



FLORISSANT CITY COUNCIL AGENDA
City Hall
955 rue St. Francois
Monday, March 14, 2022
7:00 PM
Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- City Council Meeting minutes of February 28, 2022

IV. HEARING FROM CITIZENS

V. COMMUNICATIONS

VI. PUBLIC HEARINGS

22-02-003 (Ward 6) Application Staff Rpt Plans	Request to amend Special Use Ordinance no. 8651 to allow for a tire storage structure in a B-3 “Extensive Business District” located at 1685 N. Hwy 67. (Planning and Zoning Commission recommended approval on 2/7/2022) (Postponed to this date on 2/28/2022)	Donnell “Malik” Sims
22-03-005 (Ward 9) Application Staff Rpt Plans	Request to amend ordinance no. 8734 to allow for changes to the exterior material in a B-5 Planned commercial district located at 2925 N. Highway 67. (Planning and Zoning recommended approval on 2-22-22)	Kyle Flaming
22-03-006 (Ward 9) Application Staff Rpt Plans	Request to amend ordinance no. 6669 to allow for a sit-down, drive-through, carryout restaurant in a B-5 Planned commercial district located at 13963 New Halls Ferry Road. (Planning and Zoning recommended approval on 2-22-22)	Mitch Truster
22-03-007 Proposed map Other	Public Hearing to review the report of the Redistricting Commission of the City of Florissant.	Susan Geerling/John Heithaus

VII. OLD BUSINESS

A. BILLS FOR SECOND READING

9760 Memo	Ordinance authorizing an appropriation of \$108,000 from the Capital Improvement to budget account no. 03-5-03-29075 “Building and Grounds Maintenance and Supplies- Janitorial Services”.	Schildroth
9761 Memo	Ordinance authorizing the Mayor of the City of Florissant to enter into an agreement with Bell Cleaning for janitorial services for city facilities.	Schildroth

VIII. NEW BUSINESS

A. BOARD APPOINTMENTS

B. RESOLUTIONS

1038	Resolution of Florissant City Council and Mayor standing in support of Ukraine and urging the end of Russia’s invasion.	Council as a whole
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C. BILLS FOR FIRST READING

9758	Ordinance authorizing an amendment to Special Use Ordinance no. 8651 to allow for a tire storage structure in a B-3 “Extensive Business District” located at 1685 N. Hwy 67.	Mulcahy
9762	Ordinance to amend ordinance no. 8734 to allow for changes to the exterior material in a B-5 Planned commercial district located at 2925 N. Highway 67.	Siam
9763	Ordinance to amend ordinance no. 6669 to allow for a sit-down, drive-through, carryout restaurant in a B-5 Planned commercial district located at 13963 New Halls Ferry Road.	Siam
9764	Ordinance establishing the boundaries of the various wards of the City of Florissant.	Council as a whole
9765 Memo	Ordinance authorizing an appropriation of \$100,000 from the Capital Improvement Fund to budget account no. 03-5-03-50050 “Professional Services-Engineering” for right of way acquisition services for the St. Denis Phase 1 project.	Schildroth

IX. COUNCIL ANNOUNCEMENTS

X. MESSAGE FROM THE MAYOR

XI. ADJOURNMENT

THIS AGENDA WAS POSTED ON THE BULLETIN BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON MARCH 11, 2022 BY 12:00 PM.

ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, MARCH 14, 2022.

CITY OF FLORISSANT



COUNCIL MINUTES

February 28, 2022

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, February 28, 2022 at 7:00 p.m. with Council President Schildroth presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Schildroth, Mulcahy, Pagano, Parson, Siam, Harris, Manganelli, Eagan, and Caputa. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilwoman Pagano moved to approve the City Council Minutes of February 14, 2022, seconded by Siam. Motion carried.

Councilman Schildroth requested a moment of silence for the citizens of Ukraine.

Councilman Schildroth moved to amend the agenda to have the Resolutions before Hearing from Citizens, seconded by Eagan. Motion carried.

The Chair stated that the next item on the agenda was *Resolutions*.

The Council as a whole introduce Resolution 1037 "Resolution of the Florissant City Council and Mayor recognizing March 13, 2022 as St. Patrick's Day in the City of Florissant." Councilman Mulcahy made a motion for a second reading, seconded by Eagan. Motion carried, Resolution 1037 was read for a second time. Councilman Eagan made a motion for a third reading, seconded by Mulcahy.

On roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes. Motion carried, Resolution 1037 was read for a third time. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes. Motion carried, Resolution 1037 was passed. The City Clerk read the resolution in its entirety.

Mayor Lowery thanked the St. Patrick's Day Committee for their hard work over the last 18 months to put together a great St. Patrick's Day Celebration. Councilman Eagan thanked the Council and Mayor for the Resolution as well as the rest of the committee for their hard work.

The next item on the Agenda was *Hearing from Citizens*.

32 Kevin Wacker, 2225 St. Catherine St, proposed an asphalt pump track similar to St. Charles
33 Kinetic Park because they are inclusive to all ages. He noted this is not a skate park, but another
34 alternative option for an area which will allow skateboarding, roller skating, and bicycles. Mr. Wacker
35 stated this is an advantage to kids who don't play ball sports and want another form of exercise year-
36 round. He noted a great location option would be near the new aquatic center at Koch Park. Mr. Wacker
37 concluded this option is a low maintenance place for all skill levels, can be used year-round, and attract
38 people from all around of all ages.

39 The next item on the Agenda was *Public Hearings*.

40 The City Clerk reported that Public Hearing 22-02-003 for the Request to amend Special Use
41 Ordinance no. 8651 to allow for a tire storage structure in a B-3 "Extensive Business District" located at
42 1685 N. Hwy 67. The Chair declared the Public Hearing to be open. He asked if the petitioner was present.

43 Seeing that the petitioner was not in attendance, Councilman Mulcahy moved to postponed Public
44 Hearing 22-02-003 to March 14, 2022, seconded by Pagano. Motion carried.

45 The City Clerk reported that Public Hearing 22-02-004 for the Request to amend Chapter 405.125
46 B-3 "Extensive Business District" subsection B "Use Regulations" by adding "Craft Room" as a
47 permitted use. The Chair declared the Public Hearing to be open.

48 Phil Lum, Building Commissioner, noted the original proposal was for a sewing room and the
49 Planning and Zoning Commission is recommending a craft room with definition and would change the
50 permitted uses for all of the 'B-3' Zoning District. Kacey Starr Long stated the idea is to have an area
51 where people can learn how to craft and sew. She would like the opportunity to create a community of
52 crafters to teach others new skills. Councilman Mulcahy thanked Ms. Long for coming and including
53 him in the process early on as well as coming up with a positive environment for the community. Ms.
54 Long clarified this is part of a non-profit organization, but she has not thought about hosting birthday
55 parties but would host a 'Sip and Sew' with sparkling juices and sewing. Councilman Harris noted he
56 would like to help put her in contact with local schools to teach kids sewing skills. Ms. Long noted the
57 grand opening would be on Saturday, March 5th at noon. Mayor Lowery thanked her for wanting to locate
58 her business in Florissant.

59 Being no further comments, Councilman Schildroth made a motion to close the Public Hearing,
60 seconded by Manganelli. Motion carried.

61 The Chair stated that the next item on the agenda was *Second Readings*.

62 Councilman Schildroth moved Bill No. 9757 an Ordinance authorizing an appropriation of \$4,000
63 from the General Revenue Fund to budget account no. 1-5-4032-030 "Office Supplies and Maintenance"

64 for the purchase of a folding machine for the print shop be read for a second time, seconded by Caputa.
65 Motion carried and Bill No. 9757 was read for a second time.

66 Councilman Schildroth moved that Bill no. 9757 be read for a third time, seconded by Harris.
67 Motion carried and Bill No. 9757 was read for a third time and placed upon its passage. Before the final
68 vote all interested persons were given an opportunity to be heard.

69 Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Mulcahy
70 yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes.

71 Whereupon the Chair declared Bill No. 9757 to have passed and become Ordinance No. 8765.

72 The Chair stated that the next item on the agenda was *Bills for First Reading*.

73 Councilman Mulcahy moved to remove Bill No. 9758 an Ordinance authorizing an amendment
74 to Special Use Ordinance no. 8651 to allow for a tire storage structure in a B-3 “Extensive Business
75 District” located at 1685 N. Hwy 67, seconded by Schildroth. Motion carried.

76 Councilman Schildroth introduced Bill No. 9759 an Ordinance authorizing an amendment to
77 section 405.035 “Definitions” by adding a definition for “Craft Room” and section 405.125 “B-3
78 Extensive Business District” subsection B “Use Regulations” by adding “Craft Room” as a permitted use
79 was read for the first time.

80 Councilman Mulcahy moved that Bill No. 9759 be read for a second time, seconded by Pagano.
81 Motion carried and Bill No. 9759 was read for a second time.

82 Councilman Mulcahy moved that Bill No. 9759 be read for a third time, seconded by Caputa. On
83 roll call the Council voted: Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes,
84 Manganelli yes, Eagan yes, and Caputa yes. Having received a unanimous vote of all members present
85 Bill No. 9745 was read for a third and final time and placed upon its passage. Before the final vote all
86 interested persons were given an opportunity to be heard.

87 Being no persons who wished to speak, on roll call the Council voted: Schildroth yes, Mulcahy
88 yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, Eagan yes, and Caputa yes.

89 Whereupon the Chair declared Bill No. 9759 to have passed and become Ordinance No. 8766.

90 Councilman Schildroth introduced Bill No. 9760 an Ordinance authorizing an appropriation of
91 \$108,000 from the Capital Improvement to budget account no. 03-5-03-29075 “Building and Grounds
92 Maintenance and Supplies – Janitorial Services” was read for the first time.

93 Councilman Schildroth introduced Bill No. 9761 an Ordinance authorizing the Mayor of the City
94 of Florissant to enter into an agreement with Bell Cleaning for janitorial services for city facilities was
95 read for the first time.

96 The next item on the Agenda was *Council Announcements*.

97 Councilman Manganelli reminded residents of the joint ward meeting for Wards 1 through 4 on
98 Tuesday, March 29th at 6:30pm at the JFK Community Center.

99 Councilman Eagan reminded residents to donate to TEAM food pantry. He noted this coming
100 weekend marks the first of four weekends for the St. Ferdinand Basketball Tournament and Barbeque
101 and it begins on Saturday and Sunday each weekend.

102 Councilman Caputa reminded residents to lock firearms securely in their home rather than their
103 vehicle and to turn on porch lights to deter crime as well as keeping an eye on their pets.

104 Councilman Mulcahy thanked everyone who came out to the Ward 6 meeting with about 60 being
105 in attendance online or in person. He thanked Mayor Lowery, Chief Fagan, Chief Hoevelmann, and Judge
106 Dorsey for their participation as well and the city employees who took care of the community and kept
107 them safe during the snow storm.

108 Councilman Parson recognized Langston Hughes for the last day of Black History Month who
109 was a poet, activist, novelist, playwright, and columnist. Mr. Hughes was from Joplin, Missouri and one
110 of the first writers of the artform called jazz poetry. He is also known as a leader of the Harlem
111 Renaissance.

112 Councilman Schildroth wished Roodey Piazza a Happy 99th birthday.

113 The next item was *Mayor Announcements*.

114 Mayor Lowery noted the April 5th ballot will have Proposition U for the use tax for internet sales
115 and Proposition A for the aquatic center. He stated more information would be distributed in the coming
116 weeks while also holding open houses on Thursday, March 10 from 6:30pm to 8pm located at JFK Center
117 and Wednesday, March 23rd from 6:30pm to 8pm at JJE Center. Mayor Lowery encouraged residents to
118 call if they have any questions about the propositions and noted their importance to the city. Mayor
119 Lowery stated Angie's All-Inclusive Playground Grand Opening would be Saturday, March 26th at 11am
120 with many events planned for the day at Mannion Park. He stated the Florissant Valley of Flowers is
121 taking place May 6-8th and the event would be moving forward this year. Mayor Lowery reminded
122 residents of the St. Patrick's Day events on March 13, 2022.

123 Mr. Hessel noted the liquor license request for Plush Lounge which was continued from the
124 February 14, 2022 meeting was withdrawn from the agenda by the petitioner.

125 The Council President stated that the next regular City Council Meeting will be Monday, March
126 28, 2022 at 7:00 pm.


127 Councilman Schildroth moved to adjourn the meeting, seconded by Parson. Motion carried. The
128 meeting was adjourned at 7:36 p.m.

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The following Bills were signed by the Mayor:

- Bill No. 9757 Ord. No. 8765
- Bill No. 9759 Ord. No. 8766
- Resolution 1037



Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



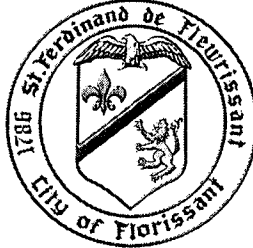
In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, February 28, 2022 at 7:00 p.m. on the following proposition:

To amend Special Use No. 9638 to allow for a tire storage structure in a 'B-3' Extensive Business District located at 1685 N. Hwy 67 (QuickStop Automotive). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

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MEMORANDUM



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CITY OF FLORISSANT- Building Division

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To: Planning and Zoning Commissioners Date: December 22, 2021

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: 1685 N Hwy 67 Request Recommended Approval to amend a Special Use to allow for tire storage in a 'B-3' Extensive Business District.

STAFF REPORT

CASE NUMBER PZ-010322-3

I. PROJECT DESCRIPTION:

This is a request for Recommended Approval to amend a Special Use to allow for an accessory structure tire storage, with screening, in a 'B-3' Extensive Business District.

II. EXISTING SITE CONDITIONS:

The existing property at 1685 N Hwy 67 is a property which changed from a 'B-1' Local Shopping District to a 'B-3' Extensive Business District. This tenant space was operating as a Special Use as an "Automotive Service Garage" and would now be deemed a legal Special Use after re-zoning, although there is no written ordinance that lists restrictions.

The subject property is approximately 0.66 Acres. There are plans attached which shows the boundary limits and proposed structures.

The existing building was built in 1978 per County record, which lists the portion of the Shopping Center that currently houses offices as 4218 s.f. and the current Auto Repair area as 1305 s.f. This county data probably was obtained from Aerial measurement or other data.

41 **III. SURROUNDING PROPERTIES:**

42 The property to the West is 1575 N Highway 67 (Cugino's) is zoned similarly in the 'B-
43 1' Local Shopping District. The properties to the North are 44, 46, 48 and 50 St Celeste
44 in the 'R-4' Single Family Dwelling District.

45
46 **IV. STAFF ANALYSIS:**

47 Plans received from the applicant include A-1 Existing Conditions and Site Plan and A-2
48 Elevations by James Zavist, Registered Architect, all dated 11/19/2021.

49
50 Comments on Sheet A-1

51 This sheet contains an aerial photo and proposed structure location.

52
53 The size of the tenant space is 1200 s.f.

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55 Site Plan: The site is in compliance with the parking code as follows:

56 Parking required 3 spaces for each bay and employees on the maximum shift. Site plan
57 indicates the same pattern of vehicles on the parking lot.

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59 Parking required for the entire building as calculated by staff:

60 Office portion of Shopping Center if 4218 s.f. @ 3/1000 s.f. = 12.6 spaces, 13 provided.

61 Automotive Service Garage: 3 space per each bay plus employees = 6 plus a number of
62 parking for staff. The petitioner does not address exactly how many max. staff, so it's
63 reasonable to assume a number similar to other repair shops, i.e. a certain number of staff
64 per bay and receptionist. 1 or 2 per bay and one reception might work, say 5 spaces max
65 for employees. If so, total required spaces = 11 spaces. Site plan aerial shows parking
66 striping, 31 provided, complies.

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68
69 Existing Floor Plan layout: 2 bays and customer area exist, drinking fountains, ADA
70 entry, doors and ADA restroom. The previous tenant of over 35 years was Voss
71 Automotive Repair shop.

72
73 The proposed tire storage consists of a shipping container with vinyl fence screening for
74 concealing the shipping container.

75
76 **III. STAFF RECOMENDATIONS:**

77 **Suggested Motion:**

78 I move for Recommended Approval to amend a Special Use to allow for a tire storage
79 structure in a 'B-3' Extensive Business District as shown on plans A-1 Existing
80 Conditions and Site Plan and A-2 Elevations by James Zavist, Registered Architect, all
81 dated 11/19/2021. attached, subject to the conditions set forth below with these conditions
82 being part of the record:

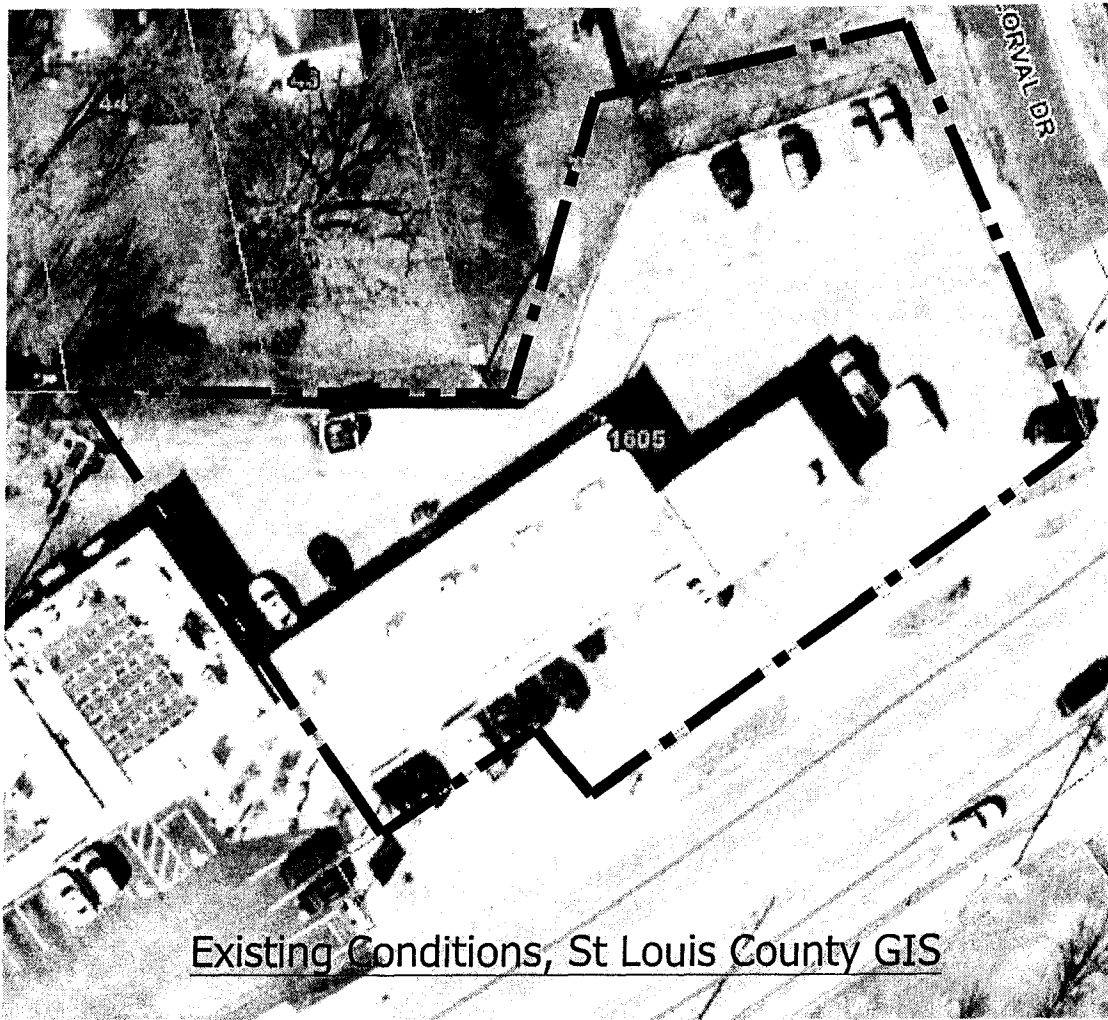
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84 **1. Screening: Petitioner shall install a screen consisting of the following**
85 **(options):**

- 86 **a. 90% opacity slats within existing chainlink fence.**

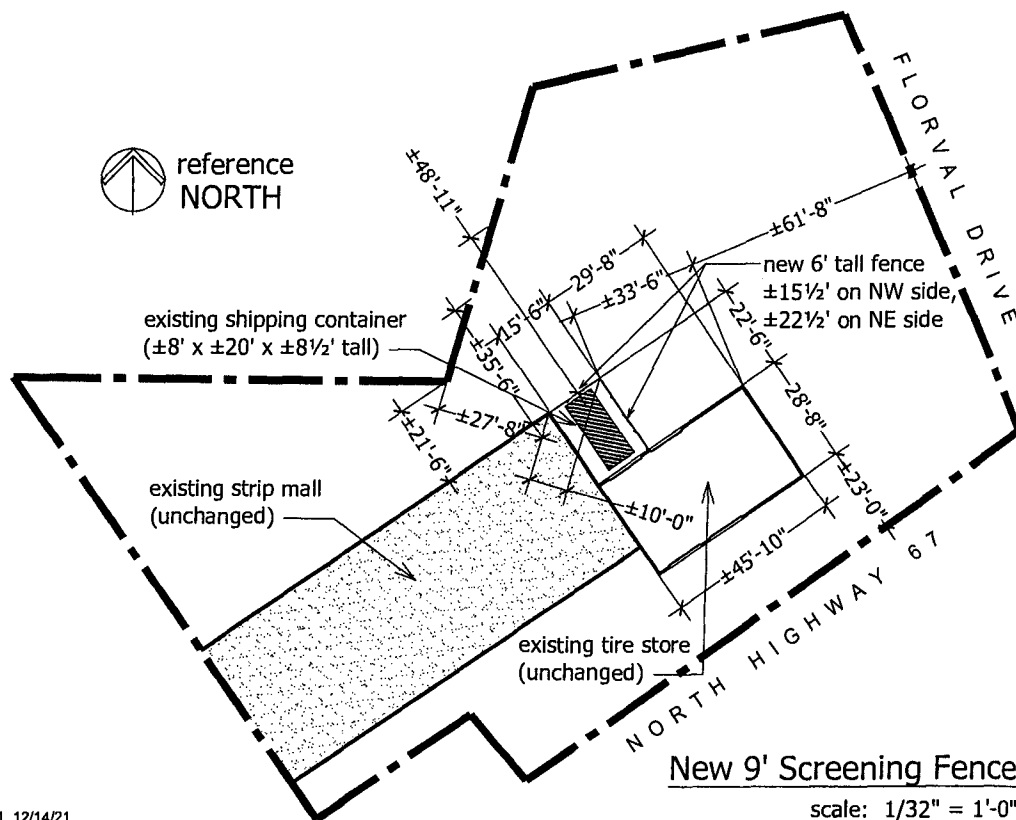
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- b. New 6' heavy duty vinyl fence.
- c. New 6' concrete fence.
- 2. **Signage:** Petitioner shall install signage consisting of the following:
 - a. Posting City Noise ordinances and penalties in the rear of the property at bay entrances and each parking space.
 - b. Post employee parking signs at each employee parking space.
- 3. No outside repair activities permitted.
- 4. **Tire Displays:** Limited to rack storage as approved by the Planning & Zoning Commission.
- 5. No other outside storage of tires.

(End of report and suggested motion)



Existing Conditions, St Louis County GIS



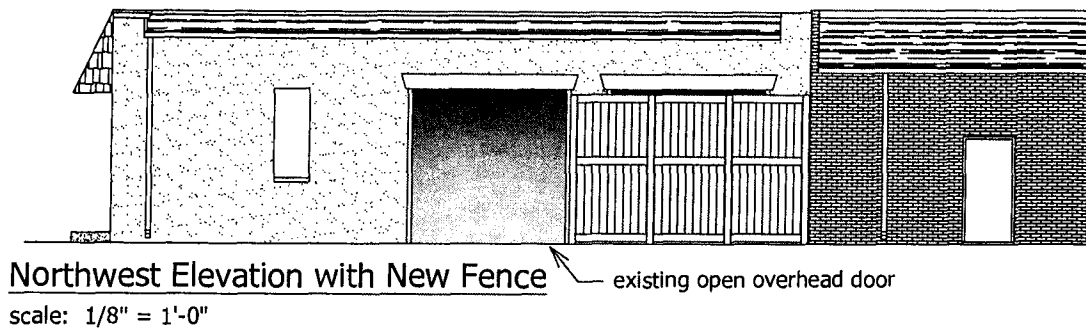
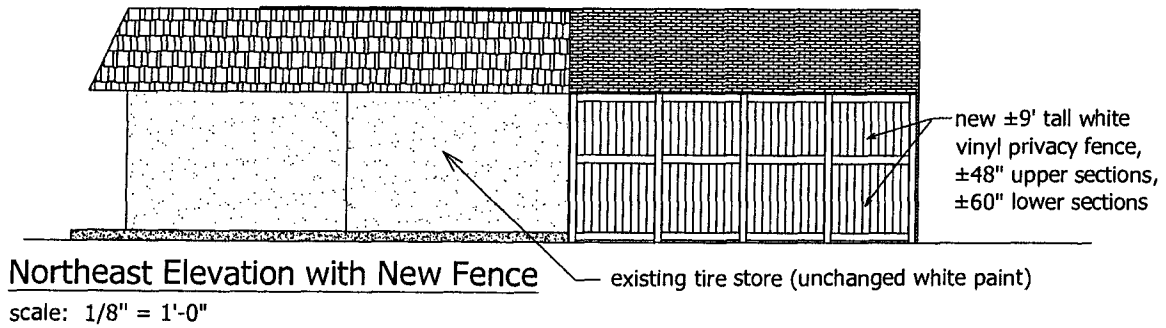
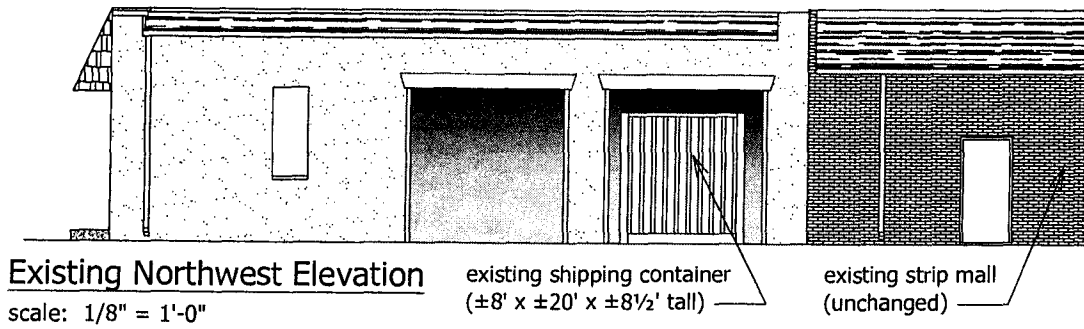
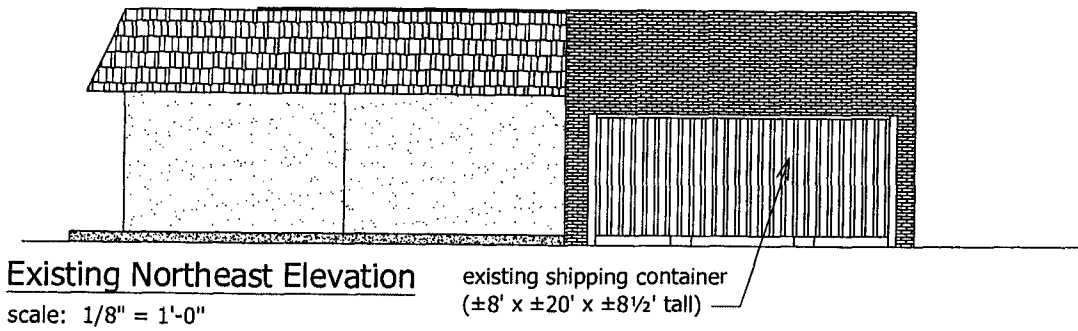
Issue Dates: 11/19/21, 12/14/21

Tire Store Fence - 1685 N Hwy 67

Florissant, Missouri

James Zavist, Registered Architect

707 Hutchins Dr, St Louis, MO 63126, 314-973-6724, jzavist@gmail.com



**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward 6 Zoning 'B-3'

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN: [Signature] DATE: 2-7-22

SPECIAL PERMIT FOR Container Storage (Tires)
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- 8651 TO ALLOW FOR Tire Storage Structures
ordinance # Statement of what the amendment is for.

LOCATION 1685 N. Hwy 67, Florissant, MO 63031
Address of property.

1) Comes Now Quick Stop Tire Shop ← DBA
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Owned
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for Installing and repairing cars on vehicle and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

x Omar hassein /ouren / _____
 PRINT NAME SIGNATURE email and phone

FOR _____
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
1. I (we) have a legal interest in the herein above described property.
 2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Donnell "Malik" Sims / Donnell Malik Sims
 ADDRESS 2161 Thurman Ave #6, St. Louis, MO 63110
 STREET CITY STATE ZIP CODE
 TELEPHONE / EMAIL 314)695-0751 / Donnellsimsmaurice@gmail.com
 BUSINESS

I (we) the petitioner (s) do hereby appoint Donnell "Malik" Sims as
 Print name of agent.
 my (our) duly authorized agent to represent me (us) in regard to this petition.

x /ouren
 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual X Partnership _____ Corporation XX

(a) If an individual:

- (1) Name and Address Omar Hussein
- (2) Telephone Number 636-290-0769
- (3) Business Address 1685 N. Hwy 67, Florissant, MO 63031
- (4) Date started in business 12-20-2020
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name N/A

Address _____

Property Owner _____

Location of property _____

Dimensions of property _____

Property is presently zoned _____ Requests Rezoning To _____

Proposed Use of Property _____

Type of Sign _____ Height _____

Type of Construction _____ Number Of Stories _____

Square Footage of Building _____ Number of Curb Cuts _____

Number of Parking Spaces _____ Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

- 1. Zoning of adjoining properties.
- 2. Show location of property in relation to major streets and all adjoining properties.
- 3. Show measurement of tract and overall area of tract.
- 4. Proposed parking layout and count, parking lighting.
- 5. Landscaping and trash screening.
- 5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

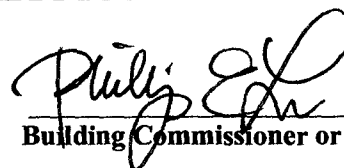
PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

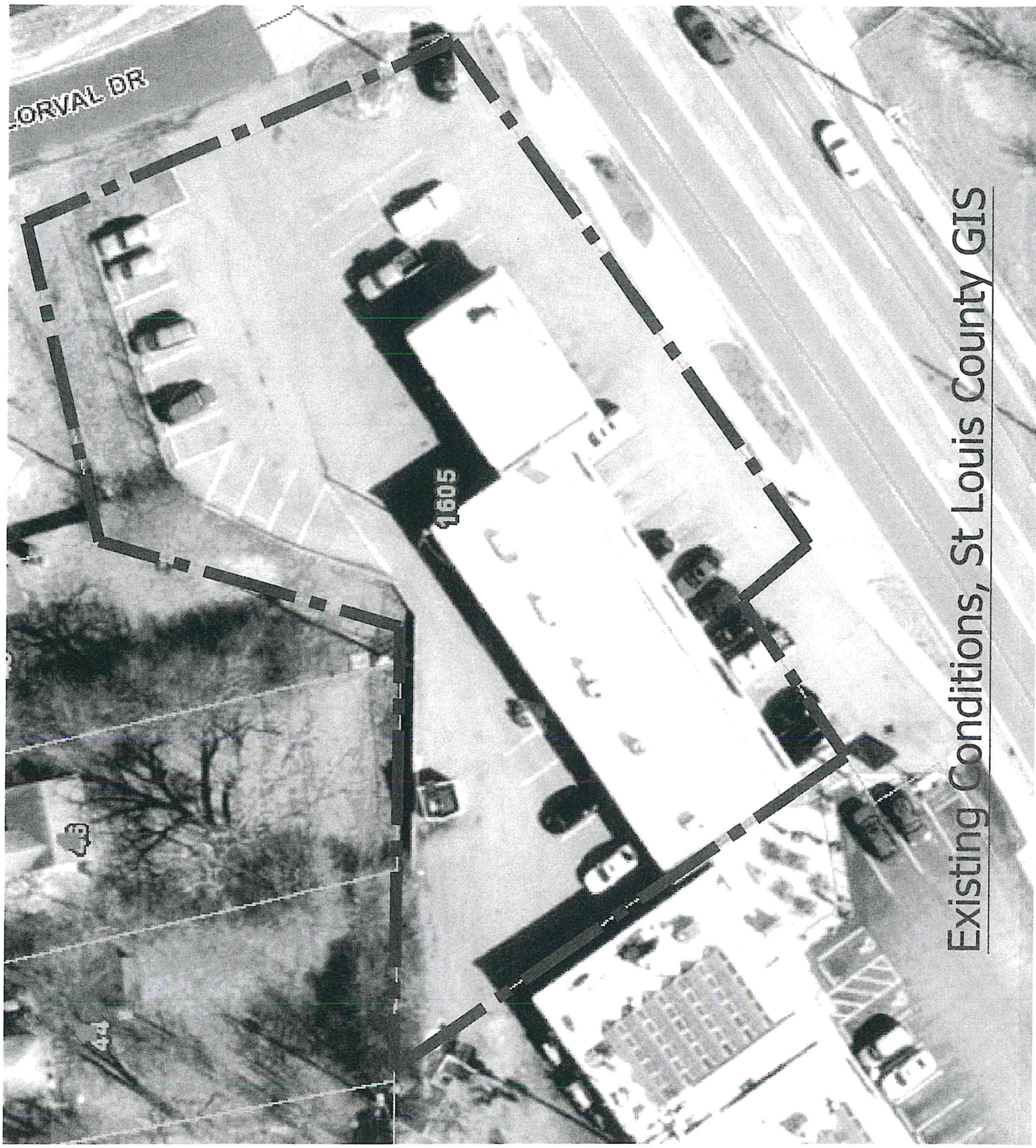
Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

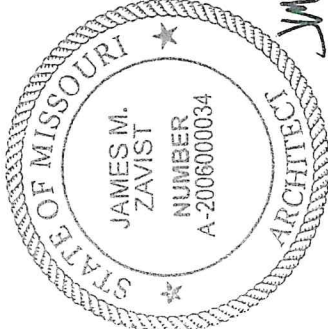
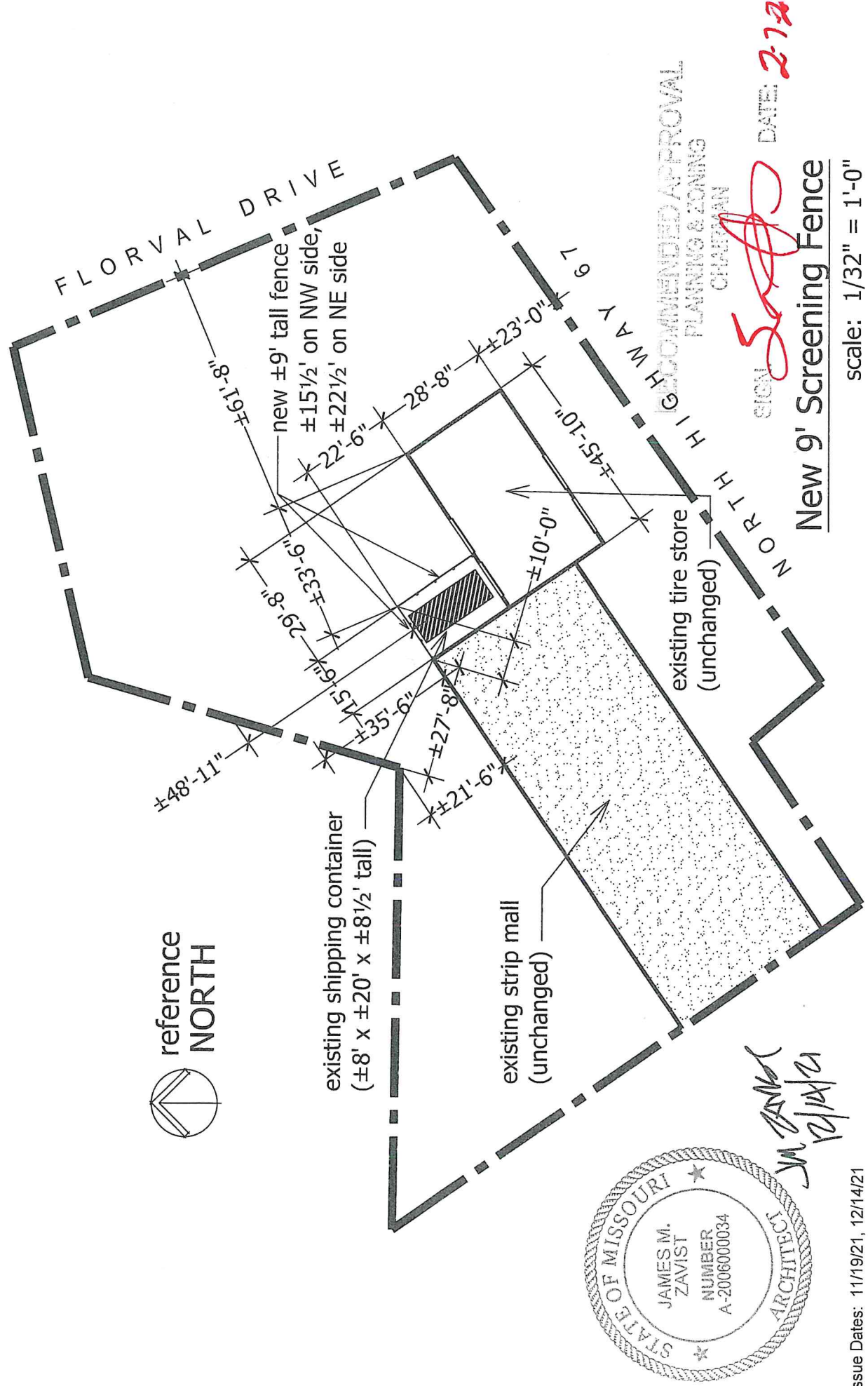
Date Application reviewed _____

STAFF REMARKS: _____

 12/28/21
Building Commissioner or Staff Signature



Existing Conditions, St Louis County GIS



Issue Dates: 11/19/21, 12/14/21

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

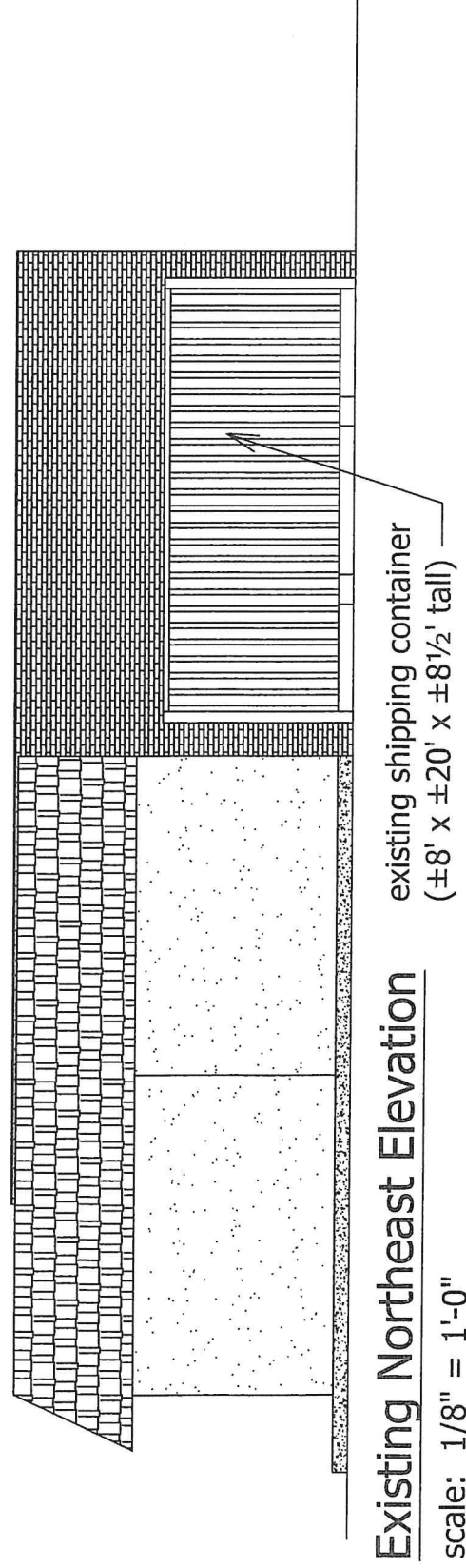
SIGN *[Signature]* DATE: 2-7-22

New 9' Screening Fence

scale: 1/32" = 1'-0"

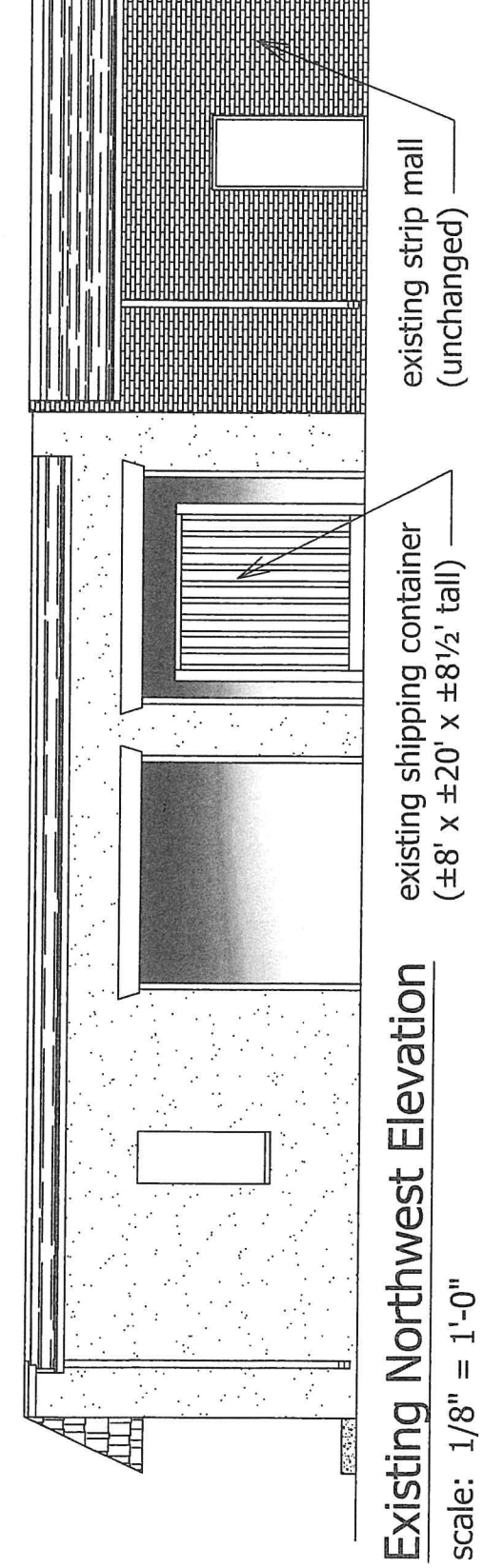
Tire Store Fence - 1685 N Hwy 67

James Zavist, Registered Architect
Florissant, Missouri
707 Hutchins Dr, St Louis, MO 63126, 314-973-6724, jzavist@gmail.com



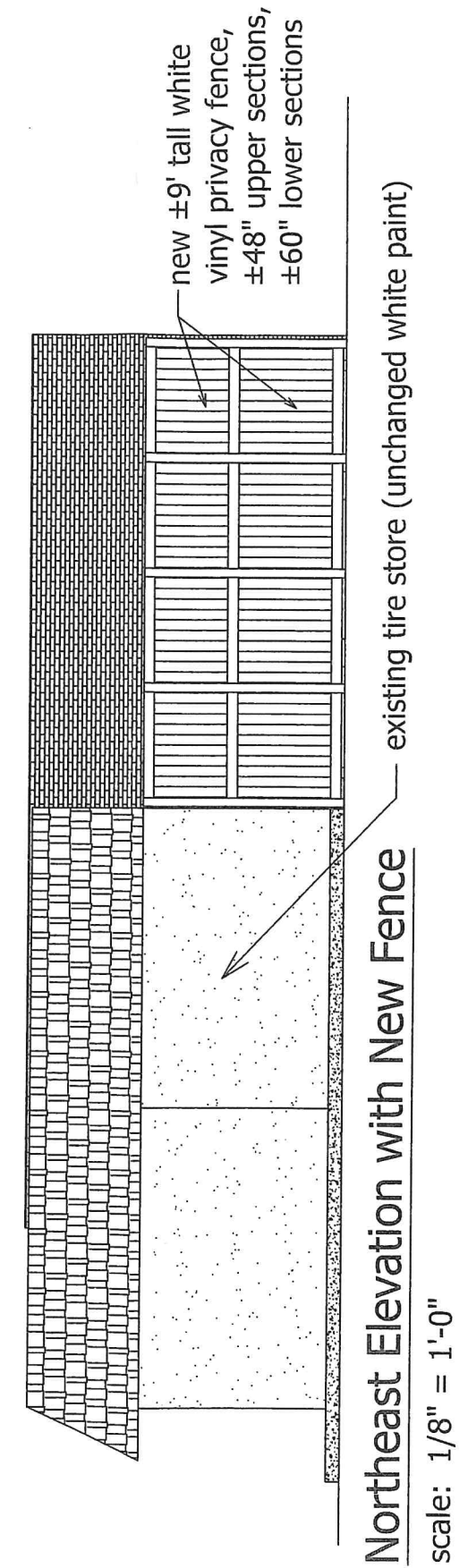
Existing Northeast Elevation

scale: 1/8" = 1'-0"



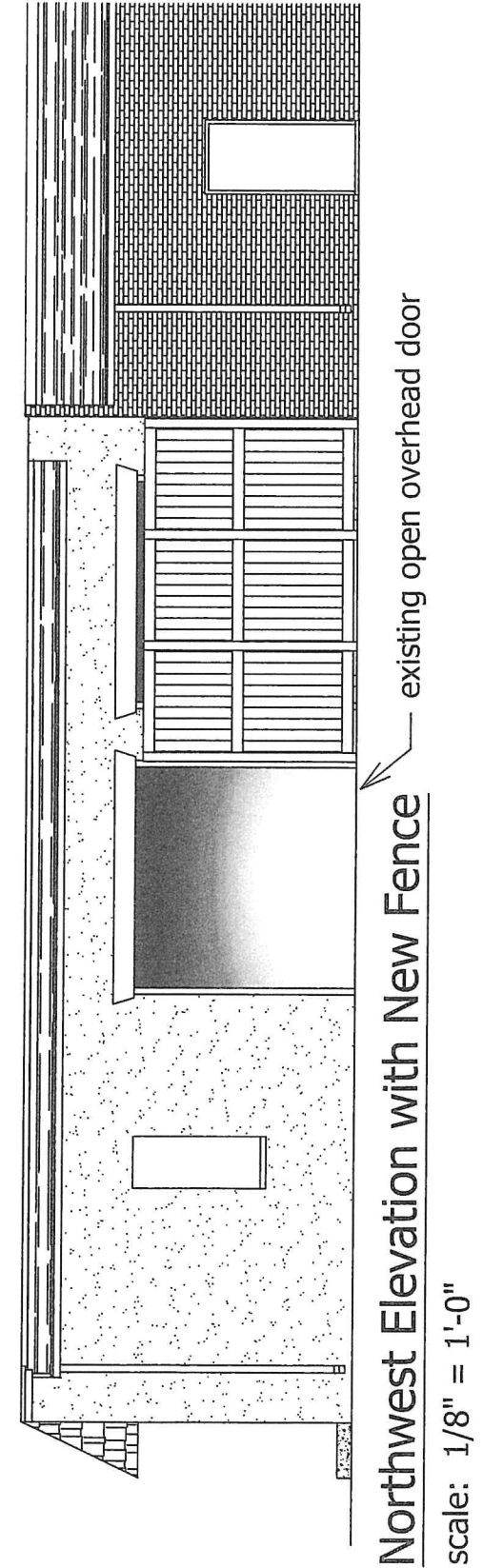
Existing Northwest Elevation

scale: 1/8" = 1'-0"



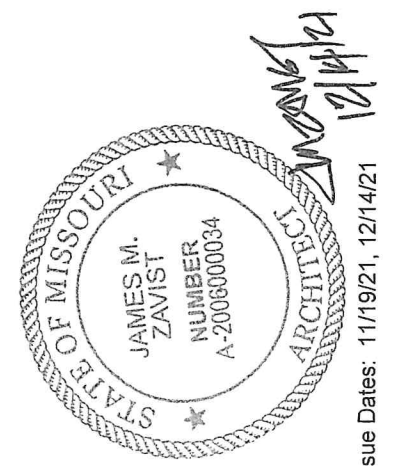
Northeast Elevation with New Fence

scale: 1/8" = 1'-0"



Northwest Elevation with New Fence

scale: 1/8" = 1'-0"



Issue Dates: 11/19/21, 12/14/21

Tire Store Fence - 1685 N Hwy 67

Florissant, Missouri

James Zavist, Registered Architect

707 Hutchins Dr, St Louis, MO 63126, 314-973-6724, jzavist@gmail.com

CITY OF FLORISSANT

Public Hearing

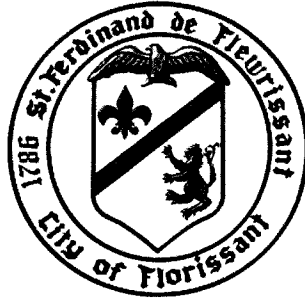


In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 14, 2022 at 7:00 p.m. on the following proposition:

To amend Ord. No. 8734 to allow for changes to the exterior material in a 'B-5' Planned Commercial District located at 2925 N Highway 67 (Take 5 Carwash). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DISTRICT



PLANNING & ZONING ACTION:

Address of Property:

2925 N. Highway 67 (Lindbergh Blvd.)

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward _____ Zoning _____

SIGN:

DATE:

2-22-22

Initial Date Petitioner Filed _____

Building Commissioner to complete ward, zoning & date filed

PETITION FOR A B-5 RE-ZONING:

1) Comes Now Boing US Holdco, Inc. a Delaware corporation

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Lessee (copy of lease submitted with application)

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 1.09
- 2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B3 District and is presently being used for: Vacant building, previously used for restaurant

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following purpose to justify the re-zoning to a B-5:

Construction of an automated express car wash facility

List purpose for this request.

- 4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
- 5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME **Boing US Holdco, Inc.**

Print Name

By:

DocuSigned by:

Scott O'Melia

8D7C02EDB40D46C...

Scott O'Melia, Executive VP

PETITIONER(S) SIGNATURE (S)

FOR **Boing US Holdco, Inc.**

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or LLC Managing PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 6. I (we) hereby certify that (indicate one of the following):
 - () I (we) have a legal interest in the herein above described property.
 - (X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE

[Handwritten Signature]

ADDRESS 1101 Central Expressway S., Suite 215 **Allen** **Texas** **75013**

STREET **CITY** **STATE** **ZIP CODE**

TELEPHONE NUMBER **(469) 270-3758**

I (we) the petitioner (s) do hereby appoint **BUSINESS Kyle Flaming** **Boing US Holdco, Inc.** as
 my (our) duly authorized agent to represent me (us) in regard to this petition.
 Print name of agent.

By:

DocuSigned by:

Scott O'Melia

8D7C02EDB40D46C...

Signature of Petitioner(s) or Authorized Agent

Scott O'Melia, Executive VP

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation/LLC:

(a) If an Individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a Partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a Corporation or LLC:

- (1) Names & addresses of all partners Jonathan Fitzpatrick, CEO
- (2) Telephone numbers (704) 377-8855
- (3) Business address 440 South Church St., Ste. 700, Charlotte, NC 28202
- (4) State of corporation & a photocopy of incorporation papers DE - Corporate documents submitted with application
- (5) Date of corporation Incorporated 07/28/2015 in Delaware
- (6) Missouri Corporate Number Qualification in Missouri pending with Missouri Sec. of State's Office
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. Pending application with the Missouri Secretary of State's Office
- (8) Name in which business is operated Take 5 Car Wash Express
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Boing US Holdco, Inc.

Address 440 S. Church St., Ste. 700, Charlotte NC 28202

Property Owner National Retail Properties, LP

Location of property 2925 N. Highway 67 (Lindbergh Blvd.)

Dimensions of property 311' x 162' (1.08 acres)

Current Use of Property Vacant building

Proposed Use of Property Automated Express Car Wash

Type of Sign _____ Height _____

Type of Construction Type III-B Number Of Stories 1

Square Footage of Building 4219 sf Number of Curb Cuts 1. using existing curb cut

Number of Parking Spaces 21 Sidewalk Length _____

Landscaping: No. of Trees 5 Diameter 2.5

No. of Shrubs 67 Size 3 gals and 5 gals

Fence: Type none Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

1) a. Uses - Are uses stipulated _____ Yes / No

b. What current District would this proposal be a permitted use: _____

c. Proposed uses for out lots: _____

2) Performance Standards:

a) Vibration: Is there any foreseen vibration problems at the property line? Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No

c) Odor is there any foreseen problem with odor? Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. I on the Ringleman Chart? Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No

f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? Yes / No

g) Is there any dangerous amount of radiation produced from the operation? Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? Yes / No

j) Is buildings screened from adjoining residential? Yes / No

3) Are height of structures shown? Yes / No

4) Are all setbacks shown? Yes / No

5) Are building square footages shown? Yes / No

6) What is the exterior construction of the buildings? _____

7) Is off street loading shown? Yes / No

8) Parking:

a) Does parking shown meet the ordinance? Yes / No

b) Is a variance required in accordance with the ordinance? Yes / No

c) Ratio shown _____ to _____

d) Total Number _____

e) Will cross access and cross parking agreements be required? Yes / No

f) Is the parking lot adequately landscaped? Yes / No

9) Are there any signs? Yes / No

Number of signs shown _____

Type of Signs _____

Are sizes, heights, details, and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient handicapped access? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

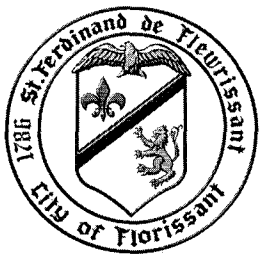
25) Staff Comments: _____

Date Application reviewed

Building Commissioner or Staff Signature

1

MEMORANDUM



2

CITY OF FLORISSANT- BUILDING DEPARTMENT

3

4

5

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

6

7

To: Planning and Zoning Commissioners Date: February 16, 2022

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From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E
Director Public Works
Deputy City Clerk
Applicant
File

15

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17

Subject: Request **Recommended Approval** to amend a **'B-5' at 2925 N Highway 67 Take 5 Carwash** Ord. No. 8734) to allow for proposed changes in exterior materials.

18

19

STAFF REPORT
CASE NUMBER PZ-022222-1

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I. PROJECT DESCRIPTION:

This is a request recommended approval to amend a 'B-5' planned commercial district to allow for changes in exterior materials.

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II. EXISTING SITE CONDITIONS:

The existing property at **2925 N. Highway 67** is a vacant property (and was formerly Denny's).

The property is proposed to be a new car wash after the existing restaurant is removed. Building permits were submitted with different exterior materials than approved in Ord. No. 8734. The petitioner proposes the improved exterior design, including changes to exterior materials.

III. SURROUNDING PROPERTIES:

The adjacent property to the West is an access drive to 14249 New Halls Ferry, a Self-Storage Facility in a B-5 District. There is one property to the North and East at 3025 N. Highway 67 in a B-5 District.

40 **IV. STAFF ANALYSIS:**

41 The application is accompanied by professionally prepared plans: A1.00 and A3.02 dated
42 1/17/21 by Method Architecture. The Petitioner has proposed alternate exterior materials
43 and color predominantly substituting thin brick for architectural block, metal panels of
44 different colors, accent lighting remains. The following are Staff comments on the plans:
45

46 A1.00: Revision note 2 includes ‘bubbled note S19’ underground conduit to a separately
47 submitted “monument” sign. A monument sign would be subject to another amendment
48 to the B-5. Approval of this amendment would only incorporate the buried power line to
49 this location and does not guarantee approval of a sign design not yet submitted or its
50 location.
51

52 A3.02: It appears the elevations substitute predominant areas of architectural block with
53 thin brick, per the previously submitted construction drawings for building permit. There
54 are color scheme changes that are also proposed as improvements.
55

56 Materials proposed are:

57 ACME Thin Brick “Pikes Peak” Pikes Peak | brick.com

58 Provia Obsidian, Edge Cut-

59 Manufactured Stone Colors | Stone Veneer Color (provia.com)
60
61

62 **VI. STAFF RECOMMENDATIONS:**

63
64 1. If recommended approval is granted, the attached shall establish restrictions of the
65 ordinance of this district. Staff supports the aesthetic, as an improvement.
66

67 **Suggested Motion for 2925 N Highway 67 (Take 5 Car Wash):**

68 I move to recommend approval to amend the B-5, as depicted by the attached
69 drawings A1.00 and A3.02 dated 1/17/21 by Method Architecture, subject to
70 the regulations of a ‘B-5’ Planned Commercial District, Ord. No. 8734 with the
71 following changes to said Ordinance:
72

73 Change Section 1 to remove “Elevations” and substitute drawings A1.00 and A3.02 dated
74 1/17/21 by Method Architecture.
75

76 (Time to complete of 12 months, remains as described in the ordinance.)
77

78 (end report and suggested motion)

* KEYNOTES - SITE

#	NOTE
S1	CONCRETE DUMPSTER PAD AND APRON, RE: CIVIL
S2	PARKING STRIPE, RE: CIVIL
S3	ADA PARKING SIGNAGE, RE: CIVIL
S4	CONCRETE WHEEL STOP, RE: CIVIL
S5	ILLUMINATED MONUMENTAL SIGNAGE, TO BE PERMITTED SEPARATELY. GC TO CONFIRM LOCATION W/ OWNER
S6	STOP/GO TRAFFIC LIGHT EQUIPMENT, RE: ELECTRICAL
S7	LIGHT POLE, RE: ELECTRICAL
S8	VENDING MACHINE PROVIDED BY OWNER
S9	PAD MOUNTED UTILITY TRANSFORMER, RE: CIVIL
S10	OVERHEAD VACUUM LINE FURNISHED AND INSTALLED BY CONTRACTOR
S11	VACUUM ARCHES, RE: DETAIL 5/A1.02
S12	SPLASH BLOCK
S13	4" PURE CLEAN UNDERGROUND WATER RECLAMATION HOLDING TANKS, RE: PLUMBING
S14	UNDERGROUND WATER / WATER SEPARATOR TANK, RE: PLUMBING
S15	6" SOLID CORE PVC BURIED PRIMARY VACUUM PIPE
S16	6" SOLID CORE PVC SECONDARY VACUUM PIPE
S17	6" BACK-UP VACUUM PIPE STUB LOCATION
S18	REFER TO EQUIPMENT VENDOR FOR ALL FINAL CAMERA LOCATIONS
S19	PROVIDE UNDERGROUND CONDUIT WHERE SHOWN FOR REMOTE SITE MONUMENT SIGN. MONUMENT SIGN TO BE PERMITTED SEPARATELY. GC TO CONFIRM WITH OWNER FOR FINAL LOCATION PRIOR TO START OF WORK. RE: MEP DRAWINGS.

- OWNER FURNISHED PRODUCTS AND NOTES**
- REFER TO ENLARGED SITE PLANS AND SITE DETAILS FOR ADDITIONAL INFORMATION REGARDING OWNER FURNISHED PRODUCTS & RESPONSIBILITIES
 - OWNER'S CONTRACTOR SHALL FURNISH AND INSTALL 3/4" COMPRESSED AIR TUBING FROM EQUIPMENT ROOM TO EACH VACUUM STALL ROWS. GC SHALL PROVIDE UNDERGROUND PVC CHASE PER PLUMBING DRAWINGS.
 - MONUMENT/POLE SIGN AND FOOTING FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. SHOULD THE SIGN HAVE A BASE, GC SHALL FURNISH AND INSTALL THE SPECIFIED FINISHED MATERIAL. GC SHALL FURNISH AND INSTALL REQUIRED POWER PER ELECTRICAL DRAWINGS.
 - OWNER SHALL FURNISH A TEMPORARY "COMING SOON" SIGN TO BE INSTALLED BY GC. THE GC SHALL INTALL (2) 4"x4"x12" PRESSURE TREATED POSTS PAINTED PRIMER WHITE EMBEDDED A MINIMUM 3'-0" DEEP IN CONCRETE FOOTING. GC TO COORDINATE WITH OWNER CONTRACTOR.
 - SITE SIGNAGE SHALL BE FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. GENERAL CONTRACTOR TO FURNISH AND INSTALL POWER & DATA PER ELECTRICAL DRAWINGS.
 - VENDING MACHINE FURNISHED AND INSTALLED BY OWNER'S CONTRACTOR. GENERAL CONTRACTOR TO FURNISH AND INSTALL POWER & DATA PER ELECTRICAL DRAWINGS.
 - VACUUM ARCHES FURNISHED AND INSTALLED BY EQUIPMENT MANUFACTURER. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ALL UNDERGROUND VACUUM LINE PIPING, ELECTRICAL CONDUIT AND WIRE, TRENCHING, BACKFILLING, EMBEDS, JABOLTS, AND FOOTINGS. REFER TO MANUF. DRAWINGS FOR COMPLETE INSTALLATION REQUIREMENTS OF VACUUM SYSTEM

FIRE DEPARTMENT ACCESS WAY DESIGNATION

POSTING SHALL BE AT THE EXTREMITIES OF SUCH FIRE LANE, AND SHALL BE LETTERED, "FIRE LANE—NO PARKING AT ANY TIME." SUCH SIGNS SHALL BE OF A STANDARD SIZE, COLOR, LETTERING, AND MOUNTING SO AS TO CONFORM TO SAMPLES AND INSTRUCTIONS FOR SAME TO BE OBTAINED FROM THE DEPARTMENT OF TRAFFIC AND TRANSPORTATION.

"FIRE LANES" DESIGNATED AS SET OUT ABOVE SHALL ALSO BE CONSPICUOUSLY MARKED WITH A RED PAINTED LINE AT LEAST FOUR (4) INCHES WIDE AROUND THE PERIMETER THEREOF WITH THE WORDS "FIRE LANE" IN LETTERS AT LEAST TEN (10) INCHES HIGH PAINTED ON THE SURFACE OR, IN THE EVENT AREAS ARE DESIGNATED AS "FIRE LANES" THE SURFACE OF WHICH IS NOT AMENABLE TO PAINT, THEN THE AREA WILL BE CONSPICUOUSLY DESIGNATED BY SIGNS NOT LESS THAN FOUR (4) FEET TALL.

FIRE DEPARTMENT ACCESS WAY

FIRE CODE ACCESS WAY TO MEET ALL APPLICABLE REQUIREMENTS OF IFC, APPENDIX D

ALL FIRE DEPARTMENT ACCESS ROADS COMPLY WITH IBC SECTION 503.2.3 (SURFACE) - FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND CONSTRUCTED TO SUPPORT THE IMPOSED LOADS OF 75,000 POUNDS FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES - STRIPE FIRE LANE

FIRE HYDRANTS

REFER TO CIVIL DRAWINGS FOR LOCATIONS OF EXISTING AND PROPOSED FIRE HYDRANTS

GENERAL NOTES - SITE

REFER TO BOUNDARY SURVEY TO ESTABLISH PROPERTY LINES AND EASEMENTS

REFER TO GEOTECHNICAL INVESTIGATION REPORT FOR PAVING SUBGRADE

REFER TO CIVIL DRAWINGS FOR SITE GRADING/DRAINAGE AND DRIVEWAY AND DETENTION DETAILS

REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE AND IRRIGATION SCOPE

ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 1:50 SLOPE IN ANY DIRECTION

ACCESSIBLE ROUTES FROM PARKING TO BUILDING SHALL NOT EXCEED 1:20 SLOPE

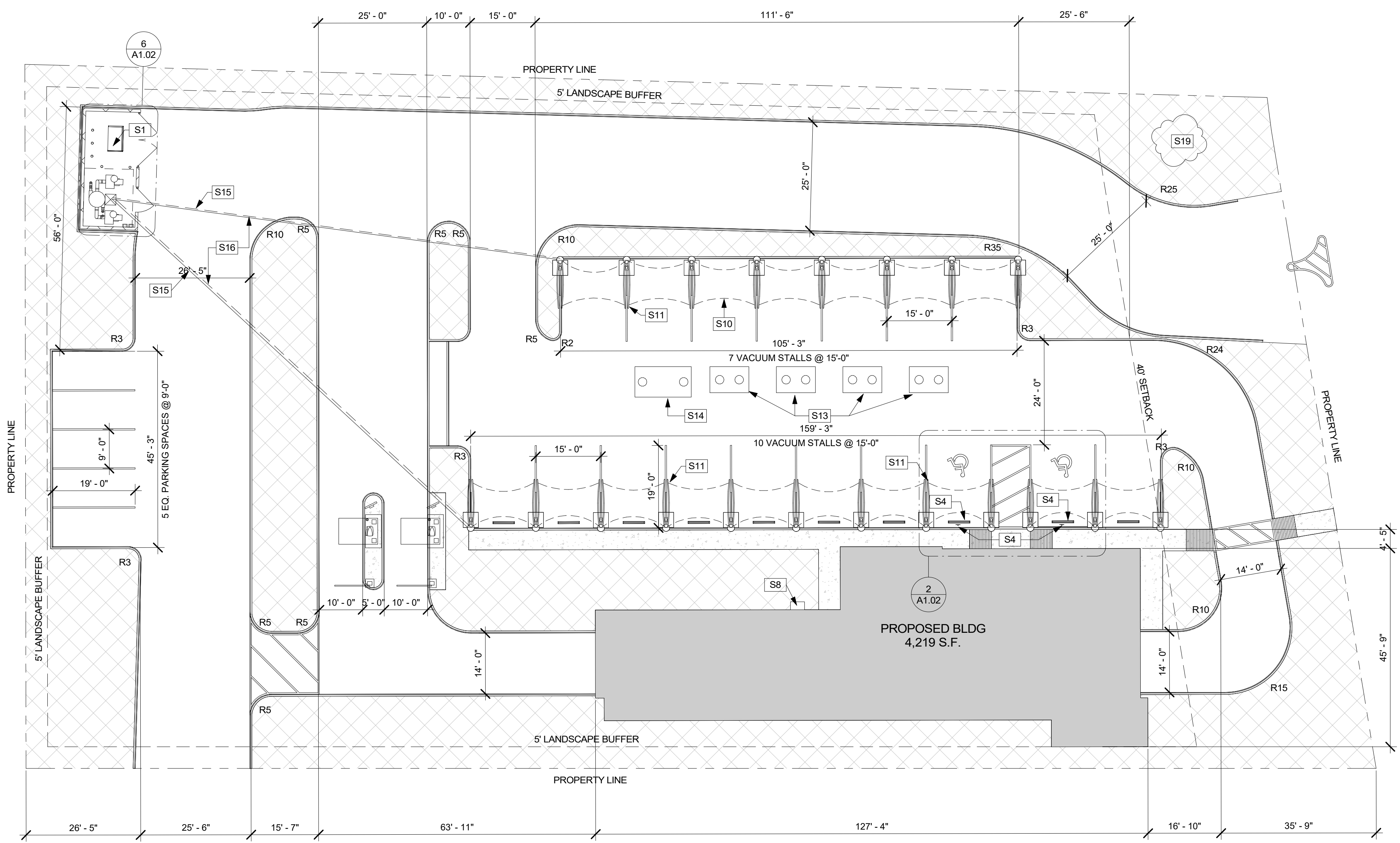
NO CROSS SLOPES SHALL EXCEED 1:50 (2.0% SLOPE) OR 1/4" PER FOOT IN ANY LOCATION

SIGNAGE WILL BE PERMITTED SEPARATELY

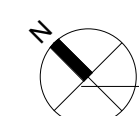
SYMBOL LEGEND - SITE

R3 = 3'-0" RADIUS	R20 = 20'-0" RADIUS	R35 = 35'-0" RADIUS
R5 = 5'-0" RADIUS	R25 = 25'-0" RADIUS	R40 = 40'-0" RADIUS
R10 = 10'-0" RADIUS	R28 = 28'-0" RADIUS	R45 = 45'-0" RADIUS
R15 = 15'-0" RADIUS	R30 = 30'-0" RADIUS	R50 = 50'-0" RADIUS

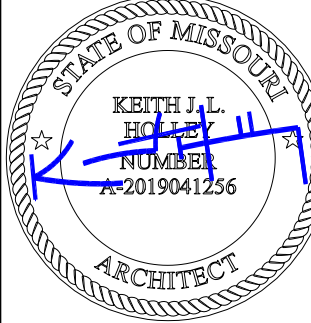
CONCRETE PAVING	SIDEWALK AREA	FIRE LANE	LANDSCAPED AREA
-----------------	---------------	-----------	-----------------



LINBERGH BLVD



11/11/21	ISSUED FOR PERMITTING
11/17/21	ISSUE FOR BID
2/07/22	REVISION #1



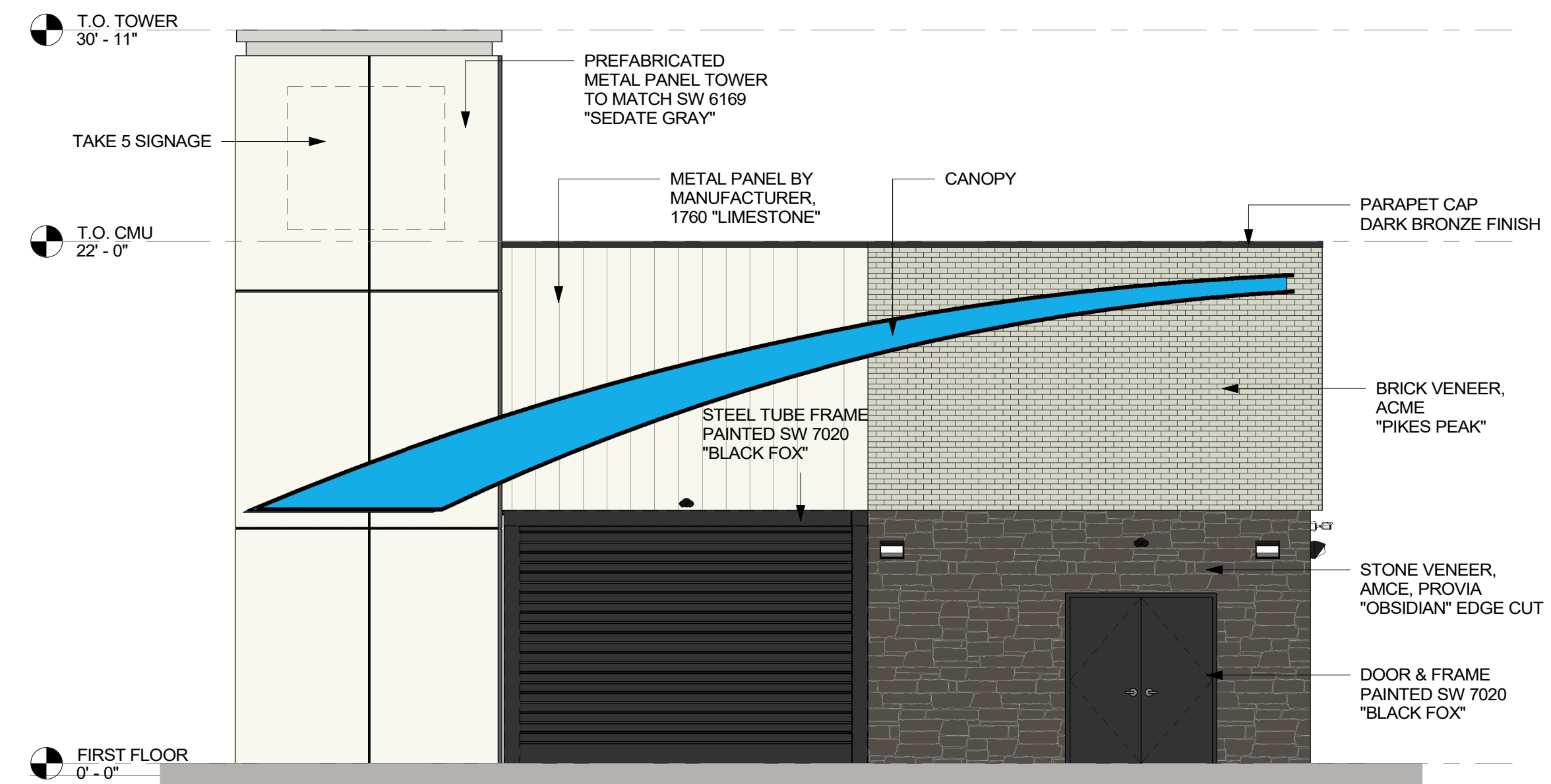
METHOD ARCHITECTURE, PLLC
 2825 N HWY 67
 FLOISSANT, MO 63033

TAKE 5 EXPRESS CAR WASH
 FLOISSANT, MO
 2825 N HWY 67
 FLOISSANT, MO 63033

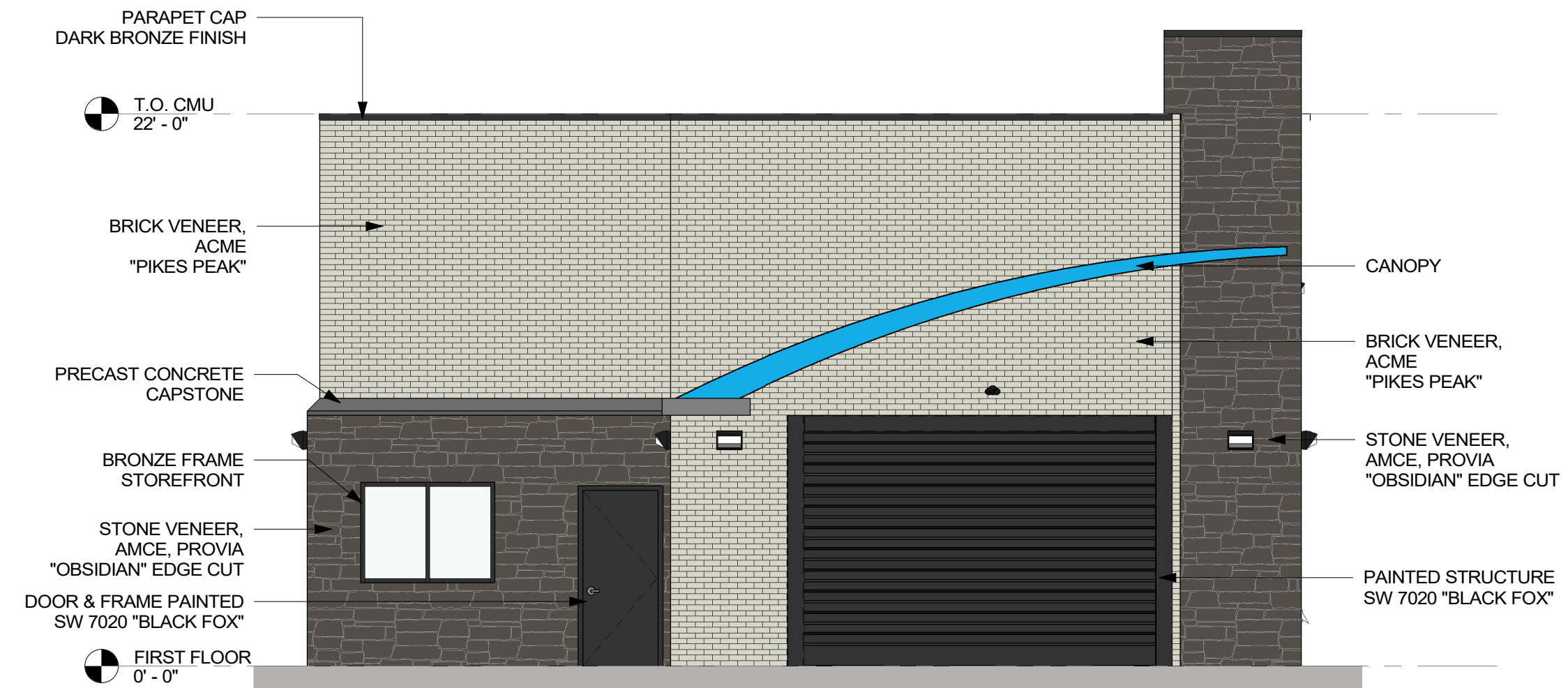
PM: PMG DE: DSG

PROJECT:
M21-01-B0109

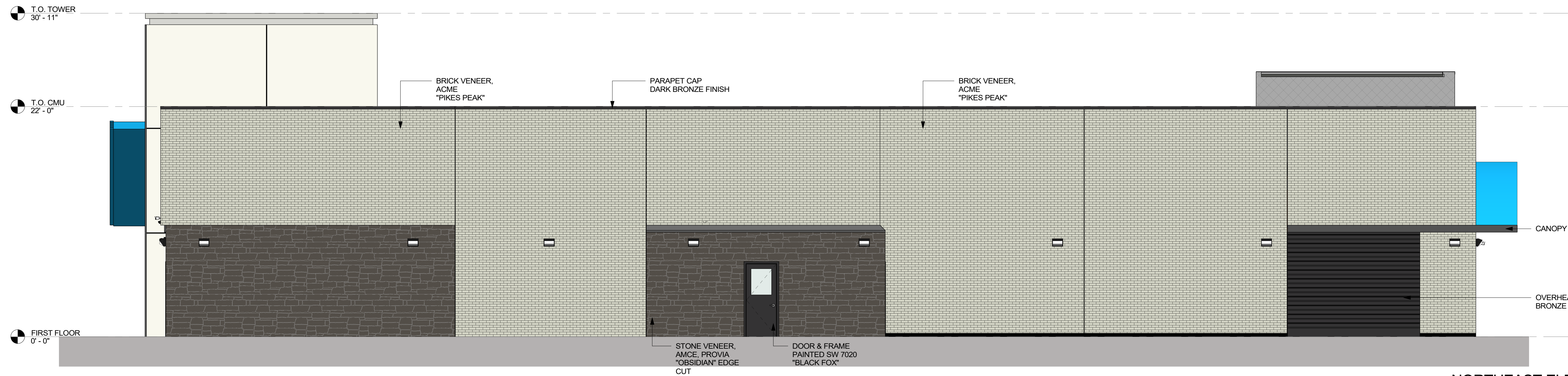
SHEET:
A1.00
 SITE PLAN AND NOTES



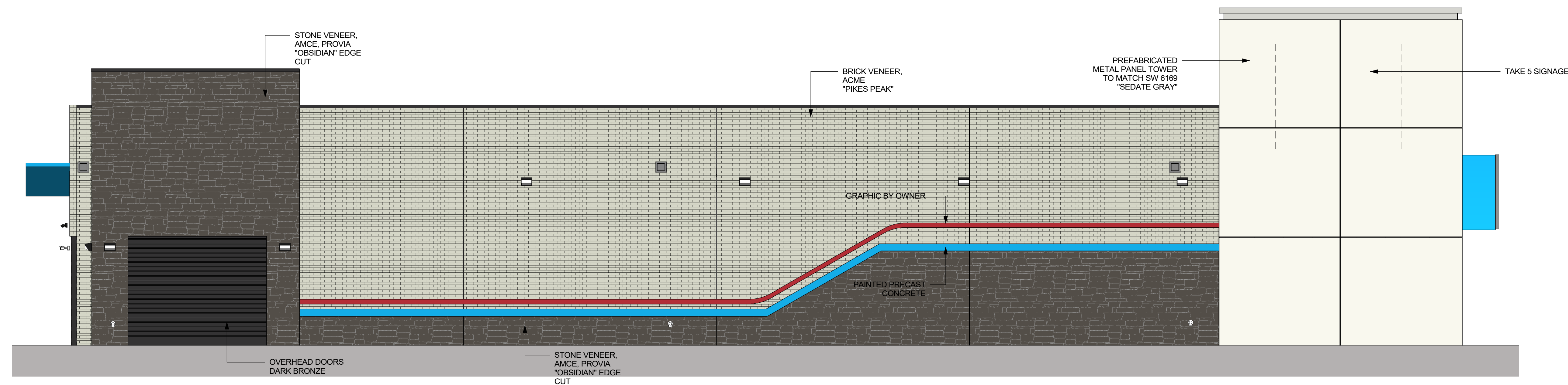
SOUTHEAST ELEVATION 4
3/16" = 1'-0"



NORTHWEST ELEVATION 3
3/16" = 1'-0"



NORTHEAST ELEVATION 2
3/16" = 1'-0"



SOUTHWEST ELEVATION 1
3/16" = 1'-0"

1 INTRODUCED BY COUNCILMAN SIAM
2 OCTOBER 11, 2021

3
4 BILL NO. 9715

ORDINANCE NO. **8734**

5
6 **ORDINANCE TO REZONE THE PROPERTY AT 2925 N. HWY 67 FROM B-3**
7 **“EXTENSIVE BUSINESS DISTRICT” TO B-5 “PLANNED COMMERCIAL**
8 **DISTRICT” FOR THE LOCATION OF A CAR WASH.**
9

10 WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant district
11 classifications for the purpose of regulating their construction and use of land, buildings and property
12 within the said various districts, and said Ordinance provides the nature, kind and character of buildings
13 that may be erected in each of the said districts and the use to which the land and buildings may be put;
14 and

15 WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to
16 the City Council at their meeting of September 7, 2021 that Ordinance No. 1625 be amended to change
17 the classification of the property at 2925 N. Hwy 67 from B-3 “Extensive Business District to B-5
18 “Planned Commercial District”; and

19 WHEREAS, due and lawful notice of a public hearing no. 21-10-026 on said proposed zoning
20 change was duly published, opened on October 11, 2021 at 7:00 P.M. by the Council of the City of
21 Florissant; and

22 WHEREAS, the Council, following said public hearing, and after due and careful deliberation,
23 has concluded that the amendment of Ordinance No. 1625, as amended, as hereinafter set forth, to be in
24 the best interest of the public health, safety and welfare of the City of Florissant; and

25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
27

28 Section 1: A B-5 “Planned Commercial District” is hereby approved, as depicted by the
29 attached drawings plans Site Plan C-100, C-300, C-310, C-600, Landscape Plan LP-1 , LP-2 all dated
30 08/06/21 by JM Civil, Floor Plan and Elevations dated 8/12/21 and lighting Plan dated 8/16/21, subject
31 to the regulations of a ‘B-5’ Planned Commercial District, with permitted uses allowed being a car wash,
32 those within the B-3 “Extensive Business District” without a Special Permit, and the following
33 additional requirements:
34

35 **1. PERMITTED USES**

36 The uses permitted for this property shall be limited to car wash, those within the B-3
37 “Extensive Business District” without a Special Permit. Other uses than those permitted
38 shall require approval by amendment to this ‘B-5’ Ordinance.
39

40 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

41 The building space shall be limited to a single story 4164 SF car wash, with uses permitted
42 within the B-3 "Extensive Business District" without a Special Permit.

43
44 **3. PERFORMANCE STANDARDS**

45 In addition to all other requirements, uses within the "B-5" Planned Commercial District
46 shall conform to the most restrictive performance standards as follows:

- 47 1. Vibration. Every use shall be so operated that the maximum ground vibration
48 generated is not perceptible without instruments at any point on the lot line of the
49 lot on which the use is located.
- 50 2. Odor. Every use shall be so operated that no offensive or objectionable odor is
51 perceptible at any point on the lot line on which the use is located.
- 52 3. Smoke. Every use shall be so operated that no smoke from any source shall be
53 emitted of a greater density than the density described as No. 1 on the
54 Ringelmann Chart as published by the United States Bureau of Mines.
- 55 4. Toxic gases. Every use shall be so operated that there is no emission of toxic,
56 noxious or corrosive fumes or gases.
- 57 5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of
58 dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-
59 five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of
60 which amount not to exceed five-tenths (0.5) pound per one thousand (1,000)
61 pounds of gases shall be of such size as to be retained on a 325-mesh U.S.
62 standard sieve. In the case of emission of fly ash or dust from a stationary furnace
63 or a combustion device, these standards shall apply to a condition of fifty percent
64 (50%) excess air in the stack at full load, which standards shall be varied in
65 proportion to the deviation of the percentage of excess air from fifty percent
66 (50%).
- 67 6. Radiation. Every use shall be so operated that there is no dangerous amount of
68 radioactive emissions.
- 69 7. Glare and heat. Any operation producing intense glare or heat shall be performed
70 in an enclosure in such a manner as to be imperceptible along any lot line.
- 71 8. Screening.
 - 72 a. All mechanical equipment, air-handling units, cooling towers, condensers, etc.,
73 on roof or grade shall be screened architecturally in such a manner as to be a part
74 of the design of the building.
 - 75 b. Incinerators and stacks shall be enclosed in the same material as the main
76 exterior building material.

77
78 **4. TRASH ENCLOSURES**

79 Trash container shall meet or exceed city trash enclosure requirements.

80
81 **5. PLAN SUBMITTAL REQUIREMENTS**

82 Final Development Plan shall include improvements as shown on drawings attached,
83 including entire property, trash enclosures, landscape, lighting and legal description.

84
85 **3. SITE DEVELOPMENT PLAN CRITERIA:**

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a. Height, Area And Bulk Restrictions:

1. Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District

b. Internal Drives:

(1) There shall be parking as shown on plans attached.

c. Minimum Parking/Loading Space Requirements.

(1) There shall be a minimum of 22 parking spaces provided on the property.

d. Road Improvements, Access and Sidewalks (not applicable)

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) The light level for parking lot lighting shall be as shown on attached photometric plan.

(2) All site lighting and exterior building lighting shall be directed down and inward

f. Sign Requirements.

(1) All signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

(1) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

(2) An automatic permanent irrigation system shall be designed and installed to cover all landscaped areas.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

(1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.

(2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

(1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.

(2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.

- 130 (3) All storm water and drainage facilities shall be constructed, and all landscaping shall
 131 be installed, prior to occupancy of the building, unless remitted by the Director of
 132 Public Works due to weather related factors.
- 133
- 134 (4) All mechanical equipment, electrical equipment, and communication equipment shall
 135 be screened in accordance with the Florissant Zoning Code.
- 136
- 137 (5) The exterior design of the buildings shall be constructed in accordance with the
 138 renderings as approved by the Florissant Planning and Zoning Commission and
 139 attached hereto.
- 140
- 141 (6) All other requirements of the Florissant Municipal Code and other ordinances of the
 142 city shall be complied with unless otherwise allowed by this ordinance.
- 143

144 **7. FINAL SITE DEVELOPMENT PLAN**

145 A final site development plan shall be submitted to the Building Commissioner to review
 146 for compliance with the applicable "B-5" Planned Commercial Development ordinance
 147 prior to recording. Any variations from the ordinance approved by the City Council
 148 and/or the conceptual plans attached to such ordinance shall be processed in accordance
 149 with the procedure established in the Florissant Zoning Code.

151 **8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

152 Any changes to the approved plans attached hereto must be reviewed by the Building
 153 Commissioner. The Building Commissioner shall make a determination as to the extent of the
 154 changes per the following procedure:

- 155
- 156 a. The property owner or designate representative shall submit in writing a request for an
 157 amendment to the approved plans. The building commissioner shall review the plans for
 158 consistency with the purpose and content of the proposal as originally or previously
 159 advertised for public hearing and shall make an advisory determination.
- 160 b. If the building commissioner determines that the requested amendment is not consistent
 161 in purpose and content with the nature of the purpose as originally proposed or
 162 previously advertised for the public hearing, then an amendment to the special use
 163 permit shall be required and a review and recommendation by the planning and zoning
 164 commission shall be required and a new public hearing shall be required before the City
 165 Council.
- 166 c. If the building commissioner determines that the proposed revisions are consistent with
 167 the purpose and content with the nature of the public hearing then a determination of
 168 non-necessity of a public hearing shall be made.
- 169 d. Determination of minor changes: If the building commissioner determines that an
 170 amendment to the special use permit is not required and that the changes to the plans are
 171 minor in nature the Building Commissioner may approve said changes.
- 172 e. Determination of major changes: If the Building Commissioner determines that an
 173 amendment to the B-5 is not required but the changes are major in nature, then the owner
 174 shall submit an application for review and approval by the Planning and Zoning
 175 commission.

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9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

10. GENERAL DEVELOPMENT CONDITIONS.


- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

9. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

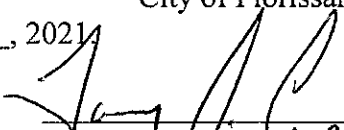
Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this 8 day of Nov, 2021.



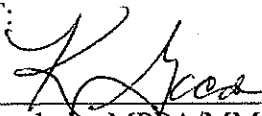
 Keith Schildroth
 President of the Council
 City of Florissant

Approved this 8 day of Nov, 2021.



 Timothy J. Lowery
 Mayor, City of Florissant

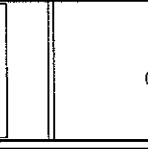
ATTEST:



 Karen Goodwin, MPPA/MMC/MRCC
 City Clerk



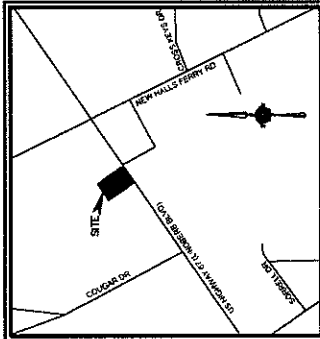
100 Cambridge Way
 Allen TX 75013
 Tel: 214-471-1800
 J&M Associates, PC
 CIVIL ENGINEER



CAR WASH USA EXPRESS
 2925 LINDBERGH BLVD (N HIGHWAY 67)
 FLOISSANT, MO 63033

NO.	DATE	DESCRIPTION
1	08/05/21	ISSUE FOR PERMITS
2		
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C 100



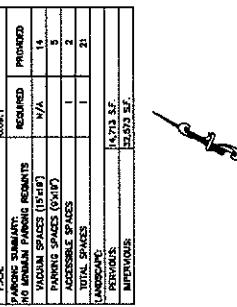
LOCATION MAP
 NOT TO SCALE

- SITE LEGEND:**
- ① PROPERTY LINE
 - ② PROPOSED CURB OR TYPICAL CURB
 - ③ PROPOSED DRIVE OR DRIVEWAY
 - ④ DRIVEWAY
 - ⑤ DRIVEWAY
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- SITE KEY NOTES:**
- 1 CONCRETE CURB (PER LOCAL CODES)
 - 2 PAPER CURB TO MATCH EXISTING
 - 3 MATCH EXISTING PAVEMENT ELEVATION
 - 4 UNITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL
 - 5 EXISTING PAVEMENT TO REMAIN
 - 6 NEW SURFACE TO BE 4" THICK CONCRESS SLAB AND 6" SAND
 - 7 SIDEWALK RAMP @ 8.33% MAX (PER LOCAL CODES)
 - 8 EXISTING SIDEWALK
 - 9 DIRECTIONAL TRAFFIC SIGN (PER LOCAL CODES)
 - 10 PARKING STALL STRIPING (PER LOCAL CODES)
 - 11 PROTECTIVE/ACCESSIBLE CURB/STREET
 - 12 ADA RAMP (PER LOCAL CODES)
 - 13 ADA COMPLIANT SIGN (PER ADA AND LOCAL REQUIREMENTS)
 - 14 SIGNPOST ENCLOSURE (PER ANCH. PLANS)
 - 15 LANDSCAPE AREA (PER LANDSCAPE PLAN)
 - 16 MENU BOARD AND SPRAYER BOX
 - 17 VACUUM SIGN ENCLOSURE (PER ANCH. PLANS)

SITE DATA TABLE

LOCATION:	2925 LINDBERGH BLVD FLOISSANT, MO 63033
LOT AREA:	10,069 AC. (42,206 S.F.)
EXISTING USE:	RESTAURANT
PROPOSED USE:	CAR WASH
BUILDING DATA:	
BUILDING HEIGHT:	27'-3" (1 STORY)
FLOORING:	CONCRETE
FOUNDATIONS:	CONCRETE
MECHANICAL:	REQUIRED
ELECTRICAL:	REQUIRED
PLUMBING:	REQUIRED
PAINTING:	REQUIRED
LANDSCAPE:	REQUIRED
ASPHALT:	REQUIRED
CONCRETE:	REQUIRED
STEEL:	REQUIRED
GLASS:	REQUIRED
WOOD:	REQUIRED
BRICK:	REQUIRED
STONE:	REQUIRED
OTHER:	REQUIRED
TOTAL SQUARE FEET:	14,074 S.F.
PERMITTED SQUARE FEET:	12,000 S.F.

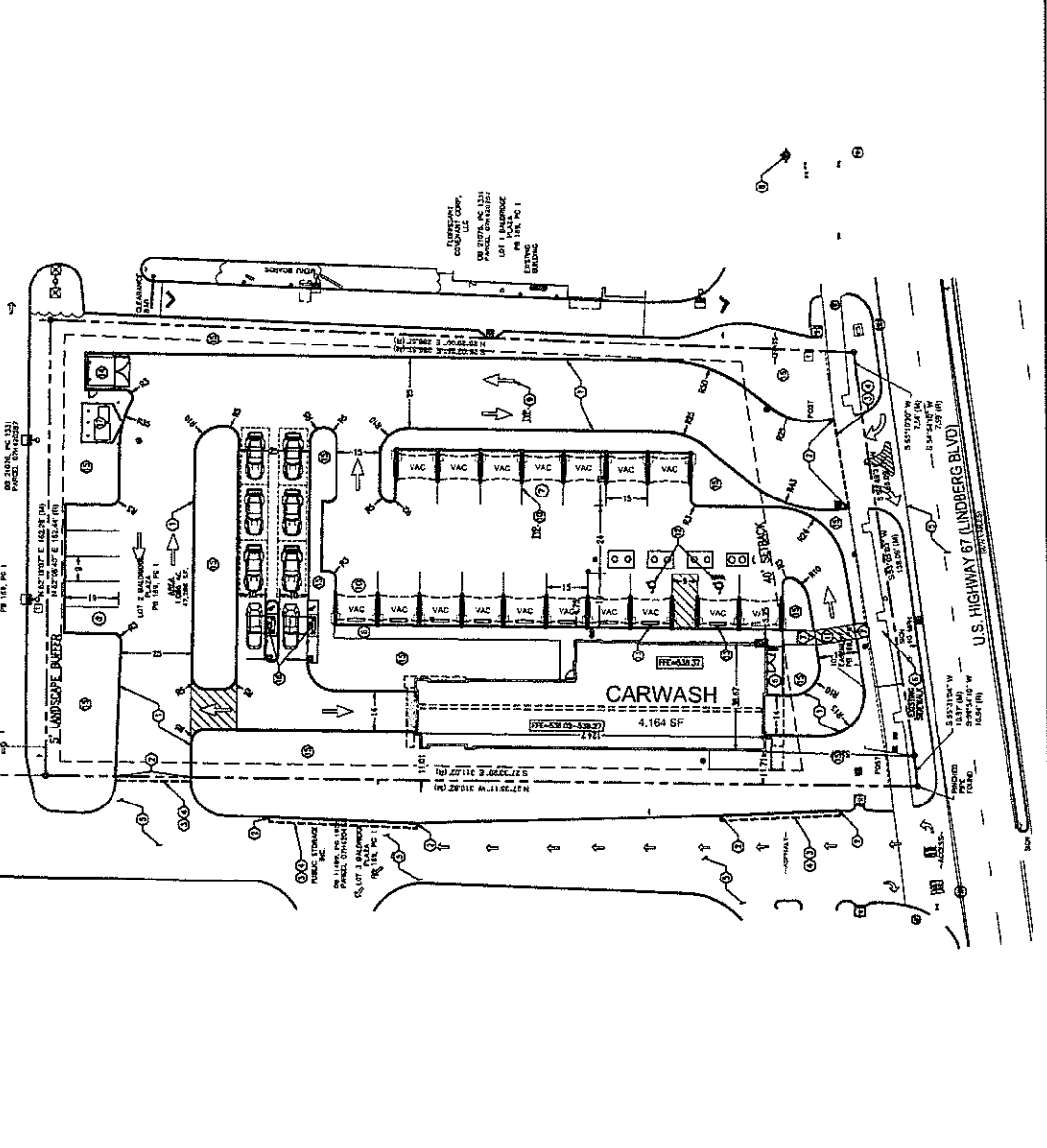


FLOODNOTE
 ACCORDING TO THE FIRM NO. 2019000008, THE SUBJECT PROPERTY LIES IN ZONE X WITHIN A FLOOD PRONE INUNDATION AREA FOR MAP REVISION DATED FEBRUARY 4, 2019.

BENCHMARKS
 14+1.000, 14+1.000, 14+1.000
 ELEVATION=537.31

CONTROLS WERE DERIVED FROM RANDOM SHOTS AND CROSS SECTIONS AND ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS TOGETHER WITH AN OPEN SOLUTION, DATED 5/20/2021 (HANDOFF/COORD).

CAUTION NOTICE TO CONTRACTOR
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY INFORMATION. IT IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY THE LOCATION AND/OR ELEVATION OF ALL UTILITIES TO BE RELOCATED OR DELETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR ELEVATION OF ALL UTILITIES TO BE RELOCATED OR DELETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR ELEVATION OF ALL UTILITIES TO BE RELOCATED OR DELETED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR ELEVATION OF ALL UTILITIES TO BE RELOCATED OR DELETED.



811
 Know what's below.
 Call before you dig.

8734

JAM CIVIL
 110 Commercial Street
 Ames, IA 50010
 Phone: 515-233-1100
 Fax: 515-233-1100
 JOHN MACHING, P.E.
 CIVIL ENGINEER

EXPRESS CARWASH

CAR WASH USA EXPRESS
 2925 LINDERBERGH BLVD (N HIGHWAY 67)
 FLOIRSSANT, MO 63033

UTILITY PLAN	
DATE	08/13/21
SCALE	AS SHOWN
PROJECT	EXPRESS CARWASH
CLIENT	CAR WASH USA EXPRESS
DESIGNED BY	JAM CIVIL
CHECKED BY	JAM CIVIL
DATE	08/13/21

8734

Know what's below.
Call before you dig.

- LEGEND:**
- PROPERTY LINE
 - SEWER MAIN & GUTTER
 - LIMITS OF TALL DEPTH SAMKUT
 - EXISTING DRAINAGE
 - EXISTING SANITARY MAIN
 - GAS LINE
 - ELECTRIC LINE
 - PRELIMINARY
 - ADA RAMP
 - ROLL-UP
 - TRANSIT/ACCESSIBLE SIGN
 - DIRECTIONAL SIGN
 - SPEAKER BOX
 - GENU BOARD
 - LIGHT POLE
 - BUILDING UP LIGHTS
 - AREA MAIN
 - GRASS TRAP
 - CLEAN-OUT
 - DOUBLE CLEAN-OUT
 - GAS METER
 - REGULATION METER
 - MANHOLE
 - CURB INLET
 - DRAINAGE SLOPE AND DIRECTION

- UTILITY KEY NOTES:**
1. SANITARY SEWER CLEAN-OUT.
 2. SANITARY SEWER DOUBLE CLEAN-OUT.
 3. SANITARY SEWER SAMPLE POINT.
 4. SANITARY SEWER WYE.
 5. RECLAMATION TANKS (SEE AREA AEPD PLANS).
 6. SANITARY SEWER LINE (SEE NOTE FOR TYP. SIZE AND SLOPE).
 7. SANITARY SEWER POINT OF ENTRY (SEE MEP PLANS).
 8. SANITARY SEWER POINT OF CONNECTION.
 9. SANITARY SEWER POINT OF CONNECTION AND ELEVATION.
 10. DOMESTIC WATER LINE (SEE NOTE FOR SIZE).
 11. DOMESTIC WATER LINE POINT OF ENTRY (SEE MEP PLANS).
 12. DOMESTIC WATER LINE POINT OF CONNECTION.
 13. IRRIGATION WATER LINE (SEE NOTE FOR SIZE).
 14. IRRIGATION WATER LINE POINT OF CONNECTION.
 15. PRECIPITATION WATER LINE (SEE NOTE FOR SIZE).
 16. PRECIPITATION WATER LINE POINT OF CONNECTION.
 17. M-J BOND (SEE NOTE FOR SIZE).
 18. WATER VALVE (SEE NOTE FOR SIZE).
 19. REDUCED PRESSURE BACKFLOW PREVENTER.
 20. EXISTING FIRE HYDRANT.
 21. CONTRACTOR SHALL COORDINATE WITH WATER UTILITY DEPARTMENT TO VERIFY EXISTING WATER MAIN SIZE AND LOCATION. THIS LINE IS NOT INTERFERED AT ANY TIME.
 22. EXISTING WATER MAIN (SEE NOTE FOR SIZE AND LOCATION).
 23. EXISTING WATER MAIN POINT OF CONNECTION.
 24. EXISTING WATER MAIN POINT OF CONNECTION AND ELEVATION.
 25. EXISTING WATER MAIN POINT OF ENTRY (SEE MEP PLANS).
 26. EXISTING WATER MAIN POINT OF ENTRY AND ELEVATION.
 27. EXISTING WATER MAIN POINT OF ENTRY (SEE MEP PLANS).
 28. EXISTING WATER MAIN POINT OF ENTRY (SEE MEP PLANS).
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 49. EXISTING WATER MAIN POINT OF ENTRY (SEE MEP PLANS).
 50. EXISTING WATER MAIN POINT OF ENTRY (SEE MEP PLANS).

ACCORDING TO THE FIELD NO. 2810000000, THE SUBJECT PROPERTY LIES IN ZONE X WITH A FLOOD PRINTING TOLERANCE FROM MAP REVISION DATED FEBRUARY 4, 2015.

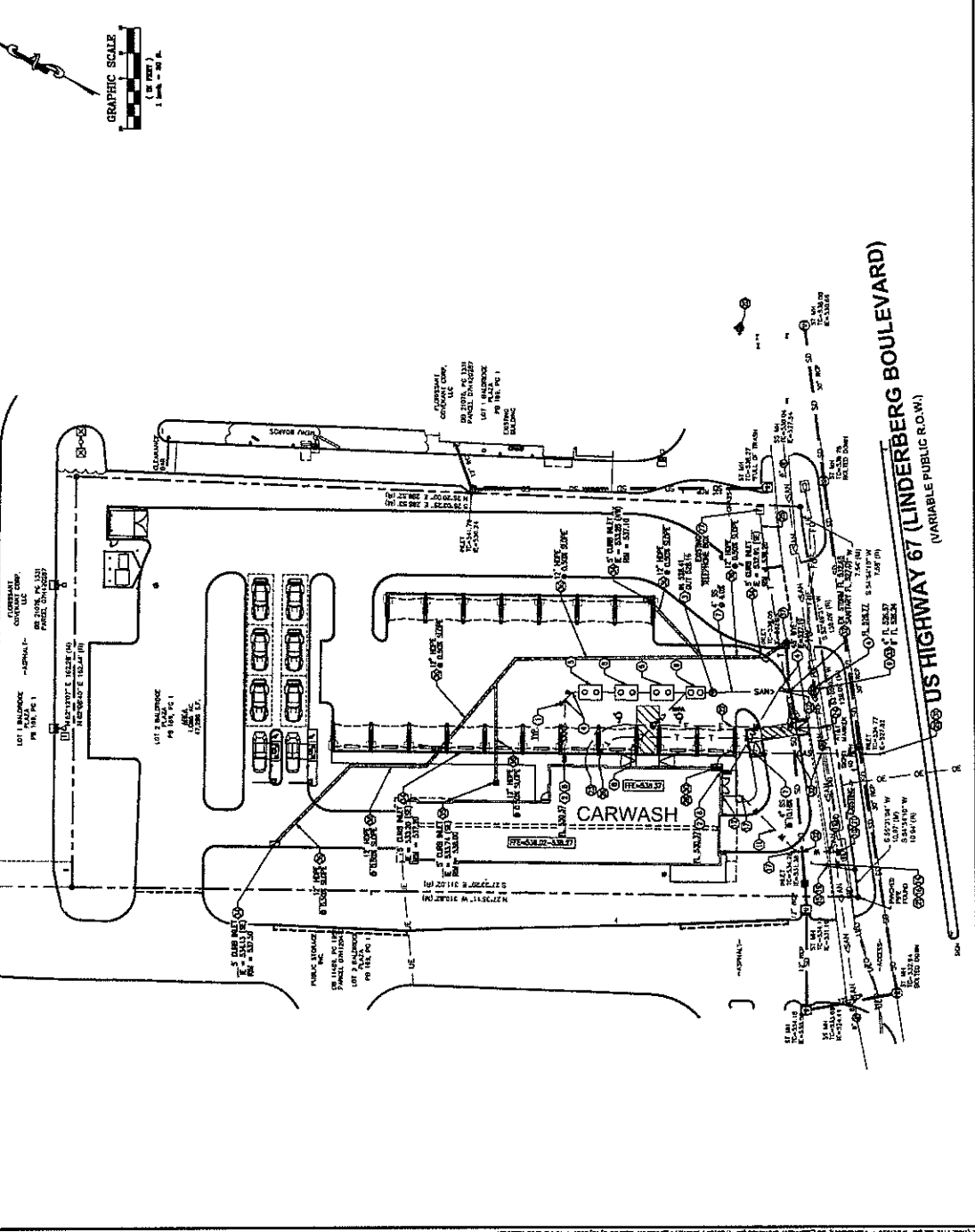
FLOODNOTE

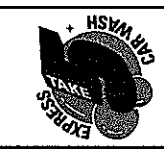
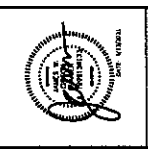
BEENCHMARKS

14+00.00, P.C. 14+00.00, ELEVATION=57.17
 14+00.00, P.T. 14+00.00, ELEVATION=57.17

CONTRACTOR NOTE:
 CONTRACTORS WERE ADVISED FROM RANDOM SHOTS AND CROSS SECTIONS AND ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS TOGETHER WITH AN ODNIS SOLUTION, DATED 5/20/2021 (NAD83/GEODOID).

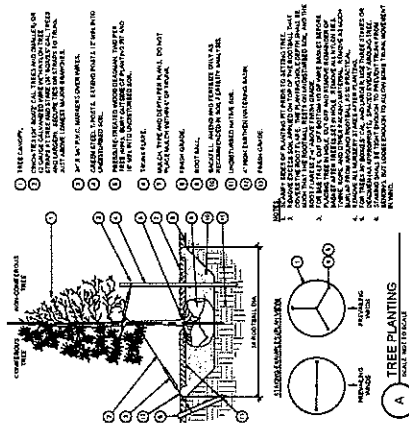
CAUTION NOTICE TO CONTRACTOR:
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS WERE OBTAINED FROM FIELD SURVEY INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR IS ADVISED THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



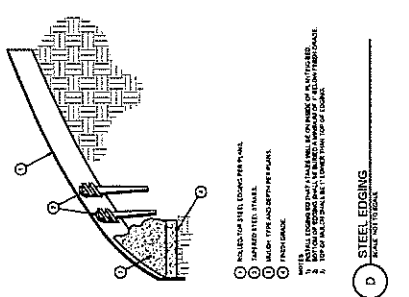


CAR WASH USA EXPRESS
 2925 N HIGHWAY 67
 FLOISSANT, MO 63033

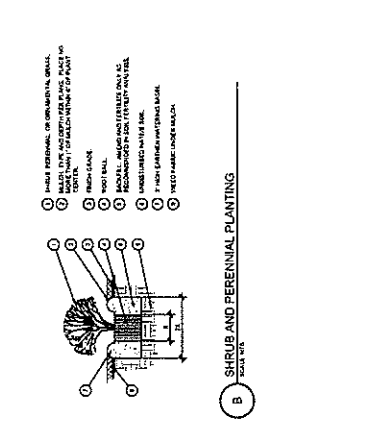
NO.	DATE	DESCRIPTION
08/08/21		LANDSCAPE DETAILS AND SPECIFICATIONS



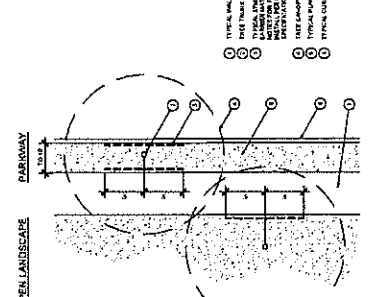
- A TREE PLANTING**
 SCALE: NOT TO SCALE
1. TREE CANOPY
 2. TRUNK
 3. ROOT BALL
 4. MULCH
 5. SOIL
 6. ROOT BALL
 7. MULCH
 8. SOIL
 9. ROOT BALL
 10. MULCH



- B STEEL EDGING**
 SCALE: NOT TO SCALE
1. STEEL EDGING
 2. TRENCH
 3. SOIL
 4. MULCH



- C GREEN LANDSCAPE**
 SCALE: NOT TO SCALE
1. TREE PLANTING
 2. STEEL EDGING
 3. MULCH
 4. SOIL
 5. ROOT BALL
 6. MULCH
 7. SOIL
 8. ROOT BALL
 9. MULCH
 10. SOIL



- D ROOT BARRIER - PLAN VIEW**
 SCALE: NOT TO SCALE
1. ROOT BARRIER
 2. TRENCH
 3. SOIL
 4. MULCH

PLANTING SPECIFICATIONS

1. GENERAL: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION OF ALL PLANTING MATERIALS AND THE INSTALLATION OF ALL PLANTING MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTING MATERIALS AND THE INSTALLATION OF ALL PLANTING MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PLANTING MATERIALS AND THE INSTALLATION OF ALL PLANTING MATERIALS.
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GENERAL NOTES

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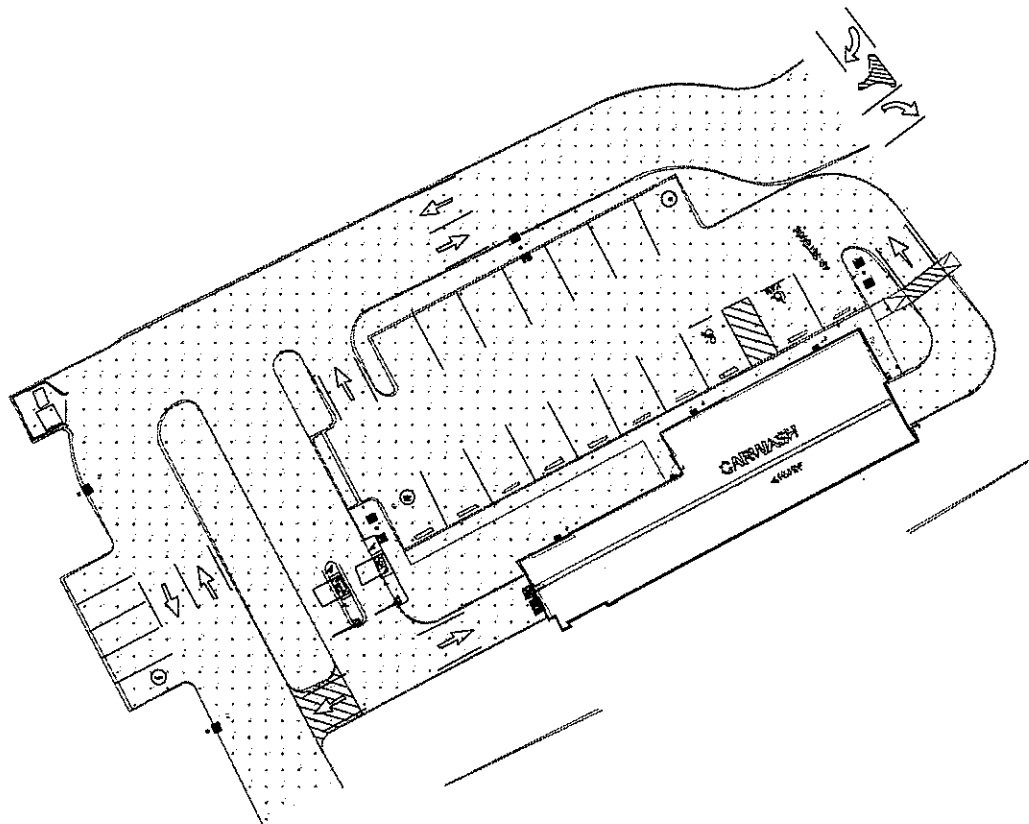
LANDSCAPE DETAILS AND SPECIFICATIONS

1. TREE PLANTING: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SELECTION OF ALL TREE PLANTING MATERIALS AND THE INSTALLATION OF ALL TREE PLANTING MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREE PLANTING MATERIALS AND THE INSTALLATION OF ALL TREE PLANTING MATERIALS.
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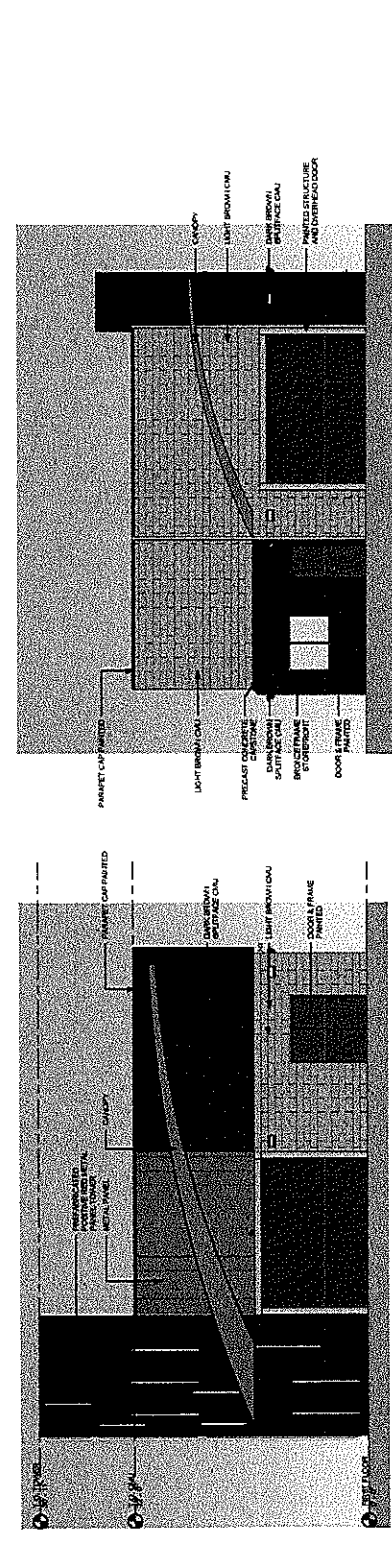


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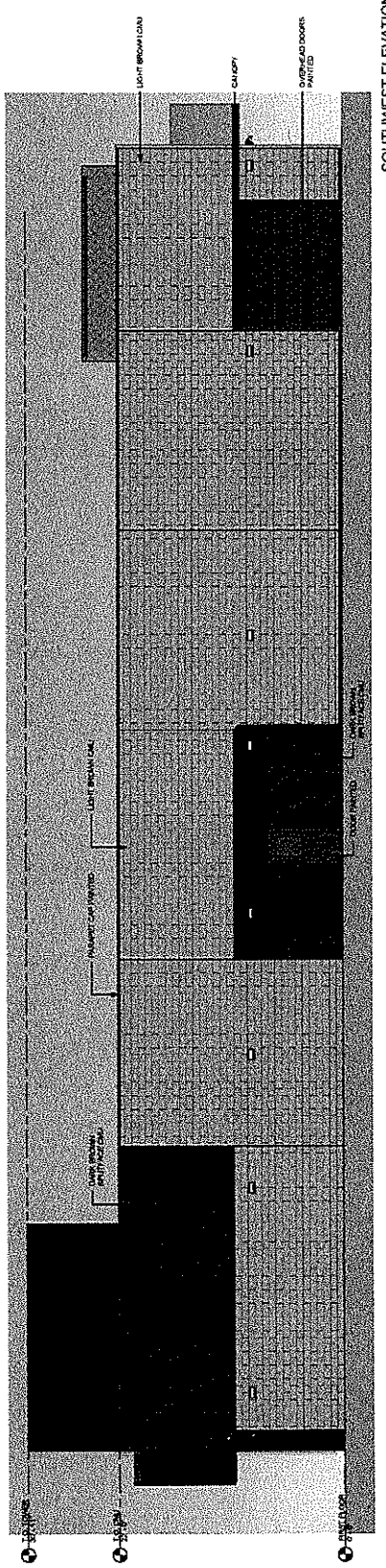


Scale
Date



NORTHWEST ELEVATION 3
3/16" = 1'-0"

SOUTHEAST ELEVATION 4
3/16" = 1'-0"



SOUTHWEST ELEVATION 2
3/16" = 1'-0"

NORTHEAST ELEVATION 1
3/16" = 1'-0"

CITY OF FLORISSANT

Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 14, 2022 at 7:00 p.m. on the following proposition:

To amend Ord. No. 6669 to allow for a sit-down, drive-through, carryout restaurant in a 'B-5' Planned Commercial District located at 13963 New Halls Ferry. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

**APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5
PLANNED COMMERCIAL DISTRICT ORDINANCE**



PLANNING & ZONING ACTION:

Address of Property:

13963 New Halls Ferry Rd

**RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

Council Ward 9 Zoning B-5

X SIGN.  DATE: 2-22-22

Initial Date Petitioner Filed _____
**Building Commissioner to complete
ward, zone & date filed**

PETITION TO AMEND B-5 ORDINANCE # _____

6669

Enter ordinance number or number requesting to amend.

1) Comes Now Hawaiian Bros

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Lease

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 0.77
- 2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for Former Arby's restaurant

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:
The PUD Amendment is required for the change of use from Arby's to a Hawaiian Bros quick serve restaurant.
All City zoning requirements will be met including setbacks and off-street parking.

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Mitch Truster VP-Development
PETITIONER(S) SIGNATURE (S) Mitch Truster
FOR Hawaiian Bros Island Grill
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
 I (we) have a legal interest in the herein above described property.
 I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE Mitch Truster VP-Development Hawaiian Bros
ADDRESS 720 Main Kansas City MO 64105
STREET CITY STATE ZIP CODE
TELEPHONE NUMBER 816-916-3571
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
my (our) duly authorized agent to represent me (us) in regard to this petition.
Print name of agent.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicabe section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation:

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners Cameron McNie, Tyler McNie, Joel Worcester, Paul Worcester
- (2) Telephone numbers 816-916-3571
- (3) Business address 720 Main Kansas City, MO 64105
- (4) State of Incorporation & a photocopy of incorporation papers Delaware
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Hawaiian Bros

Address 720 Main St, Kansas City, MO 64105

Property Owner Ck Center LLC, 125 Half Mile Rd, Suite 207, Red Bank NJ 07701

Location of property 13963 New Halls Ferry Rd, 63033

Dimensions of property 155' x 172'

Property is presently zoned B-5 per ordinance # 6669

Current & Proposed Use of Property Current: Vacant Arby's, Proposed: Hawaiian Bros quick serve restaurant

Type of Sign NA Height NA

Type of Construction V(B) Number Of Stories 1

Square Footage of Building 3,643 Number of Curb Cuts 0 (Existing)

Number of Parking Spaces 41 Sidewalk Length 0 (Existing)

Landscaping: No. of Trees Existing (19) + Proposed (4) Diameter 2" minimum caliper

No. of Shrubs Existing (16) + Proposed (80) Size 18"-24" planted diameter

Fence: Type NA (Existing) Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PARCEL 1:

ALL OF LOT 5 OF CROSS KEYS SUBDIVISION (PLAT OF CORRECTION), A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI, AS PER PLAT RECORDED IN PLAT BOOK 351, PAGE 789, ST. LOUIS COUNTY, MISSOURI, RECORDS.

PARCEL 2:

PERPETUAL EASEMENT FOR CONSTRUCTION, RECONSTRUCTION, REPLACEMENT, OPERATION, MAINTENANCE AND REPAIR OF SIGN STRUCTURE ON LOT 2, AS ESTABLISHED BY OPERATION AND EASEMENT AGREEMENT, RECORDED DECEMBER 01, 2003 IN BOOK 15497, PAGE 2128, AS AMENDED BY BOOK 15911, PAGE 1, AFFECTING THE LAND AS MORE FULLY DESCRIBED THEREIN, OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS.

PARCEL 3:

NON-EXCLUSIVE EASEMENTS FOR (I) INGRESS AND EGRESS, (II) MAINTENANCE, (IV) LANDSCAPING, AND (V) SIGNAGE PURPOSES OVER THE DISTRICT PROPERTY AS ESTABLISHED BY THE EASEMENT AND MAINTENANCE AGREEMENT RECORDED NOVEMBER 21, 2002 IN BOOK 14339, PAGE 2039 AFFECTING THE LAND AS MORE FULLY DESCRIBED THEREIN, OF THE ST. LOUIS COUNTY, MISSOURI, RECORDS.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.



STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

1) a. Uses - Are uses stipulated Yes / No

b. What current District would this proposal be a permitted use: _____

c. Proposed uses for out lots: _____

2) Performance Standards:

a) Vibration: Is there any foreseen vibration problems at the property line? Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No

c) Odor is there any foreseen problem with odor? Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. I on the Ringleman Chart? Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No

f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? Yes / No

g) Is there any dangerous amount of radiation produced from the operation? Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? Yes / No

j) Is buildings screened from adjoining residential? Yes / No

3) Are height of structures shown? Yes / No

4) Are all setbacks shown? Yes / No

5) Are building square footages shown? Yes / No

6) What is the exterior construction of the buildings? _____

7) Is off street loading shown? Yes / No

8) Parking:

a) Does parking shown meet the ordinance? Yes / No

b) Is a variance required in accordance with the ordinance? Yes / No

c) Ratio shown _____ to _____

d) Total Number _____

e) Will cross access and cross parking agreements be required? Yes / No

f) Is the parking lot adequately landscaped? Yes / No

9) Are there any signs? Yes / No

Number of signs shown _____

Type of Signs _____

Are sizes, heights, details, and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient handicapped access? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

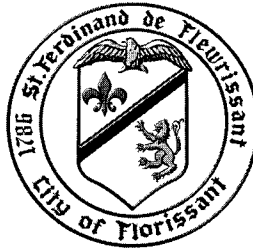
25) Staff Comments: _____

Date Application reviewed

Building Commissioner or Staff Signature

1

MEMORANDUM



2

CITY OF FLORISSANT- BUILDING DEPARTMENT

3

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

4

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7

To: Planning and Zoning Commissioners Date: February 16, 2022

8

9

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E
Director Public Works
Deputy City Clerk
Applicant
File

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Subject: Request **Recommended Approval** to amend a 'B-5' at **13963 New Halls Ferry (Hawaiian Brothers)** Ord. No. 6669, to allow for alterations to an outlot for a sit-down, drive-through, carryout restaurant with customer pick up parking.

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STAFF REPORT

19

CASE NUMBER PZ-022222-1

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22

I. PROJECT DESCRIPTION:

This is a request recommended approval to amend a 'B-5' planned commercial district to allow alterations to an outlot for a sit-down, drive-through, carryout restaurant.

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II. EXISTING SITE CONDITIONS:

The existing property at **13963 New Halls Ferry** is a vacant property (and was originally an Arby's Restaurant).

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The property is proposed to be a new restaurant after alterations. Ord. No. 6669 identifies this as an existing outlot for Arby's as a Permitted Use. The petitioner proposes alterations and 82 s.f. additions for a new sit down, carryout, drive through restaurant.

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34

III. SURROUNDING PROPERTIES:

There was an intervening subdivision of the Cross Keys Shopping Center at the County level that created multiple parcels as a course of action during a sale in 2013. The property sale and division did not affect the Zoning of the property. Therefore, the surrounding property to this out-lot is a parcel that consists of the vehicle roadway around

34

35

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39

40 the Cross Keys SC site of 5.87 acres known as 13959 New Halls Ferry, in a 'B-5'
41 Planned Commercial District.

42

43 **IV. STAFF ANALYSIS:**

44 The application is accompanied by professionally prepared plans that appear to be
45 Construction Document level of completion: C0.1, C1.0, C1.1, C1.2, C1.3, C1.4, C2.0,
46 C3.1 and C3.2, A1.1, A2.0 and A2.1 all dated 11/16/21 by Excel Engineers. The
47 following are Staff comments on the plans pertaining to Zoning:

48

- 49 • C0.1: Contains general information and identifies Clayton Engineering survey.
- 50 • C1.0: Describes removal of all existing paving, drive-through island, building
51 shrubs, protection of existing tree by building and site utility work.
- 52 • C1.1: Site Information table includes
 - 53 ○ Site area 0.77 acres with 0.56 acre land disturbance.
 - 54 ○ Setback line of 40 feet along New Halls Ferry.
 - 55 ○ Building height of 21 feet.
 - 56 ○ Parking requirement calls for 40, met by 41 shown.
 - 57 ■ Parking per 405.225
 - 58 • Spaces required per seats 36 or 37 if all benches count.
 - 59 • Employees on max shift, then is 9 or 6, correspondingly.
 - 60 • Total required 41, 41 provided.
 - 61 • Drive through to contain 6 total spaces, unclear
62 compliance.
 - 63 ○ Landscape requirement stated, not matching City code, section 405.245:
 - 64 ■ One landscaped island for every 15 spaces, complies
 - 65 ■ One shrub for every 5' building perimeter- 96 provided, complies.
 - 66 ■ One frontage tree for every 50', excepted by Ord. 6669.
- 67 • C1.2: Site topography and erosion control shown.
- 68 • C1.3: Site utilities shown.
- 69 • C1.4: Landscape and site restoration shown.
- 70 • C2.0: Site details include pavement marking details for pickup spaces.
- 71 • C3.1: Site lighting and photometrics
 - 72 ○ shows 0.4 fc along the West property line to 1.0-2.4 fc at the drive lane.
 - 73 ○ shows 1.5 fc along the North property line 2.0-2.4 fc at the drive lane.
 - 74 ○ shows 0.5 fc along the East property line 1.0-2.4 fc at the drive lane.
 - 75 ○ shows 0.5 fc along the South property line 1.0-2.3 fc at the drive lane.
- 76 • C3.2: Grease Interceptor details.
- 77 • A1.1: Floor Plan shows 67 chairs and opposing bench areas. If all bench areas are
78 considered, 74 seating is possible. Recommended Occupant Load: 80-83.
- 79 • A2.1 and A2.2: Elevations include
 - 80 ○ painted thin brick: recommend opaque breathable stain.
 - 81 ○ Wood look aluminum siding.
 - 82 ○ Blue EIFS
 - 83 ○ Redwood fascia, columns and canopies, painted to match alum. siding.
 - 84 ○ Dark Gray metal screens.

85

86 VI. **STAFF RECOMMENDATIONS:**

- 87 1. If recommended approval is granted, the attached suggested motion shall establish
88 regulations within this district.
89

90 **Suggested Motion for 2925 N Highway 67 (Take 5 Car Wash):**

91 I move to recommend approval to amend the B-5, as depicted by the attached drawings
92 C0.1, C1.0, C1.1, C1.2, C1.3, C1.4, C2.0, C3.1 and C3., A1.1, A2.0 and A2.1 all dated
93 11/16/21 by Excel Engineers, subject to the regulations of a 'B-5' Planned Commercial
94 District, with permitted uses allowed being a a sit-down, drive-through, carryout restaurant.,
95 with customer pickup parking and the following additional requirements:
96

97 **1. PERMITTED USES**

98 The uses permitted for this property shall be limited to a sit-down, drive-
99 through, carryout restaurant. Other uses than those permitted shall require
100 approval by amendment to this 'B-5' Ordinance.
101

102 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

103 The building space shall be limited to a single story 3643 SF a sit-down, drive-
104 through, carryout restaurant that includes an 82 s.f. additions in the drive through and
105 entry vestibule areas.
106

107 **3. PERFORMANCE STANDARDS**

108 In addition to all other requirements, uses within the "B-5" Planned
109 Commercial District shall conform to the most restrictive performance
110 standards as follows:

- 111 1. Vibration. Every use shall be so operated that the maximum
112 ground vibration generated is not perceptible without instruments
113 at any point on the lot line of the lot on which the use is located.
114 2. Odor. Every use shall be so operated that no offensive or
115 objectionable odor is perceptible at any point on the lot line on
116 which the use is located.
117 3. Smoke. Every use shall be so operated that no smoke from any
118 source shall be emitted of a greater density than the density
119 described as No. 1 on the Ringelmann Chart as published by the
120 United States Bureau of Mines.
121 4. Toxic gases. Every use shall be so operated that there is no
122 emission of toxic, noxious or corrosive fumes or gases.
123 5. Emission of dirt, dust, fly ash and other forms of particulate matter.
124 Emission of dirt, dust, fly ash and other forms of particulate matter
125 shall not exceed eighty-five one-hundredths (0.85) pounds per one
126 thousand (1,000) pounds of gases of which amount not to exceed
127 five-tenths (0.5) pound per one thousand (1,000) pounds of gases
128 shall be of such size as to be retained on a 325-mesh U.S. standard
129 sieve. In the case of emission of fly ash or dust from a stationary
130 furnace or a combustion device, these standards shall apply to a
131 condition of fifty percent (50%) excess air in the stack at full load,

- 132 which standards shall be varied in proportion to the deviation of
133 the percentage of excess air from fifty percent (50%).
134 6. Radiation. Every use shall be so operated that there is no
135 dangerous amount of radioactive emissions.
136 7. Glare and heat. Any operation producing intense glare or heat
137 shall be performed in an enclosure in such a manner as to be
138 imperceptible along any lot line.
139 8. Screening.
140 a. All mechanical equipment, air-handling units, cooling towers,
141 condensers, etc., on roof or grade shall be screened architecturally
142 in such a manner as to be a part of the design of the building.
143 b. Incinerators and stacks shall be enclosed in the same material as
144 the main exterior building material.
145

146 **4. TRASH SCREENING**

147 Trash container shall be kept within a screened area as shown on C1.1
148 dated 11/16/21 by Excel Engineers, with visibility of trash container
149 screened from the New Halls Ferry right-of-way using compatible
150 materials to the building.
151

152 **5. PLAN SUBMITTAL REQUIREMENTS**

153 Final Development Plan shall include improvements as shown on
154 drawings attached, including entire property, trash enclosures, landscape,
155 lighting and legal description.
156

157 **6. SITE DEVELOPMENT PLAN CRITERIA:**

- 158 a. Height, Area And Bulk Restrictions:
159 1. Height, Area And Bulk Regulations. The height, area and bulk
160 regulations for uses in the "B-5" Planned Commercial District.
161
162 b. Internal Drives:
163 (1) There shall be parking as shown on plans attached.
164
165 c. Minimum Parking/Loading Space Requirements.
166 (1) There shall be a minimum of 41 parking spaces provided on the
167 property, including 4 customer pickup spaces.
168
169 d. Road Improvements, Access and Sidewalks
170 (1) There shall be parking as shown on plans attached.
171
172 e. Lighting Requirements.
173 Lighting of the property shall comply with the following standards and
174 requirements:
175 (1) The light level for parking lot lighting shall be as shown on attached
176 photometric plan C3.1 dated 11/16/21 by Excel Engineers.

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(2) All site lighting and exterior building lighting shall be directed down and inward.

f. Sign Requirements.

(1) All signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

(1) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

(1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.

(2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

(1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.

(2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.

(3) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.

(4) All mechanical equipment, electrical equipment, and communication equipment shall be screened in accordance with the Florissant Zoning Code.

(5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.

(6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.

(7) Thin brick shall receive an opaque breathable stain in lieu of paint.

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7. FINAL SITE DEVELOPMENT PLAN

A final site development plan shall be submitted to the Building Commissioner to review for compliance with the applicable "B-5" Planned Commercial Development ordinance prior to recording. Any variations from the ordinance approved by the City Council and/or the conceptual plans attached to such ordinance shall be processed in accordance with the procedure established in the Florissant Zoning Code.

8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner shall make a determination as to the extent of the changes per the following procedure:

1. The property owner or designate representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.
2. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City Council.
3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
5. Determination of major changes: If the Building Commissioner determines that an amendment to the B-5 is not required but the changes are major in nature, then the owner shall apply for review and approval by the Planning and Zoning commission.

9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.

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c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

10. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, the development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

11. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

(end report and suggested motion)

SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

SURVEY NOTE:
EXISTING CONDITIONS SURVEY WAS COMPLETED BY THE CLAYTON ENGINEERING COMPANY INC. (PROJECT #21241) ON NOVEMBER 10, 2021. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL SITE IMPROVEMENTS, UTILITY LOCATIONS, INVERTS, SIZES, ETC. NOTIFY ENGINEER OF DISCREPANCIES. ENGINEER TO NOTIFY SURVEYOR AS NEEDED. FAILURE TO NOTIFY ENGINEER SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR ANY DAMAGES AS A RESULT OF FAILURE TO FIELD VERIFY.

NOTE:
CONTRACTOR TO ADJUST ALL STRUCTURES IN DEVELOPMENT AREAS TO FINISHED GRADE. COORDINATE WITH UTILITY COMPANIES AS NECESSARY.

CLAYTON ENGINEERING LEGEND

AI	Area Inlet	L	Length of Curve	○	Clean Out	■	Valve or Meter (Gas or Water)
Asph	Asphalt	MH	Manhole	□	Catch Basin/Curb Inlet/Area Inlet	▣	Cable TV Box
BW	Bottom of Wall	N/F	Now or Formerly	□	Double Catch Basin/Curb Inlet	⊞	Electric Co. Box
BB	Back to Back	OHE or OHW	Overhead Electric or Wires	▤	Flared End Section	⊞	Electric Meter
CB	Catch Basin	OIP	Old Iron Pipe	▥	Grated Inlet	⊞	Telephone Co Box
ChB	Chord Bearing	PG	Page	○	Manhole	⊞	Traffic Signal
CI	Curb Inlet	PB	Plat Book	▦	Grated Manhole	⊞	Traffic Signal Box
CL or t	Centerline	PL or t	Property Line	○	HDS Unit	⊞	Deciduous Tree
CMP	Corrugated Metal Pipe	PVC	Polyvinyl Chloride Pipe	○	Drain	⊞	Bush
Conc	Concrete	Pvmt	Pavement	○	Sign	⊞	Test Hole/ Soil Boring
CTV	Underground Cable TV	R	Radius	○	Utility Pole	⊞	ADA Parking Space
DB	Deed Book	RCP	Reinforced Concrete Pipe	○	Faucet	⊞	Parking Space Count
DCB	Double Catch Basin	R/W	Right of Way	○	Fire Hydrant		
DCI	Double Curb Inlet	Trans	Transformer				
DIP	Ductile Iron Pipe	TW	Top of Wall				
DS	Downspout	Typ	Typical				
FES	Flared End Section	UGE	Underground Electric				
FF	Finished Floor	UGFO	Underground Fiber Optic				
FL or t	Flow Line	UGT	Underground Telephone				
FO	Underground Fiber Optic	VCP	Vitrified Clay Pipe				
GM	Gas Meter	WM	Water Meter				
GV	Gas Valve	WV	Water Valve				
GI	Grated Inlet	32L3017S	Sewer Identification #				
HDPE	High Density Polyethylene Pipe						

GENERAL NOTES:

Basis of Bearings: Grid Bearings, Missouri Coordinate System of 1983, East Zone

A zoning report or letter has not been supplied to the surveyor by the client. As per the City of Florissant GIS the subject tracts is zoned B5"Planned Commercial District". Building lines are depicted as per the subdivision plat.

The utilities have been located as marked by Missouri One Call.

There are 45 regular spaces and 2 handicapped for a total of 47 spaces

We have examined Flood Insurance Rate Map Map Number 29189C0066K, having an effective date of February 4, 2015, of the National Flood Insurance Program prepared by the Federal Emergency Management Agency for the area containing the subject property. By graphic plotting only, the subject property is located within; "Zone X" areas determined to be outside the 0.2% annual chance floodplain.

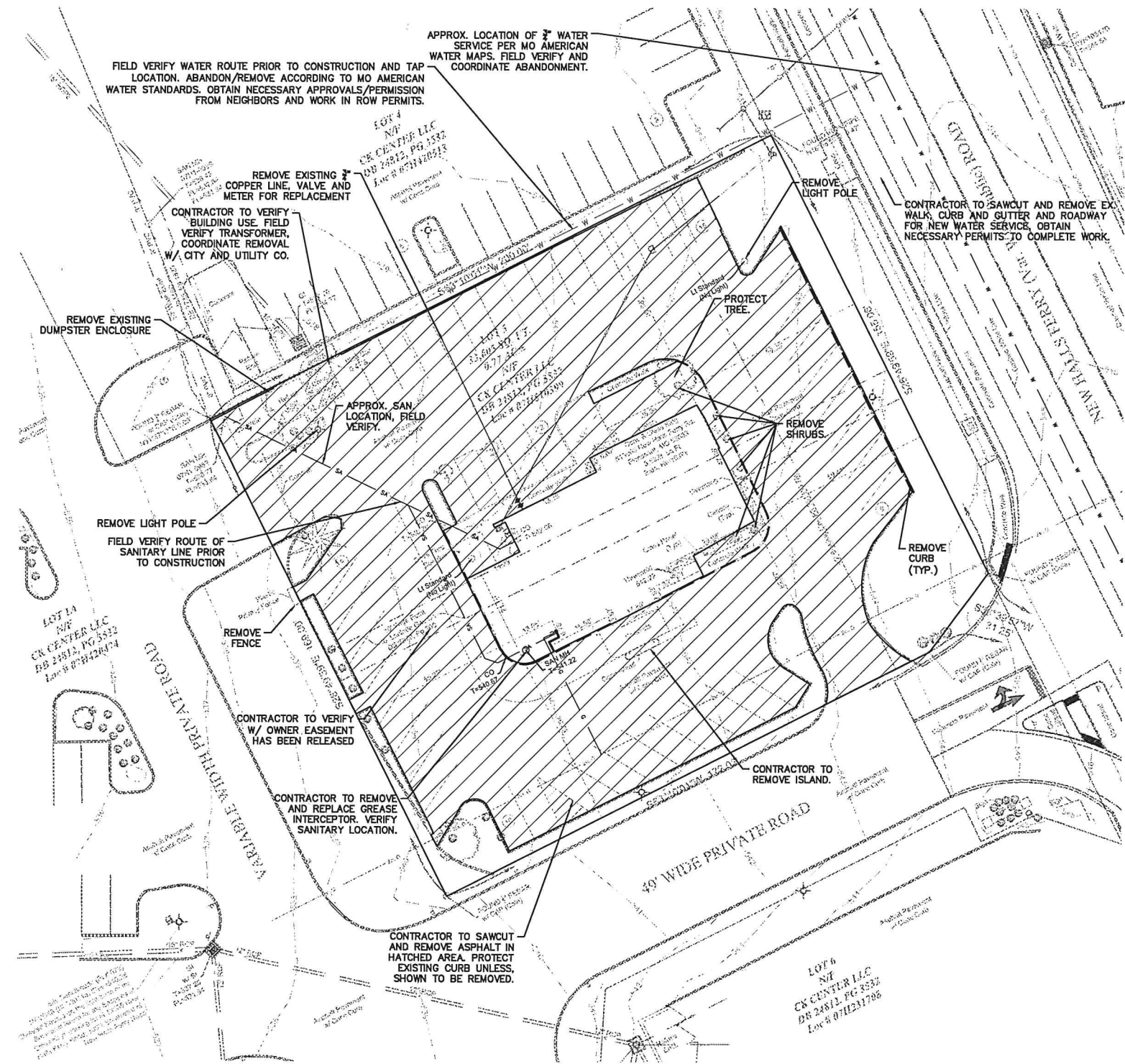
This note is for the purpose of providing information as indicated on the current Flood Insurance Rate Maps for this area, and should not be construed as an indication as to whether flood insurance should, or should not be purchased.

CLAYTON ENGINEERING BENCHMARKS:

St. Louis County Benchmark 4322
NAVD88(SLC2011a) Elev. = 547.09 FIUS

Cut "L" on the southwest corner of the raised concrete base for metal traffic signal control box situated in grassy area several feet east of the curb at the northern end of the right turn lane from westbound Lindbergh Boulevard onto northbound New Halls Ferry Road, and generally west of a Mobil gas station addressed as #3125 N. Highway 67 Street (also known as North Lindbergh Boulevard), roughly 65 feet south of the center of access drive from New Halls Ferry Road to the Mobil gas station, 41 feet east of the center of a median island in New Halls Ferry Road, and 100 feet more or less north of the centerline of Lindbergh Boulevard.

Site Benchmark:
TBM#679
NAVD88(SLC2011a) Elev.=540.28 FIUS
Chiseled Square on the light base of the Southeast Island for the Shoppes at Cross Keys parking lot at 13965 New Halls Ferry Road; 330' +/- Southwest of New Halls Ferry Road



PROJECT INFORMATION

PROPOSED BUILDING RENOVATION
HAWAIIAN BROS - STR: 45
13963 HWY AC • FLORISSANT, MO. 63033

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE NOV. 16, 2021

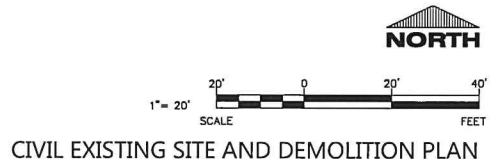
REVISIONS

JOB NUMBER

2164180

SHEET NUMBER

C1.0



SPECIFICATION NOTE:
SEE SHEET C0.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

CURB & CUTTER MARKING KEY:
----- REPLACE CURB

PAVEMENT HATCH KEY:

[Hatch Pattern 1]	STANDARD ASPHALT
[Hatch Pattern 2]	HEAVY DUTY ASPHALT
[Hatch Pattern 3]	SIDEWALK CONCRETE
[Hatch Pattern 4]	DUMPSTER CONCRETE
[Hatch Pattern 5]	DRIVE THRU CONCRETE

SITE INFORMATION:

LEGAL DESCRIPTION: Lot 5 of "Cross Keys Subdivision" as recorded in plat Book 351 Page 789 of the St. Louis County records (noted as plat of correction).

PROPERTY AREA: AREA = 33,605 S.F. (0.77 ACRES).

EXISTING ZONING: B-5 (PLANNED COMMERCIAL DISTRICT)

PROPOSED ZONING: B-5 (PLANNED COMMERCIAL DISTRICT)

PROPOSED USE: QUICK-SERVE RESTAURANT

AREA OF SITE DISTURBANCE: 24,599 S.F. (0.56 ACRES).

SETBACKS: BUILDING: FRONT (EAST) = 40'
PAVEMENT: FRONT (EAST) = 40'

PROPOSED BUILDING HEIGHT: 21' (MAX. HEIGHT ALLOWED: 45')

PARKING REQUIRED: 1 SPACE PER 2 SEATS + 2 SPACES PER 3 EMPLOYEES
40 SPACES REQ.
5 STACKING SPOTS + 1 ORDER STATION

PARKING PROVIDED: 41 SPACE (2 H.C. ACCESSIBLE)

HANDICAP STALLS REQUIRED: 2, **HANDICAP STALLS PROVIDED:** 2

LANDSCAPE REQUIREMENTS: MIN. LANDSCAPE SURFACE RATIO: 0%

EXISTING SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.77	33,605	
BUILDING FLOOR AREA	0.09	3,718	11.1%
PAVEMENT (ASP. & CONC.)	0.53	23,204	69.0%
TOTAL IMPERVIOUS	0.62	26,922	80.1%
LANDSCAPE/ OPEN SPACE	0.15	6,683	19.9%

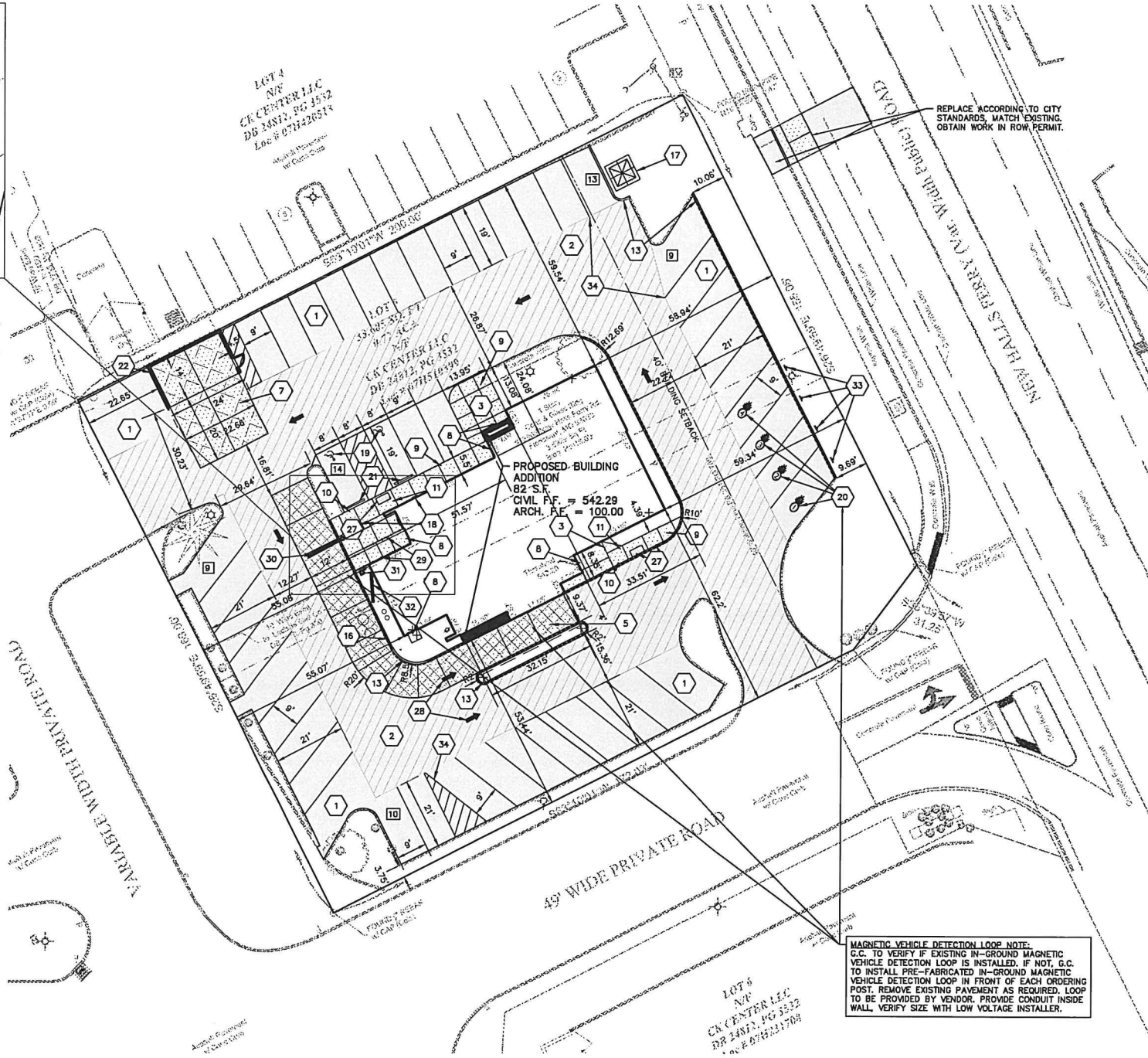
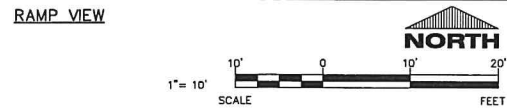
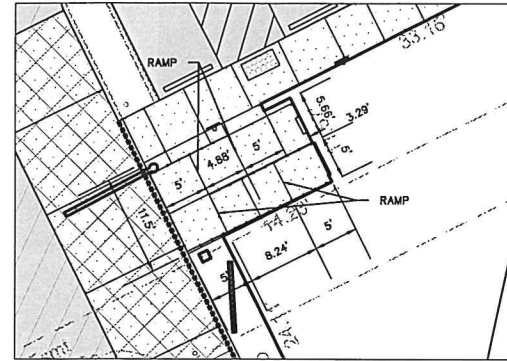
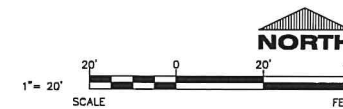
PROPOSED SITE DATA

	AREA (AC)	AREA (SF)	RATIO
PROJECT SITE	0.77	33,605	
BUILDING FLOOR AREA	0.08	3,643	10.8%
PAVEMENT (ASP. & CONC.)	0.54	23,359	69.5%
TOTAL IMPERVIOUS	0.62	27,002	80.4%
LANDSCAPE/ OPEN SPACE	0.15	6,603	19.6%

SITE PLAN KEYNOTES

- 1 STANDARD ASPHALT SECTION (TYP.)
- 2 HEAVY DUTY ASPHALT SECTION (TYP.)
- 3 CONCRETE SIDEWALK (TYP.)
- 5 DRIVE THRU CONCRETE (TYP.)
- 7 DUMPSTER PAD/APRON CONCRETE (TYP.)
- 8 CONCRETE STOOP (TYP.) SEE ARCH. PLANS FOR DETAILS.
- 9 RAISED WALK (TYP.)
- 10 FLUSH WALK (TYP.)
- 11 CURB RAMP (TYP.)
- 13 CURB HEAD (TYP.)
- 16 CURB CUT (TYP.)
- 17 CONCRETE TRANSFORMER PAD BY UTILITY SUPPLIER (CONTRACTOR TO VERIFY FINAL LOCATION & DESIGN PRIOR TO CONSTRUCTION)
- 18 HANDICAP SIGN (TYP.)
- 19 HANDICAP STALL & STRIPING PER STATE CODES.
- 20 HAWAIIAN BROS PICKUP PARKING PAVEMENT MARKINGS.
- 21 WHEEL STOPS (TYP.)
- 22 DUMPSTER ENCLOSURE (SEE ARCH PLANS FOR DETAILS)
- 25 FLAGPOLE (PROVIDED BY SIGN VENDOR)
- 27 DETECTABLE WARNING PLATE
- 28 TRAFFIC FLOW ARROWS. COLOR TO MATCH PARKING STALL STRIPING.
- 29 RAILING (SEE ARCH PLAN FOR DETAILS)
- 30 PROPOSED CLEARANCE POLE. PROVIDED AND INSTALLED BY VENDOR.
- 31 PROPOSED SPEAKER BOX. PROVIDED AND INSTALLED BY VENDOR.
- 32 PROPOSED MENU BOARD. PROVIDED AND INSTALLED BY VENDOR.
- 33 HAWAIIAN BROS PICKUP PARKING SIGNS (NUMBERED SIGNS PROVIDED BY VENDOR) VERIFY LOCATIONS WITH OWNER.
- 34 STRIPING (TYP.)

MAGNETIC VEHICLE DETECTION LOOP NOTE:
G.C. TO VERIFY IF EXISTING IN-GROUND MAGNETIC VEHICLE DETECTION LOOP IS INSTALLED. IF NOT, G.C. TO INSTALL PRE-FABRICATED IN-GROUND MAGNETIC VEHICLE DETECTION LOOP IN FRONT OF EACH ORDERING POST. REMOVE EXISTING PAVEMENT AS REQUIRED. LOOP TO BE PROVIDED BY VENDOR. PROVIDE CONDUIT INSIDE WALL. VERIFY SIZE WITH LOW VOLTAGE INSTALLER.



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Fond Du Lac, WI 54935
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PROJECT INFORMATION

PROPOSED BUILDING RENOVATION
HAWAIIAN BROS - STR: 45
13963 HWY AC • FLORISSANT, MO. 63033

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE NOV. 16, 2021

REVISIONS

JOB NUMBER

2164180

SHEET NUMBER

C1.1

SPECIFICATION NOTE:
 SEE SHEET C0.1 FOR PLAN
 SPECIFICATIONS AND REQUIREMENTS

- NOTES:**
- HANDICAP STALL AND ACCESS AISLES SHALL NOT EXCEED A SLOPE OF 1.50% IN ANY DIRECTION. HANDICAP STALL & ACCESS AISLES SHALL CONFORM TO ADA REQUIREMENTS (CURRENT EDITION)
 - ALL SIDEWALKS SHALL NOT EXCEED A MAXIMUM CROSS SLOPE OF 1.50% AND RUNNING SLOPE OF 4.50% UNLESS OTHERWISE SPECIFIED.

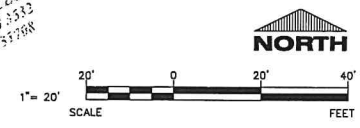
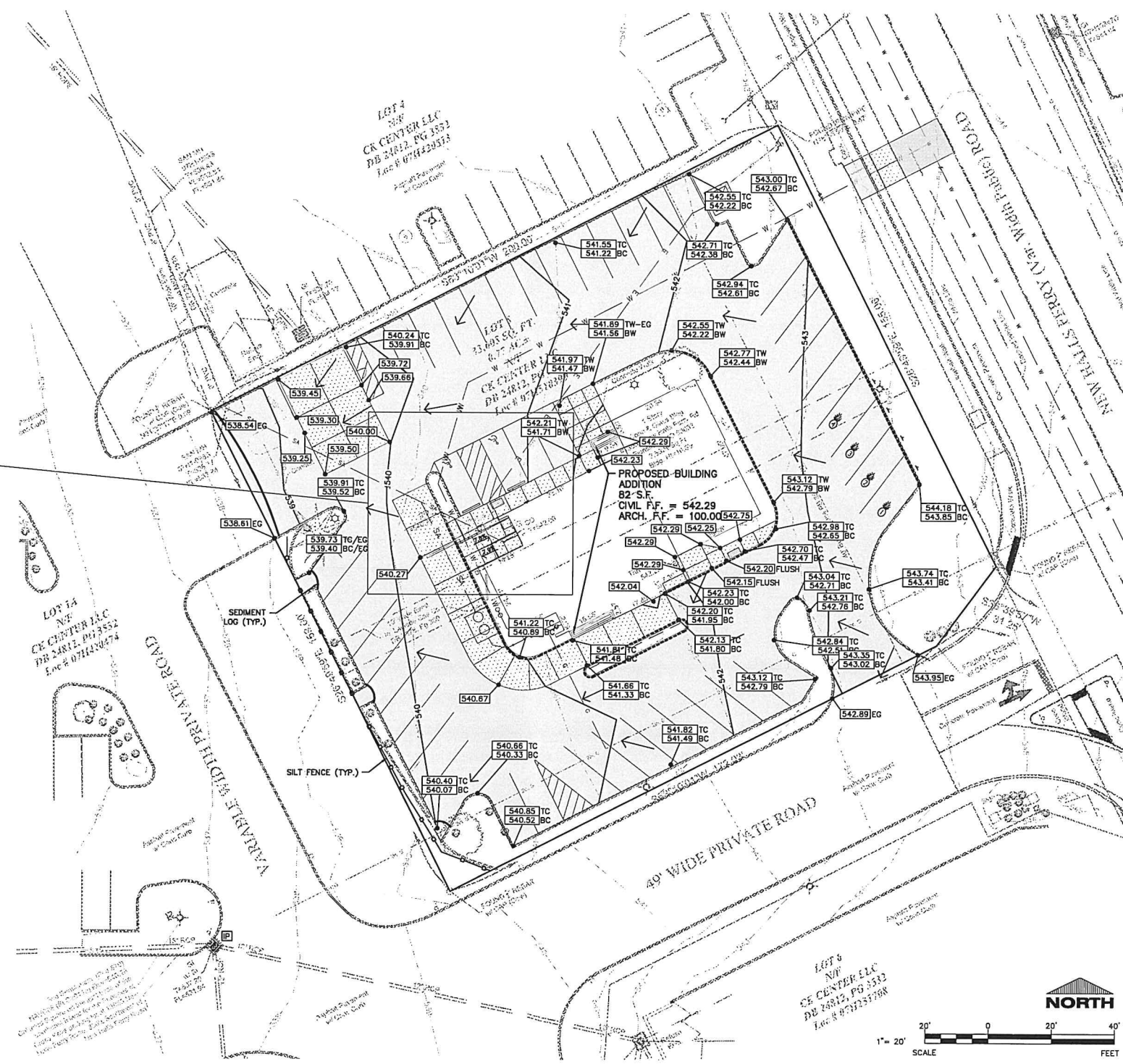
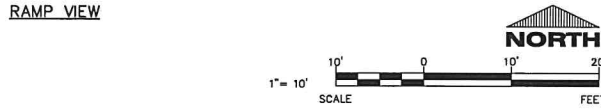
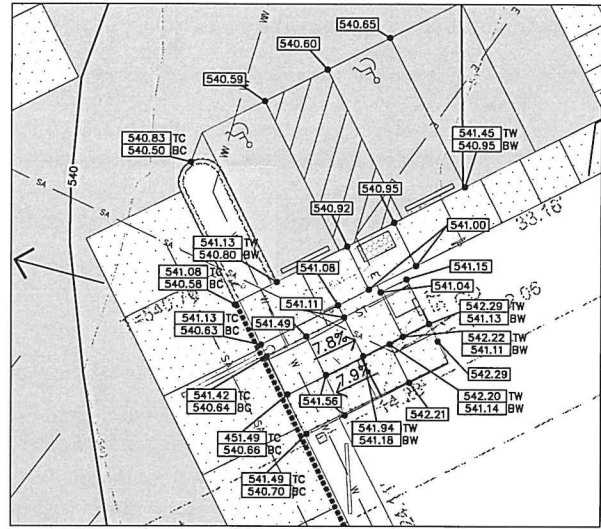
INLET PROTECTION NOTE:
 IP CONTRACTOR SHALL PROVIDE TEMPORARY INLET PROTECTION FOR ALL CURB INLETS & CATCH BASINS ONSITE & OFFSITE IMMEDIATELY DOWNSTREAM OF THE PROJECT SITE PER LOCAL CODE.

STABILIZED CONSTRUCTION ENTRANCE NOTE:
 CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION ENTRANCE AT CONSTRUCTION ENTRANCE FOR PROPOSED IMPROVEMENTS AS REQUIRED PER CODE.

CONCRETE WASHOUT NOTE:
 CONTRACTOR SHALL PROVIDE CONCRETE WASHOUT AS REQUIRED PER CODE. FINAL LOCATION TBD BY CONTRACTOR.

PROJECT INFORMATION

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 13963 HWY AC • FLORISSANT, MO. 63033



CLAYTON ENGINEERING BENCHMARKS:

St. Louis County Benchmark 4322
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Site Benchmark:
 TBM#679
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SHEET DATES

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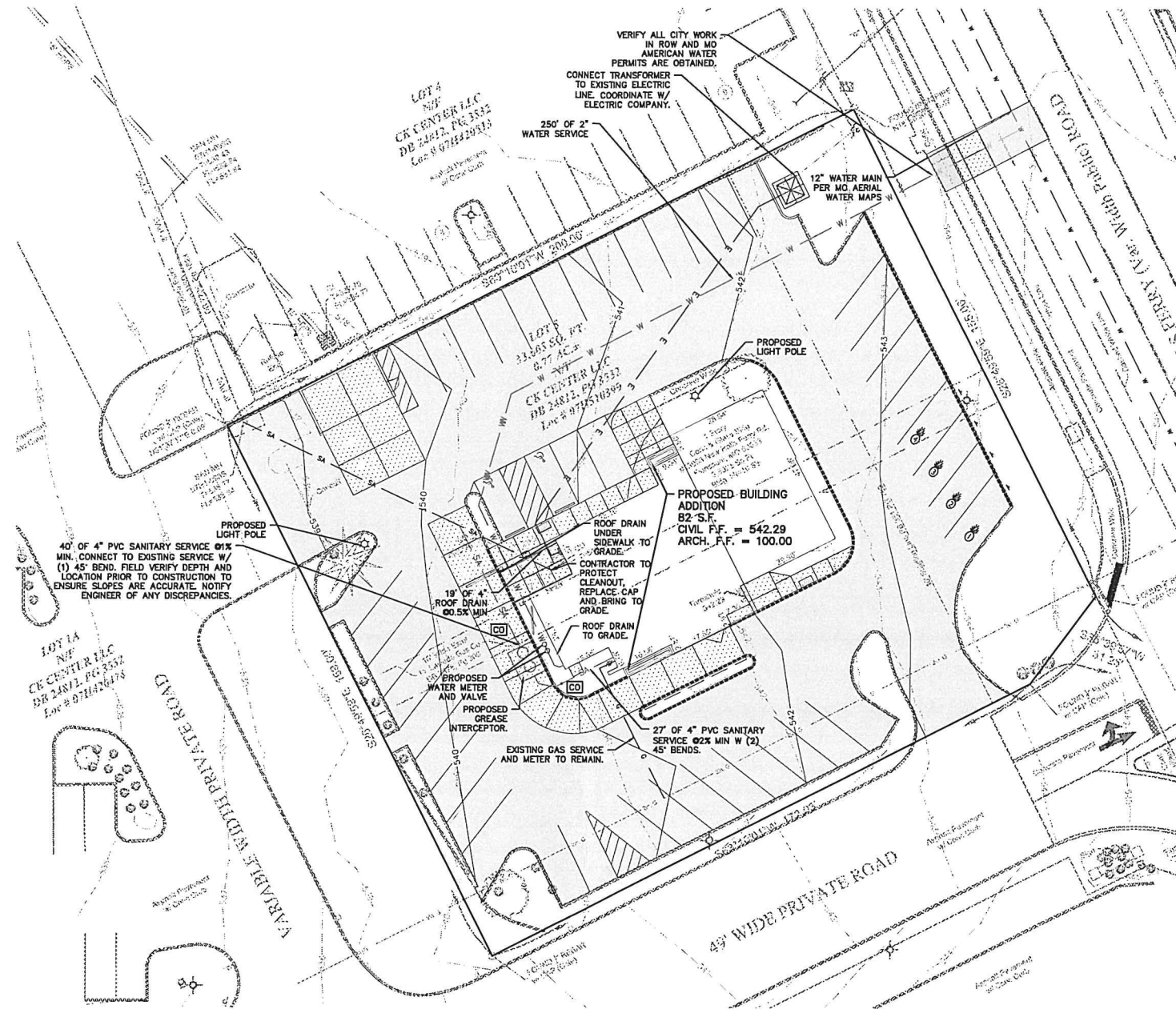
REVISIONS

JOB NUMBER

2164180

SHEET NUMBER

C1.2



SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

DOWNSPOUT NOTE:
[DS] = DENOTES DOWNSPOUT TO GRADE LOCATIONS. PROVIDE SPLASH BLOCKS AT ALL DS TO GRADE LOCATIONS. SEE ARCH PLANS FOR FINAL LOCATIONS.

CLEANOUT NOTE:
[CO] = DENOTES LOCATIONS WHERE CONTRACTOR SHALL INSTALL CLEANOUTS, SEE CO.1 FOR SPECIFICATION.

NOTE:
PRIOR TO CONSTRUCTION, CONTRACTOR SHALL FIELD VERIFY ALL SITE IMPROVEMENTS, UTILITY LOCATIONS, INVERTS, SIZES, ETC. NOTIFY ENGINEER OF DISCREPANCIES. ENGINEER TO NOTIFY SURVEYOR AS NEEDED. FAILURE TO NOTIFY ENGINEER SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR ANY DAMAGES AS A RESULT OF FAILURE TO FIELD VERIFY. CONTRACTOR TO ADJUST ALL STRUCTURES IN DEVELOPMENT AREAS TO FINISHED GRADE. COORDINATE WITH UTILITY COMPANIES AS NECESSARY.



PROJECT INFORMATION

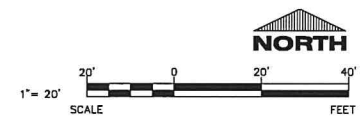
PROPOSED BUILDING RENOVATION
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PROFESSIONAL SEAL

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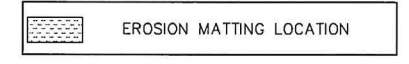
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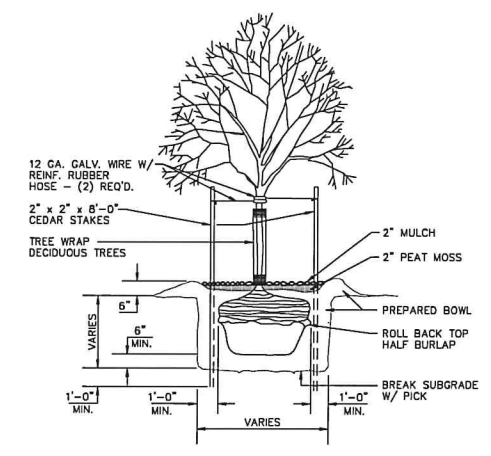


CIVIL UTILITY PLAN

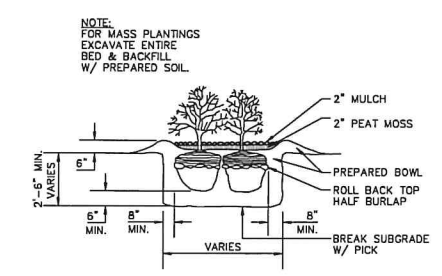
SPECIFICATION NOTE:
 SEE SHEET C0.1 FOR PLAN
 SPECIFICATIONS AND REQUIREMENTS



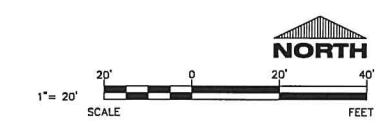
LANDSCAPING PLANTING SCHEDULE				
SYMBOL	COMMON NAME	BOTANICAL NAME	PLANTED SIZE	QUANTITY
EXISTING TREES				
⊙	Existing Deciduous tree		15'	2
⊛	Existing Evergreen tree		18'	1
⊗	Existing Evergreen shrub		3'	16
DECIDUOUS TREES				
⊙	Autumn Blaze Maple	Acer x freemanii 'Jeffers'	2"	4
DECIDUOUS SHRUBS				
⊗	Emerald Mound Honeysuckle	Lonicera x xylosteum 'Emerald Mound'	18"	22
EVERGREEN SHRUBS				
⊕	Taunton Yew	Taxodium	24"	12
⊗	Dwarf Norway Spruce	Picea abies 'Pumila'	2"	28
⊕	Pfitzer Juniper	Juniperus chinensis 'Pfitzeriana'	12"-15"	7
PERENNIALS				
*	Karl Foerster Reed Grass	Clamagrostis x acutiflora 'Karl Foerster'	1 gal pot	11



TREE PLANTING DETAIL
 NO SCALE



SHRUB PLANTING DETAIL
 NO SCALE



CIVIL LANDSCAPE AND RESTORATION PLAN

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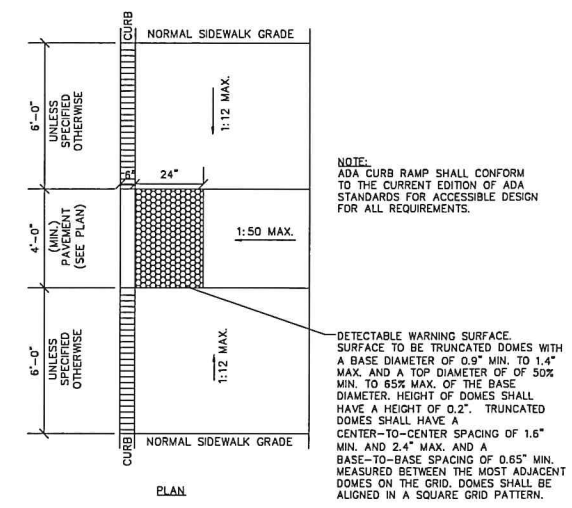
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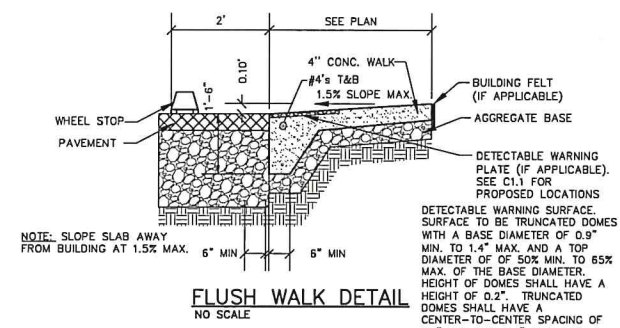
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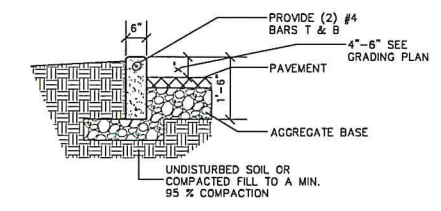
PICKUP PARKING PAVEMENT MARKING
NO SCALE



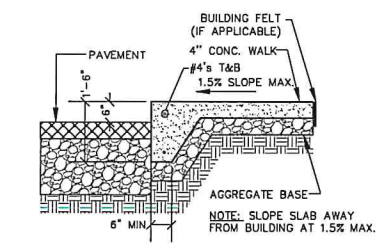
ADA SIDEWALK RAMP #1 DETAIL
NO SCALE



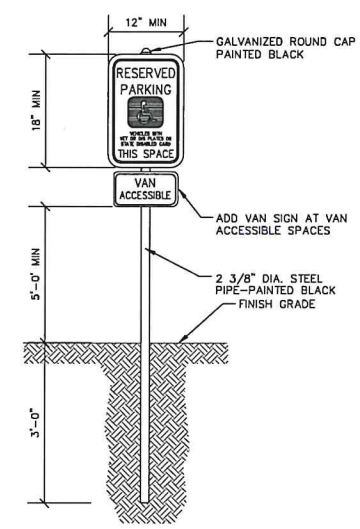
FLUSH WALK DETAIL
NO SCALE



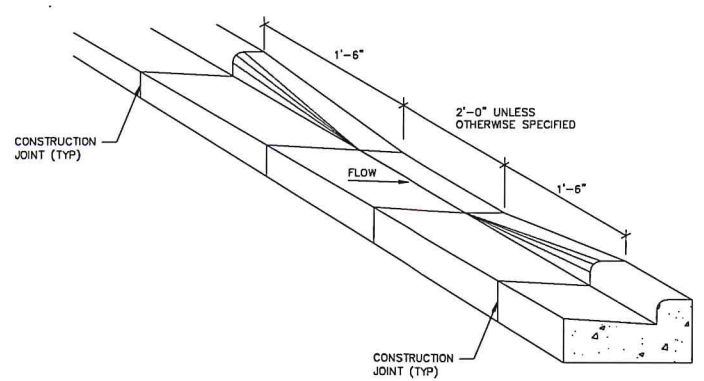
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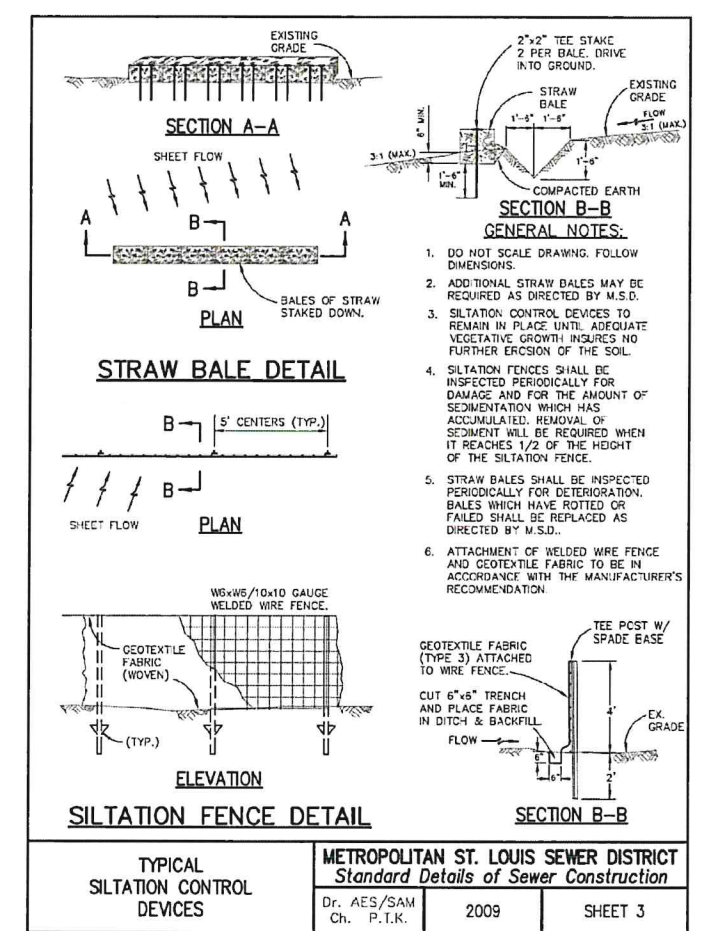
RAISED WALK DETAIL
NO SCALE



HANDICAP SIGNAGE WITHOUT CONCRETE BASE DETAIL
NO SCALE



CURB CUT DETAIL
NO SCALE



STRAW BALE DETAIL

SILTATION FENCE DETAIL

TYPICAL SILTATION CONTROL DEVICES	METROPOLITAN ST. LOUIS SEWER DISTRICT Standard Details of Sewer Construction		
	Dr. AES/SAM Ch. P.T.K.	2009	SHEET 3

SILT FENCE - INSTALLATION DETAIL
NO SCALE

SPECIFICATION NOTE:
SEE SHEET CO.1 FOR PLAN SPECIFICATIONS AND REQUIREMENTS

EXCEL
ARCHITECTS • ENGINEERS • SURVEYORS
Always a Better Plan
100 Camelot Drive
Fond Du Lac, WI 54935
Phone: (920) 926-9800
www.EXCELENGINEER.com

PROJECT INFORMATION

PROPOSED BUILDING RENOVATION
HAWAIIAN BROS - STR: 45
13963 HWY AC • FLORISSANT, MO. 63033

PROFESSIONAL SEAL

SHEET DATES	
SHEET ISSUE	NOV. 16, 2021
REVISIONS	

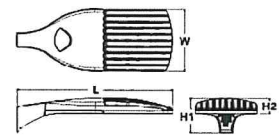
JOB NUMBER
2164180

SHEET NUMBER
C2.0



D-Series Size 1 LED Area Luminaire

Specifications
 EPA: 1.01 ft²
 Length: 31"
 Width: 13"
 Height H1: 7.12"
 Height H2: 3-1/2"
 Weight (max): 27 lbs



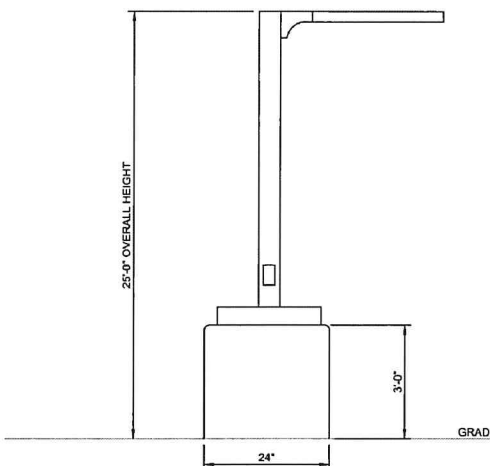
Introduction
 The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sizes with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

See Ordering Information for details on options.

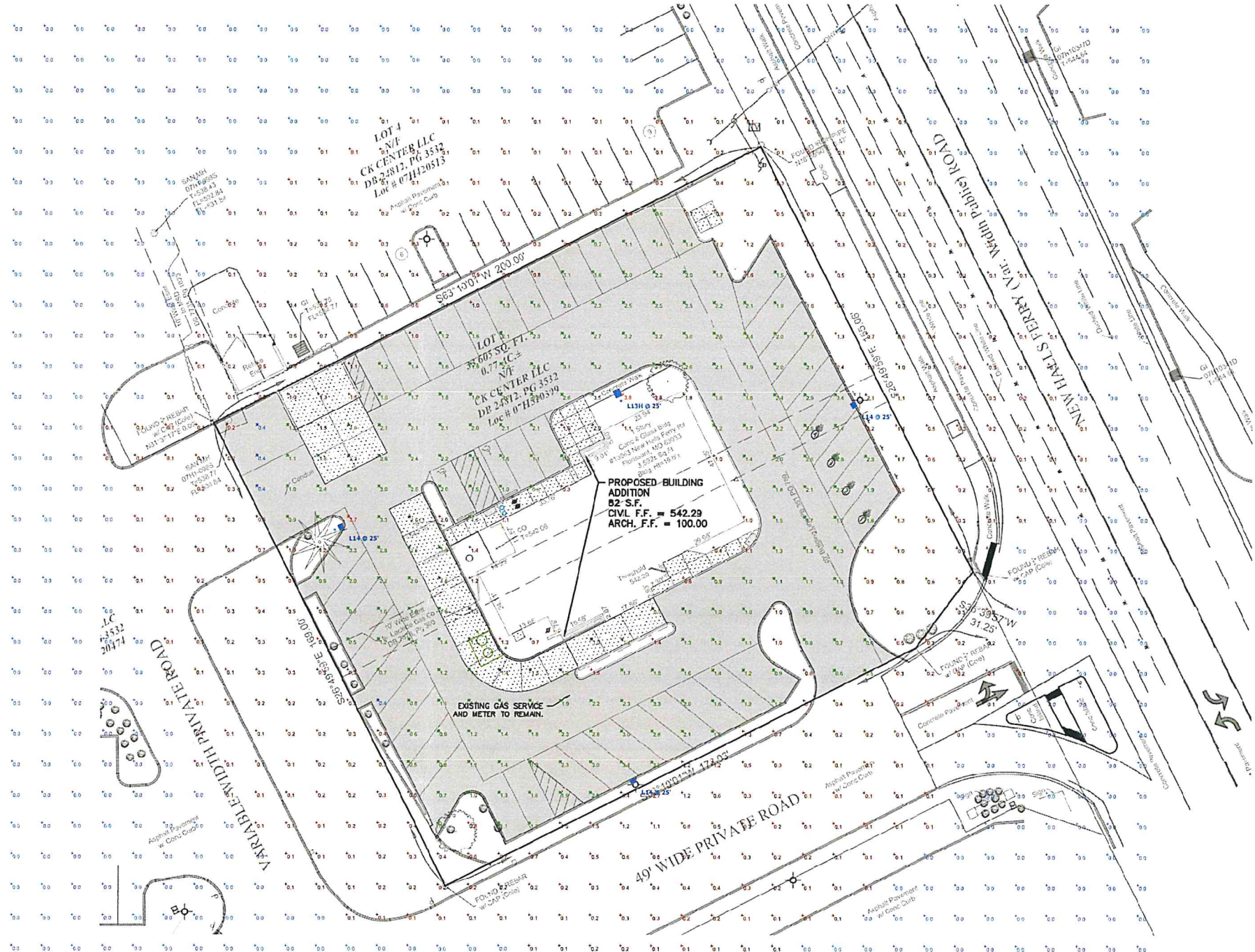
Ordering Information EXAMPLE: D5X1 LED P7 40K T3M MVOLT SPA NLTAR2 FIRHN DDBX0

Series	LEDs	Color Temperature	Distribution	Voltage	Mounting
D5X1 LED	Forward optics	30K 3000K	DS Type II	T3M	Spot
	P7 P8 P9	40K 4000K	DS Type III	T3M	Spot
	P10 P11	50K 5000K	DS Type IV	T3M	Spot
	Backward optics		DS Type V	T3M	Spot
Shipped included SPA Square pole mounting WSA Round pole mounting WSA Round pole universal mounting adapter SPUMSA Square pole universal mounting adapter Round pole universal mounting adapter Shipped separately KMAX 3050DU Micromounting bracket (ultra-lance) (sold)					

LITHONIA LIGHTING COMMERCIAL OUTDOOR
 One Lithonia Way • Cary, NC 27513 • Phone: 919-433-1313 • www.lithonia.com
 © 2011-2019 Aqualux Lighting, Inc. All rights reserved. D5X1 LED Rev. 09/2019 Page 1 of 8

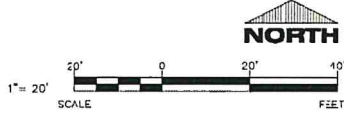


LIGHT POLE DETAIL
NO SCALE



Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLP
□	L14	3	Lithonia Lighting	DSX1 LED P6 40K T4M MVOLT	DSX1 LED P6 40K T4M MVOLT	LED	1	18634	0.9
□	L13H	1	Lithonia Lighting	DSX1 LED P6 40K T3M MVOLT HS	DSX1 LED P6 40K T3M MVOLT with houseside shield	LED	1	14985	0.9

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.5 fc	3.8 fc	0.0 fc	N/A	N/A
PARKING LOT	X	1.8 fc	3.7 fc	0.4 fc	9.3:1	4.5:1



CIVIL SITE PHOTOMETRIC PLAN & DETAILS

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SHEET DATES

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JOB NUMBER

2164180

SHEET NUMBER

C3.1

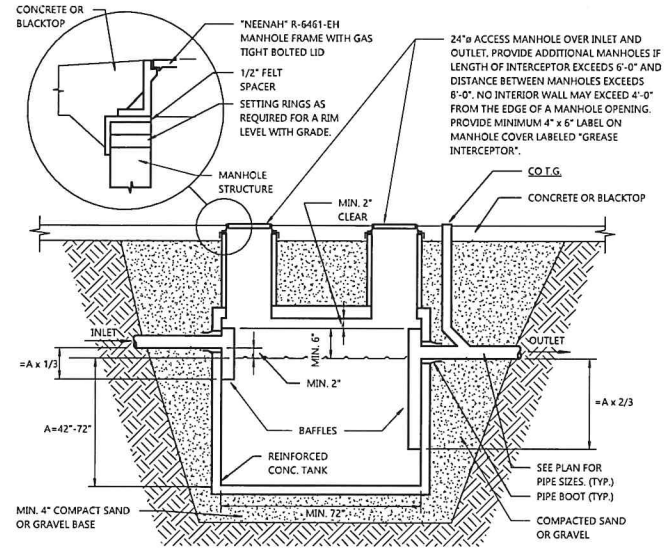
EXTERIOR GREASE INTERCEPTOR SCHEDULE (GI)

NO.	MAT'L	LENGTH (INCHES)	WIDTH (INCHES)	HEIGHT (INCHES)	LIQUID LEVEL (INCHES)	CAPACITY (GAL.)	INLET & OUTLET SIZE	MANHOLES	APPROX. COVER DEPTH	MODEL	REMARKS
1	PRECAST	110	93	70	51	1565	4"	(1)	12"	W1565GI	WEISER

- ACCEPTABLE MANUFACTURERS: WEISER OR EQUAL.
 (1) SEE EXTERIOR GREASE INTERCEPTOR DETAIL FOR ADDITIONAL INFORMATION.

GREASE INTERCEPTOR CALCULATIONS

FIXTURE	NUMBER OF	COMPARTMENT			VOLUME (CU. IN.)	VOLUME (GALLONS)	0.75 x VOLUME (GPM)
		LENGTH (INCHES)	WIDTH (INCH)	DEPTH (INCHES)			
3-COMP	3	18	18	12	11,664	50	38
PREP	3	20	20	12	14,400	62	47
HAND WASH	4	15.5	14	5	4,340	19	14
DOLE WHIP	1	10	18.5	5	925	4	3
SERVICE SINK	1	24	24	10	5,760	25	19
DISHWASHER	1	-	-	-	-	1.25 PER CYCLE	1.25
TOTAL (MINIMUM FLOW RATE)							122
MINIMUM GREASE HOLDING CAPACITY							243
DISHWASHER CYCLE TIME							97 SECONDS
30 MINUTE DISHWASHER CONSUMPTION							23.2 GALLONS
HOLDING CAPACITY OF SINKS							120 GALLONS
REQUIRED LIQUID HOLDING CAPACITY							144 GALLONS



2 EXTERIOR GREASE INTERCEPTOR DETAIL
 C3.2 NOT TO SCALE

PROJECT INFORMATION

PROPOSED BUILDING RENOVATION
HAWAIIAN BROS - STR: 45
 13963 STATE HWY AC • FLORISSANT, MO. 63033

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE NOV. 16, 2021

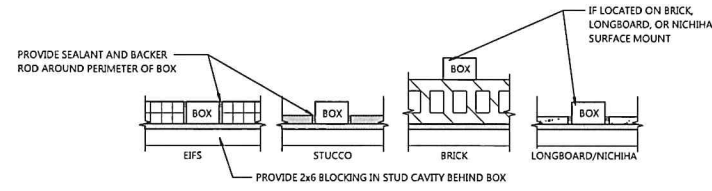
REVISIONS

JOB NUMBER

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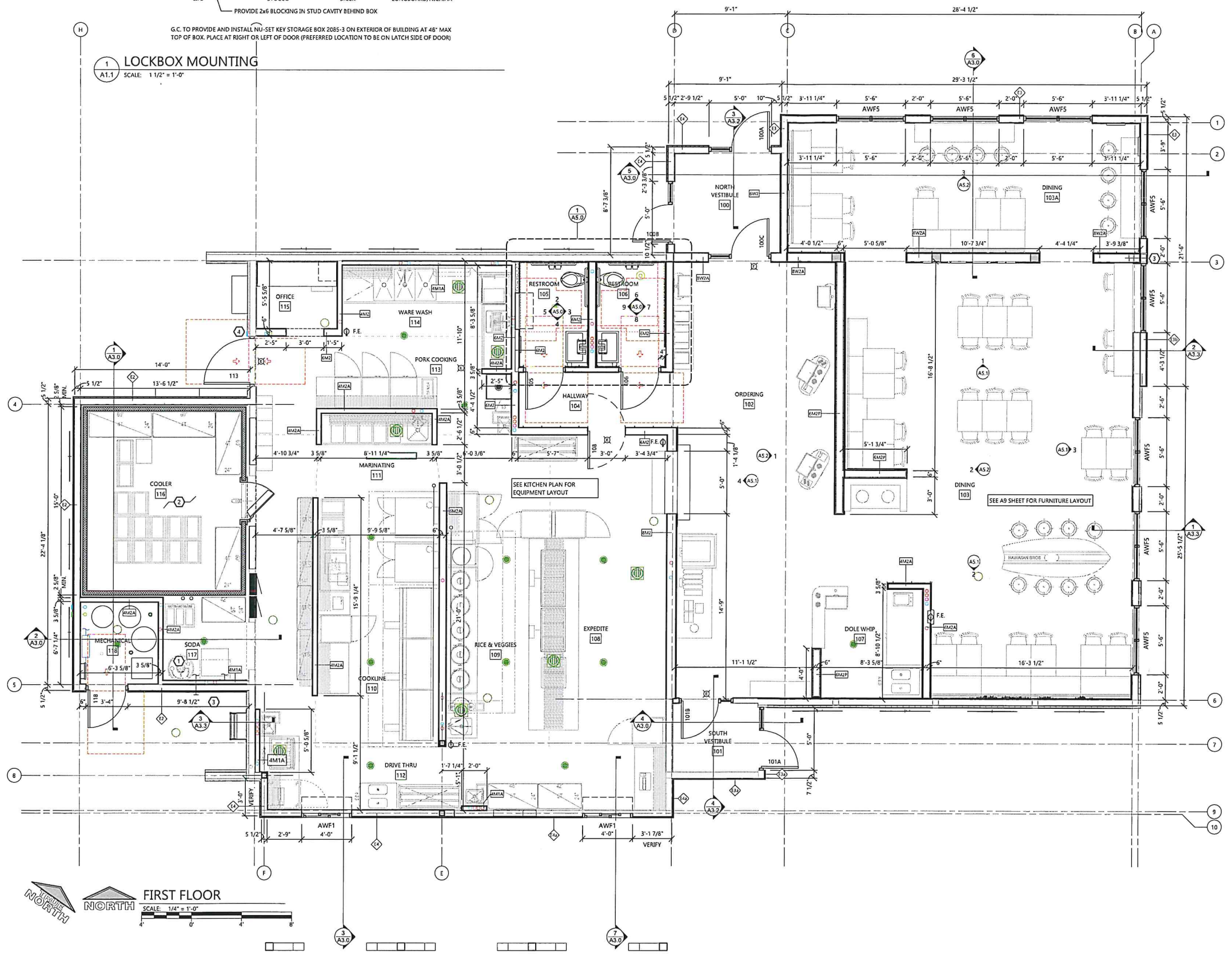
SHEET NUMBER

C3.2



G.C. TO PROVIDE AND INSTALL NU-SET KEY STORAGE BOX 2085-3 ON EXTERIOR OF BUILDING AT 48" MAX TOP OF BOX. PLACE AT RIGHT OR LEFT OF DOOR (PREFERRED LOCATION TO BE ON LATCH SIDE OF DOOR)

1 LOCKBOX MOUNTING
A1.1 SCALE: 1 1/2" = 1'-0"



FIRST FLOOR
SCALE: 1/4" = 1'-0"

SYMBOLS LEGEND

- SEE SHEET A10.0 FOR INT. WALL TYPES
- SEE SHEET A2.0 FOR EXT. WALL TYPES
- EXIT SIGNAGE
- FIRE EXTINGUISHER - SEE T1.1 SHEET
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- STUD WALL
- SEE PLAN FOR ALL WALL WIDTHS
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE DEMOLISHED
- NEW DOOR

GENERAL NOTES

- ALL INTERIOR DIMS. ARE FROM FACE-OF-STUD TO FACE-OF-STUD.
- PROVIDE SOUND BATT INSULATION AROUND PERIMETER OF TOILET ROOM AND KITCHEN WALLS.
- MISCELLANEOUS HARDWARE INCLUDED: HANDICAP HARDWARE.
- PROVIDE WOOD BLOCKING FOR ANY FURNISHINGS BY OWNER/FURNITURE SUPPLIER/KITCHEN SUPPLIER (VERIFY LOCATIONS)
- ALL EXTERIOR WINDOWS TO HAVE ALUMINUM FLASHING RETURNS AT HEAD, JAMBS, AND SILL OF ALL WINDOWS.
- FOOD PREP AREA TO BE VERIFIED W/ OWNER. PROVIDE SHOP DRAWINGS ON EQUIPMENT.

SALES & SERVICE COUNTERS

IN RETAIL STORES WHERE COUNTERS HAVE CASH REGISTERS AND ARE PROVIDED FOR SALES OR DISTRIBUTION OF GOODS OR SERVICES TO THE PUBLIC, AT LEAST ONE OF EACH TYPE SHALL HAVE A PORTION OF THE COUNTER WHICH IS AT LEAST 36" IN LENGTH WITH A MAXIMUM HEIGHT OF 36" ABOVE THE FINISH FLOOR. COUNTER SHALL BE ON AN ACCESSIBLE ROUTE COMPLYING WITH A.D.A. GUIDELINE 4.3.

FLOOR PLAN KEYNOTES

- PROVIDE CARBON DIOXIDE METER ABOVE CO2 TANK. SEE DRAWINGS FROM KITCHEN SUPPLIER FOR FINAL CO2 LOCATION. PROVIDE HELMET GAS RAD-0102-06 REMOTE CO2 STORAGE SAFETY ALARM WITH LCD DISPLAY, AUDIBLE ALARM.
- COOLER BY KITCHEN SUPPLIER. G.C. TO COORDINATE INSTALLATION AND ENCLOSURE TO ADJACENT WALLS.
- EAST-WASH HOOK UP ON EXTERIOR WALL. PROVIDE CONTROL BOX (ON WARM/SHR), SS WALL PLATE, BALL VALVE AND QUICK DISCONNECT. COORDINATION WITH EAST-WASH SUPPLIER. CONTACT: dave@eastwash.com
- G.C. TO PROVIDE AND MOUNT NU-SET KEY STORAGE BOX 2085-3 ON EXTERIOR OF BUILDING AT 48" MAX TOP OF BOX. PLACE AT RIGHT OR LEFT OF DOOR. (PREFERRED LOCATION ON LATCH SIDE OF DOOR. SEE DETAIL ON SHEET.
- NEW FLOOR SLAB. SEE STRUCTURAL DRAWINGS FOR DETAILS.

PROJECT INFORMATION

PROPOSED BUILDING RENOVATION
HAWAIIAN BROS - STR: 45
13963 STATE HWY AC • FLOISSANT, MO. 63033

PROFESSIONAL SEAL

SHEET DATES

SHEET ISSUE NOV. 16, 2021

REVISIONS

JOB NUMBER

2164180

SHEET NUMBER

A1.1

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PROJECT INFORMATION

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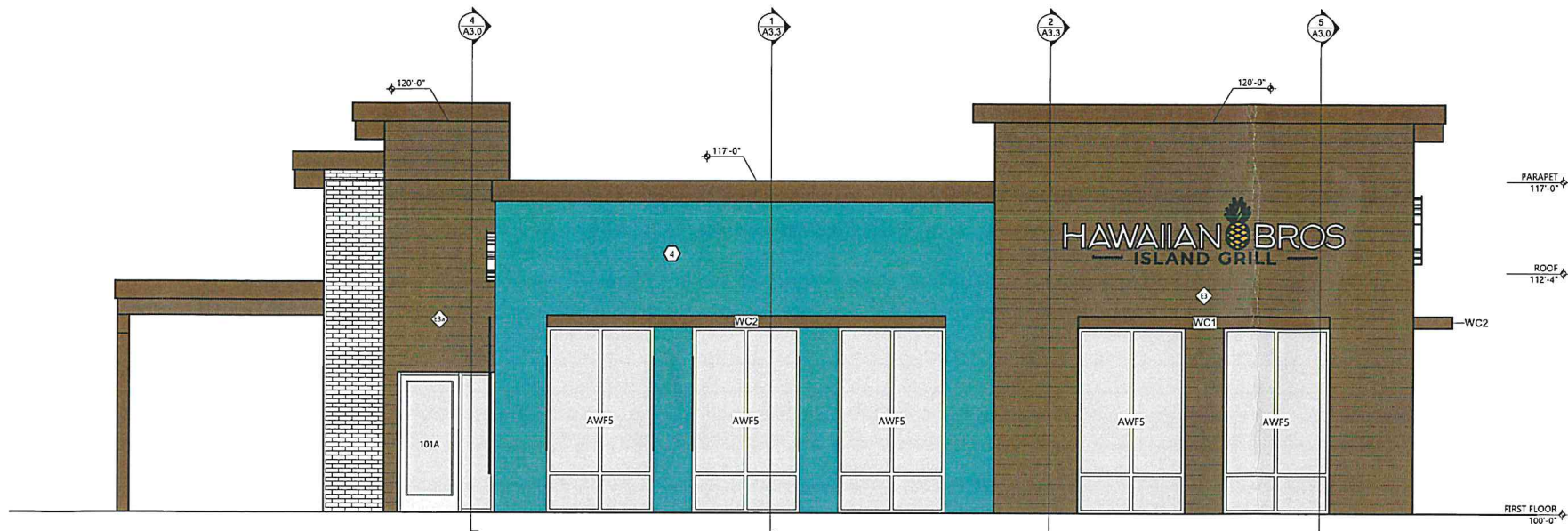
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JOB NUMBER

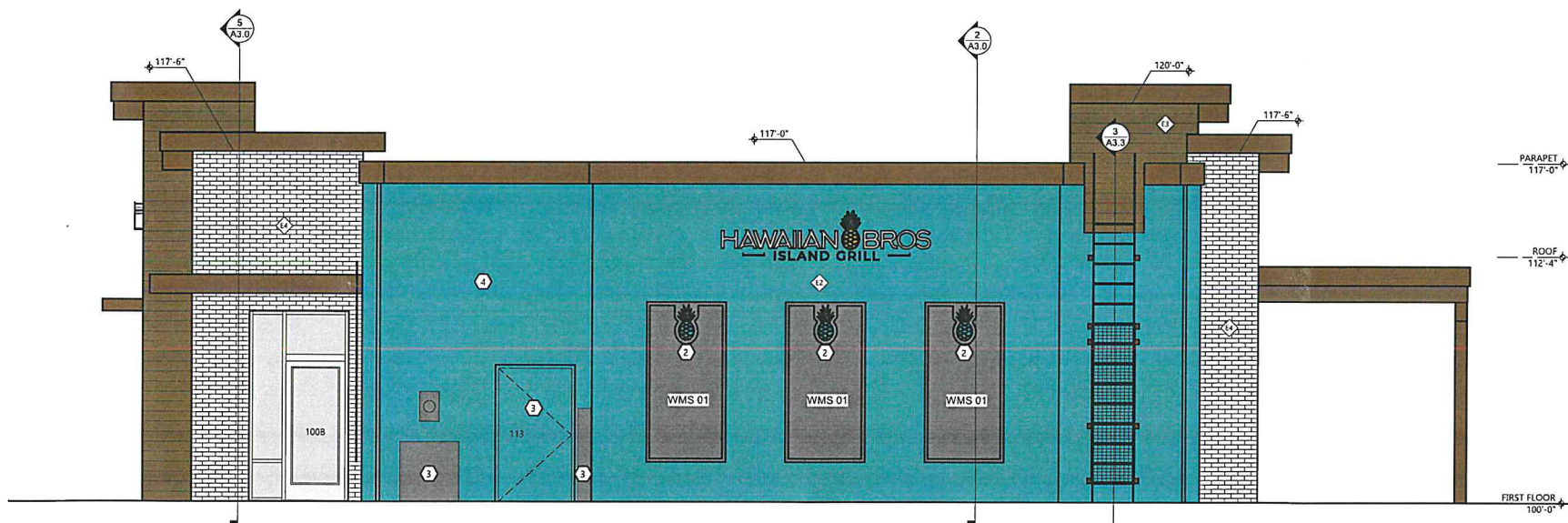
2164180

SHEET NUMBER

A2.0



(NEW HALLS FERRY ROAD)
EAST ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"

EXTERIOR WALL TYPE LEGEND

EXTERIOR WALL TYPE	ADDITIONAL MODIFIER	GENERAL NOTES
E1	E1a	<ul style="list-style-type: none"> SEE EXTERIOR MATERIAL KEY FOR ALL EXTERIOR FINISHES SEE INTERIOR FINISH SCHEDULE FOR ALL INTERIOR FINISH NOT ALL WALL TYPES WILL BE USED ON ALL PROJECTS WHEN A NEW EIFS WALL (E2) INFILL IS PLACE INTO EXISTING WALL, THE NEW EIFS THICKNESS IS TO MATCH ADJACENT EXISTING EIFS THICKNESS
E1	NOT USED	
E2	EIFS (TYP. WOOD STUD CONSTRUCTION)	<ul style="list-style-type: none"> EIFS INSTALLED PER MFR SPECIFICATIONS * 1" RIGID INSUL. (U.N.O.) AND INTEG. DRAINAGE PLANE * LIQUID APPLIED AIR/MOISTURE BARRIER * WOOD SHEATHING 2X6 WOOD STUD (U.N.O.) @ 16" O.C. W/ R-21 BATT INSUL. 5/8" GYPSUM BOARD
E2a	EXTERIOR FINISH (*) TO BE APPLIED OVER EXISTING SHEATHING AND STUDS	
E3	LONGBOARD (TYP. WOOD STUD CONST.)	<ul style="list-style-type: none"> LONGBOARD 6" V-GROOVE SIDING PANEL * LIQUID APPLIED AIR/MOISTURE BARRIER * WOOD SHEATHING 2X6 WOOD STUD (U.N.O.) @ 16" O.C. W/ R-21 BATT INSUL. 5/8" GYPSUM BOARD
E3a	EXTERIOR FINISH (*) TO BE APPLIED OVER EXISTING SHEATHING AND STUDS	
E3b	SIMILAR TO E4 BUT 2X FURRING WALL WITH BATT INSULATION INSTEAD OF 2X6. NO GYPSUM BOARD ON INTERIOR SIDE OF FURRING WALL (SEE PLAN FOR DIM.)	
E4	THIN BRICK (TYP. WOOD STUD CONST.)	<ul style="list-style-type: none"> THIN BRICK VENEER * SCRATCH COAT * LIQUID APPLIED AIR/MOISTURE BARRIER * WOOD SHEATHING 2X6 WOOD STUD (U.N.O.) @ 16" O.C. W/ R-21 BATT INSUL. 5/8" GYPSUM BOARD
E4a	EXTERIOR FINISH (*) TO BE APPLIED OVER EXISTING SHEATHING AND STUDS	

GENERAL EXT. NOTES

* SIGNAGE SHOWN FOR REFERENCE ONLY. COORDINATE SIGNAGE LOCATIONS WITH SIGNAGE SUPPLIER AND PROVIDE BLOCKING AS REQUIRED.

- NOT USED
- WALL MOUNTED METAL SCREEN. PROVIDE 1" STAND OFF FROM WALL FINISH. FINAL CONNECTION REQUIREMENTS BY SUPPLIER.
- PAINT DOWNSPOUT, SCUPPER, DOORS, FIXTURE, AND EQUIPMENT TO MATCH FINISH MATERIAL BEHIND DOWNSPOUT, SCUPPER, DOORS, FIXTURE, AND EQUIPMENT.
- EXISTING EIFS TO BE PATCHED AND PAINTED. SEE EXTERIOR MATERIAL KEY.

EXTERIOR MATERIAL KEY

	PAINTED THIN BRICK MFR: GLEN-GERY STYLE: EXTRUDED TEXTURE: SMOOTH COLOR: WHITE (SW 7005 PURE WHITE)
	WOOD LOOK ALUMINUM SIDING & SOFFIT (LONGBOARD) PRODUCT: LONGBOARD 6" - V-GROOVE SIDING PANEL MATERIAL: HEAVY GAUGE ALUMINUM COLOR: LIGHT NATIONAL WALNUT
	EIFS MFR: DRYVIT TEXTURE: SANDBLAST COLOR: SW 6767 AQUARIUM (PAINTED)
	FASCIA BOARD WOOD TYPE: REDWOOD COLOR: STAINED TO MATCH LONGBOARD SIDING
	METAL SCREENS PATTERN: TBD COLOR: DARK GRAY (TBD BY OWNER) SEE A9 SHEET
	WOOD COLUMN, BEAM, AND CANOPIES WOOD TYPE: REDWOOD COLOR: STAINED TO MATCH LONGBOARD SIDING

PROJECT INFORMATION

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HAWAIIAN BROS - STR: 45
 13963 STATE HWY AC • FLORISSANT, MO. 63033

PROFESSIONAL SEAL

SHEET DATES

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REVISIONS

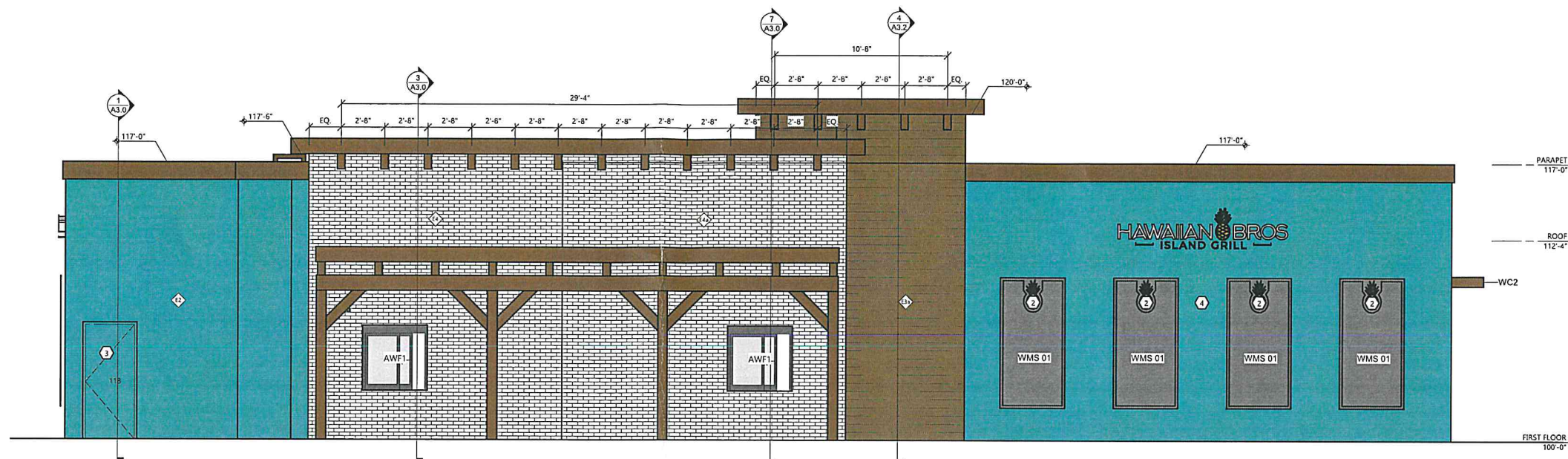
NO.	DESCRIPTION

JOB NUMBER

2164180

SHEET NUMBER

A2.1



SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

CITY OF FLORISSANT

Public Hearing

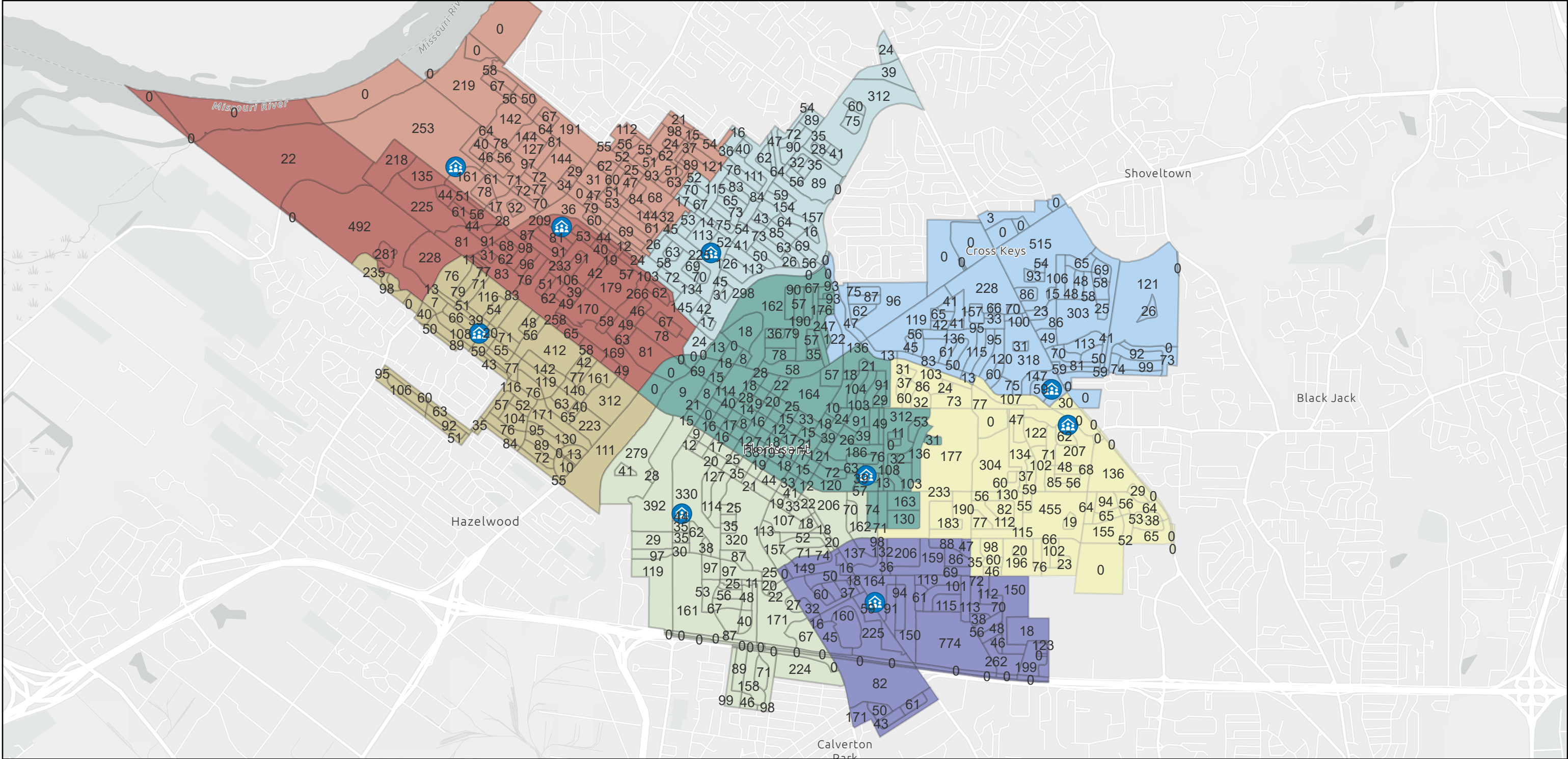


In accordance with Section 1.4 of the Florissant City Charter a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, March 14, 2022 at 7:00 p.m. on the following proposition:


To review the report of the Redistricting Commission of the City of Florissant. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.










CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

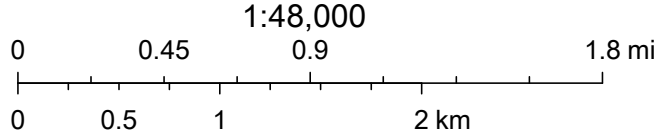
Florissant Redistricting Scenario 4 Map



2/8/2022

 INCUMBENT COUNCIL MEMBERS
 Florissant Redistricting SCENARIO 4

	1		3		7
	2		4		8
			5		9
			6		



County of St. Louis, Missouri Dept. of Conservation, Missouri DNR, Esri, HERE, Garmin, SafeGraph, METI/NASA, USGS, EPA, NPS, USDA

FLORISSANT REDISTRICTING

WARD	TOTAL POPULATION	IDEAL	DIFFERENCE TO IDEAL
1	5722	5837	115.00
2	5921	5837	-84.00
3	5752	5837	85.00
4	5665	5837	172.00
5	5888	5837	-51.00
6	6007	5837	-170.00
7	5649	5837	188.00
8	5955	5837	-118.00
9	5974	5837	-137.00
Total	52533		

REDISTRICTING DETAILS	
52533 TOTAL POPULATION	WARD
6007 LARGEST WARD POPULATION	6
5649 SMALLEST WARD POPULATION	7
5837 IDEAL WARD SIZE	N/A
6% DEVIATION	10% MAX
NOTE Deviation Formula:	
* $\frac{(\text{population of largest district} - \text{ideal population})}{\text{ideal population}} + \frac{(\text{population of ideal district} - \text{population of smallest district})}{\text{ideal population}} = \text{total deviation}$	
MATH	$(6516 - 5837) / 5837 + (5837 - 5543) / 5837$

REDISTRICTING COMMISSION
CITY OF FLORISSANT
Redistricting Criteria
February 8th, 2022

The Florissant Redistricting Commission applied the following considerations in arriving at a proposed redistricting plan for the city. These considerations align with the criteria of the Voting Rights Act of 1965 while incorporating new standards adopted by Missouri and other states in a spirit of equity, diversity, and inclusion.

- **Compactness:** Changes to the existing nine Florissant districts attempted to minimize distance between all the parts of a constituency (a circle, square or a hexagon is the most compact district).
- **Contiguity:** The recommended scenario ensures that all parts of a district are connected at some point with the rest of the district.
- **Preservation of counties and other political subdivisions:** The recommended scenario avoids crossing county, city, or town, boundaries.
- **Preservation of communities of interest:** The recommended scenario preserved geographical areas, such as neighborhoods within Florissant.
- **Preservation of cores of prior districts:** The recommended scenario maintains districts as previously drawn, to the extent possible. This leads to continuity of representation. Changes to boundaries minimized the number of people impacted and adjusted the minimum number of lines needed to create a minimal deviation between districts.
- **Avoiding pairing incumbents:** The recommended scenario avoids districts that would create contests between incumbents.
- **Prohibition on favoring or disfavoring an incumbent, candidate or party.** The recommended scenario avoids intentionally or unduly favoring a person or group, including incumbent candidates.
- **Prohibition on using partisan data:** The recommended scenario does not rely on incumbent residences, election results, party registration, or other socio-economic data as an input when redrawing districts.
- **Competitiveness:** The recommended scenario avoids the intentional creation of “safe” districts for a particular party or candidate.
- **Proportionality:** The recommended scenario corresponds closely to Florissant voter representation.

INTRODUCED BY COUNCIL AS A WHOLE
MARCH 14, 2022

RESOLUTION NO. 1038

**A RESOLUTION OF FLORISSANT CITY COUNCIL AND MAYOR STANDING IN
SUPPORT OF UKRAINE AND URGING THE END OF RUSSIA'S INVASION.**

WHEREAS, *the post-war international security order, led by the North Atlantic Treaty Organization (NATO), has relied upon diplomacy, peace, and open communication over armed conflict to ensure prosperity and stability for more than 70 years; and*

WHEREAS, *Vladimir Putin intentionally and repeatedly lied to his own people and to the global community to create a false pretext to invade and occupy Ukraine based on lies that Ukraine posed a threat to Russia; and*

WHEREAS, *the Russian Federation violated international peace and security agreement that sought a peaceful solution in Eastern Ukraine and instead amassed hundreds of thousands of troops on Ukraine's border; and*

WHEREAS, *Vladimir Putin has now launched an unjust, unwarranted, and illegal invasion upon the peaceful nation of Ukraine; and*

WHEREAS, *Ukrainians have exhibited extreme courage and valor in their fierce resistance and have galvanized global support in their fight for democracy; and*

WHEREAS, *the United States has galvanized the international community and our allies to impose the strongest possible sanctions on Russia and its financial institutions in response to the Russian invasion;*

NOW THEREFORE BE IT RESOLVED *the City Council and the Mayor of the City of Florissant proudly stand alongside Ukraine and its people during this horrific and unnecessary war and urge Russia to immediately cease its violent, illegal, and immoral assault on Ukraine and return to diplomacy.*

This resolution passed and approved this 14th day of March, 2022.

ATTEST:

Keith Schildroth, Council President

*Karen Goodwin, MMC/MRCC
City Clerk*

1 INTRODUCED BY COUNCILMAN MULCAHY
2 FEBRUARY 28TH, 2022

3
4 BILL NO. 9758 ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO SPECIAL USE**
7 **ORDINANCE NO. 8651 TO ALLOW FOR A TIRE STORAGE**
8 **STRUCTURE IN A B-3 “EXTENSIVE BUSINESS DISTRICT” LOCATED**
9 **AT 1685 N. HWY 67.**

10
11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of an
13 automotive repair business; and

14 WHEREAS Voss Automotive operated an automotive repair business at 1685 N. Hwy 67
15 prior to the requirement of a special use permit; and

16 WHEREAS ordinance no. 8651 was passed and transferred the existing Special use permit
17 to Quick Stop Automotive, LLC in November of 2020; and

18 WHEREAS, an application has been filed by Quick Stop Tire Shop to amend ordinance
19 no.8651 to allow for a tire storage structure; and

20 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
21 meeting of February 7, 2022 has recommended that the Special Use Permit amendment be
22 approved to allow for a tire storage structure; and

23 WHEREAS, due notice of public hearing no. 22-02-003 on said application to be held on
24 the 28th of February, 2022 at 7:00 P.M. by the Council of the City of Florissant was duly
25 published, held and concluded; and

26 WHEREAS, the Council, following said public hearing, and after due and careful
27 consideration, has concluded that the granting of an amendment to the amended Special Use
28 Permit authorized by Ordinance No. 8651, as hereinafter provided, would be in the best interest
29 of the City of Florissant and will not adversely affect the health, safety, morals and general
30 welfare of the City.

31 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
32 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

33
34 Section 1: Special Use, Ord. No. 8651 is hereby amended to allow for a tire storage
35 structure in a ‘B-3’ Extensive Business District as shown on plans A-1 Existing Conditions and
36 Site Plan and A-2 Elevations by James Zavist, Registered Architect, all dated 12/14/2021,
37 attached, subject to the conditions set forth below with these conditions being part of the record.

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Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2022.

Keith Schildroth
President of the Council
City of Florissant

Approved this ____ day of _____, 2022.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 FEBRUARY 28, 2022

3
4 BILL NO. 9760

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN APPROPRIATION OF \$108,000 FROM**
7 **THE CAPITAL IMPROVEMENT TO BUDGET ACCOUNT NO. 03-5-03-**
8 **29075 “BUILDING AND GROUNDS MAINTENANCE AND SUPPLIES-**
9 **JANITORIAL SERVICES”.**

10
11 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
12 COUNTY, MISSOURI, AS FOLLOWS:

13
14 Section 1: There is hereby authorized an appropriation of \$108,000 from the Capital
15 Improvement Fund to account no. **03-5-03-29075** “Building and Grounds Maintenance and
16 Supplies-Janitorial Services” to allow for entering in to a contract for janitorial services.

17
18 Section 2: This ordinance shall become in force and effect immediately upon its passage
19 and approval.

20
21 Adopted this ____ day of _____, 2022.

22 _____
23 Keith Schildroth
24 President of the Council
25 City of Florissant

26
27 Approved this ____ day of _____, 2022.

28
29 _____
30 Timothy J. Lowery
31 Mayor, City of Florissant

32 ATTEST:

33
34 _____
35 Karen Goodwin, MPPA/MMC/MRCC,
36 City Clerk

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 FEBRUARY 28, 2022

3
4 BILL NO. 9761

Ordinance No.

5
6 **AN ORDINANCE AUTHORIZING THE MAYOR OF THE CITY OF**
7 **FLORISSANT TO ENTER INTO AN AGREEMENT WITH BELL**
8 **CLEANING FOR JANITORIAL SERVICES FOR CITY FACILITIES.**
9

10
11 NOW THEREFORE, BE IT ORDAINTED BY THE CITY COUNCIL OF THE CITY OF
12 FLORISSANT, MISSOURI, AS FOLLOWS:

13
14 Section 1. The Mayor of the City of Florissant is hereby authorized to enter in to and
15 agreement with Bell Cleaning for the purpose of providing janitorial services for city facilities, a
16 copy of such contract is attached hereto and incorporated by reference herein.
17

18 Section 2. This ordinance shall be in full force and effect from and after the date of
19 its passage by the City Council.
20

21
22 Adopted this _____ day of _____, 2022.

23
24 _____
25 Keith Schildroth
26 President of the City Council
27

28
29 Approved this _____ day of _____, 2022.

30
31 _____
32 Timothy J. Lowery
33 Mayor
34
35

36 ATTEST:

37 _____
38 Karen Goodwin, MPPA/MMC/MRCC
39 City Clerk

TERMS

This agreement is made between Bel Cleaning Services ("BCS") and _____ ("CLIENT"). Both BCS and CLIENT agree that service will begin on TBD. Client is invoiced \$ _____ per month (billed on the 1st of each month).

1. CLIENT agrees to contract BCS to perform cleaning services as defined to the cleaning scope section. This agreement is a month-to-month agreement. Tenure and continuity of this contract are solely based on service performance. Neither party shall assume otherwise, as described in this document.
2. BCS obtains this business contract agreement for the business benefit of a BCS Salesperson who hereby agrees to comply with the terms and conditions of this agreement.
3. BCS Contractor has completed the extensive BCS training program and carries all required certifications and insurance.
4. Services: Janitorial Cleaning Services; (See Work specification section for details.)
5. If either Party breaches a material provision under this Agreement, the non-defaulting Party may terminate this Agreement and require the defaulting Party to indemnify the non-defaulting Party against all reasonable damages.
6. Confidential information (the "Confidential Information") refers to any data or information relating to the Client, whether business or personal, which would reasonably be private or proprietary to the Client and that is not generally known and where the release of that Confidential Information could reasonably be expected to cause harm to the Client.
7. BCS agrees that they will not disclose, divulge, reveal, report or use, for any purpose, any Confidential Information which the Contractor has obtained, except as authorized by the Client or as required by law. BCS further agrees to not disclose, divulge, reveal, report or use, for any purpose, any personal information of the Client, without the prior written consent of the Client. All BCS employees are required to sign a confidentiality agreement form, before performing any work for CLIENT. The obligations of confidentiality will apply during the term of this Agreement and will survive indefinitely upon termination of this agreement.
8. In providing the Services under this Agreement it is expressly agreed that BCS is acting as an independent contractor and not as an employee. BCS and the Client acknowledge that this Agreement does not create a partnership or joint venture between them and is exclusively a contract for service.
9. In the event a dispute arises out of or about this Agreement, the Parties will attempt to resolve the dispute through friendly consultation.
10. If the dispute is not resolved within a reasonable period, then any or all outstanding issues may be submitted to mediation in accordance with any statutory rules of mediation. If mediation is unavailable or is not successful in resolving the entire dispute, any outstanding issues will be submitted to final and binding arbitration in accordance with the laws of the State of Missouri. The arbitrator's award will be final, and judgment may be entered upon it by any court having jurisdiction within the State of Missouri.
11. Six of the nationally recognized holidays have been taken into consideration during the calculation of this proposal. These include New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day. If work is performed on these days, additional charges may apply.
12. BCS will invoice CLIENT monthly. CLIENT agrees to pay BCS the amount that is due and owed under the terms of this contract, on the 1st day of every month. Late payments will incur daily service and

finance charges of 10% of invoice amount. In the event of default on payment, CLIENT agrees to pay BCS' costs for collection and attorney fees.

13. This agreement may be terminated for non-performance only or the likes. the CLIENT must give BCS written notice, specifying in detail, the nature of any defect in performance. BCS shall have thirty (30) days to cure specified defects: If the specified defects have not been cured at the end of the thirtieth (30) day, the CLIENT shall notify BCS in writing of failure to cure, and the agreement shall terminate thirty (30) days from date of said notice. All written notices must be timely and via certified mail.

14. CLIENT agrees to notify BCS of any non-performance issues, in detail, prior to written notification and credit will be applied for the day in question if the guarantee is engaged.

15. CLIENT agrees that during the term of this agreement and within ninety (90) days after termination of this agreement, they will not employ directly or indirectly any employees, agent representatives or Salespersons of BCS.

16. This agreement only covers the scope of work as defined in this document. If more common spaces or office spaces are added to this property, then this contract must be revised and updated to reflect additional workforce and cost, by CLIENT and BCS.

Mayor Timothy Lowery

Signature: _____

Date: ____ / ____ / _____

City Clerk Karen Goodwin

Signature: _____

Date: ____ / ____ / _____

Bel Cleaning Representative

Signature: _____

Date: ____ / ____ / _____

1 INTRODUCED BY COUNCILMAN SIAM
2 MARCH 14, 2022

3
4 BILL NO. 9762 ORDINANCE NO.

5
6 **ORDINANCE TO AMEND ORDINANCE NO. 8734 TO ALLOW FOR**
7 **CHANGES TO THE EXTERIOR MATERIAL IN A B-5 PLANNED**
8 **COMMERCIAL DISTRICT LOCATED AT 2925 N. HIGHWAY 67.**

9
10 WHEREAS, ordinance no. 8734 was passed in October 2021 approving the rezoning of
11 2925 N Hwy 67 to a B-5 Planned Commercial District to allow for a car wash; and

12 WHEREAS Boing US Holdco Inc. has applied for an amendment to the development
13 plan authorized by ordinance 8734 to allow for changes in exterior materials; and

14 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
15 recommended to the City Council at their meeting of February 22, 2022 that an amendment to B-
16 5 ordinance no. 8734, to allow for changes in exterior materials; and

17 WHEREAS, due and lawful notice of a public hearing no. 22-03-005 on said proposed
18 change was duly published, held and concluded on 14th of March, 2022 by the Council of the
19 City of Florissant; and

20 WHEREAS, the Council, following said public hearing, and after due and careful
21 deliberation, has concluded that that an amendment to B-5 ordinance no. 8734 to allow for
22 exterior material changes located at 2925 N. Hwy 67 is in the best interest of the public health,
23 safety and welfare of the City of Florissant; and

24
25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

27
28 Section 1: B-5 ord. no. 8734, is hereby amended to allow a change in exterior materials
29 as depicted as depicted by the attached drawings A1.00 and A3.02 dated 1/17/22 by Method
30 Architecture, subject to the regulations of a ‘B-5’ Planned Commercial District, Ord. No. 8734
31 with the following changes to said Ordinance:

32 Change Section 1 to remove “Elevations” and substitute drawings A1.00 and A3.02
33 dated 1/17/22 by Method Architecture with the following additional requirements added to the
34 record:

- 35 1. Documentation with the warranty and minimum 25-year lifespan of the thin brick to be
- 36 submitted prior to the public hearing.
- 37 2. No signage is approved until an additional amendment to the ‘B-5’ ordinance is made.
- 38 (Time to complete of 12 months, remains as described in the ordinance.).

39

40 Section 2: This ordinance shall become in full force and effect immediately upon its passage and

41 approval.

42

43

44 Adopted this _____ day of _____, 2022.

45

46 _____

47 Keith Schildroth

48 President of the Council

49

50 Approved this _____ day of _____, 2022.

51

52

53 _____

54 Timothy J. Lowery

55 Mayor, City of Florissant

56

57 ATTEST:

58

59 _____

60 Karen Goodwin, MPPA/MMC/MRCC

61 City Clerk

1 INTRODUCED BY COUNCILMAN SIAM
2 MARCH 14, 2022

3
4 BILL NO. 9763

ORDINANCE NO.

5
6 **ORDINANCE TO AMEND ORDINANCE NO. 6669 TO ALLOW FOR A SIT-**
7 **DOWN, DRIVE-THROUGH, CARRYOUT RESTAURANT IN A B-5**
8 **PLANNED COMMERCIAL DISTRICT LOCATED AT 13963 NEW HALLS**
9 **FERRY ROAD.**

10
11 WHEREAS, ordinance no. 6669 was passed in 2013 approving the rezoning of 13963
12 New Halls Ferry Road to a B-5 Planned Commercial District to allow for a restaurant; and

13 WHEREAS Hawaiian Brothers has applied for an amendment to the development plan
14 authorized by ordinance 6669 to allow for alterations to an out lot for a sit-down, drive-through,
15 carryout restaurant; and

16 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
17 recommended to the City Council at their meeting of February 22, 2022 that an amendment to B-
18 5 ordinance no. 6669, to allow for a sit-down, drive-through, carry out restaurant located at
19 13963 New Halls Ferry Road; and

20 WHEREAS, due and lawful notice of a public hearing no. 22-03-006 on said proposed
21 change was duly published, held and concluded on 14th of March, 2022 by the Council of the
22 City of Florissant; and

23 WHEREAS, the Council, following said public hearing, and after due and careful
24 deliberation, has concluded that that an amendment to B-5 ordinance no. 6669 to allow to allow
25 for a sit-down, drive-through, carry out restaurant located at 13963 New Halls Ferry Road is in
26 the best interest of the public health, safety and welfare of the City of Florissant; and

27
28 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
29 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

30
31 Section 1: B-5 ord. no. 6669, is hereby amended to allow for a sit-down, drive-through,
32 carry-out restaurant as depicted by the attached drawings C0.1, C1.0, C1.1, C1.2, C1.3, C1.4,
33 C2.0, C3.1 and C3., A1.1, A2.0 and A2.1 all dated 11/16/21 by Excel Engineers, subject to the
34 regulations of a 'B-5' Planned Commercial District, with permitted uses allowed being a sit-

35 down, drive-through, carryout restaurant., with customer pickup parking and the following
36 additional requirements:

37 1. PERMITTED USES

38 The uses permitted for this property shall be limited to a sit-down, drive-through, carryout
39 restaurant. Other uses than those permitted shall require approval by amendment to this 'B-5'
40 Ordinance.

41 2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

42 The building space shall be limited to a single story 3643 SF a sit-down, drive-through, carryout
43 restaurant that includes an 82 s.f. additions in the drive through and entry vestibule areas.

44 3. PERFORMANCE STANDARDS

45 In addition to all other requirements, uses within the "B-5" Planned Commercial District shall
46 conform to the most restrictive performance standards as follows:

47 1. Vibration. Every use shall be so operated that the maximum ground vibration generated
48 is not perceptible without instruments at any point on the lot line of the lot on which the use is
49 located.

50 2. Odor. Every use shall be so operated that no offensive or objectionable odor is
51 perceptible at any point on the lot line on which the use is located.

52 3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted
53 of a greater density than the density described as No. 1 on the Ringelmann Chart as published by
54 the United States Bureau of Mines.

55 4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or
56 corrosive fumes or gases.

57 5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt,
58 dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths
59 (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-
60 tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be
61 retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a
62 stationary furnace or a combustion device, these standards shall apply to a condition of fifty
63 percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to
64 the deviation of the percentage of excess air from fifty percent (50%).

65 6. Radiation. Every use shall be so 2 operated that there is no dangerous amount of

66 radioactive emissions.

67 7. Glare and heat. Any operation producing intense glare or heat shall be performed in an
68 enclosure in such a manner as to be imperceptible along any lot line.

69 8. Screening.

70 a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or
71 grade shall be screened architecturally in such a manner as to be a part of the design of the
72 building.

73 b. Incinerators and stacks shall be enclosed in the same material as the main exterior building
74 material.

75 4. TRASH SCREENING

76 Trash container shall be kept within a screened area as shown on C1.1 dated 11/16/21 by Excel
77 Engineers, with visibility of trash container screened from the New Halls Ferry right-of-way
78 using compatible materials to the building.

79 5. PLAN SUBMITTAL REQUIREMENTS

80 Final Development Plan shall include improvements as shown on drawings attached, including
81 entire property, trash enclosures, landscape, lighting and legal description.

82 6. SITE DEVELOPMENT PLAN CRITERIA:

83 a. Height, Area And Bulk Restrictions:

84 1. Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-
85 5" Planned Commercial District.

86 b. Internal Drives:

87 (1) There shall be parking as shown on plans attached.

88 c. Minimum Parking/Loading Space Requirements.

89 (1) There shall be a minimum of 41 parking spaces provided on the property, including 4
90 customer pickup spaces.

91 d. Road Improvements, Access and Sidewalks

92 (1) There shall be parking as shown on plans attached.

93 e. Lighting Requirements.

94 Lighting of the property shall comply with the following standards and requirements:

95 (1) The light level for parking lot lighting shall be as shown on attached photometric plan C3.1
96 dated 11/16/21 by Excel Engineers.

97 (2) All site lighting and exterior building lighting shall be directed down and inward.

98 f. Sign Requirements.

99 (1) All signage shall comply with the City of Florissant sign ordinance for commercial
100 districts.

101 g. Landscaping and Fencing.

102 (1) Any modifications to the landscaping plan shall be reviewed and approved by the
103 Planning and Zoning Commission.

104 h. Storm Water.

105 Storm Water and drainage facilities shall comply with the following standards and requirements:

106 (1) The Director of Public Works shall review the storm water plans to assure that storm
107 water flow will have no adverse effect the neighboring properties.

108 (2) No building permits shall be issued until the storm water plan has been approved by the St.
109 Louis Metropolitan Sewer District.

110 i. Miscellaneous Design Criteria.

111 (1) All applicable parking, circulation, sidewalks, and all other site design features shall comply
112 with the Florissant City Code.

113 (2) All dumpsters and grease containers shall be contained within a trash enclosure with gates
114 compatible with existing building.

115 (3) All storm water and drainage facilities shall be constructed, and all landscaping shall be
116 installed, prior to occupancy of the building, unless remitted by the Director of Public Works due
117 to weather related factors.

118 (4) All mechanical equipment, electrical equipment, and communication equipment shall be
119 screened in accordance with the Florissant Zoning Code.

120 (5) The exterior design of the buildings shall be constructed in accordance with the renderings as
121 approved by the Florissant Planning and Zoning Commission and attached hereto.

122 (6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall
123 be complied with unless otherwise allowed by this ordinance.

124 (7) All thin brick to be replaced with full-sized brick meeting the masonry code of the City of
125 Florissant.

126 7. FINAL SITE DEVELOPMENT PLAN

127 A final site development plan shall be 4 submitted to the Building Commissioner to

128 review for compliance with the applicable "B-5" Planned Commercial Development
129 ordinance prior to recording. Any variations from the ordinance approved by the City Council
130 and/or the conceptual plans attached to such ordinance shall be processed in accordance with the
131 procedure established in the Florissant Zoning Code.

132 8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

133 Any changes to the approved plans attached hereto must be reviewed by the Building
134 Commissioner. The Building Commissioner shall make a determination as to the extent of the
135 changes per the following procedure:

136 1. The property owner or designate representative shall submit in writing a request for an
137 amendment to the approved plans. The building commissioner shall review the plans for
138 consistency with the purpose and content of the proposal as originally or previously advertised
139 for public hearing and shall make an advisory determination.

140 2. If the building commissioner determines that the requested amendment is not consistent
141 in purpose and content with the nature of the purpose as originally proposed or previously
142 advertised for the public hearing, then an amendment to the special use permit shall be required
143 and a review and recommendation by the planning and zoning commission shall be required and
144 a new public hearing shall be required before the City
145 Council.

146 3. If the building commissioner determines that the proposed revisions are consistent with
147 the purpose and content with the nature of the public hearing then a determination of non-
148 necessity of a public hearing shall be made.

149 4. Determination of minor changes: If the building commissioner determines that an
150 amendment to the special use permit is not required and that the changes to the plans are minor in
151 nature the Building Commissioner may approve said changes.

152 5. Determination of major changes: If the Building Commissioner determines that an
153 amendment to the B-5 is not required but the changes are major in nature, then the owner shall
154 apply for review and approval by the Planning and Zoning commission.

155 9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

156 a. Any new roadway improvements shall be completed prior to the issuance of any final
157 occupancy permit.

158 b. Any new stormwater detention shall be 5 completed prior to the issuance of any

159 occupancy permit.

160 c. All fencing and/or landscaping intended as screening properties shall be completed prior to the
161 issuance of any occupancy permit, unless remitted by the Director of Public Works due to
162 weather related factors.

163 10. GENERAL DEVELOPMENT CONDITIONS.

164 a. Unless, and except to the extent, otherwise specifically provided herein, the development
165 shall be effected only in accordance with all ordinances of the City of Florissant.

166 b. The Department of Public Works shall enforce the conditions of this ordinance in accordance
167 with the Final Site Development Plan approved by the Planning & Zoning Commission and all
168 other ordinances of the City of Florissant.

169 11. PROJECT COMPLETION.

170 Construction shall start within 90 days of the issuance of building permits for the project and
171 shall be developed in accordance of the approved final development plan within 12 months of
172 start of construction.

173

174 Section 2: This ordinance shall become in full force and effect immediately upon its passage and
175 approval.

176

177

178 Adopted this _____ day of _____, 2022.

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Keith Schildroth
President of the Council

Approved this _____ day of _____, 2022.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1 INTRODUCTION BY COUNCIL AS A WHOLE
2 MARCH 14, 2022

3
4 BILL NO. 9764

ORDINANCE NO.

5
6 **AN ORDINANCE ESTABLISHING THE BOUNDARIES OF THE VARIOUS**
7 **WARDS OF THE CITY OF FLORISSANT.**

8
9 WHEREAS, Section 1.4 of the Florissant City Charter establishes that following each
10 federal decennial census, the City Council shall appoint a Redistricting Commission who shall
11 review the ward boundaries and recommend such changes in ward boundaries as it deems
12 appropriate to the end that wards shall comprise compact and contiguous territory and contain, as
13 nearly as possible, an equal number of inhabitants; and

14 WHEREAS, the City Council passed and approved Ordinance No. 7835 on October 10th,
15 2011 to establish the boundaries of the wards based upon the Census Block data provided by St.
16 Louis County; and

17 WHEREAS, the City was advised in April, 2015 that the wards were malapportioned
18 because the City had a population deviation among the wards in excess of 10% and convened a
19 Redistricting Commission to review and recommend revisions; and

20 WHEREAS, the City Council passed and approve Ordinance no. 8232 in May of 2016
21 approving the recommended revisions to the boundary map; and

22 WHEREAS, following the 2020 Census, a Redistricting Commission was appointed in
23 November, 2021 and held meetings on January 19th, February 1st and February 8th, 2022, to review
24 the ward boundaries for the purpose of recommending changes to the ward boundaries so that the
25 wards would be comprised of compact and contiguous territory and contain, as nearly as possible,
26 an equal number of inhabitants and to address the malapportionment so that the ward boundaries
27 also satisfied the Voting Rights Act and all other applicable laws; and

28 WHEREAS, the Redistricting Commission reviewed and considered various scenarios,
29 together with the statistical information associated with each map; and

30 WHEREAS, after careful consideration, the Redistricting Commission recommended the
31 adoption of the scenario 4 map; and

32 WHEREAS, the City Council of the City of Florissant held a public hearing on the 14th of
33 March, 2022 heard a presentation from the Chair of the Redistricting Commission, City Staff and
34 citizen comment, and received exhibits, including all of the maps and statistical information
35 considered by the Redistricting Commission.

36
37 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
38 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

39
40 Section 1: After careful consideration of all of the data and information, the City
41 Council determines that the boundaries of the wards of the City of Florissant are hereby
42 established as designated on the map attached hereto as Exhibit A1 and made a part hereof as if
43 fully set out herein.

44 Section 2: The ward boundaries hereby established shall be effective for the regular
45 municipal election to be held in April 2023, and for each succeeding election until changed in
46 accordance with the provisions of the Charter of the City of Florissant and applicable law.

47 Section 3: This ordinance shall become in full force and effect immediately upon its
48 passage and approval.

49
50 Adopted this _____ day of _____ 2022.

51
52
53 _____
54 Keith Schildroth
55 Council President

56 Approved this _____ day of _____ 2022

57
58
59 _____
60 Timothy J. Lowery
61 Mayor

62 ATTEST:

63
64 _____
65 Karen Goodwin, MPPA/MMC/MRCC
66 City Clerk
67

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 MARCH 14, 2022

3
4 BILL NO. 9765 ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN APPROPRIATION OF \$100,000**
7 **FROM THE CAPITAL IMPROVEMENT FUND TO BUDGET**
8 **ACCOUNT NO. 03-5-03-50050 “PROFESSIONAL SERVICES-**
9 **ENGINEERING” FOR RIGHT OF WAY ACQUISITION SERVICES**
10 **FOR THE ST. DENIS PHASE 1 PROJECT.**

11
12 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
13 COUNTY, MISSOURI, AS FOLLOWS:

14
15
16 Section 1: There is hereby authorized an appropriation of of \$100,000 from the
17 Capital Improvement Fund to budget account no. 03-5-03-50050 “Professional Services-
18 Engineering” for right of way acquisition services for the St. Denis Phase 1 project.

19
20
21 Section 2: This ordinance shall become in force and effect immediately upon its passage
22 and approval.

23
24 Adopted this ____ day of _____, 2022.

25
26
27 _____
28 Keith Schildroth
29 President of the Council
30 City of Florissant

31 Approved this ____ day of _____, 2022.

32
33
34 _____
35 Timothy J. Lowery
36 Mayor, City of Florissant

37 ATTEST:
38
39 _____
40 Karen Goodwin, MPPA/MMC/MRCC,
City Clerk

FLORISSANT CITY COUNCIL AGENDA REQUEST FORM

3/10/2022	Mayor's Approval: 																								
Agenda Date Requested: 3/14/2022																									
Description of request: Appropriate money for ROW Acquisition services for St. Dennis Phase I, \$100,000 to account # 03-5-03-50050																									
Transfer of Funds from (See Attached Memo)																									
Department: Public Works																									
Recommending Board or Commission: N/A																									
Type of request:	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Ordinances</th> <th style="width: 10%; text-align: center;">X</th> <th style="width: 40%;">Other</th> </tr> </thead> <tbody> <tr> <td>Appropriation</td> <td style="text-align: center;">x</td> <td>Liquor License</td> </tr> <tr> <td>Transfer</td> <td></td> <td>Hotel License</td> </tr> <tr> <td>Zoning Amendment</td> <td></td> <td>Special Presentations</td> </tr> <tr> <td>Amendment</td> <td></td> <td>Resolution</td> </tr> <tr> <td>Special Use Transfer</td> <td></td> <td>Proclamation</td> </tr> <tr> <td>Special Use</td> <td></td> <td>Subdivision</td> </tr> <tr> <td>Budget Amendment</td> <td></td> <td></td> </tr> </tbody> </table>	Ordinances	X	Other	Appropriation	x	Liquor License	Transfer		Hotel License	Zoning Amendment		Special Presentations	Amendment		Resolution	Special Use Transfer		Proclamation	Special Use		Subdivision	Budget Amendment		
	Ordinances	X	Other																						
	Appropriation	x	Liquor License																						
	Transfer		Hotel License																						
	Zoning Amendment		Special Presentations																						
	Amendment		Resolution																						
	Special Use Transfer		Proclamation																						
	Special Use		Subdivision																						
Budget Amendment																									
Public Hearing needed: Yes / No	Y/N																								
	N																								
	3 readings? : Yes / No																								
	Y/N																								
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Back up materials attached:</th> <th style="width: 10%;"></th> <th style="width: 40%;">Back up materials needed:</th> </tr> </thead> <tbody> <tr> <td>Minutes</td> <td></td> <td>Minutes</td> </tr> <tr> <td>Maps</td> <td></td> <td>Maps</td> </tr> <tr> <td>Memo</td> <td style="text-align: center;">X</td> <td>Memo</td> </tr> <tr> <td>Draft Ord.</td> <td></td> <td>Draft Ord.</td> </tr> </tbody> </table>		Back up materials attached:		Back up materials needed:	Minutes		Minutes	Maps		Maps	Memo	X	Memo	Draft Ord.		Draft Ord.									
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Draft Ord.		Draft Ord.																							
<div style="display: flex; justify-content: space-between;"> <div style="border: 1px solid black; padding: 5px; width: 45%;"> <p>Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.</p> </div> <div style="border: 1px solid black; padding: 5px; width: 45%;"> <p>For City Clerk Use Only:</p> <p>Introduced by: _____</p> <p>PH Speaker: _____</p> </div> </div>																									



Memo To: City Council

Date: March 10, 2022

Thru: Mayor Timothy J Lowery

From: Todd M. Hughes, P.E.
Director of Public Works and Health

Copy: Kimberlee Johnson

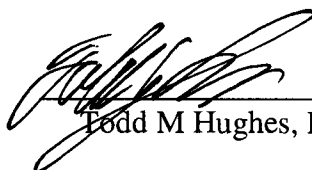
Subject: **Appropriate money for right of way acquisition services, for St. Dennis Phase I.**

I am requesting appropriation of money for right of way acquisition services, for St. Dennis Phase I, in the amount of \$100,000.00 be appropriated and put into account 03-5-03-50050 for this purpose. Please see the attached contract. This is an 80% Federal / 20% Local Match.

Therefore, I respectfully request the appropriation of money for right of way acquisition services, for St. Dennis Phase I, in the amount of \$100,000.00 be appropriated and put into account 03-5-03-50050.

Thank you in advance.

Respectfully submitted,



Todd M Hughes, P.E.