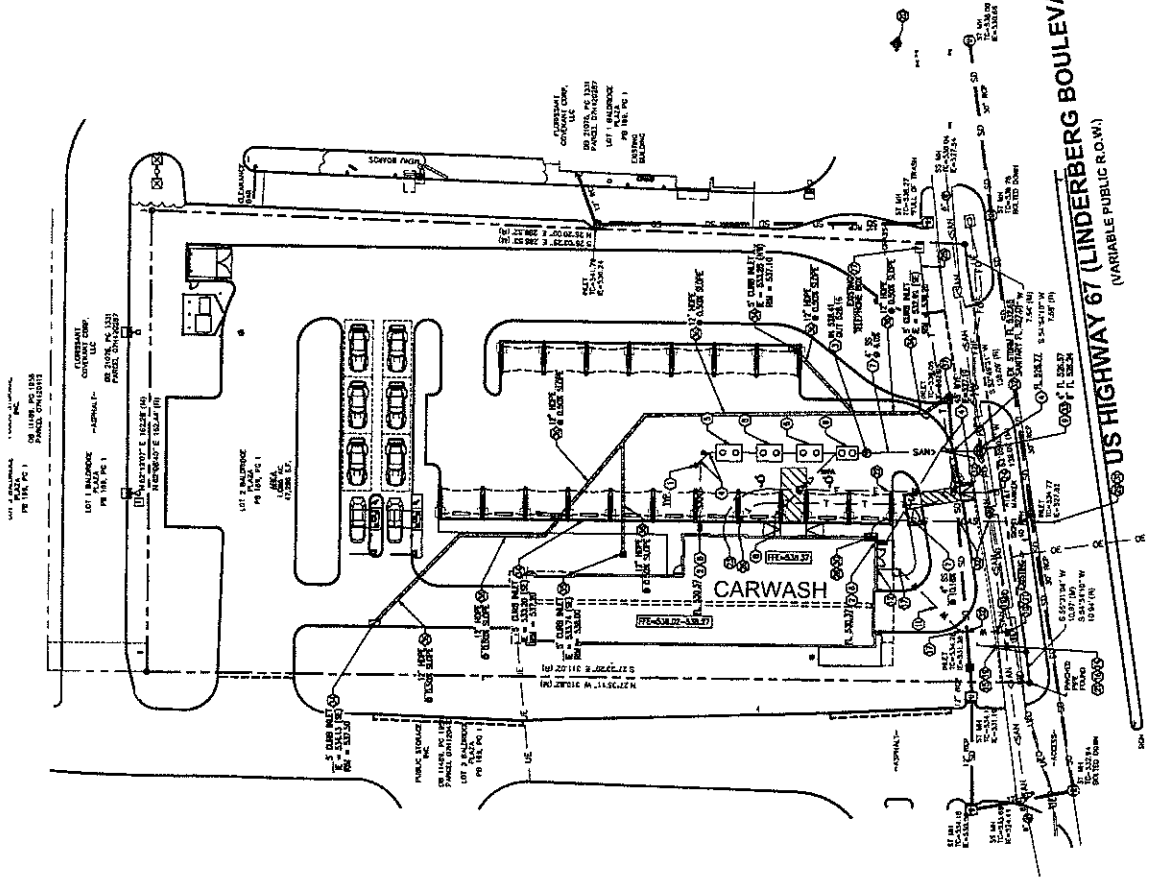
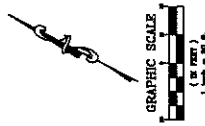
FLOODNOTE
ACCORDING TO THE FIRM NO. 28169C0088K, THE SUBJECT PROPERTY LIES IN ZONE X
AND DOES NOT LIE WITHIN A FLOOD PRONE HAZARD AREA, PER MAP REVISION DATED
FEBRUARY 4, 2015.

LEGEND:

- [illegible]

UTILITY KEY NOTES:

- 1 SANITARY SEWER CLEAN-OUT.
- 2 SANITARY SEWER DOUBLE CLEAN-OUT.
- 3 SANITARY SEWER HANG OFF.
- 4 SANITARY SEWER SERVICE PORT.
- 5 SANITARY SEWER WYE.
- 6 REGULATION TANKS. (PER ARCH/MEP PLANS)
- 7 SAND OR INTERCEPTOR. (PER ARCH/MEP PLANS)
- 8 SANITARY SEWER LINE. (SEE NOTE FOR TYPE, SIZE AND SLOPE)
- 9 SANITARY SEWER POINT OF ENTRY. (PER MEP PLANS)
- 10 CONNECTION TO FIELD DRAINAGE SYSTEM (PER ARCH/MEP PLANS)
- 11 DOMESTIC WATER METER. (SEE NOTE FOR SIZE)
- 12 DOMESTIC WATER LINE. (SEE NOTE FOR SIZE)
- 13 DOMESTIC WATER LINE POINT OF ENTRY. (PER MEP PLANS)
- 14 DOMESTIC WATER LINE POINT OF CONNECTION.
- 15 REGULATION WATER METER. (SEE NOTE FOR SIZE)
- 16 REGULATION WATER LINE. (SEE NOTE FOR SIZE)
- 17 REGULATION WATER LINE POINT OF CONNECTION.
- 18 4.4. IRING. (SEE NOTE FOR SIZE)
- 19 WATER VALVE. (SEE NOTE FOR SIZE)
- 20 REDUCED PRESSURE BACKFLOW PREVENTER
- 21 CONNECTION TO RAIL CORRIDOR WITH WATER UTILITY DEPARTMENT
- 22 CONNECTION TO SEWER MAINS NOT INTERRUPTED AT ANY TIME
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US HIGHWAY 67 (LINDERBERG BOULEVARD)
(VARIABLE PUBLIC R.O.W.)



8734

**Know what's below.
Call before you dig.**

UTILITY PLAN		08/13/21	
DATE	08/13/21	DATE	08/13/21
TIME		TIME	
LOCATION		LOCATION	
DESCRIPTION		DESCRIPTION	
BY		BY	
CHECKED BY		CHECKED BY	
APPROVED BY		APPROVED BY	
DATE		DATE	

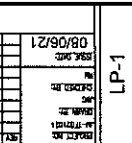
CAR WASH USA EXPRESS
2925 LINDBERGH BLVD (N HIGHWAY 67)
FLORISSANT, MO 63033



•FOR REVIEW ONLY•



1101 Central Expressway South
Suite 215
Albany, TX 75013
Ph: 214-491-1800
John Maczettek, PE
Civil Engineer

[illegible]

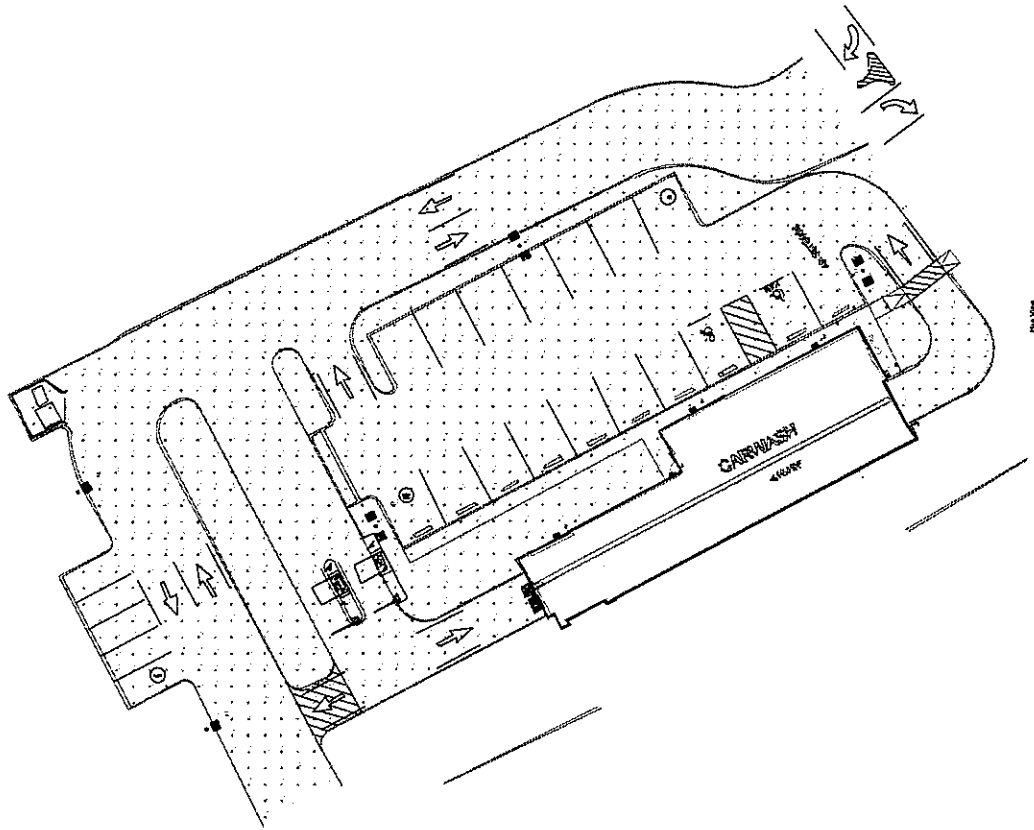


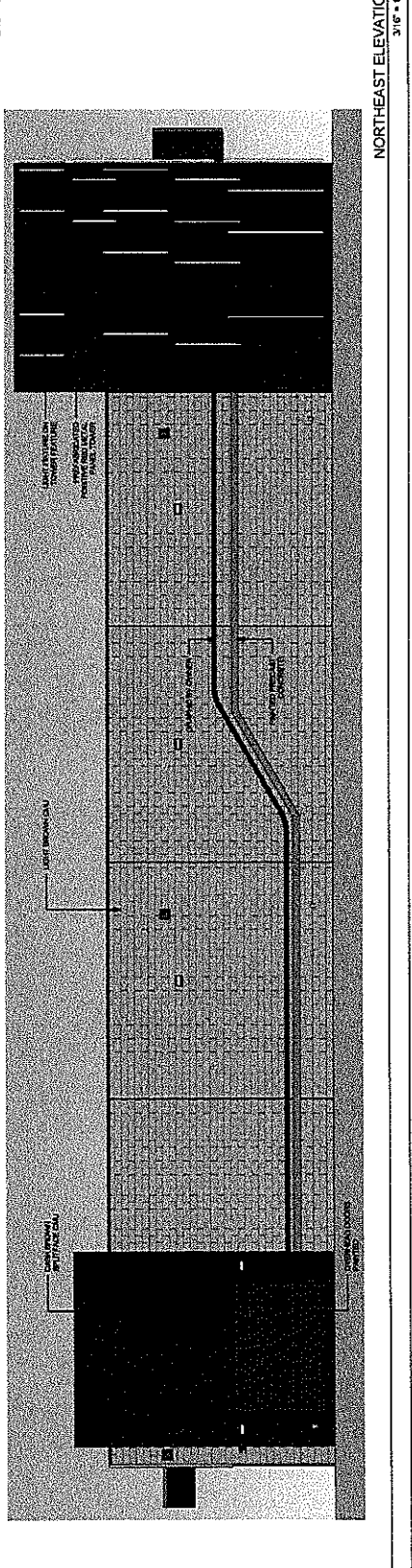
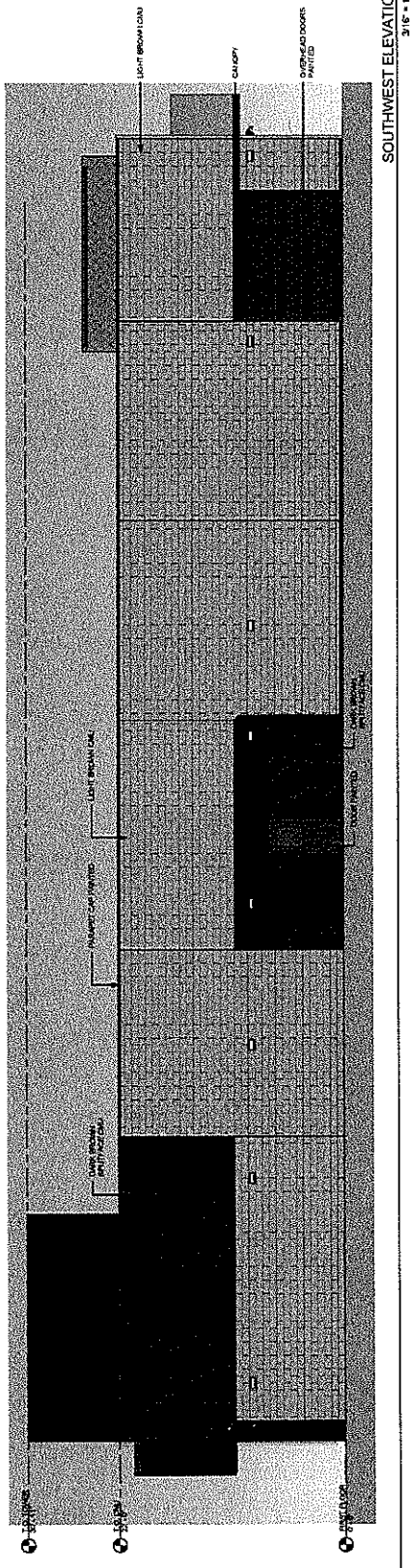
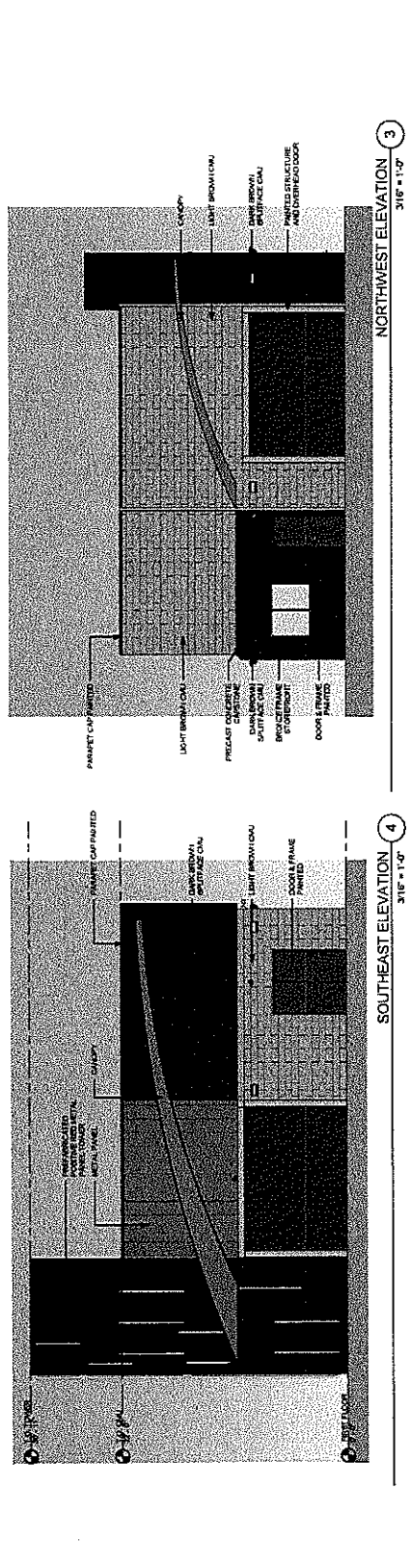
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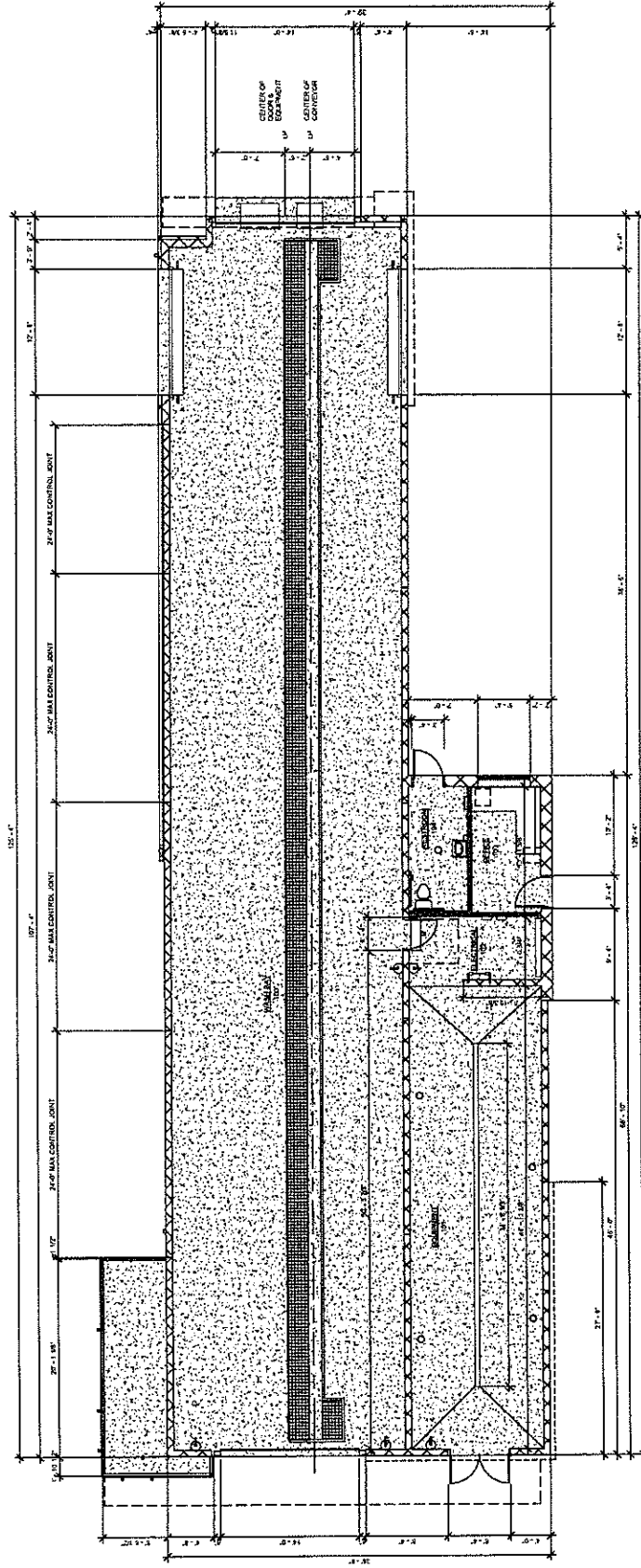
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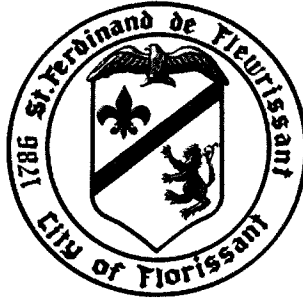






FLOOR PLAN 1
3/12" = 1'-0"

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DISTRICT



PLANNING & ZONING ACTION:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN: 

DATE: 2-22-22

Address of Property:

2925 N. Highway 67 (Lindbergh Blvd.)

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____

Building Commissioner to complete ward, zoning & date filed

PETITION FOR A B-5 RE-ZONING:

1) Comes Now Boing US Holdco, Inc. a Delaware corporation

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Lessee (copy of lease submitted with application)

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 1.09
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B3 District and is presently being used for: Vacant building, previously used for restaurant

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following purpose to justify the re-zoning to a B-5:

Construction of an automated express car wash facility

List purpose for this request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME **Boing US Holdco, Inc.**

Print Name

By:

DocuSigned by:

Scott O'Melia

8D7C02EDB40D46C...

Scott O'Melia, Executive VP

PETITIONER(S) SIGNATURE (S)

FOR **Boing US Holdco, Inc.**

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or LLC Managing PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
- () I (we) have a legal interest in the herein above described property.
- (X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE

ADDRESS

1101 Central Expressway S., Suite 215

Allen

Texas

75013

STREET

CITY

STATE

ZIP CODE

TELEPHONE NUMBER (469) 270-3758

BUSINESS

I (we) the petitioner (s) do hereby appoint

Kyle Flaming

Print name of agent.

Boing US Holdco, Inc.

as

my (our) duly authorized agent to represent me (us) in regard to this petition.

By:

DocuSigned by:

Scott O'Melia

8D7C02EDB40D46C...

Signature of Petitioner(s) or Authorized Agent

Scott O'Melia, Executive VP

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐ Partnership: ☐ Corporation/LLC: ☒

(a) If an Individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a Partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a Corporation or LLC:

- (1) Names & addresses of all partners Jonathan Fitzpatrick, CEO
- (2) Telephone numbers (704) 377-8855
- (3) Business address 440 South Church St., Ste. 700, Charlotte, NC 28202
- (4) State of corporation & a photocopy of incorporation papers DE - Corporate documents submitted with application
- (5) Date of corporation Incorporated 07/28/2015 in Delaware
- (6) Missouri Corporate Number Qualification in Missouri pending with Missouri Sec. of State's Office
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. Pending application with the Missouri Secretary of State's Office
- (8) Name in which business is operated Take 5 Car Wash Express
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Boing US Holdco, Inc.

Address 440 S. Church St., Ste. 700, Charlotte NC 28202

Property Owner National Retail Properties, LP

Location of property 2925 N. Highway 67 (Lindbergh Blvd.)

Dimensions of property 311' x 162' (1.08 acres)

Current Use of Property Vacant building

Proposed Use of Property Automated Express Car Wash

Type of Sign _____ Height _____

Type of Construction Type III-B Number Of Stories 1

Square Footage of Building 4219 sf Number of Curb Cuts 1. using existing curb cut

Number of Parking Spaces 21 Sidewalk Length _____

Landscaping: No. of Trees 5 Diameter 2.5

No. of Shrubs 67 Size 3 gals and 5 gals

Fence: Type none Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

1) a. Uses - Are uses stipulated _____ Yes / No

b. What current District would this proposal be a permitted use: _____

c. Proposed uses for out lots: _____

2) Performance Standards:

a) Vibration: Is there any foreseen vibration problems at the property line? _____ Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? _____ Yes / No

c) Odor is there any foreseen problem with odor? _____ Yes / No

d) Smoke: Will the operation emit any smoke which could
exceed a density described as No. 1 on the Ringleman Chart? _____ Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? _____ Yes / No

f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? _____ Yes / No

g) Is there any dangerous amount of radiation produced from the operation? _____ Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? _____ Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? _____ Yes / No

j) Is buildings screened from adjoining residential? _____ Yes / No

3) Are height of structures shown? _____ Yes / No

4) Are all setbacks shown? _____ Yes / No

5) Are building square footages shown? _____ Yes / No

6) What is the exterior construction of the buildings? _____

7) Is off street loading shown? _____ Yes / No

8) Parking:

a) Does parking shown meet the ordinance? _____ Yes / No

b) Is a variance required in accordance with the ordinance? _____ Yes / No

c) Ratio shown _____ to _____

d) Total Number _____

e) Will cross access and cross parking agreements be required? _____ Yes / No

f) Is the parking lot adequately landscaped? _____ Yes / No

9) Are there any signs? _____ Yes / No

Number of signs shown _____

Type of Signs _____

Are sizes, heights, details, and setbacks shown? _____ Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? _____ Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or
all tree masses and proposed landscaping shown? _____ Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient handicapped access? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

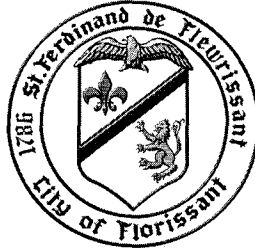
- 25) Staff Comments: _____

Date Application reviewed

Building Commissioner or Staff Signature

1

MEMORANDUM



2
3
4
5
6

CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

7 To: Planning and Zoning Commissioners Date: February 16, 2022
8
9 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.
10 Director Public Works
11 Deputy City Clerk
12 Applicant
13 File
14

15 Subject: Request **Recommended Approval** to amend a 'B-5' at 2925 N Highway 67
16 **Take 5 Carwash** Ord. No. 8734) to allow for proposed changes in exterior materials.
17

18
19
20

STAFF REPORT **CASE NUMBER PZ-022222-1**

21

I. PROJECT DESCRIPTION:

22 This is a request recommended approval to amend a 'B-5' planned commercial district to
23 allow for changes in exterior materials.
24

25

II. EXISTING SITE CONDITIONS:

26 The existing property at **2925 N. Highway 67** is a vacant property (and was formerly
27 Denny's).
28

29 The property is proposed to be a new car wash after the existing restaurant is removed.
30 Building permits were submitted with different exterior materials than approved in Ord.
31 No. 8734. The petitioner proposes the improved exterior design, including changes to
32 exterior materials.
33

34

III. SURROUNDING PROPERTIES:

35 The adjacent property to the West is an access drive to 14249 New Halls Ferry, a Self-
36 Storage Facility in a B-5 District. There is one property to the North and East at 3025 N.
37 Highway 67 in a B-5 District.
38
39

40 **IV. STAFF ANALYSIS:**

41 The application is accompanied by professionally prepared plans: A1.00 and A3.02 dated
42 1/17/21 by Method Architecture. The Petitioner has proposed alternate exterior materials
43 and color predominantly substituting thin brick for architectural block, metal panels of
44 different colors, accent lighting remains. The following are Staff comments on the plans:
45

46 A1.00: Revision note 2 includes 'bubbled note S19' underground conduit to a separately
47 submitted "monument" sign. A monument sign would be subject to another amendment
48 to the B-5. Approval of this amendment would only incorporate the buried power line to
49 this location and does not guarantee approval of a sign design not yet submitted or its
50 location.
51

52 A3.02: It appears the elevations substitute predominant areas of architectural block with
53 thin brick, per the previously submitted construction drawings for building permit. There
54 are color scheme changes that are also proposed as improvements.
55

56 Materials proposed are:

57 ACME Thin Brick "Pikes Peak" Pikes Peak | brick.com
58

59 Provia Obsidian, Edge Cut-

60 Manufactured Stone Colors | Stone Veneer Color (provia.com)
61

62 **VI. STAFF RECOMMENDATIONS:**
63

- 64 1. If recommended approval is granted, the attached shall establish restrictions of the
65 ordinance of this district. Staff supports the aesthetic, as an improvement.
66

67 **Suggested Motion for 2925 N Highway 67 (Take 5 Car Wash):**

68 I move to recommend approval to amend the B-5, as depicted by the attached
69 drawings A1.00 and A3.02 dated 1/17/21 by Method Architecture, subject to
70 the regulations of a 'B-5' Planned Commercial District, Ord. No. 8734 with the
71 following changes to said Ordinance:
72

73 Change Section 1 to remove "Elevations" and substitute drawings A1.00 and A3.02 dated
74 1/17/21 by Method Architecture.
75

76 (Time to complete of 12 months, remains as described in the ordinance.)
77

78 (end report and suggested motion)

1 INTRODUCED BY COUNCILWOMAN PAGANO
2 MARCH 28, 2022

3
4 BILL NO. 9766

ORDINANCE NO.

5
6 **ORDINANCE TO APPROVE A SPECIAL USE PERMIT WITHIN A B-5**
7 **“PLANNED COMMERCIAL DISTRICT” TO ALLOW FOR A NEW**
8 **RESTAURANT LOCATED AT 6 GRANDVIEW PLAZA SHOPPING**
9 **CENTER.**

10
11 WHEREAS, ordinance no. 5239 was passed in 1991 approving the rezoning of the
12 property known as Grandview Shopping Center to a B-5 Planned Commercial District; and

13 WHEREAS ordinance no. 5239 has been amended by ordinance nos.
14 5421,5422,5469,5504,5970 and 6814; and

15 WHEREAS B-5 ordinance no. 5239 specifically requires restaurants to acquire a special
16 use permit to locate in the Grandview Shopping Center; and

17 WHEREAS Jerdo Denis and Princeton Dew d/b/a 2.0 Restaurant and Bar, LLC have
18 filed an application for Special Use Permit to allow for a restaurant as required by B-5 ordinance
19 no. 5239 located at 6 Grandview Plaza Shopping Center; and

20 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
21 recommended to the City Council at their meeting of March 7th, 2022 that special use permit be
22 granted to 2.0 Restaurant and Bar, LLC for the operation of a restaurant within the B-5
23 development established by ordinance no. 5239 and located at 6 Grandview Plaza Shopping
24 Center; and

25 WHEREAS, due and lawful notice of a public hearing no. 22-03-008 on said proposed
26 change was duly published, held and concluded on 28th of March, 2022 by the Council of the
27 City of Florissant; and

28 WHEREAS, the Council, following said public hearing, and after due and careful
29 deliberation, has concluded that special use permit granted to 2.0 Restaurant and Bar, LLC for
30 the operation of a restaurant within the B-5 development established by ordinance no. 5239 and
31 located at 6 Grandview Plaza Shopping Center is in the best interest of the public health, safety
32 and welfare of the City of Florissant; and

33
34 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
35 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

36

37 Section 1: A special use permit is hereby granted to 2.0 Restaurant and Bar, LLC for the
38 operation of a restaurant within the B-5 development established by ordinance no. 5239 and
39 located at 6 Grandview Plaza Shopping Center as depicted by the attached drawings A0.0 and
40 A1.0, dated 1/17/22 by DERU and Associates, LLC subject to the regulations of the 'B-5'
41 Planned Commercial District, Ord. No. 5239 (as amended by Ords. Nos. 5421, 5422, 5469, 5504,
42 5970, and 6814) with permitted uses section amended as follows and the following additional
43 requirements:

44 1. PERMITTED USE CHANGES TO ORD. NO. 5239

45 Change permitted uses in ordinance no. 5239, "Section 1", paragraph "2. Permitted Uses", adding
46 the following sub-paragraph 2:

47 The uses permitted shall include an approximately 4998 square feet sit-down, carryout restaurant
48 and bar for 6 Grandview SC (2.0 Restaurant/Bar.)

- 49 • Maximum Occupancy: 210 occupants.
- 50 • Unfinished area of approximately 1171 square feet shall be closed off from all access.
51 Parking shall accommodate additional occupant load when the area is finished under
52 building permit and Use is established.
- 53 • Prepare an amended Site Development Plan for the proposed occupant load sufficient for
54 this Use and considering parking required for other Uses in the Shopping Center.

55 2. FINAL SITE DEVELOPMENT PLAN

56 An amended Site Development Plan shall be submitted to the Building Commissioner to review
57 for compliance with the applicable "B-5" Planned Commercial Development ordinance prior to
58 recording, per ordinance no. 5239, Section 2, paragraph 8.

59 3. PROJECT COMPLETION.

60 Construction shall start within 90 days of the issuance of building permits for the project and
61 shall be developed in accordance of the approved final development plan within 12 months of
62 start of construction.

63
64 Section 2: This ordinance shall become in full force and effect immediately upon its passage and
65 approval.

68 Adopted this _____ day of _____, 2022.

69
70
71 _____
72 Keith Schildroth
73 President of the Council

74 Approved this _____ day of _____, 2022.

75
76
77 _____
78 Timothy J. Lowery
79 Mayor, City of Florissant
80

81 ATTEST:

82
83 _____
84 Karen Goodwin, MPPA/MMC/MRCC
85 City Clerk

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 MARCH 28TH, 2022

3
4 BILL NO. 9767

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO CHAPTER 120**
7 **“BOARDS, COMMISSIONS AND COMMITTEES” BY DELETING**
8 **ARTICLE XIV “ECONOMIC DEVELOPMENT COMMISSION”**
9

10 WHEREAS the Florissant City Council established the Economic Development
11 Commission by ordinance no. 8737; and
12

13 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
14 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**
15

16
17 Section 1: Chapter 120 “Boards, Commissions and Committees” is hereby
18 amended by deleting article XIV “Economic Development Commission” in its entirety.
19

20 Section 2: This ordinance shall become in force and effect immediately upon its passage
21 and approval.

22 Adopted this _____ day of _____, 2022.
23
24

25 _____
26 Keith Schildroth, Council President

27 Approved this _____ day of _____, 2022.
28

29 _____
30 Timothy J. Lowery, Mayor

31 ATTEST:

32 _____
33 Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN
2 MARCH 28, 2022

3
4 BILL NO. 9768

ORDINANCE NO.

5
6 **AN ORDINANCE AUTHORIZING AN APPROPRIATION OF \$65,000**
7 **FROM THE PARK IMPROVEMENT FUND TO ACCOUNT NO. 09-5-09-**
8 **29440 “BUILDING AND MAINTENANCE – JJE” FOR ADDITIONAL**
9 **YEARLY EXPENSES AT THE JAMES J. EAGAN CENTER.**

10
11 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
12 COUNTY, MISSOURI, AS FOLLOWS:

13
14 Section 1: There is hereby appropriated and set apart from the Park Improvement Fund
15 of the City of Florissant the sum of \$65,000 to Budget Account No. 09-5-09-29440 “Building
16 and Maintenance – JJE” for additional yearly expenses at the James J. Eagan Civic Center.

17 Section 2: This ordinance shall become in force and effect immediately upon its
18 passage and approval.

19
20
21 Adopted this _____ day of _____, 2022.

22
23
24 _____
25 Keith Schildroth
26 President of the Council
27 City of Florissant
28

29
30 Approved this _____ day of _____, 2022.

31
32
33 _____
34 Timothy J. Lowery, Sr.
35 Mayor, City of Florissant
36

37
38 ATTEST:

39
40 _____
41 Karen Goodwin, MMC/MRCC
42 City Clerk
43

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: March 24, 2022

Mayor's Approval: 

Agenda Date Requested: |

28-Mar-22

Appropriate monies to for additional yearly expenses and repairs for JJE for a total of \$65,000 to account # 09-5-09-29440 builing & grounds - JJE

Department: Parks and Recreation

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment	X		

Public Hearing needed: Yes / No

NO

3 readings? : Yes / No

YES

Back up materials attached:

Minutes	
Maps	
Memo	
Draft Ord.	

Back up materials needed:

Minutes	
Maps	
Memo	
Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum

Date: March 24, 2022
To: City Council
Thru: Mayor Tim Lowery
Cc: Kimberlee Johnson
From: Cheryl A. Thompson-Stimage
Subject: Appropriation of Funds – to Park Improvement Funds

MM 3.27.22

I am requesting to appropriate an additional \$65,000 to account -Building and Maintenance – JJE 09-5-09-29440. Unfortunately, we have had many repairs this year to equipment. Repairs to the chillers, plumbing and electric that have had to be made so far this year total approximately \$30,000 along with a \$9,000 repair to the elevator.

The monthly expenses for the building are approximately \$3,300 for janitorial supplies, mat cleaning, extermination, water treatment and various other expenses. For the remained for this fiscal year that would be \$24,000. We still have other repairs that are being held on to for at least another \$20,000. Other unforeseen expense that cannot be projected at this time could be another \$18,000 - \$20,000. Thus, we are asking for an additional \$65,000 for the building expenses at JJE for the year.

Please advise if additional information is needed. Thank you for your consideration on this matter.