FLORISSANT CITY COUNCIL AGENDA
City Hall
955 rue St. Francois
Monday, April 26, 2021
7:00 PM
Karen Goodwin, MMC/MRCC

Due to COVID-19 pandemic and by Order of the St. Louis County Executive, the Council meeting will be conducted remotely with the City Council, Mayor, City Attorney, City Clerk, staff and residents being allowed to attend through a Zoom platform. The meeting will also be available to watch via live streaming on Facebook.

The public will be allowed to speak during "Hearing from Citizens" by attending via the Zoom link and typing your name and address in the "Chat" tab prior to or during that portion of the meeting. The public is also invited to submit written comments via email to kgoodwin@florissantmo.com prior to 3 pm on Monday, April 26, 2021. Such public comments, provided they comply with the City's guidelines found in section 110.090 of the Florissant City Code, will be read during the meeting and made a part of the official record of the meeting.

There are several Public Hearings scheduled during this meeting. The public is invited to provide comments on any Public Hearing in the following ways:

- Written comments sent prior to 3 pm on Monday April 26, 2021 to kgoodwin@florissantmo.com. Provided such comments comply with the City Code section 110.090, they will be read as a part of the public hearing for which the comment is addressed.
- Participate in the virtual meeting by offering comments when the public hearing is opened for that application. Participants will be prompted by the Council President after they submit their **name and address** in the "Chat" tab during that public hearing.

Residents are invited to attend the zoom meeting by the following methods:

As a matter of precaution, the Zoom meeting ID number and Password will be made available at Florissantmo.com, on the City of Florissant Facebook page at https://www.facebook.com/Florissant.mo.us/, and on the bulletin board in the Lobby at City hall, at 6pm on Monday April 26, 2021. If you need additional assistance please contact the City Clerk at kgoodwin@florissantmo.com.

Thank you for your patience and understanding regarding our meeting format change. It is extremely important that extra measures be taken to protect, employees, residents and elected officials during these challenging times.

I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- City Council Meeting minutes of April 12, 2021

IV. HEARING FROM CITIZENS

V. COMMUNICATIONS

VI. PUBLIC HEARINGS

21-04-007 (Ward 9) Application Staff Rpt Plans	Request to amend B-5 ordinance no. 5733 as amended, to allow the removal of siding located at 2341 N. Highway 67. (Planning and Zoning recommended approval on April 5, 2021)	Ashley Astor
21-04-008 (Ward 5) Application Staff Rpt Plans	Ordinance authorizing an amendment to Special Use Ordinance No. 8068, as transferred, to allow for the addition of a detached walk-in cooler and bus parking located at 300 St. Ferdinand. (Planning and Zoning recommended approval on April 5, 2021)	Bob Mannecke
21-04-009 (Ward 5) Application Staff Rpt Plans	Request to approve a Special use Permit to add an ATM in the parking lot located at 428 Howdershell. (Planning and Zoning recommended approval on April 5, 2021)	Kelly Stedman
21-04-010 (Ward 9) Application Staff Rpt Plans	Request to approve a Special Use Permit for SFP Enterprises, Inc. d/b/a Busloop Burgers to the operation of a carry-out restaurant located at 2632 N. Hwy 67. (Planning and Zoning recommended approval on April 5, 2021)	Suzzetta Porter
21-04-011 (Ward 9) Application Staff Rpt Plans	Request to approve a Special Use Permit for Jordan & Johnson Enterprise LLC, d/b/a Creations Smoothies located at 147 Flower Valley Shopping Center to allow for the operation of a sit-down, carry-out restaurant. (Planning and Zoning recommended approval on April 5, 2021)	Kendall Johnson

VII. OLD BUSINESS

A. *BILLS FOR SECOND READING*

9671 Memo	Ordinance authorizing supplemental budget adjustments to roll over Fiscal Year 2020 outstanding appropriations in various funds.	2nd Reading Schildroth
9672 Memo	Ordinance authorizing an appropriation of $40,000 from the Capital Improvement Fund to budget account no. 03-5-06-61470 Capital Additions-Parks for repairs on the Wiese House.	2nd Reading Mulcahy

VIII. NEW BUSINESS

A. *BOARD APPOINTMENTS*

B. *RESOLUTIONS*

1028	Resolution of the Florissant City Council opposing the elimination of April Municipal elections.	Council as a Whole
1029	Resolution of the Florissant City Council supporting Medicaid Expansion and it's funding for the state of Missouri.	Council as a Whole

C. *BILLS FOR FIRST READING*

9673	Ordinance authorizing an amendment to B-5 ordinance no. 5733 as amended, to allow the removal of siding located at 2341 N. Highway 67.	Siam
9674	Ordinance authorizing an amendment to Special Use Ordinance no. 8068, as transferred, to allow for the addition of a detached walk-in cooler and bus parking located at 300 St. Ferdinand.	Schildroth
9675	Ordinance authorizing a Special use Permit to Bank of America to allow for an ATM in the parking lot located at 428 Howdershell.	Eagan
9676	Ordinance authorizing a Special Use Permit for SFP Enterprises, Inc. d/b/a Busloop Burgers to the operation of a carry-out restaurant located at 2632 N. Hwy 67.	Siam
9677	Ordinance authorizing a Special Use Permit for Jordan & Johnson Enterprise LLC, d/b/a Creations Smoothies located at 147 Flower Valley Shopping Center to allow for the operation of a sit-down,	Siam

	carry-out restaurant.	
9678	Ordinance authorizing an amendment to section 520.050 "Ground Signs" subsection H "Temporary Signs" section 2 to allow for signage during road projects.	Schildroth
9679 Memo	Ordinance authorizing an appropriation of $60,000 from the Capital Improvement Fund to budget account no. 03-5-03-61430 Capital Additions-Theatre for replacement of theatre lighting dimmer rack.	Schildroth
9680 Memo	Ordinance amending Title III of the Florissant City Code, Schedule III Table III-B "Two-Way Stops" by adding "St. Michael at Aubuchon"	Mulcahy
9681 Memo	Ordinance amending Schedule XVIII "Handicapped Parking", Table XVIII-A "Handicap Parking" by adding "Paddock Drive, west side of Paddock in front of 1325 Paddock, for a distance of 300 feet from the intersection of Parker Road.	Mulcahy

IX. COUNCIL ANNOUNCEMENTS

X. MESSAGE FROM THE MAYOR

XI. ADJOURNMENT

THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON APRIL 23, 2021 AT 12:00 PM ON THE BULLETIN IN THE LOBBY AT CITY HALL. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, APRIL 26, 2021.

CITY OF FLORISSANT

COUNCIL MINUTES
April 12, 2021

Due to the Coronavirus (COVID-19) Pandemic, the Florissant City Council met in a virtual meeting through a Zoom platform on Monday, April 12, 2021 at 7:00 p.m. with Council President Schildroth presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Caputa, Schildroth, Mulcahy, Pagano, Parson, Siam, Harris, Manganelli and Caputa. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

The City Attorney explained that the meeting was being conducted remotely because of the Coronavirus (COVID-19) Pandemic emergency. He stated that under the Sunshine Law, Section 610.015, when an emergency existed, the members of the City Council who are not physically present in the Council Chambers, can participate and vote remotely on all matters.

Councilman Mulcahy moved to approve the City Council Minutes of March 22, 2021, seconded by Manganelli. Motion carried.

The next item on the Agenda was *Public Hearings* of which there were none.

The Chair stated that the next item on the agenda was *Second Readings*.

Councilman Siam moved that Bill No. 9666 an Ordinance authorizing the amendment of B-5 ordinance no. 5885 located at 14065 New Halls Ferry Road, to divide the property into two separate uses as permitted in the B-3 "Extensive Business District" be read for a second time, seconded by Harris. Motion carried and Bill No. 9666 was read for a second time.

Councilman Siam moved that Bill No. 9666 be read for a third time, seconded by Pagano. Motion carried and Bill No. 9666 was read for a third and final time and placed upon its passage.

On roll call the Council voted: Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, and Eagan yes.

Whereupon the Chair declared Bill No 9666 to have passed and become Ordinance No 8679.

The Chair stated that the next item on the agenda was *Board Appointments*.

Councilman Schildroth moved to appointed Pauline Schwartz, 125 S. Lafayette, to the Parks and Recreation Advisory Committee with a term expiring on 4/12/2024. Seconded by Councilwoman Pagano, motion carried and the appointment was made.

Councilman Schildroth moved to appointed Seamus Dailey, 385 S. Jefferson, to the Board of Adjustment with a term expiring on 4/12/2026. Seconded by Councilman Eagan, motion carried and the appointment was made.

Councilman Schildroth moved to appointed Brett Berchtold, 101 Clark St, to the Board of Adjustment with a term expiring on 4/12/2026. Seconded by Councilwoman Pagano, motion carried and the appointment was made.

Councilman Schildroth moved to accept the Mayor's appointments of Ann Alfano, 2525 Landview, to the Senior Commission with a term expiring on 4/12/2024. Seconded by Councilwoman Pagano, motion carried and the appointment was made.

Councilman Eagan moved to accept the Mayor's appointments of Roberta Britton, 7 Thackery, to the Senior Commission with a term expiring on 4/12/2024. Seconded by Councilman Caputa, motion carried and the appointment was made.

The Chair stated that the next item on the agenda was *Resolutions.*

The Council as a whole introduced Resolution 1027 "A Resolution of the Florissant City Council congratulating Dan O'Donnell on his retirement as president and business manager of the Roofer's Local No. 2". Councilman Eagan made a motion for a second reading, seconded by Mulcahy. Motion carried, Resolution 1027 was read for a second time. Councilman Mulcahy made a motion for a third reading, seconded by Caputa.

On roll call the Council voted: Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, and Eagan yes. Motion carried, Resolution 1027 was read for a third time. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, and Eagan yes. Motion carried, Resolution 1027 passes.

Councilman Mulcahy congratulated Mr. O'Donnell on a great career, for standing up for his members, and fighting for working families. He recognized Mrs. O'Donnell for walking around Ward 6 and picking up trash and Mr. O'Donnell for helping her.

Dan O'Donnell thanked the council for the honor of his recognition.

Councilman Caputa thanked Mr. O'Donnell for representing his members with respect and all he did for his workers and for the city.

Councilman Schildroth congratulated Mr. O'Donnell for a great career and thanked him for raising his children in Florissant.

Mayor Lowery congratulated Mr. O'Donnell on his retirement, his efforts for his workers, and thanked him for being a great member of the Florissant community.

The Chair stated that the next item on the agenda was *Bills for First Reading*.

The Council as a whole introduced Bill No. 9669 an Ordinance terminating Tax Increment Financing within the Cross Keys Redevelopment Area; dissolving the special allocation fund related thereto and declaring as surplus all moneys remaining therein; and authorizing certain action relating thereto and said Bill was read for the first time by title only. Councilman Schildroth moved that Bill No. 9669 be read for a second time, seconded by Pagano. Motion carried and Bill No. 9669 was read for a second time. Councilman Schildroth moved that Bill No. 9669 be read for a third time, seconded by Caputa. On roll call the Council voted: Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, and Eagan yes. Having received the unanimous vote of all members present Bill No. 9669 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

On roll call the Council voted: Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, Siam yes, Harris yes, Manganelli yes, and Eagan yes.

Whereupon the Chair declared Bill No. 9669 was passed and became Ordinance No. 8680.

Councilman Siam made a motion to remove Bill No. 9670 an Ordinance amending Table XIII-B "Parking Prohibited at Certain Locations at all times" by adding sections of Yearling and Ascot Terrace, seconded by Schildroth. Motion carried. Councilman Siam made a motion to refer Bill No. 9669 back to the Traffic Commission for further consideration, seconded by Parson. Motion carried.

Councilman Schildroth introduced Bill No. 9671 an Ordinance authorizing supplemental budget adjustments to roll over Fiscal Year 2020 outstanding appropriations in various funds was read for the first time.

Councilman Mulcahy introduced Bill No. 9672 an Ordinance authorizing an appropriation of $40,000 from the Capital Improvement Fund to budget account no. 03-5-06-61470 Capital Additions-Parks for repairs on the Wiese House was read for the first time.

The next item on the Agenda was *Council Announcements*.

Councilman Siam thanked the residents of Ward 9 for re-electing him at the April 6, 2021 municipal election.

Councilman Parson congratulated the council members which were re-elected. He stated the Ward 8 Clean Up Relief will be held on May 1st at 11am taking place at Parker Road and Parker Spur.

Councilwoman Pagano thanked the residents of Ward 7 for re-electing her and reminded residents of the construction on Dunn Road and 270.

Councilman Mulcahy congratulated the council members who were re-elected. He thanked the "I Care about Florissant" clean-up crew who visited Ward 6 and cleaned Lindbergh Blvd from New Florissant Road passed Graham Road on both sides. Councilman Mulcahy stated he would be partnering with the group again on Saturday, April 24, 2021 at 10am to do a Ward 6 clean-up of the Valley of Flowers Parade Route. He continued on Sunday, May 2, 2021 an old town clean-up event would be held with Old Town Partners meeting at Paul Manganelli Insurance back parking lot. The goal is to re-stain benches, put out flower pots, and pick up trash along St. Francois.

Councilman Caputa congratulated the re-elected council members. He encouraged residents to lock up firearms in a secure place and not in their vehicle, and keep lights on the house on to deter theft. Councilman Caputa reminded residents to continue with upkeep of their yards during the spring season.

Councilman Manganelli congratulated the re-elected council members. Mr. Manganelli stated the Ward 2 clean-up will be on Saturday, April 17 from 9am to 11am and will be meeting at Irma Jean's located at the corner of Charbonier and Howdershell/Shackelford. He continued the food truck Angie Burger will be in Ward 2 on Thursday, April 22 from 4:30pm to 7pm and stated St. Louis County has approved the Knights of Columbus to hold 3 food truck events which will take place June 18, August 20, and October 8.

Councilman Harris thanked his residents for his re-election. He congratulated everyone who worked on the Angie's Inclusive Playground and thanked Mayor Lowery and Parks Department for their hard work.

Councilman Schildroth thanked the residents of Wards 1, 3, 5, 7, and 9 for voting on April 6th. He stated he hopes Angie's Playground will be open some time in the summer.

The next item was *Mayor Announcements*.

Mayor Lowery congratulated the council members who were re-elected and thanked them for their willingness to serve. He thanked the council members for the ward clean-ups and for their efforts to

keep the city clean. Mayor Lowery noted his appreciation for everyone attending the Angie's Playground groundbreaking event and for the support. He stated the City of Florissant and Walgreens will co-host a mass vaccination event on Wednesday, April 14th at the Eagan Center from 8:30am to 5pm and 300 appointments have been booked, but many are still available by walk-in. Mayor Lowery stated the April 16th food truck event has been cancelled. He informed everyone of the Mayors for Meals food collection on Saturday, May 8th at the JFK Community Center from 9am to noon and is sponsored by the St. Louis area food bank. He noted the City of Florissant finished in 2nd place in 2020 and hopes to collect the most food this year. Mayor Lowery stated during the regularly scheduled Valley of Flowers weekend, concerts will be held at the Eagan Center on May 7 and May 8th. Gateway Disposal will hold 3 free bulk pick up days for Wards 1, 2, & 3 on Saturday, May 1 at the JFK Center, Ward 4, 5, & 6 on Saturday, May 8 at St. Ferdinand Park, and finally for Wards 7, 8, & 9 on Saturday, May 15 at the Eagan Center all from 8am to 11:30am

The Council President stated that the next regular City Council Meeting will be Monday, April 26, 2021 at 7:00 pm.

Councilman Harris moved to adjourn the meeting, seconded by Schildroth. Motion carried. The meeting was adjourned at 7:32 p.m.

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

The following Bills and Resolutions Passed:

Bill No. 9666	Ord. 8679
Bill No. 9669	Ord. 8680
Resolution no. 1027	

CITY OF FLORISSANT

Public Hearing

In accordance with Chapter 405.135 of the Florissant Zoning Code, a Public Hearing will be held by the City Council of Florissant, MO. virtually via the Zoom platform, on Monday, April 26, 2021 at 7:00 P.M. on the following proposition:

To amend a 'B-5' to remove siding as amended by Ordinance No. 8387 to remove simulated wood siding located at 2341 N Highway 67 (Target). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

MEMORANDUM

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: March 31, 2021

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: **2341 N Highway 67 (Target)** Request **Recommended Approval** to amend a 'B-5' Ord. No. 5733 as amended by Ord. No. 8387 to remove simulated wood siding.

STAFF REPORT
CASE NUMBER PZ-040521-4

I. PROJECT DESCRIPTION:

This request for recommended approval to amend a 'B-5' Ord. No. 5733 as amended by ords. nos. 5896, 7401 to allow for a remodeling of a retail **establishment (Target)** to amend a 'B-5' Ord. No. 5733 as amended by Ord. No. 8387 to remove simulated wood siding **at**
2341 N Highway 67 in an existing 'B-5' Zoning District.

II. EXISTING SITE CONDITIONS:

The existing address at **2341 N. Highway 67 (Target)** has been occupied for many years.

The Final Development Plan for this 'B-5' was affected by dying landscape and Parking Lot maintenance.

The property per public record was built in 1997 and contains 121,945 s.f. and 575 parking spaces, 348 required.

III. SURROUNDING PROPERTIES:

The property is bounded by residential properties in County to the North and residentially zoned properties to the west, There are several properties in a 'B-5' District adjacent to the site. The properties to the South are outlots such as Applebee's at 2309N Highway 67 and 2317 N Highway 67 is Longhorn Steakhouse. The retail center to the East is also in a 'B-5' District.

IV. STAFF ANALYSIS:

The application is accompanied by professionally prepared documents that include: A request to vary from the masonry ordinance, Plan dated February 8, 2021 Exterior Elevations.

Staff comments:

Petitioner requests removal of simulated wood on certain areas of the south, west and east elevations, predominantly on the entry tower/canopy and pilasters.

The material to be removed is solid phenolic. The test procedure is for this material and an assemblage of other materials including insulation layer and fire resistant sheathing, identifies Fire Propagation Characteristics of Exterior Non-Load-Bearing Wall Assemblies Containing Combustible Components. The assemblage in the product test is on a stud backup wall, compared with this application which is over masonry.

No area of covered brick was identified to be exposed.
Existing Signs are to be re-installed.

The existing building is split faced block on the north elevation (non-masonry per ordinance).

See the following suggested motion:

V. STAFF RECOMMENDATION AND SUGGESTED MOTION:

I move to recommend approval to amend Ord. No. 5733 as amended by ords. nos. 5896 and 7401, as presented and depicted by documents prepared by Kimley-Horn, shown on elevation drawing T1101 dated February 8, 2021. These alterations depict changes to the development plan. Approval is subject to the regulations of this 'B-5' Planned Commercial District, and the following additional requirements:

1. GENERAL DEVELOPMENT CONDITIONS.

Unless, and except to the extent, otherwise specifically provided in Ordinance no. 5733, as amended by ords. Nos. 5896 and 7401. Development shall be effected only in accordance with all ordinances of the City ofFlorissant.

2. Amend page 10, paragraph i), (4) to remove the following:

86 "The Planning & Zoning Commission may permit the use of phenolic
87 siding over existing masonry as depicted by November 13, 2017 exterior
elevations prepared by Kimley-Horn."

(End of report and suggested motion)

Application to the City of Florissant Planning & Zoning Commission (P&Z) to Establish a 'B-5' Plannned Commercial District (Re-Zoning) or to Amend the Provisions of an Existing 'B-5' Ordinance

PLANNING & ZONING ACTION:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. DATE: 4-11-21

Address of Property:

2341 N Hwy 67, Florissant, MO 63033

Council Ward 9 Zoning 'B-5'

Initial Date Petitioner Filed_____
(Staff to complete Ward, Zoning & Date filed)

PETITION TO REZONE OR AMEND CONDITIONS OF A 'B-5' PLANNED COMMERCIAL DISTRICT ORDINANCE #_____
Enter ordinance number or number(s) if requesting to amend.

1) Comes Now Ashley Astor with Kimley-Horn on behalf of Target Corp.
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described in this petition.

Legal interest in the Property Target Corporation
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to sponsor such a bill.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned, by giving bearings & distances (metes and bounds). Not required if legal description is found identical on requirements of "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which 'B-5' is proposed 10.10

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a 'B-5' District and is presently being used as Commercial Retail/Department Store: Target

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify this 'B-5' petition: To allow for (material) for the exterior building to replace for faux wood removal.

List reason for this request, i.e. "to allow for..."

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S REPRESENTATIVE Ashley Astor ashley.astor@kimley-horn.com

Print Name **Email address**

PETITIONER(S) SIGNATURE (S) Ashley Astor Digitally signed by Ashley Astor DN: C=US, E=ashley.astor@kimley-horn.com, O=Kimley-Horn, OU=Development Services, CN=Ashley Astor Reason: I have reviewed this document Date: 2021.03.02 08:45:11-06'00'

FOR Target Corporation

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
   ( ) I (we) have a legal interest in the herein above described property.
   ( ) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present this petition to the Planning & Zoning Commission and Council. The agent must be approved by the owner to present the petition in this section, and provide address and telephone number

NAME _____

Name of Petitioner(s) Authorized Agent, Firm Name

ADDRESS _____

STREET **CITY** **STATE** **ZIP CODE**

PHONE _____ _____

BUSINESS

I (we) the petitioner (s) do hereby appoint _____ _____ as

Print name of agent. **Email address**

my (our) duly authorized agent to represent me (us) in regard to this petition.

Ashley Astor Digitally signed by Ashley Astor DN: C=US, E=ashley.astor@kimley-horn.com, O=Kimley-Horn, OU=Development Services, CN=Ashley Astor Reason: I have reviewed this document Date: 2021.03.02 09:29:48-06'00'

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicabe section (a), (b) or (c). Corporations are to submit copy of Missouri corporation registration.

1) Type of Operation: Individual: ☐ Partnership: ☐ Corporation: ☒

(a) If an individual:

(1) Name and Address _____

(2) Phone Number _____ Email _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Phone Number _____ Email _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners Eames Gilmore on behalf of Target Corporation

(2) Phone Number 612-761-1585 Email Eames.Gilmore@target.com

(3) Business address 50 S 10th Street Minneapolis MN 55403

(4) State of Incorporation & a photocopy of incorporation papers See Attached

(5) Date of Incorporation February 16, 2000

(6) Missouri Corporate Number F00175426

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____

(8) Name in which business is operated Target Corporation

(9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Ashley Astor with Kimley-Horn on behalf of Target Corp.

Address 767 Eustis St, Suite 100, St Paul, MN 55114

Property Owner Target Corporation

Location of property 2341 N Hwy 67, Florissant, MO 63033

Dimensions of property 10.10 Acres

Property is presently zoned B-5 per ordinance # 7671

Current & Proposed Use of Property Commercial Retail/Department Store: Target

Type of Sign Removing and Reinstalling existing signs in existing locations Height 132 ft

Type of Construction Installment of Amherst Gray Paint over the existing brick Number Of Stories. 1

Square Footage of Building +/- 126,250 Number of Curb Cuts _____

Number of Parking Spaces _____ Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT NINE (10) FOLDED COPIES OF THE FOLLOWING:

Please provide one letter sized copy of all documents submitted for the overhead projector, presentation boards discouraged.

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing, to scale, showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list the address and state that it is part of the shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

I) a. Uses - Are uses stipulated Yes / No

b. What current District would this proposal be a permitted use: _____

c. Proposed uses for out lots: _____

2) Performance Standards:

a) Vibration: Are there any foreseen vibration problems at the property line? Yes / No
b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No
c) Odors: Is there any foreseen problem with odor? Yes / No
d) Smoke: Will the operation emit any smoke which could exceed a density described as No. I on the Ringleman Chart? Yes / No
e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No
f) Is there foreseen emissions of dirt, dust, fly ash, and other forms of particle matter? Yes / No
g) Is there any dangerous amount of radiation produced from the operation? Yes / No
h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No
I) Is screening of trash dumpsters, mechanical equipment, incinerators, etc., shown? Yes / No
j) Is building(s) screened from adjoining residential? Yes / No

3) Is the height of structures shown? Yes / No

4) Are all setbacks shown? Yes / No

5) Are building square footages shown? Yes / No

6) What are the exterior construction materials on the building(s)? _____

7) Is off street loading shown? Yes / No

8) Parking:

a) Does parking shown meet the ordinance? Yes / No
b) Is a variance required in accordance with the ordinance? Yes / No
c) Ratio shown _____ to _____
d) Total Number _____
e) Will cross access and cross parking agreements be required? Yes / No
f) Is the parking lot adequately landscaped? Yes / No

9) Are there any signs? Yes / No
Number of signs shown _____
Type of Signs _____
Are sizes, heights, details, and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No

13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No

14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No

15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No

16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No

17) Is an out-boundary plat of the property submitted? Yes / No

18) Suggested time limitations of construction: Start _____ Finish _____

19) Is parking lot lighting shown? Yes / No

20) Are new walkways required? Yes / No

21) Is there sufficient accessibility on the site plan shown? Yes / No

22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No

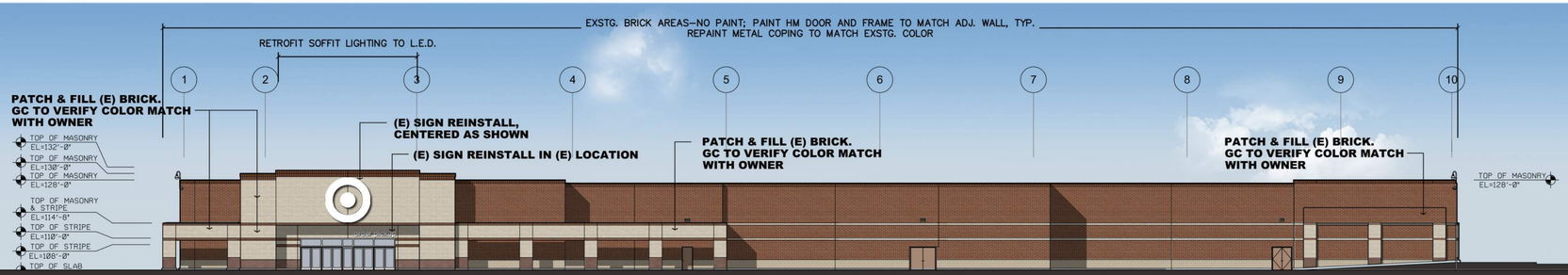
23) Will this project require any street improvements? Yes / No

24) Staff recommendations for site development plans: _____

25) Staff Comments: _____

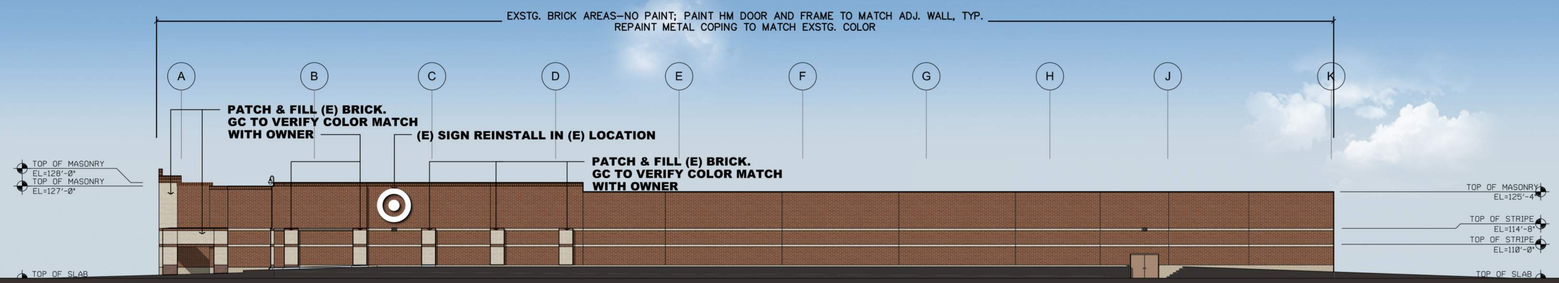
3/31/21
Date Application reviewed

Building Commissioner or Staff Signature

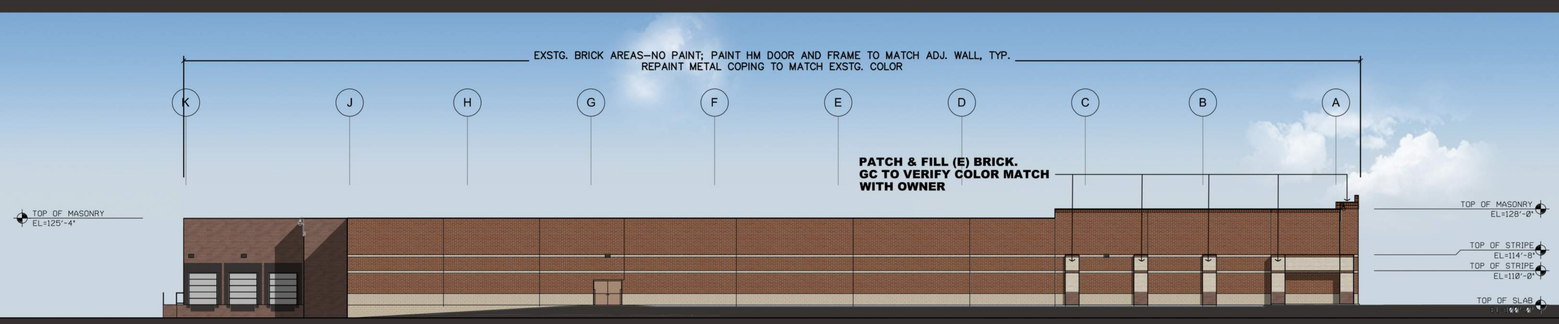


South Elevation

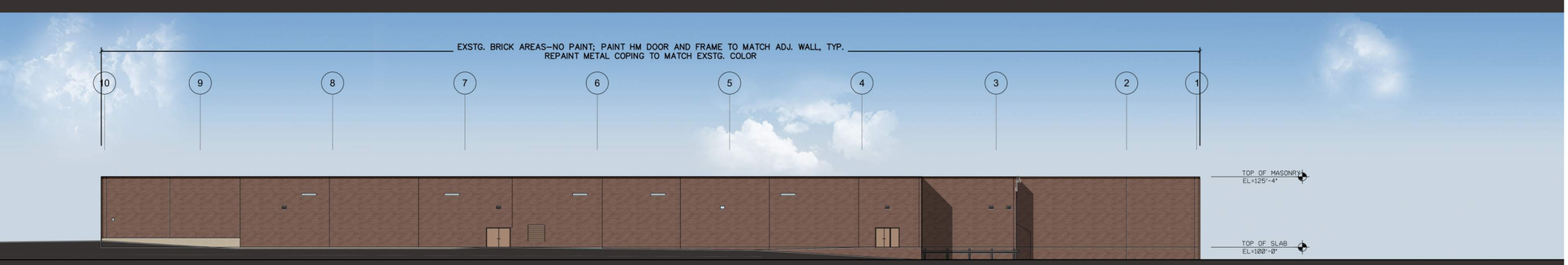
(BM #HC-167) AMHERST GRAY



East Elevation



West Elevation



North Elevation

NOTE:
*NO GENERAL REPAINTING SCOPE.
TOUCH UP ADJACENT TO AREAS OF WORK
TO MATCH EXISTING AS REQUIRED.

*EXISTING STORE WALLS ARE PRIMARILY CMU

*INSTALL EIFS W/ PANZER MESH TO 8'-0" AFF MIN

*EIFS REVEALS TO BE 2" HIGH x 1" DEEP
HORIZONTAL REVEALS & 1"x 1" VERTICAL
REVEALS, TYP.

*REINSTALL (E) SIGNS IN (E) LOCATIONS
UNLESS NOTED OTHERWISE.

Proposed Elevations

T-1101 Florissant, MO : Exterior Elevation Refresh

February 08, 2021

CITY OF FLORISSANT

PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Chapter 410.310 of the Florissant Code of Ordinances, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, virtually via the Zoom platform, on Monday, April 26, 2021 at 7:00 p.m. on the following proposition:

To amend Special use, Ordinance No. 5733 to add a detached, walk-in cooler located at 300 St. Ferdinand (Mann Meats). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC, City Clerk.

MEMORANDUM

CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: March 31, 2021

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: **300 St Ferdinand (Mann Meats)** Request **Recommended Approval** to expand a Special Use in a 'B-2' Central Business District.

STAFF REPORT
CASE NUMBER PZ-040521-5

I. **PROJECT DESCRIPTION:**
This is a request to expand a Special Use in a 'B-3' Extensive Business District.

II. **EXISTING SITE CONDITIONS:**
The existing property adjacent to **300 St Ferdinand** was approved to operate under transfer of a Special Use for a BBQ Restaurant.

The subject property is approximately 0.3 acres and 834 s.f. built in 1968 per County record. This site is quite unique for several reasons:

- The 'B-2' District has a zero front setback, therefore, the setback lines are zero on the South, West and North sides.
- The 'B-2' District abuts the adjacent

III. **SURROUNDING PROPERTIES:**
This site is quite unique for several reasons:

- The 'B-2' District has a zero front setback, therefore, the setback lines are zero on the South, West and North sides.

- The ‘B-2’ District abuts the adjacent property at 278 Washington owned by Ameren.
    - The Ameren properties thoughout the Historic District appear to be given a cross parking agreement.
    - The Ameren property is located in 3 different Zoning Districts.
    - Technically, the abutment of this property to the Ameren site would require a screen, which could be waived under a Special Use Permit.
    - The property to the north is Helfers 380 Rue St Ferdinand. Its parking lot is located in the same ‘B-2’ Zoning District, but the Helfers store itself is located in the ‘HB’ Historic Business District.

The properties to the North is 380 Rue St Ferdinand, the property to the East is 278 Washington, within the ‘R-4’ Single Family Dwelling District.

IV. **STAFF ANALYSIS:**

This proposal if for a thriving existing business. The Site Plan attached shows the car parking on site and notes that 27 spaces exist on the Ameren property used by both Helfers and Mann Meats. It appears that only 6 of these additional spaces are directly behind the site, however, the Ameren site stretches from Harrison St to Washington St and the parking access may have been granted long ago without proper documentation.

Parking for restaurants under 1500 s.f. are calculated at 4.5/1000 s.f., therefore the business is required to have only 3 required parking spaces. The site as proposed has 21 provided, so it more than complies.

The applicant has a vehicle that is an integral part of the business shown with a location to park. This vehicle is used for local community fund raisers and deliveries, but is highly unique and unusual in itself. It represents a part of the owner’s story that will play an ongoing role in the business’ future. The vehicle will need to be shown on an approved site plan. The vehicle is proposed to be a temporary location should the owner decide to go ahead with expansion and/or removal of the existing business.

The walk-in cooler represents an expansion of the business since storage of refrigerated goods is where some of the work occurs to produce a final product. A matching 6 foot vinyl screen fence is proposed to surround the cooler, which is proposed approximately the same size as the existing concrete slab on the parking lot.

VI. **STAFF RECOMMENDATIONS:**

Suggested Motion:

I move for **Recommended Approval** to expand a Special Use in a ‘B-2’ Central Business District as shown on attached Site Plan.

(End of report and suggested motion)

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION

City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. DATE: 4.11-21

Council Ward 5 Zoning 'B-2'

Initial Date Petitioner Filed_____
Building Commissioner to complete ward, zone & date filed

SPECIAL PERMIT FOR Install Walk-In Cooler / Special Parking for Bus on lot
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #-_____ TO ALLOW FOR Walk in cooler / Bus Parking
ordinance # **Statement of what the amendment is for.**

LOCATION 300 St. Ferdinand
Address of property.

1) Comes Now Bob Mannecke D.B.A. Mann Meats Inc.
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Lease
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for BBQ carry-out restaurant and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Bob Mannecke _____ / Bobmannecke@mannmeats.com
PRINT NAME SIGNATURE email and phone

FOR Mann Meats Inc.
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE_____

ADDRESS _____
STREET **CITY** **STATE** **ZIP CODE**

TELEPHONE / EMAIL _____/_____
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

_____
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation X

(a) If an individual:

(1) Name and Address Bob Mannecke

(2) Telephone Number 314-852-5296 / 314-942-7000

(3) Business Address 300 St. Ferdinand

(4) Date started in business 12-28-17

(5) Name in which business is operated if different from (1) Mann Meats

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) State of Incorporation & a photocopy of incorporation papers _____

(5) Date of Incorporation _____

(6) Missouri Corporate Number _____

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____

(8) Name in which business is operated _____

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name _____

Address _____

Property Owner _____

Location of property _____

Dimensions of property _____

Property is presently zoned _____ Requests Rezoning To _____

Proposed Use of Property _____

Type of Sign _____ Height _____

Type of Construction_____ Number Of Stories._____

Square Footage of Building _____Number of Curb Cuts_____

Number of Parking Spaces _____ Sidewalk Length _____

Landscaping: No. of Trees_____ Diameter_____

No. of Shrubs _____ Size_____

Fence: Type _____Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.

2. Show location of property in relation to major streets and all adjoining properties.

3. Show measurement of tract and overall area of tract.

4. Proposed parking layout and count, parking lighting.

5. Landscaping and trash screening.

5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____

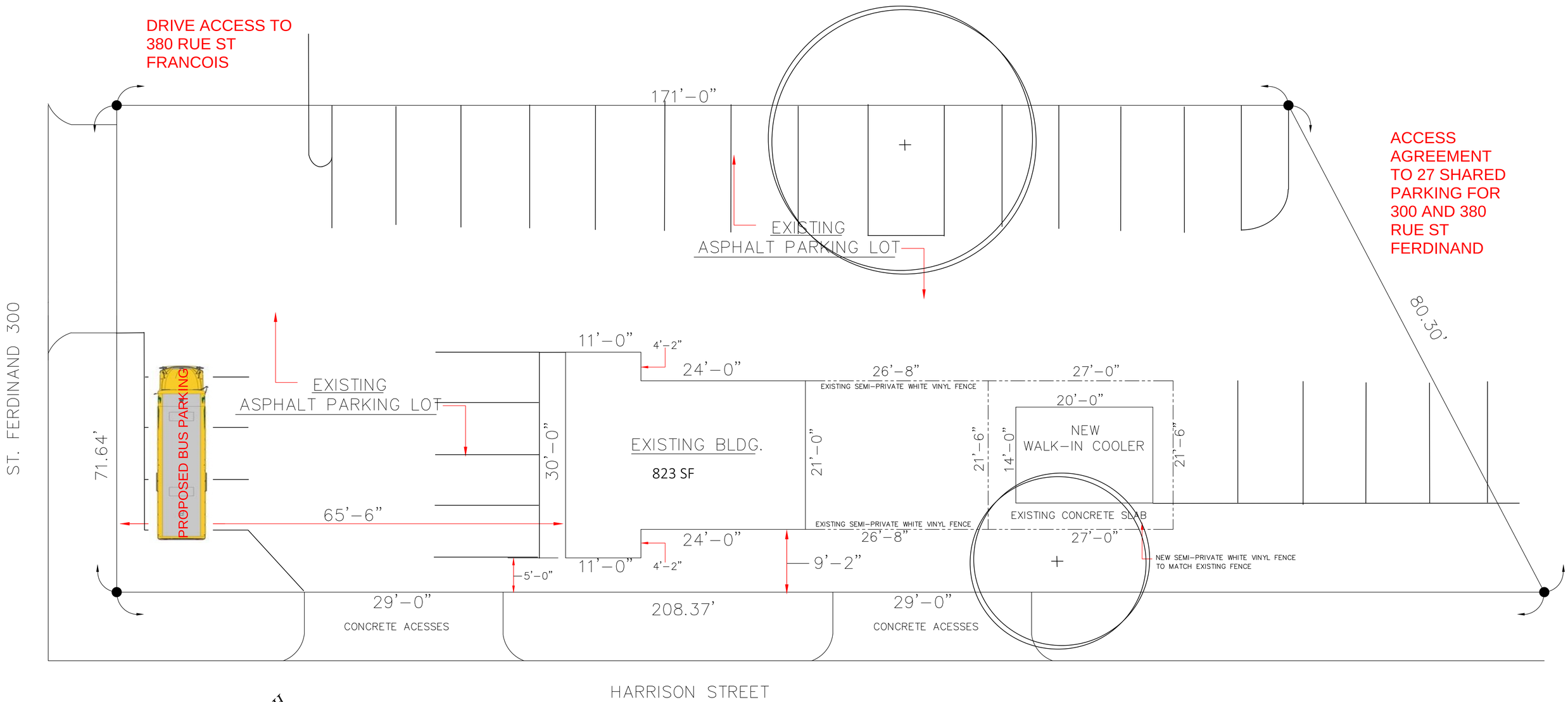
_____

_____

_____

_____

Building Commissioner or Staff Signature



SITE PLAN

SCALE: 1/8" = 1'-0

MANN-MEATS
BAR-B-Q STORE
300 ST. FERDINAND
FLORISSANT, MO. 63031
PHONE: 314-942-7000
ATTN: BOB MANNECKE

CITY OF FLORISSANT

PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Chapter 410.310 of the Florissant Code of Ordinances, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, virtually via the Zoom platform, on Monday, April 26, 2021 at 7:00 p.m. on the following proposition:

To approve a Special Use to add an ATM in the parking lot located at 428 Howdershell (Bank of America). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC, City Clerk.

MEMORANDUM

CITY OF FLORISSANT

To: Planning and Zoning Commissioners

Date: March 31, 2020

From: Philip E. Lum, AIA-Building Commissioner

c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request Recommended Approval of a Special Use at a shopping center to allow for an ATM installation at **428 Howdershell (Bank of America)** in a 'B-3' Extensive Business District.

STAFF REPORT
CASE NUMBER PZ-040521-6

I. **PROJECT DESCRIPTION:**
This is a request for 'recommended approval' of a Special Use at the new "Boardwalk Shopping Center" (formerly Villa De Chresta) to allow for an ATM installation at **428 Howdershell (Bank of America)** in a 'B-3' Extensive Business District.

II. **EXISTING SITE CONDITIONS:**
A new business Use precipitates a need for a Special Use Permit to comply with the City Zoning Ordinance.

There are 169 parking spaces off street parking in front of the shopping center, with a parking ratio of 4 spaces per 1000 s.f., the parking requirement to be in compliance to code is 35,580/1000x4=142 required. The plan indicates 141 required and 153 provided, therefore, the number of parking is compliant should fewer than 12 spaces be removed.

III. **SURROUNDING PROPERTIES:**
The properties to the East are residences in an 'R-4' District, it is also bounded by the street to the South and North also in a 'B-3' District along Howdershell. The property across Howdershell is in a 'B-3' District.

III**. STAFF ANALYSIS:**
Permitted Uses in the 'B-3' District include a bank. Although a bank is a permitted use in this district, staff cannot deem an ATM a bank because it does not provide all the services of a bank. Additionally, an ATM causes changes to traffic flow in the parking lot and a change to the development plan of record.

The application is accompanied by Nelson Architecture Inc plans C0.0 and C1.0 of the ATM. Comments on plans submitted are as follows:

C0.0 Comments:
This drawing shows general site plan, indicating the location within the Shopping Using County GIS, the ATM is situated approximately 20-22 feet from the property line. The setback line is 40 feet for this frontage. The distance to the curbline of Flordawn is about 34 feet.

The only other location where an ATM was permitted was across the street at 555 Howdershell where there was only slight variation from the 40 foot setback.

VI. **STAFF RECOMMENDATIONS:**
If the Commission recommends approval, staff recommends the attached suggested motion:

Suggested Motion for a Special Use at **428 Howdershell**
I move to RecommendApproval of a Special Use at Boardwalk Shopping Center to allow for an ATM installation at **428 Howdershell (Bank of America)** in a 'B-3' Extensive Business District.as follows:

ATM shall be in accordance with attached plans by Nelson Architecture Inc plans C0.0 and C1.0 dated sealed 3/19/21.

(end of Suggested Motion and Memo)

Paid 3.11.21 Receipt 65844 JP

SPECIAL USE PERMIT APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION

City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. DATE:

Council Ward 3 Zoning _____

Initial Date Petitioner Filed_____
Building Commissioner to complete ward, zone & date filed

SPECIAL PERMIT FOR special permit for Drive Up ATM
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #-_____ TO ALLOW FOR _____
ordinance # **Statement of what the amendment is for.**

LOCATION 428 Howdershell Road, Florrisant, MO
Address of property.

1) Comes Now Jones Lang Lasalle DBA Bank of America
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Bank of America
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for parking lot and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Amber Bloomfield _____ / Amber.Bloomfield@am.jll.com, 312-919-5211

PRINT NAME SIGNATURE email and phone

FOR Jones Lang Lasalle DBA Bank of America

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and ~~that all information given here is true and a statement of fact.~~

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE kelly stedman

Digitally signed by kelly stedman
DN: C=US, E=kelly.stedman@woolpert.com, O=Woolpert, OU=DE, CN=kelly stedman
Reason: I am the author of this document
Date: 2021.02.25 19:39:04-06'00'

ADDRESS 343 Fountains Pkwy Fariview Heights, IL 62208

STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 618.632.6094 / kelly.stedman@woolpert.com

BUSINESS

I (we) the petitioner (s) do hereby appoint Kelly Stedman, Woolpert as

Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

_____

Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Villa Del Crista

Address 428 Howdershell

Property Owner _____

Location of property southwest quadrant of parking lot

Dimensions of property _____

Property is presently zoned C3 Requests Rezoning To _____

Proposed Use of Property Strip retail center/parking

Type of Sign NA Height NA

Type of Construction NA Number Of Stories. NA

Square Footage of Building NA Number of Curb Cuts 0

Number of Parking Spaces 159 Sidewalk Length NA

Landscaping: No. of Trees NA Diameter _____

No. of Shrubs NA Size _____

Fence: Type NA Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.

2. Show location of property in relation to major streets and all adjoining properties.

3. Show measurement of tract and overall area of tract.

4. Proposed parking layout and count, parking lighting.

5. Landscaping and trash screening.

5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

428 Howdershell, Part of Villa Del Cresta Retail Plaza, Lot 1A

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____

_____

_____

_____

_____

Building Commissioner or Staff Signature

BANK OF AMERICA

Villa Del Crista - RATM

Issue for Client Review	10/19/2020
Issue for Permit & Construction	11/17/2020

428 Howdershell Rd.
Florissant, MO. 63031

Project Management
Client Representative:
Jones Lang LaSalle
Tayler Bybee
Tel: 773.502.0553
Tayler.Bybee@am.jll.com

Architect
NELSON
Nelco Architecture, Inc.
a licensed affiliate of Nelson Worldwide, LLC

Project Contact: Donna Ross
Tel: 216.830.1508
Email: DRoss@nelsonww.com

Architect of Record: Vince Duet
Tel: 215.825.6620
Email: vduet@nelsonww.com

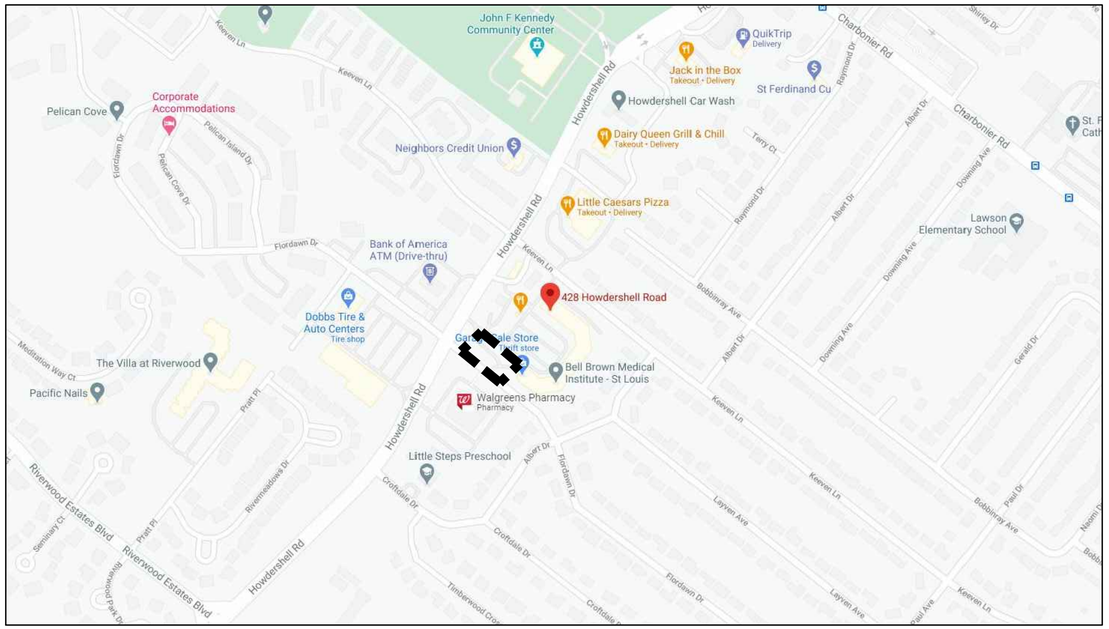
STATE OF MISSOURI
VINCENT P. DUET
NUMBER A-2018012643
ARCHITECT

Civil
Woolpert
Attn: Kelly Stedman, PE
Tel: 618.632.7004
E-mail: kelly.stedman@woolpert.com

THESE DRAWINGS DO NOT REFLECT THE GUIDELINES SET FORTH BY THE WORLD HEALTH ORGANIZATION AND CENTER FOR DISEASE CONTROL OR OTHER GOVERNMENTAL AGENCY GUIDELINES RELATED TO COVID-19

Architect Project #: 20.0003086.000

LOCATION MAP



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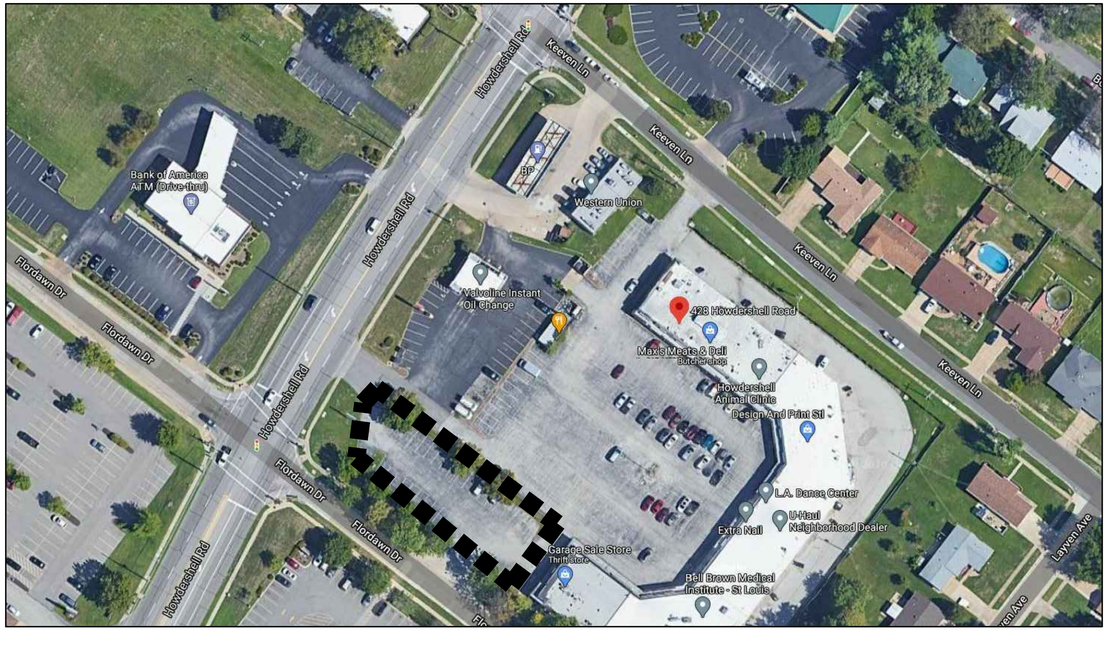
VICINITY MAP



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DRAWING INDEX

----	COVER SHEET
A00.00	DRAWING INDEX, PROJECT INFORMATION, CITY CODE & MAPS

CIVIL

C0.0	EXISTING CONDITIONS
C1.0	DEMOLITION & SITE PLAN
C2.0	GRADING PLAN
C7.0	SITE DETAILS AND NOTES

ARCHITECTURAL

A12.01	ENLARGED PLAN, ELEVATIONS, DETAILS & MATRIX
A12.02	CLEARANCE BAR DETAILS

LIGHTING DESIGN (FOR REFERENCE ONLY)

----	COVER SHEET
LU-1	GENERAL NOTES
LU-2	LUMINAIRE SCHEDULE
LU-3	OVERALL SITE PLAN
LU-4	FULL SITE PHOTOMETRIC PLAN AT GRADE
LU-5	FIXTURE REMOVAL PLAN
LU-6	DIMENSIONING PLAN
LU-7	LANDSCAPING PLAN
LU-8	ATM COMPLIANCE AREA PHOTOMETRICS PLAN

PROJECT INFORMATION

PROJECT ADDRESS:	***428 HOWDERSHELL RD.*** ***FLORISSANT, MO. 63031***
PROJECT NAME:	BANK OF AMERICA - RATM
PROJECT SIZE & TYPE:	100 SQ. FT.
PROJECT DESCRIPTION:	REMOTE DRIVE-UP ATM INSTALLATION
PROJECT OCCUPANCY:	BUSINESS, GROUP-B (BANKING SERVICES)
CONSTRUCTION TYPE:	IIB

CITY CODE (FLORISSANT, MO)

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2017 NATIONAL ELECTRIC CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 ENERGY CONSERVATION CODE

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Tayler Bybee
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Email: Tayler.Bybee@am.jll.com

Architect:
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Nelco Architecture Inc
Attn: Donna Ross
Tel: 216.830.1508
Email: DRoss@nelsononww.com

Architect of Record: Vince Duet
Tel: 215.825.6620
Email: vduet@nelsononww.com

Civil Engineer:
Woolpert
Attn: Kelly Stedman, PE
Tel: 618.632.7004
E-mail: kelly.stedman@woolpert.com

Description:	Date:
Issue for Client Review	10/19/2020
Issue for Permit & Construction	11/17/2020

THESE DRAWINGS DO NOT REFLECT THE GUIDELINES SET FORTH BY THE WORLD HEALTH ORGANIZATION AND CENTER FOR DISEASE CONTROL OR OTHER GOVERNMENTAL AGENCY GUIDELINES RELATED TO COVID-19

BANK OF AMERICA

VILLA DEL CRISTA
RATM

428 HOWDERSHELL RD.
FLORISSANT, MO. 63031

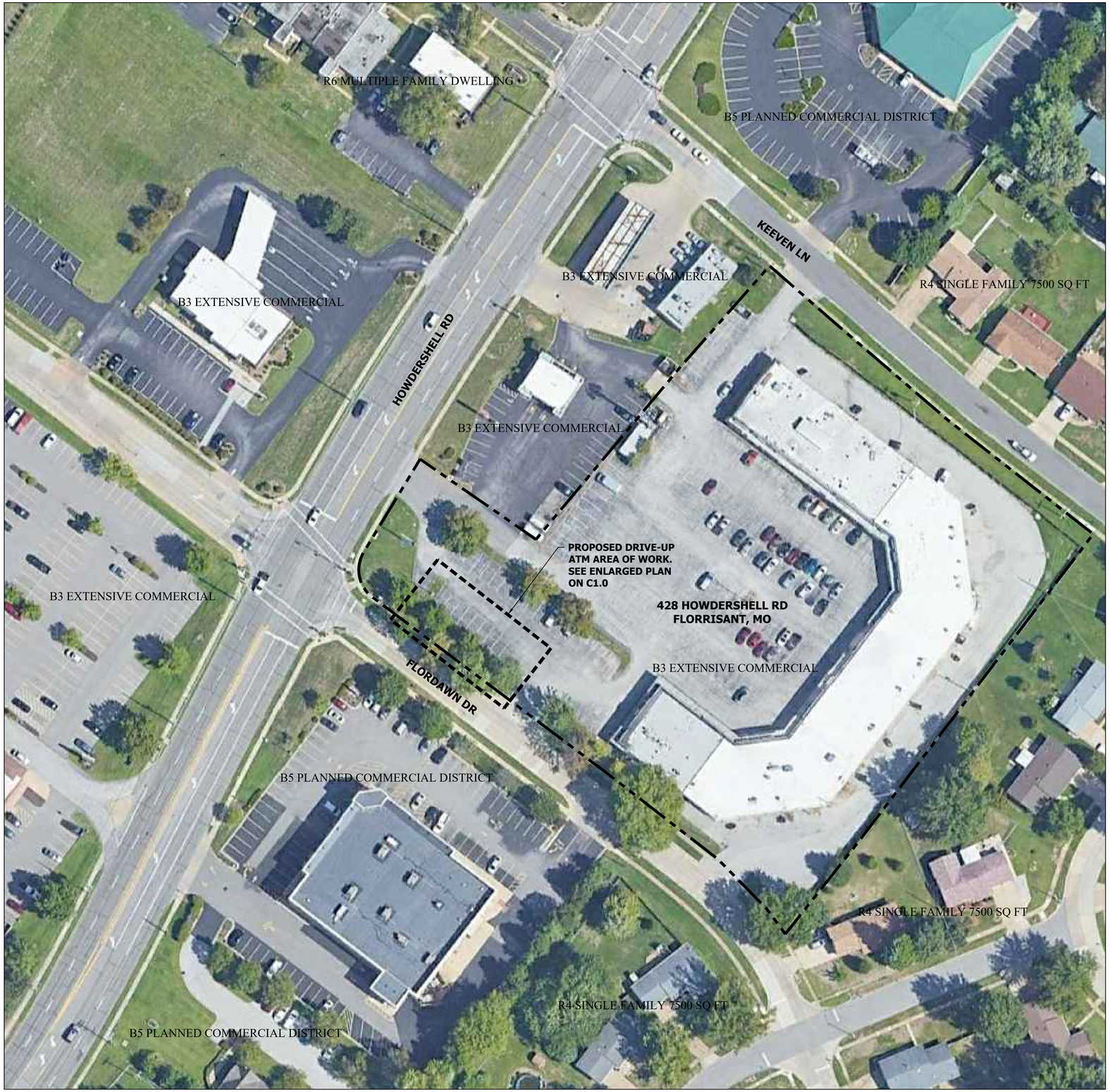
PROPERTY ID: MOW-354
NSRP VERSION: 2.0
BULLETIN: 3-2020

DRAWING INDEX, PROJECT INFORMATION, CITY CODE AND MAPS

STATE OF MISSOURI
VINCENT P. DUET
NUMBER A-2019012643
ARCHITECT

Proj. No: 20.0003086.000 Reviewed By: VPD

A00.00



SITE DATA

PARCEL NUMBER: 07L340784

PARCEL AREA: 3.72 ACRES

ZONING: B3 EXTENSIVE COMMERCIAL

PARKING DATA

EXISTING PARKING REQUIRED:	141 SPACES
EXISTING PARKING PROVIDED:	153 SPACES
PROPOSED PARKING REQUIRED:	141 SPACES
PROPOSED PARKING PROVIDED:	143 SPACES

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Consultant:

Description:	No:	By:	Date:
ISSUE FOR CLIENT REVIEW	1	KLS	10.15.2020
ISSUE FOR PERMIT AND CONSTRUCTION	2	KLS	10.30.2020
ISSUE FOR CD RECORD DRAWINGS	3	KLS	11.17.2020

BANK OF AMERICA

Client:
MOW-354 BoA Howdershell Drive-Up ATM
428 Howdershell Rd, Florrisant, MO

Project Title & Address:

C0.0

Sheet Title: EXISTING CONDITIONS

STATE OF MISSOURI
KELLY L. STEDMAN
NUMBER A-2801
REGISTERED PROFESSIONAL ENGINEER
3-19-21

Seal:

Proj. No:		Designer:	KLS
Drawn By:	SNT	Reviewed By:	
Project Manager:		Approved By:	

ALL DIMENSIONS AND CONDITIONS MUST BE CHECKED AND VERIFIED ON SITE BY THE CONTRACTOR AND SUB-CONTRACTORS PRIOR TO PERFORMING THE WORK. THE PROJECT MANAGER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.

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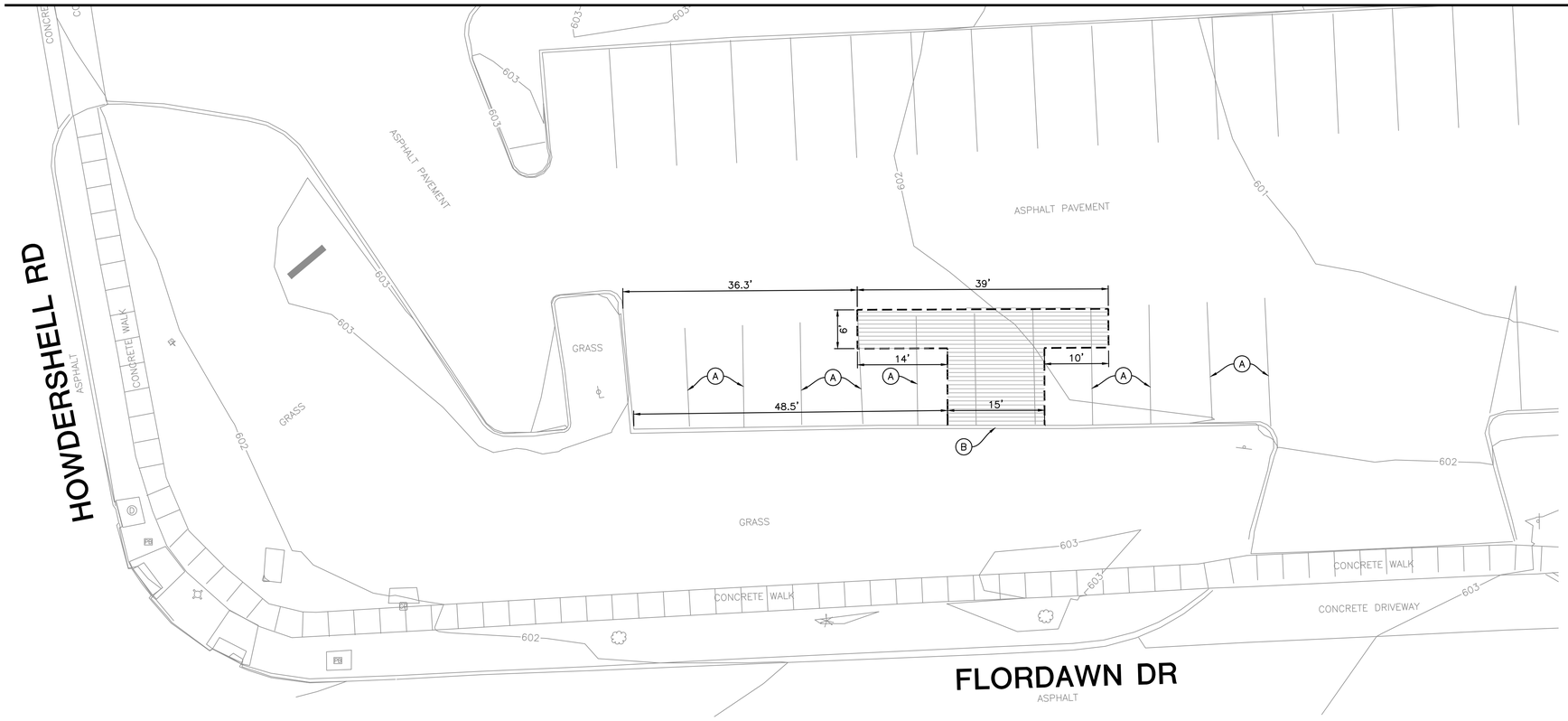


KEYED NOTES

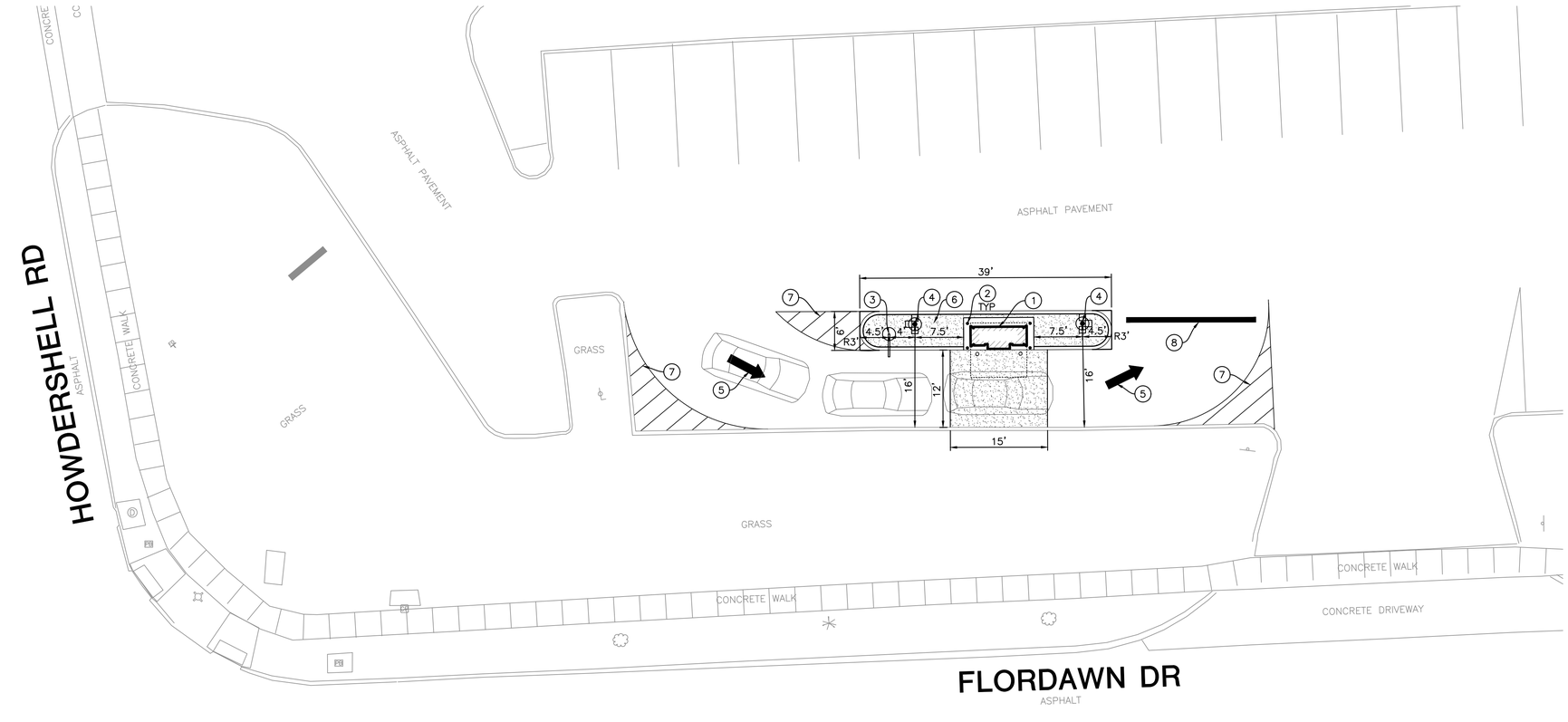
(A) EXISTING PAVEMENT MARKING TO BE REMOVED.

(B) EXISTING CURB TO REMAIN. PROTECT DURING CONSTRUCTION.

LEGEND

REMOVE ASPHALT PAVEMENT. SAWCUT PAVEMENT FOR SMOOTH EDGE.

SAWCUT



KEYED NOTES

1. FRAME R-UB-DU-NG_3.0-N6688 ATM KIOSK BY BANK OF AMERICA VENDOR WITH NCR 6688 ISLAND DRIVE-UP ATM. GENERAL CONTRACTOR SHALL COORDINATE AND PROVIDE POWER AND DATA AS REQUIRED FOR EQUIPMENT FROM NEAREST SOURCE. REFER TO KIOSK DRAWINGS BY BANK OF AMERICA VENDOR. COORDINATE WITH ARCHITECTURAL PLANS.
2. BOLLARD, SEE DETAIL ON ARCHITECTURAL PLANS.
3. CLEARANCE POLE, SEE DETAIL ON ARCHITECTURAL PLAN
4. LIGHT POLE AND LIGHT FIXTURE, SEE DETAIL ON ARCHITECTRUAL PLANS.
5. PAVEMENT MARKING PER BANK OF AMERICA STANDARDS.
6. CONCRETE ISLAND, SEE DETAIL. (1 / C7.0)
7. PAINT 4" WIDE WHITE STRIPING AT 36" O.C. 45° ANGLE.
8. 12" WIDE STOP BAR, WHITE PAINT TYPICAL.

NOTES

1. COORDINATE LIGHTING WITH GMR'S LIGHTING PLANS.

LEGEND

CONCRETE PAVEMENT/ISLAND, SEE DETAIL. (1 / C7.0) (2 / C7.0)

0 5' 10' 20'

Scale:

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Consultant:

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BANK OF AMERICA

Client:

MOW-354 BoA Howdershell Drive-Up ATM
428 Howdershell Rd, Florrisant, MO

Project Title & Address:

C1.0

Sheet Title: DEMOLITION & SITE PLAN

STATE OF MISSOURI
KELLY L. STEDMAN
NUMBER
2-5-21

Seal:

Proj. No:		Designer:	KLS
Drawn By:	SNT	Reviewed By:	
Project Manager:		Approved By:	

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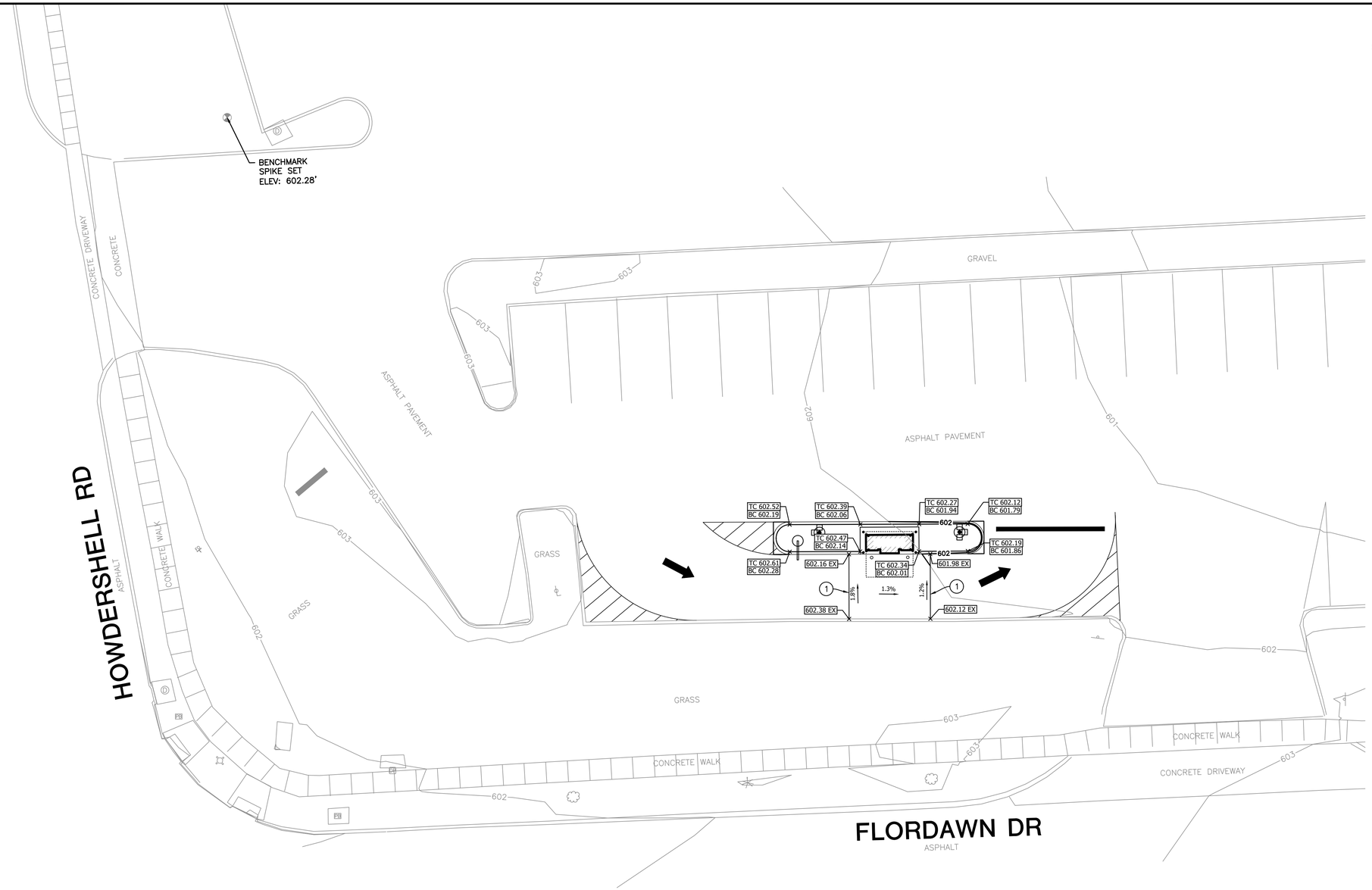

KEYED NOTES

1. MATCH EXISTING PAVEMENT GRADES.

LEGEND

TC 100.00	TOP BACK OF CURB
BC 99.50	BOTTOM-FACE OF CURB
99.50	SPOT SHOT
99.50 (EX)	EXISTING SPOT ELEVATION

0 5' 10' 20'

Scale:

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ISSUE FOR CD RECORD DRAWINGS	3	KLS	11.17.2020

BANK OF AMERICA

Client:

MOW-354 BoA Howdershell Drive-Up ATM
428 Howdershell Rd, Florrisant, MO

Project Title & Address:

C2.0

Sheet Title: GRADING PLAN

STATE OF MISSOURI
KELLY L. STEDMAN
NUMBER
2-5-21

Seal:

Proj. No:		Designer:	KLS
Drawn By:	SNT	Reviewed By:	
Project Manager:		Approved By:	

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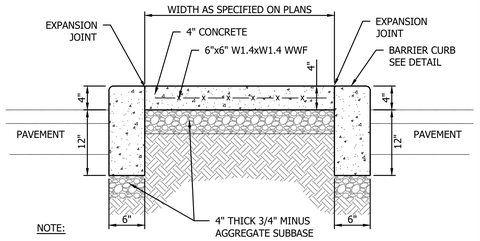
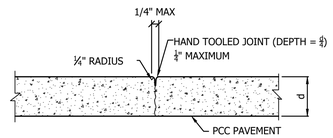


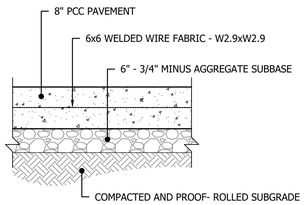
NOTE:

1. EXPANSION JOINTS SHALL BE PROVIDED AT 100' INTERVALS, AT STRUCTURES, AND RADIUS PC AND PT. SAWED CONTROL JOINTS SHALL BE PROVIDED AT 10' SPACING.
2. SEE ARCHITECTURAL PLANS FOR ATM PAD DETAILS.

1 / C7.0 CONCRETE ISLAND
NOT TO SCALE



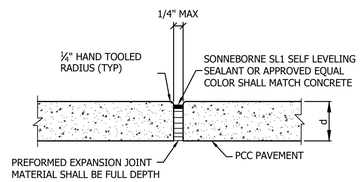
3 / C7.0 CONTROL JOINT
NOT TO SCALE



NOTE:

1. SUBGRADE SHALL BE PROOF ROLLED AND TESTED BY GEOTECHNICAL ENGINEER PRIOR TO PAVEMENT CONSTRUCTION.
2. CONCRETE PAVEMENT JOINTING SHALL BE PER ILLINOIS DOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.

2 / C7.0 CONCRETE PAVEMENT
NOT TO SCALE



4 / C7.0 EXPANSION JOINT
NOT TO SCALE

GENERAL NOTES

ALL WORK PERFORMED ON THIS PROJECT SHALL CONFORM TO THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), TO THE LATEST EDITIONS AND ALL APPLICABLE SECTIONS OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD CONSTRUCTION, TO ALL APPLICABLE REQUIREMENTS/CODES OF THE CITY, COUNTY, AND STATE WHERE THIS PROJECT IS LOCATED, TO PROJECT SPECIFIC SPECIFICATIONS, AND TO BANK OF AMERICA STANDARDS AND SPECIFICATIONS.

PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND CONDITIONS AFFECTING THEIR WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR SHALL VERIFY THE ENGINEER'S LINE AND GRADES. IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONSTRUCTION PLANS, STANDARD SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY THE DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTION ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES AND FOR THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS, IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

THE CONTRACTOR SHALL PROCEED AT HIS OWN RISK IN PERFORMING ANY WORK PRIOR TO VERIFYING OR RECEIVING ALL NECESSARY PERMITS FOR THE WORK TO BE DONE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ADEQUATE SIGNS, TRAFFIC CONTROL DEVICES, AND WARNING DEVICES TO INFORM AND PROTECT THE PUBLIC DURING ALL PHASES OF CONSTRUCTION.

THE CONTRACTOR SHALL REMOVE FROM THE SITE AND DISPOSE OF IN A LEGAL MANNER, ANY AND ALL MATERIALS AND DEBRIS WHICH RESULT FROM CONSTRUCTION OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR RETURNING ALL AREAS AFFECTED BY EQUIPMENT OR CONSTRUCTION TO EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL NEW WORK UNTIL COMPLETION OF THIS CONTRACT.

ALL PROPOSED ITEMS ARE INTENDED TO BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.

UTILITIES (BOTH PUBLIC AND PRIVATE) AND APPURTENANCES TO REMAIN IN THEIR PRESENT LOCATION SHALL BE ADJUSTED TO PROPOSED GRADE WHERE NECESSARY.

PAVING NOTES

PROVIDE POSITIVE DRAINAGE IN ALL AREAS.

A SMOOTH TRANSITION SHALL BE PROVIDED FROM PROPOSED WORK IN THIS CONTRACT TO ALL ADJACENT EXISTING FEATURES.

CONTOURS AND SPOT GRADES SHOWN REPRESENT FINAL CONSTRUCTED SURFACE. PAVEMENT AND OTHER IMPROVEMENTS MUST BE TAKEN INTO ACCOUNT WHEN PERFORMING GRADING.

LANDSCAPE NOTES

ALL AREAS DISTURBED BY CONSTRUCTION NOT COVERED WITH PAVEMENT, BUILDING OR SPECIFIC PLANTING SHALL BE SODDED TO LOCAL STATE AND/OR COUNTY STANDARDS AND SPECIFICATIONS.

ALL AREAS DISTURBED BY CONSTRUCTION NOT COVERED WITH PAVEMENT OR BUILDING SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL.

ALL PROPOSED OR DISTURBED/REPLACEMENT SHRUB AND GROUND COVER PLANTING AREAS SHALL BE COVERED WITH A FOUR INCH THICK LAYER OF SHREDDED HARDWOOD BARK MULCH (HW) OR LANDSCAPE ROCK TO MATCH EXISTING. PRIOR TO MULCHING ALL BEDS SHALL BE COVERED WITH FIBER MAT WEED BARRIER. BARK MULCH OR LANDSCAPE ROCK SHALL BE APPROVED BY THE OWNER AND SHALL BE UNIFORM IN TEXTURE AND COLOR. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS SHALL BE ALLOWED.

ALL LANDSCAPE PLANTINGS, INCLUDING TRANSPLANTS, SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY OWNER. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY OWNER SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE CONTRACTOR.

ALL LAWNS SHALL BE GUARANTEED TO HAVE A FULL UNIFORM STAND OF ACCEPTABLE GRASS AT END OF ONE (1) YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.

ALL IRRIGATION IN CONFLICT WITH PROPOSED WORK SHALL BE ADJUSTED OR RELOCATED AS REQUIRED.

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BANK OF AMERICA

Client:
MOW-354 BoA Howdershell Drive-Up ATM
428 Howdershell Rd, Florrisant, MO

Project Title & Address:

C7.0

Sheet Title: SITE DETAILS & NOTES

STATE OF MISSOURI
KELLY L. STEDMAN
NUMBER
E-29017
REGISTERED PROFESSIONAL ENGINEER
2-5-21

Seal:

Proj. No:		Designer:	KLS
Drawn By:	SNT	Reviewed By:	
Project Manager:		Approved By:	

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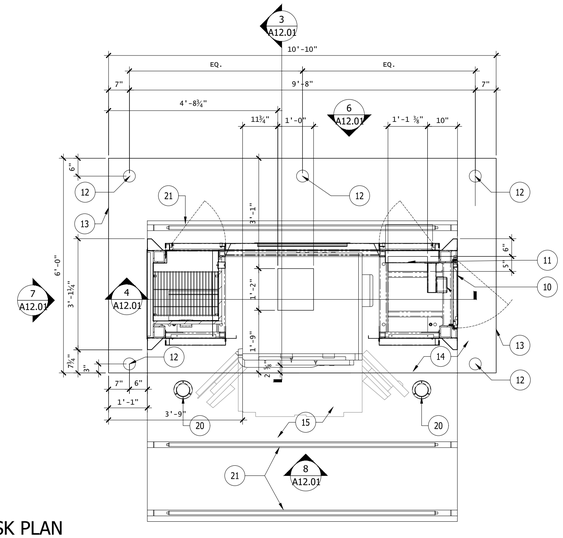
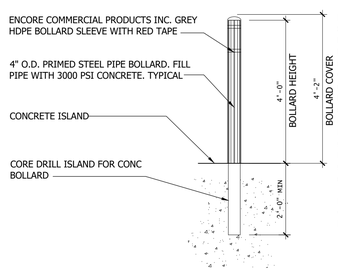
ATM EQUIPMENT ORDERING FORM					
NEW EQUIPMENT TO BE INSTALLED					
ATM MODEL	SLEEVE	CONFIGURATION	SURROUND	LOCATION/#	COMMENTS
NHA 7800iA (CEN1) DRIVE-UP ATM	N/A	N/A	FRAME-R-UB-DU-NG_3.0-EC-H7800i	N/A	EXTERIOR DRIVE UP KIOSK



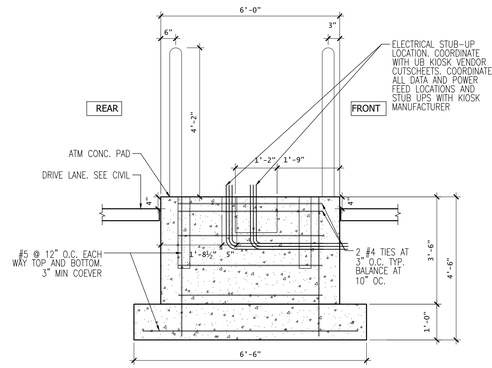
1 A12.01 ENLARGED KIOSK PLAN
SCALE: 1/2" = 1'-0"



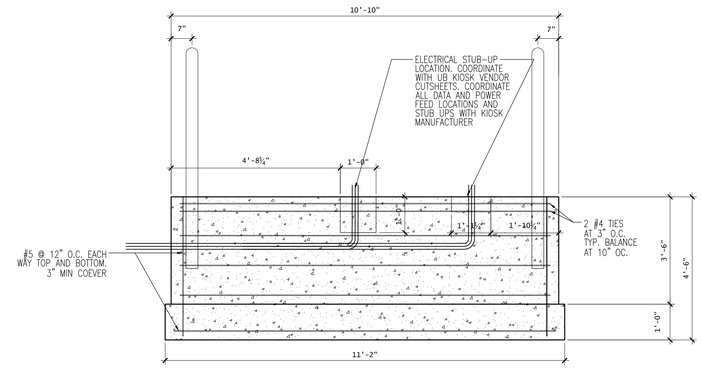
BOLLARD SLEEVE NOTES:
GC shall place orders in a timely fashion- ship date is typically 24-48 hrs after order is placed. Sleeves shall be warranted against fading or color change for five years from date of substantial completion.
Bollard shall be installed level. Fill cores with concrete and strike level across top of pipe. Install cover w/ included foam strips per maufacturer directions.

Encore Commercial Products
www. postguard.com
PH: 866.737.8900

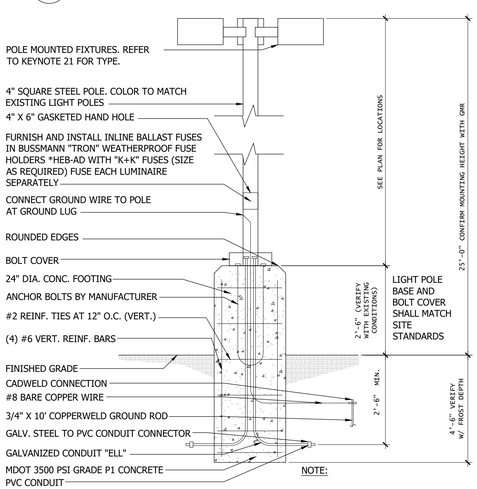
2 A12.01 BOLLARD DETAIL
SCALE: 1/2" = 1'-0"



3 A12.01 TRANSVERSE SECTION: KIOSK PAD
SCALE: 1/2" = 1'-0"



4 A12.01 LONGITUDINAL SECTION: KIOSK PAD
SCALE: 1/2" = 1'-0"

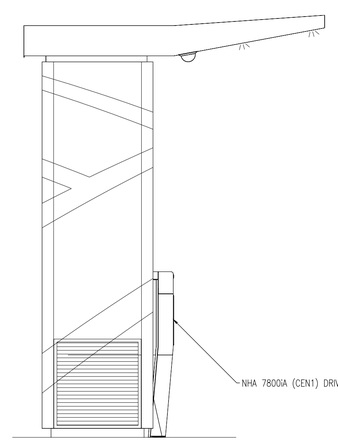


NOTE:
THIS DESIGN IS BASED ON GOOD SOIL CONDITIONS HAVING 3,000 PSF CAPACITY OR BETTER.

SEE CIVIL DRAWINGS FOR NUMBER AND EXTENT OF LIGHTING POLES

5 A12.01 LIGHT POLE AND CONCRETE BASE
SCALE: 1/2" = 1'-0"

6 A12.01 ELEVATION: ATM KIOSK REAR
SCALE: 1/2" = 1'-0"



LEFT SIDE ELEVATION

7 A12.01 ELEVATION: ATM KIOSK LEFT (APPROACH)
SCALE: 1/2" = 1'-0"

8 A12.01 ELEVATION: ATM KIOSK FRONT
SCALE: 1/2" = 1'-0"

GENERAL NOTES

A	GENERAL CONTRACTOR SHALL REMOVE LOCK BOX FROM KIOSK AND RETURN TO THE CLIENT'S KIOSK MANUFACTURER.
B	GENERAL CONTRACTOR IS RESPONSIBLE FOR LOCATING THE NEAREST POWER SOURCE AS REQUIRED PER LOCAL CODE. ONCE POWER SOURCE IS LOCATED GC IS RESPONSIBLE FOR RUNNING PROPER POWER TO THE ATM KIOSK AND LIGHTING LOCATIONS AS NOTED IN THESE DRAWINGS; AS WELL AS DRAWINGS BY THE ATM KIOSK VENDOR.
C	PROVIDE INTERMATIC PHOTO CELL CONTROL AT TOP OF LIGHT POLE TO CONTROL BOTH LIGHT POLE FIXTURES. COORDINATE WITH GMR LIGHTING DESIGN FOR LOCATION AND MODEL.
D	PROVIDE NEW POLE AND LIGHT FIXTURES AS SHOWN PER GMR LIGHTING DESIGN: MANUFACTURER: CREE LIGHTING MODEL: (GY) OSQ-A-NM-5SH-T-40K-UL-BK** MOUNTING HEIGHT: 22'-0" **COORDINATE WITH LIGHTING DESIGN GMR LU SERIES SHEETS FOR FIXTURE TYPE, LOCATION, & HEIGHT**

KEYNOTES (No.)

10	FRAME-R-UB-DU-NG_3.0-N6688 ATM KIOSK BY BANK OF AMERICA VENDOR WITH NCR 6688 ISLAND DRIVE-UP ATM. GENERAL CONTRACTOR SHALL COORDINATE AND PROVIDE POWER AND DATA AS REQUIRED FOR EQUIPMENT FROM NEAREST SOURCE. REFER TO KIOSK DRAWINGS BY BANK OF AMERICA VENDOR FOR POWER/DATA STUB UP LOCATIONS.
11	GC TO COORDINATE WITH ARCHITECT & JLL PJM FINAL LOCATION OF ELECTRICAL PIT. BEFORE ANY CONCRETE WORK CAN BE DONE. THIS ELECTRICAL PIT IS CRUCIAL AND NELSON WOULD LIKE TO PRE-REVIEW BEFORE CONCRETE POUR.
12	PROVIDE (5) 4" DIAMETER BOLLARDS AND BOLLARD COVERS PER 2/A12.01 DETAIL.
13	EXPANSION JOINT, BETWEEN ATM CONCRETE PAD AND REMAINDER OF ISLAND. SEE CIVIL DRAWINGS FOR CONTINUATION OF DRIVE ISLAND.
14	CONCRETE ISLAND. REFER TO CIVIL DRAWINGS FOR LOCATION AND ADDITIONAL INFORMATION.
15	POWER AND DATA TO BE DESIGN BUILD BY GC. GC TO COORDINATE POWER REQUIREMENTS WITH TECHNOLOGY AND EQUIPMENT VENDORS.

LIGHTING NOTES

A	SEE LIGHTING DESIGN DRAWINGS (FOR REFERENCE ONLY) GMR LU SHEET SERIES.
B	FIXTURES SHALL BE DARK SKY COMPLIANT.

LIGHTING KEYNOTES (2No.)

20	SECURITY CAMERA LOCATIONS AS REQUIRED, COORD. WITH BANK OF AMERICA VENDOR
21	B OF A DRIVE UP ATM BAR LIGHT BUILT INTO AND PROVIDED WITHIN UB KIOSK SURROUND CANOPY

NELSON

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Description:	Date:
Issue for Client Review	10/19/2020
Issue for Permit & Construction	11/17/2020

THESE DRAWINGS DO NOT REFLECT THE GUIDELINES SET FORTH BY THE WORLD HEALTH ORGANIZATION AND CENTER FOR DISEASE CONTROL OR OTHER GOVERNMENTAL AGENCY GUIDELINES RELATED TO COVID-19

BANK OF AMERICA

VILLA DEL CRISTA
RATM

428 HOWDERSHELL RD.
FLORISSANT, MO. 63031

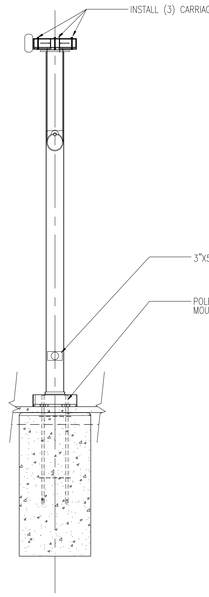
PROPERTY ID: MOW-354
NSRP VERSION: 2.0
BULLETIN: 3-2020

ENLARGED PLAN, ELEVATIONS, DETAILS AND MATRIX

STATE OF MISSOURI
VINCENT P. DUET
NUMBER A-2019012643
ARCHITECT

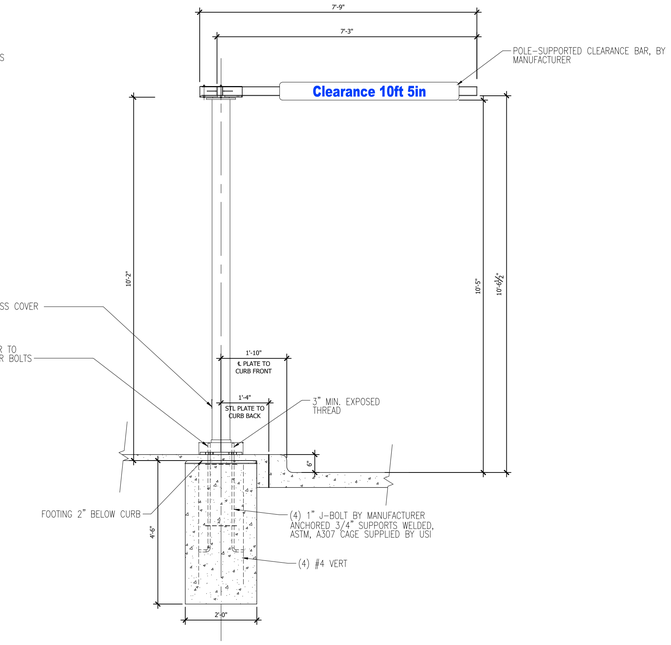
Proj. No: 20.0003086.000 Reviewed By: VPD

A12.01



3 A12.02 ELEVATION: CLEARANCE BAR ROADSIDE

SCALE: 1/2" = 1'-0"



2 A12.02 ELEVATION: CLEARANCE BAR APPROACH

SCALE: 1/2" = 1'-0"

BASIS OF DESIGN COORDINATED WITH
PIVOTING CLEARANCE BAR BY:
COMPANION PART NO: FRAME-R-UB-DU-NG
(MX 7800i CEN)_3.0-EC-H7800iA

DESIGN CRITERIA:	
SNOW LOAD	50 PSF
WIND SPEED	150 MPH
SEISMIC COEFF.	1.5 W (WORST CASE)
MAX. IMPACT FORCE	650 LBS @ 3' ABOVE ANCHORS

GENERAL NOTES:
1. CONSTRUCTION TO FOLLOW ALL LOCAL AND BUILDING CODES
2. CONTRACTOR TO VERIFY IN FIELD ALL DIMENSIONS, QUANTITIES, CONDITIONS, PROPERTY LINES, SETBACK REQUIREMENTS, ETC.

FOUNDATIONS:
1. EXCAVATIONS TO BE CLEARED OF ALL DEBRIS. STANDING WATER TO BE REMOVED
2. FOUNDATIONS DESIGNED USING THE FOLLOWING VALUES FROM 2015 IBC TABLE 1806.2:
   - 2.1. ALLOWABLE PRESSURE: 1500 PSF
   - 2.2. PIER LATERAL BEARING: 100 PSFx2*=200 PSF/FT OF DEPTH

*INCREASE ALLOWED PER 1806.3.4.

CONCRETE & REINFORCING STEEL:
1. CONCRETE CONSTRUCTION SHALL COMFORM TO ACI 318-08.
2. THE MIN 28 DAY STRENGTH & TYPE OF CONCRETE SHALL BE AS FOLLOWS:
   - 2.1. FOUNDATIONS: 3000 PSI (150 PCF)

NELSON

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RATM

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FLORISSANT, MO. 63031

PROPERTY ID: MOW-354
NSRP VERSION: 2.0
BULLETIN: 3-2020

CLEARANCE BAR DETAILS

Proj. No: 20.0003086.000 Reviewed By: VPD

A12.02

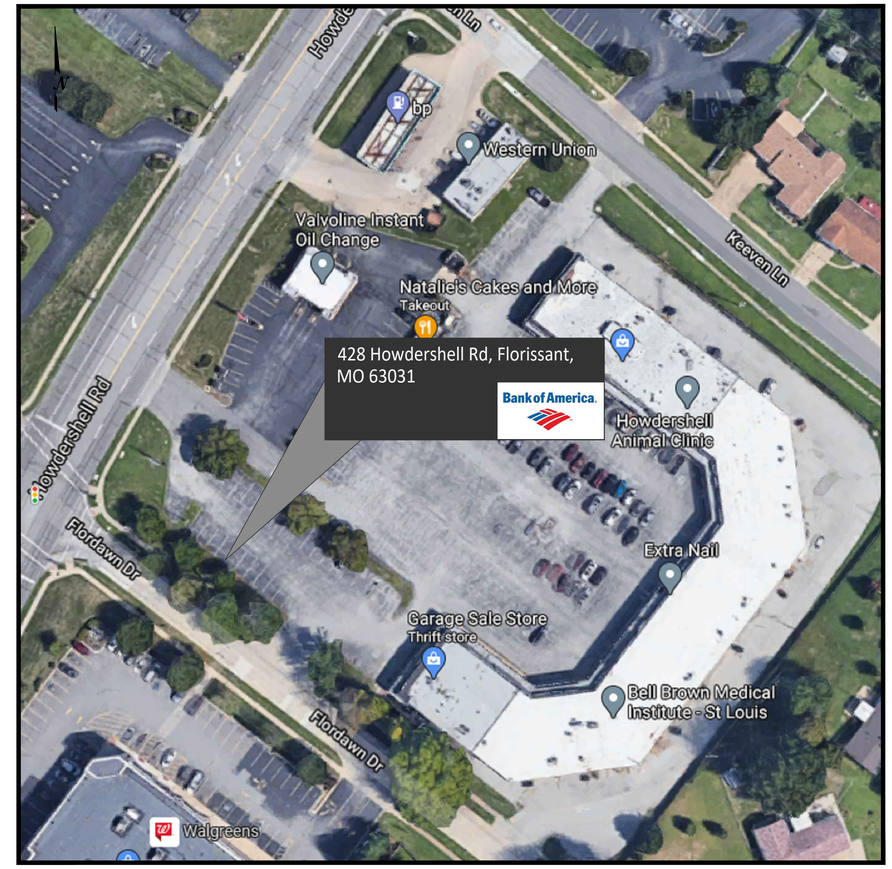
Bank of America®

EXTERIOR LIGHTING DESIGN

MOW-364
428 Howdershell Rd.
Florissant, MO

DRAWING INDEX:

-	COVER SHEET
LU-1	GENERAL NOTES
LU-2	LUMINAIRE SCHEDULE
LU-3	OVERALL SITE PLAN
LU-4	FULL SITE PHOTOMETRICS PLAN AT GRADE
LU-5	FIXTURE REMOVAL PLAN
LU-6	DIMENSIONING PLAN
LU-7	LANDSCAPING PLAN
LU-8	ATM COMPLIANCE AREA PHOTOMETRICS PLAN - FOR BANK USE ONLY



VICINITY MAP

v2 201116

GMR
Facility Analysis † Engineering

1629 Smirl Drive, Suite 200, Heath, Texas 75032
www.gmr1.com
Office: (972) 771-6038

CONTRACTOR RESPONSIBILITY NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITTING, INCLUDING COORDINATION WITH THE LOCAL JURISDICTION AND ANY ASSOCIATED PERMIT FEES OR PROCESSING. CONTRACTOR SHALL NOTIFY GMR UPON RECEIPT OF PERMIT.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING DOCUMENTS THAT ARE NOT INCLUDED IN THE LIGHTING DESIGN PACKAGE. THESE INCLUDE, BUT ARE NOT LIMITED TO, STAMPED ELECTRICAL DRAWINGS, STAMPED POLE BASE DRAWINGS, AND PROFESSIONAL SURVEYS.
3. SHOULD STAMPED PHOTOMETRIC DRAWINGS BE REQUIRED, CONTRACTOR SHALL ENGAGE LOCAL ENGINEER OR LIGHTING DESIGNER AS REQUIRED TO PROVIDE STAMP ON GMR PHOTOMETRIC DESIGN DOCUMENTS.
4. CONTRACTOR SHALL PROVIDE THE BANKING CENTER NOTIFICATION AT LEAST ONE WEEK IN ADVANCE OF VISITING SITES OR STARTING WORK.
5. CONTRACTOR SHALL VERIFY VOLTAGE REQUIREMENTS FOR FIXTURES PRIOR TO PLACEMENT OF FIXTURE ORDERS.
6. CONTRACTOR TO VERIFY LIGHTING CONTROLS PRIOR TO BEGINNING CONSTRUCTION. SEE LIGHTING CONTROL NOTES.
7. CONTRACTOR SHALL RECEIVE FORMAL APPROVAL FROM GMR ON ANY FIXTURE MODIFICATIONS OR VARIATIONS FROM THE LUMINAIRE SCHEDULE.
8. CONTRACTOR SHALL VERIFY EXISTING AND PROPOSED FIXTURE MOUNTING CONDITIONS IN FIELD. ANY SPECIAL MOUNTING HARDWARE NEEDED FOR PROPOSED FIXTURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. CONTRACTOR SHALL SUPPLY ALL NEW LIGHT POLES. NEW LIGHT POLES SHALL MATCH EXISTING CONDITIONS ON SITE FOR POLE TYPE AND PAINT COLOR.
10. CONTRACTOR SHALL ORDER ALL FIXTURES FROM BORDER STATES IN ACCORDANCE WITH BANK OF AMERICA NATIONAL ACCOUNT. CONTACT NATIONAL ACCOUNT QUOTES DEPARTMENT AT BOA@BORDERSTATES.COM OR 704-372-3040.
11. CONTRACTOR SHALL PERFORM ALL NECESSARY PATCHING OR REPAINTING FOR ADDED, REMOVED, OR REPLACED FIXTURES.
12. CONTRACTOR SHALL REPAIR ANY DISTURBED AREAS BACK TO EXISTING CONDITION INCLUDING PAVED AREAS, LANDSCAPED AREAS, ETC.
13. CONTRACTOR SHALL VERIFY AND DOCUMENT COMPLETED WORK DURING NIGHT HOURS. ALL FIXTURES MUST BE FUNCTIONAL DURING NIGHT HOURS PRIOR TO SCHEDULING A FINAL SURVEY WITH GMR.
14. CONTRACTOR SHALL PROVIDE BEFORE AND AFTER NIGHT TIME PHOTOS OF THE SITE.
15. CONTRACTOR SHALL RECEIVE A PUNCHLIST FROM GMR UPON FINAL SURVEY FOR ANY REMAINING ITEMS TO BE COMPLETED.

CONTROLS & ADDITIONAL NOTES:

LIGHTING CONTROL NOTES:

THE CONTRACTOR SHALL VERIFY THE CONTROLS FOR ALL EXTERIOR LIGHTING AND ATM/AHD INTERIOR LOBBIES ON THE SITE (EXCLUDING SIGNAGE) AND ADJUST ACCORDING TO THE FOLLOWING:

- IC3 CONTROL

  CONTRACTOR SHALL VERIFY THAT EXTERIOR LIGHTING CIRCUITS ARE CONTROLLED BY THE CORRECT IC3 CIRCUIT. WHERE EXTERIOR LIGHTING IS INCLUDED ON CONTROL CIRCUITS FOR INTERIOR SYSTEMS, INTERIOR LIGHTING, OR EXTERIOR SIGNAGE, CONTRACTOR SHALL ADJUST EXTERIOR LIGHTING TO THE CORRECT CONTROL CIRCUIT AS REQUIRED.

- PHOTOCELL CONTROL:

  CONTRACTOR SHALL REPLACE EXISTING PHOTOCELLS WITH NEW AND INSTALL IN A LOCATION BEST SUITED TO PROVIDE APPROPRIATE LIGHT EXPOSURE SUCH THAT EXTERIOR LIGHTS ARE ON DURING DARKNESS.

- TIME CLOCK CONTROL:

  CONTRACTOR SHALL VERIFY LOCATION OF TIME CLOCK. IF TIME CLOCK IS IN ELECTRICAL ROOM ALONG WITH IC3 CONTROLS, CONTRACTOR SHALL ADJUST CIRCUIT TO BE CONTROLLED BY IC3 EXTERIOR LIGHTING CONTROLS. IF TIME CLOCK IS IN A REMOTE LOCATION NOT IN CLOSE PROXIMITY TO THE IC3 CONTROLS, CONTRACTOR SHALL VERIFY TIME CLOCK IS SET PROPERLY AND LEAVE CIRCUIT ON TIME CLOCK CONTROL.

- MANUAL CONTROL:

  CONTRACTOR SHALL VERIFY THAT NO EXTERIOR LIGHTING IS CONTROLLED MANUALLY. IF ANY EXTERIOR LIGHTING IS ON A MANUALLY CONTROLLED CIRCUIT, CONTRACTOR SHALL ADJUST TO BE CONTROLLED BY PHOTOCELL OR IC3, WHICHEVER IS MOST ECONOMICALLY ACCOMPLISHED.

ADDITIONAL CONTRACTOR NOTES:

CONSTRUCTION COMPLETION VERIFICATION

UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE VERIFICATION IN WRITING TO THE BANK OF AMERICA PJM THAT ALL WORK IS COMPLETE ACCORDING TO THE CONSTRUCTION DOCUMENTS, AND THAT ALL EXTERIOR LIGHTING IS FUNCTIONING DURING NIGHTTIME HOURS. COMPLETION PHOTOS, TAKEN AT NIGHT, SHALL BE PROVIDED IN THE FOLLOWING FORMAT:

PROVIDE A SINGLE DOCUMENT CONTAINING THE FOLLOWING:

- SITE PHOTOS FROM ALL SIDES OF BUILDING
- MINIMUM OF 3 PHOTOS OF EACH COMPLIANCE AREA (ATM(S), AFTER-HOUR DEPOSITORIES, ASSOCIATE ENTRY) FROM DIFFERENT ANGLES
- MINIMUM OF 2 PHOTOS OF ALL NON-COMPLIANCE AREAS FROM DIFFERENT ANGLES

FIXTURE CLARIFICATION NOTES:

1. OUT OF SCOPE - EXISTING FIXTURES TO REMAIN ON SITE WITHOUT MODIFICATION. NO ACTION REQUIRED UNLESS NOTED OTHERWISE.
2. REMOVE AND PATCH - EXISTING FIXTURES TO BE FULLY REMOVED AND ANY PAINTING, PATCHING OR ELECTRICAL WORK NEEDED IS TO BE ASSESSED AND PERFORMED BY CONTRACTOR.
3. REPLACE EXISTING FIXTURE - EXISTING FIXTURE TO BE FULLY REMOVED AND REPLACED IN THE SAME LOCATION WITH A NEW FIXTURE. CONTRACTOR TO VERIFY IF POLE AND/OR POLE BASE IS SUFFICIENT FOR THE NEW FIXTURES. ANY PAINTING, PATCHING OR ELECTRICAL WORK NEEDED IS TO BE ASSESSED AND PERFORMED BY CONTRACTOR.
4. ADD NEW FIXTURE - NEW FIXTURES TO BE ADDED. ANY PAINTING, PATCHING OR ELECTRICAL WORK NEEDED TO BE ASSESSED AND PERFORMED BY CONTRACTOR.
5. ADD NEW POLE & FIXTURE - A NEW POLE AND FIXTURE TO BE ADDED. CONTRACTOR TO SPECIFY POLE TO MATCH EXISTING STYLE AND COLOR AND, IF NOT PROVIDED, POLE BASE DATA FOR NEW POLE LOCATIONS. CONTRACTOR TO VERIFY IF POLE AND POLE BASE IS SUFFICIENT FOR THE HEIGHT, LOCATION AND FIXTURE SPECIFIED.
6. GMR DOES NOT SPECIFY MOUNTING HARDWARE FOR ANY SPECIFIED FIXTURES. CONTRACTOR IS TO WORK WITH DISTRIBUTOR AND/OR MANUFACTURER ON A CASE BY CASE BASIS TO IDENTIFY AND ORDER REQUIRED MOUNTING HARDWARE.
7. CONTRACTOR TO VERIFY WHETHER EXISTING WIRING LOCATIONS OR THE ADDITION OF WIRING FOR NEW FIXTURE LOCATIONS IS SUFFICIENT FOR THE DESIGNATED FIXTURE LOCATION.
8. CONTRACTOR TO SPECIFY POLE COLOR AND TYPE PRIOR TO ORDERING.
9. ALL FIXTURES ARE ASSUMED BRONZE IN COLOR UNLESS NOTED OTHERWISE IN THE LUMINAIRE SCHEDULE. CONTRACTOR TO CONFIRM PRIOR TO ORDERING.

GENERAL NOTES:

1. EXISTING CONDITIONS SHOWN ON THE DRAWINGS ARE BASED ON A LIMITED AMOUNT OF INFORMATION AVAILABLE TO THE ENGINEER. ALL SUCH CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO SUBMITTING THE BID AND ADJUSTED IF NECESSARY. NO ADDITIONAL COMPENSATION SHALL BE GRANTED AFTER AWARDING A BID FOR ANY EQUIPMENT, MATERIAL OR LABOR REQUIRED TO REWORK OR OTHERWISE MODIFY EXISTING CONDITIONS.
2. THIS LIGHTING DESIGN IS BASED ON A COMBINATION OF STATE STANDARDS, THE BANK'S CURRENT SECURITY POLICY FOR EXTERIOR ATM AND AFTER-HOUR DEPOSITORIES AND BANK GUIDELINES FOR NON-SECURITY COMPLIANCE ZONES.
3. TRIM ALL TREES/LANDSCAPING TO MINIMIZE IMPEDING LIGHT FROM ANY LIGHT FIXTURES THAT IMPACT THE 60' RADIUS AROUND ALL ATMS AND A RADIUS OF 50' AROUND ALL AFTER-HOUR DEPOSITORIES. CONSIDERATION MUST BE GIVEN TO TREES/LANDSCAPING IN A STATE OF FULL FOLIAGE/BLOOM AND FUTURE GROWTH. ALL LANDSCAPING WORK WILL BE PERFORMED BY OTHERS WITH A SEPARATE PERMIT (IF REQUIRED).
4. ALL MOUNTING HEIGHTS ARE INTENDED TO THE BOTTOM OF THE FIXTURE.
5. CONTRACTOR TO FIELD VERIFY FIXTURE PLACEMENT DIMENSIONS PRIOR TO CONSTRUCTION.
6. DIMENSIONING PROVIDED IS FOR PROPOSED FIXTURE LOCATIONS ONLY, UNLESS OTHERWISE NOTED ON THE DRAWING.
7. THE CONTRACTOR SHALL ATTEMPT TO ELIMINATE THE USE OF EXPOSED CONDUIT WHERE POSSIBLE. IF EXPOSED CONDUIT IS NECESSARY, THE CONTRACTOR SHALL VERIFY USE WITH PROJECT MANAGER.
8. ALL EXISTING LIGHTS WILL BE REPLACED WITH LED LIGHTS AND ALL PROPOSED LIGHTS WILL ALSO BE LED, UNLESS OTHERWISE NOTED.
9. ALL FIXTURES ARE TO BE MOUNTED ABOVE FINISH GRADE.
10. UNLESS OTHERWISE NOTED, MATCH EXISTING POLE BASES.

SITE ABBREVIATIONS:

PL	=	PROPERTY LINE
AFG	=	ABOVE FINISHED GRADE
Fc	=	FOOTCANDLE
CBO	=	CONTROLLED BY OTHERS
AHD	=	AFTER HOUR DEPOSITORY

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

Bank of America®

v2 201116

REVISION NO.	DESCRIPTION	REVISED BY
3		
2		
1	REVISED XX	KRM

GMR Facility Analysis † Engineering

Villa Del Cresta
MOW-364
428 Howdershell Rd.
Florissant, MO

GENERAL NOTES

DESIGN BY: CSB	DRAWN BY: DMW
REVIEWED BY: AWD	APPROVED BY: KRM

SHEET NO.

LU-1

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LUMINAIRE SCHEDULE **SEE FIXTURE CLARIFICATION NOTE #9 (NP) = NEW POLE (CBO) CONTROLLED BY OTHERS

**** CONTRACTOR TO VERIFY MOUNTING ACCESSORIES BEFORE ORDERING****

SYMBOL	QTY	LABEL	FIXTURE ARRANGEMENT	TOTAL FIXTURE COUNT	NEW POLE COUNT	FIXTURE TYPE / MOUNTING / MANUFACTURER	BUG RATING	MOUNTING HEIGHT	MOUNTING ACCESSORIES	NOTES
	2	UU1 (NEW POLE)	TRIPLE (3@90°)	6	2	DSX1 LED-P4-40K-T5M-MVOLT-RPA-DNAXD / CREE / POLE FIXTURE	B4-U0-G2	26' AFG	AS3-5 390	ADD NEW POLE AND FIXTURE
	1	YA1	DOUBLE (2@90°)	2	-	EXISTING POLE FIXTURE	-	-	-	OUT OF SCOPE
	3	ZD1	SINGLE	3	-	BOA DRIVE UP ATM 8' FIXTURE (GEWH9640BAT)	-	-	-	OUT OF SCOPE

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

Bank of America®

BLUE = NEW FIXTURE
GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED
ORANGE = EXISTING FIXTURE TO REMAIN
TURQUOISE = FIXTURE TO BE REMOVED
PINK = REPLACE WITH NEW POLE AT NEW HEIGHT

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1	REVISED XX	KRM

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MOW-364
428 Howdershell Rd.
Florissant, MO

LUMINAIRE SCHEDULE

DESIGN BY: CSB	DRAWN BY: DMW
REVIEWED BY: AWD	APPROVED BY: KRM

SHEET NO. **LU-2**

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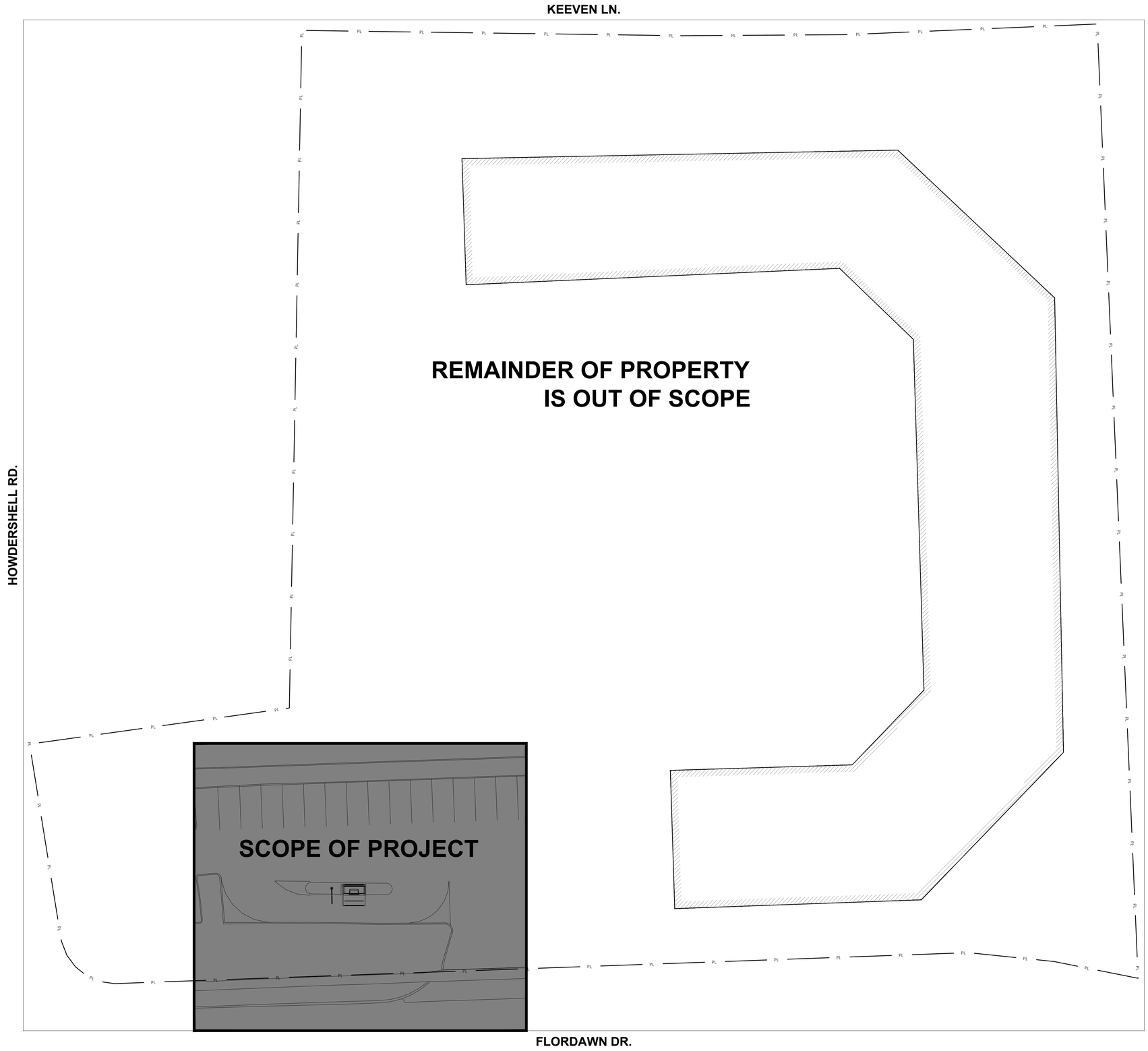

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ORANGE = EXISTING FIXTURE TO REMAIN
TURQUOISE = FIXTURE TO BE REMOVED
PINK = REPLACE WITH NEW POLE AT NEW HEIGHT
= INDICATES NEW SECURITY FENCE
PL = PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION

N.T.S.

v2 201116

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2		
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GMR Facility Analysis † Engineering

Villa Del Cresta
MOW-364
428 Howdershell Rd.
Florissant, MO

OVERALL SITE PLAN

DESIGN BY:	DRAWN BY:
CSB	DMW
REVIEWED BY:	APPROVED BY:
AWD	KRM

SHEET NO.
LU-3

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

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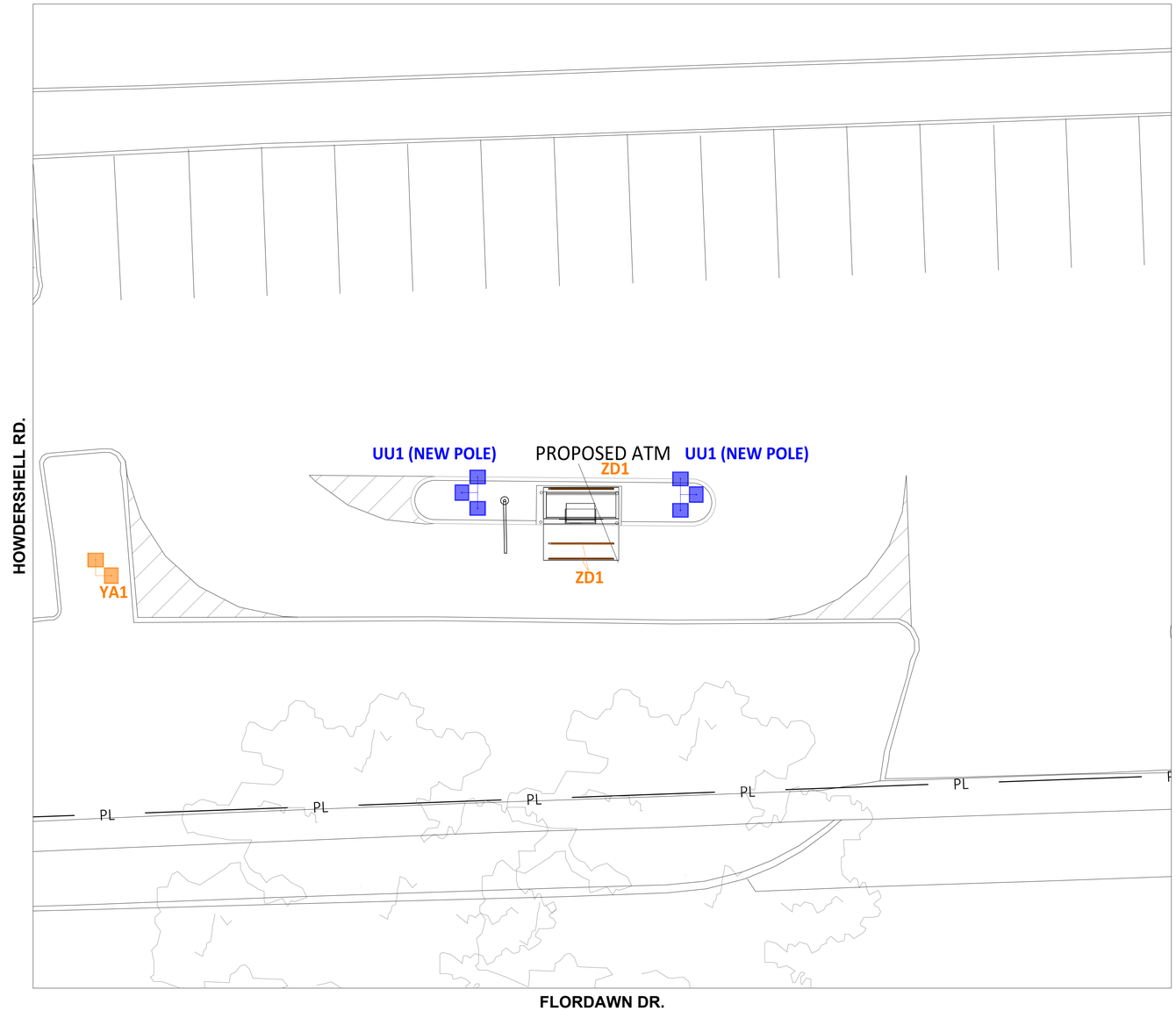
QTY	LABEL	NOTES	MOUNTING HEIGHT
2	UU1 (NEW POLE)	ADD NEW POLE AND FIXTURE	26' AFG
1	YA1	OUT OF SCOPE	-
3	ZD1	OUT OF SCOPE	-



SITE NOTES:

-

EXISTING CONDITIONS:

1. EXISTING POLES - ROUND TAPERED
2. EXISTING POLE BASES - 1' - 6''
3. EXISTING DRIVE THRU CEILING - N/A

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

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PL = PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION

SCALE: 1 1/2" = 1'-0"

v2 201116

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1	REVISED XX	KRM

GMR Facility Analysis † Engineering

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Florissant, MO

SITE PLAN ENLARGEMENT

DESIGN BY: CSB	DRAWN BY: DMW
REVIEWED BY: AWD	APPROVED BY: KRM

SHEET NO.

LU-3a

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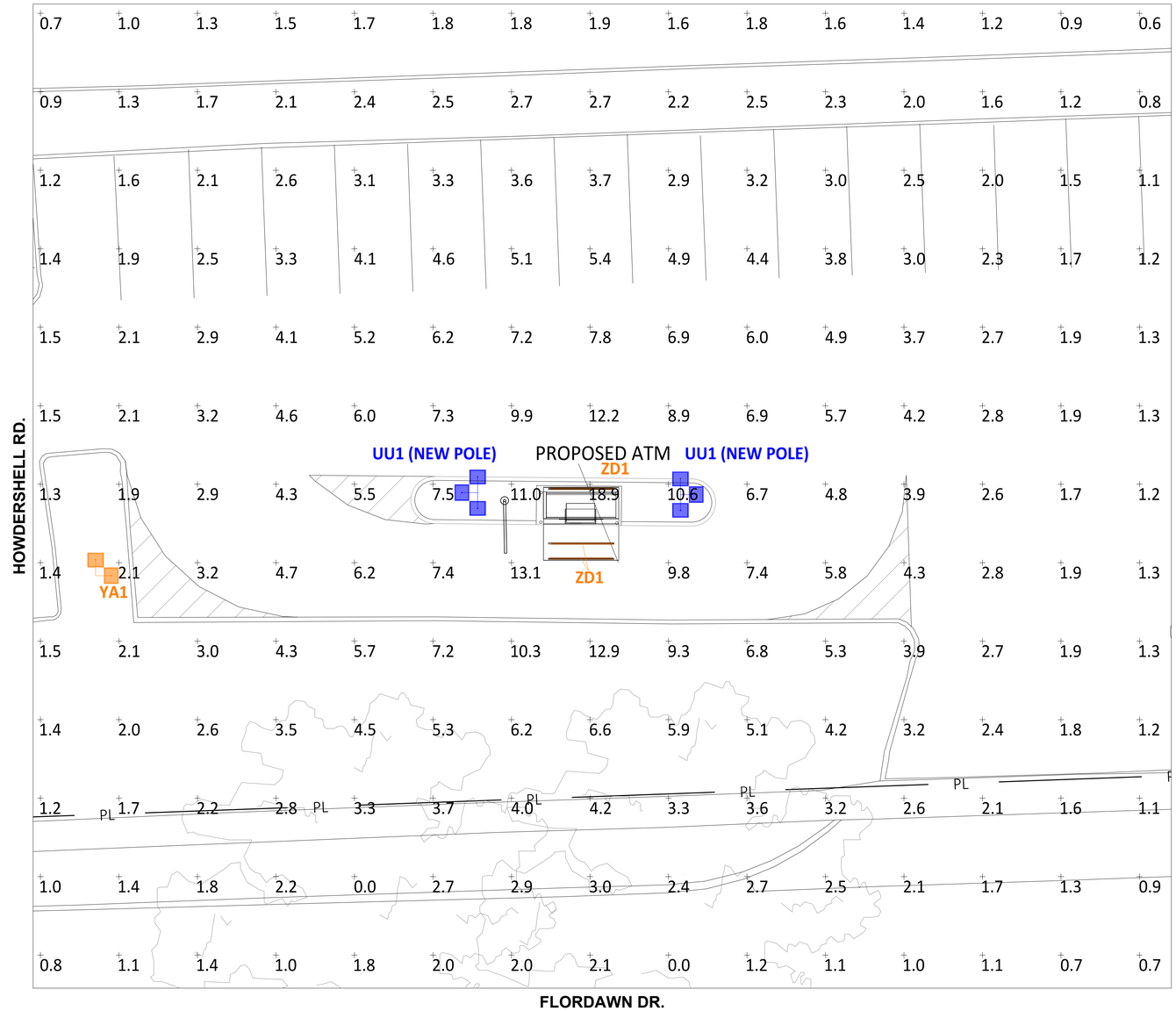
NOTES:

1. THE SCOPE OF WORK FOR THIS PROJECT IS LIMITED TO EXTERIOR LIGHTING RENOVATIONS AS SHOWN ON THE PLANS.
2. ALL PROPOSED LIGHTS WILL BE FULL CUTOFF LED LIGHT FIXTURES.
3. ALL EXISTING LIGHTS WILL BE REPLACED WITH FULL CUT OFF LED LIGHT FIXTURES.
4. REFERENCE THE LUMINAIRE SCHEDULE (SHEET LU-2) FOR ADDITIONAL LIGHT FIXTURE INFORMATION.



FULL SITE CALCS							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
FULL SITE @ GRADE	Illuminance	Fc	3.39	18.9	0.0	N.A.	N.A.

N

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

Bank of America®

BLUE = NEW FIXTURE
GREEN = EXISTING FIXTURE LOCATION TO BE REPLACED
ORANGE = EXISTING FIXTURE TO REMAIN
TURQUOISE = FIXTURE TO BE REMOVED
PINK = REPLACE WITH NEW POLE AT NEW HEIGHT
= INDICATES NEW SECURITY FENCE
PL = PROPERTY LINE BASED ON COUNTY APPRAISAL INFORMATION

N.T.S.

v2 201116

REVISION NO.	DESCRIPTION	REVISED BY
3		
2		
1	REVISED XX	KRM

GMR Facility Analysis † Engineering

Villa Del Cresta
MOW-364
428 Howdershell Rd.
Florissant, MO

FULL SITE
PHOTOMETRICS PLAN

DESIGN BY: CSB	DRAWN BY: DMW
REVIEWED BY: AWD	APPROVED BY: KRM

SHEET NO. LU-4

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REVISION NO.	DESCRIPTION	REVISED BY
3		
2		
1	REVISED XX	KRM

GMR
Facility Analysis † Engineering

Villa Del Cresta
MOW-364
428 Howdershell Rd.
Florissant, MO

FIXTURE REMOVAL PLAN

DESIGN BY: CSB	DRAWN BY: DMW
REVIEWED BY: AWD	APPROVED BY: KRM

SHEET NO.
LU-5

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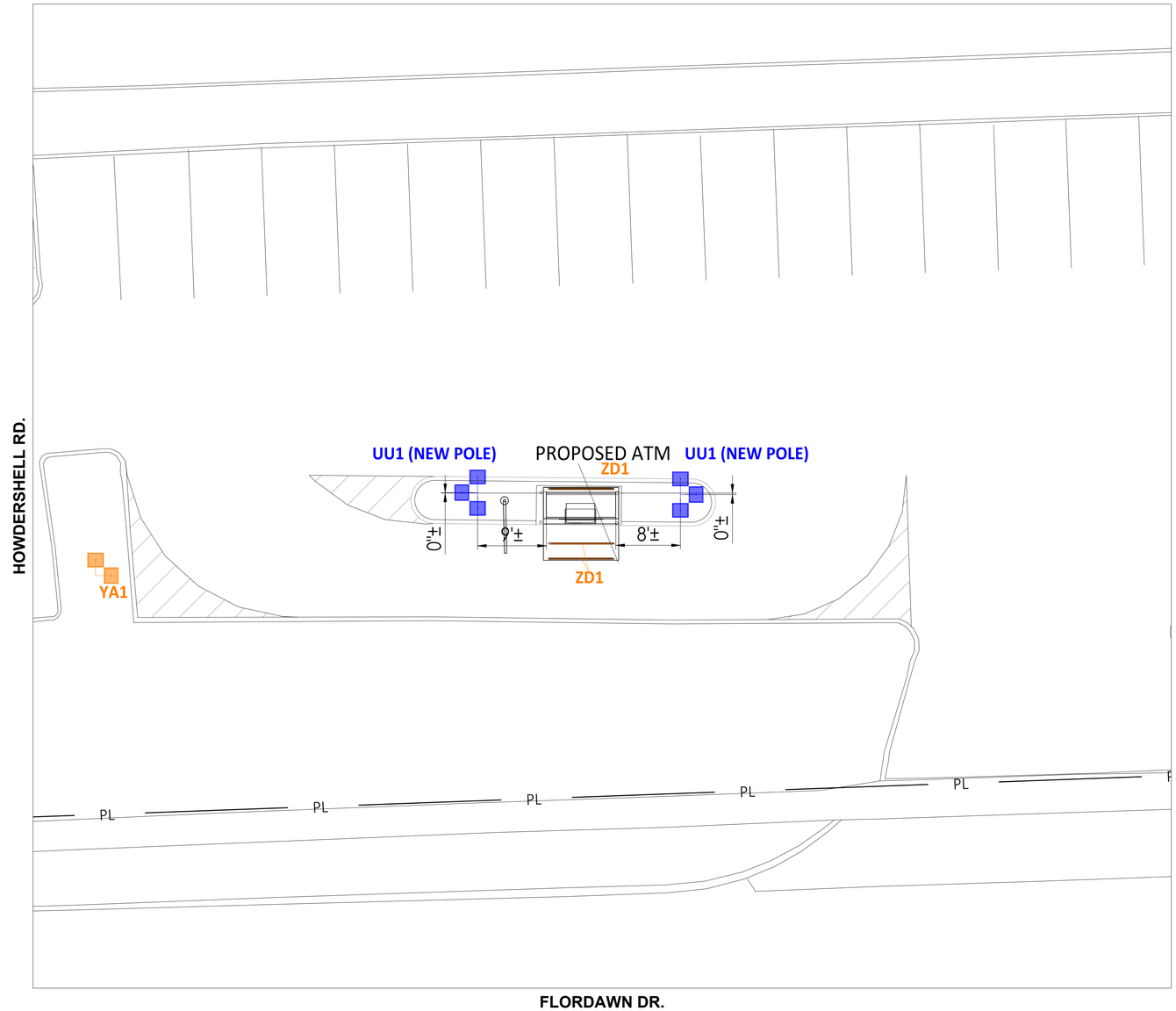
QTY	LABEL	NOTES	MOUNTING HEIGHT
2	UU1 (NEW POLE)	ADD NEW POLE AND FIXTURE	26' AFG
1	YA1	OUT OF SCOPE	-
3	ZD1	OUT OF SCOPE	-



SITE NOTES:

-

EXISTING CONDITIONS:

1. EXISTING POLES - ROUND TAPERED
2. EXISTING POLE BASES - 1' - 6''
3. EXISTING DRIVE THRU CEILING - N/A

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

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SCALE: 1 1/2" = 1'-0"

v2 201116

REVISION NO.	DESCRIPTION	REVISED BY
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1	REVISED XX	KRM

GMR Facility Analysis † Engineering

Villa Del Cresta
MOW-364
428 Howdershell Rd.
Florissant, MO

DIMENSIONING PLAN

DESIGN BY: CSB	DRAWN BY: DMW
REVIEWED BY: AWD	APPROVED BY: KRM

SHEET NO. **LU-6**

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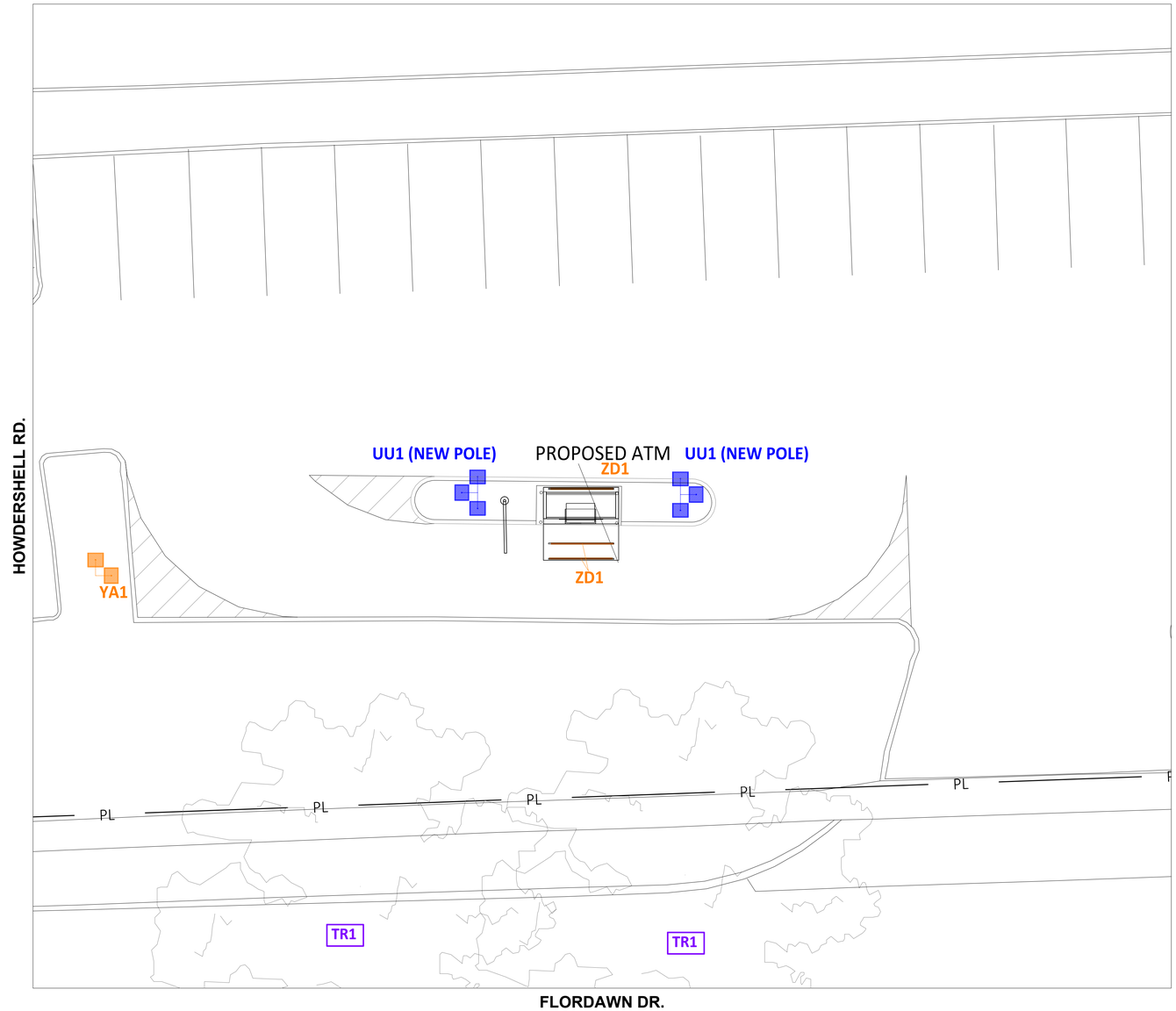

LANDSCAPE SCHEDULE CM = CRAPE MYRTLE UNK = UNKNOWN		
SYMBOL	QTY	NOTES
TR1	2	ONLY TRIM LIMBS THAT OVERHANG ONTO BANK PROPERTY UP TO 13' AND AWAY FROM LIGHT FIXTURE TO ENSURE THAT IT DOES NOT INTERFERE WITH INTENDED ILLUMINATION

GC TO VERIFY WITH LOCAL AUTHORITY HAVING JURISDICTION ON TREE TRIMMING AND/OR REMOVAL PRIOR TO COMMENCING WORK

N

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

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SCALE: 1 1/2" = 1'-0"

v2 201116

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2		
1	REVISED XX	KRM

GMR Facility Analysis † Engineering

Villa Del Cresta
MOW-364
428 Howdershell Rd.
Florissant, MO

LANDSCAPING PLAN

DESIGN BY: CSB	DRAWN BY: DMW
REVIEWED BY: AWD	APPROVED BY: KRM

SHEET NO. **LU-7**

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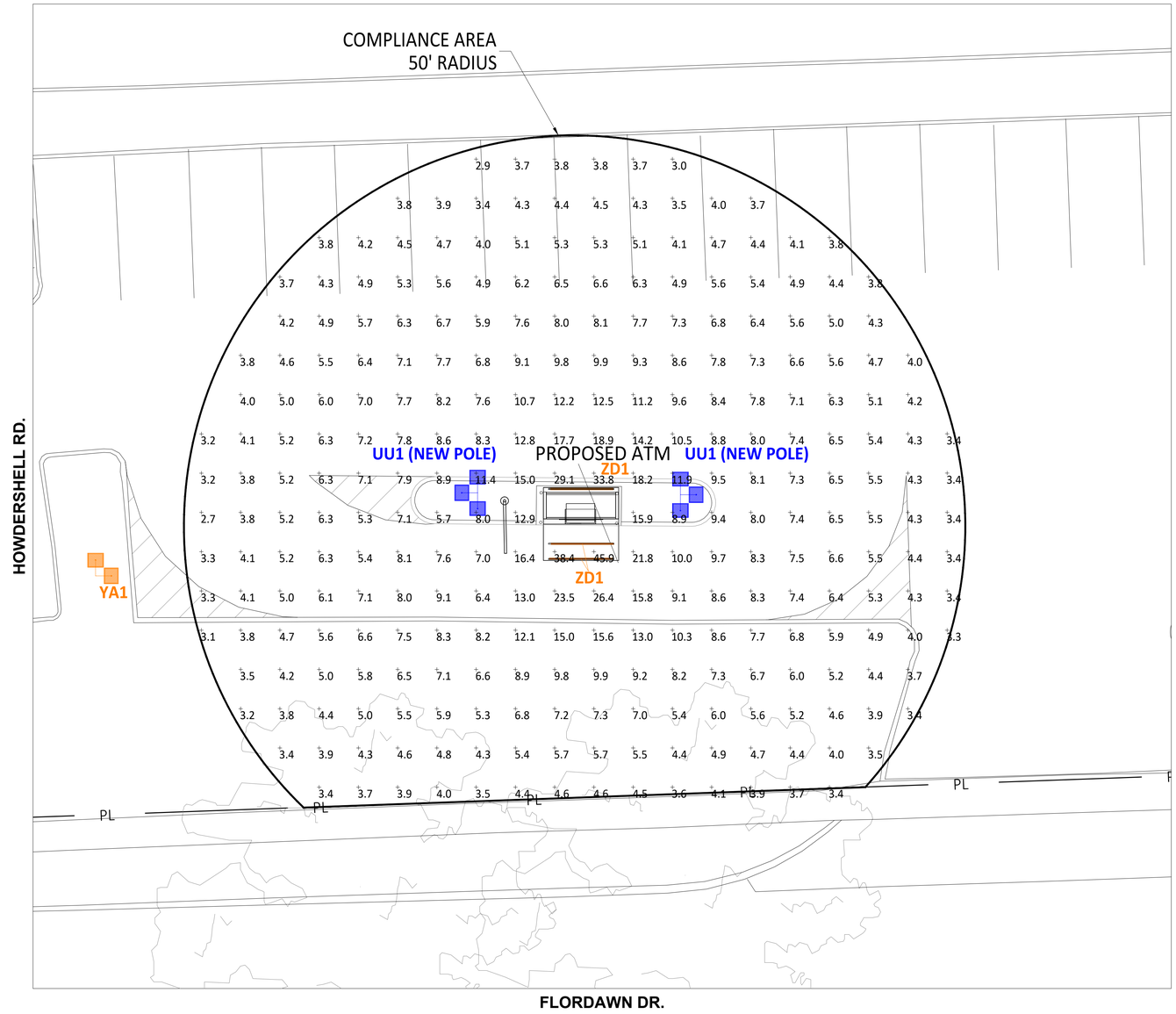
NOTES:

1. READINGS ARE MEASURED AT 36" (3') ABOVE GRADE.



UNIT CALCS 50'							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ATM 50' @ 36''	Illuminance	Fc	7.01	45.9	2.7	2.60	17.00

NOTE: THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINARIES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER RELATED VARIABLE FIELD CONDITIONS.

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v2 201116

REVISION NO.	DESCRIPTION	REVISED BY
3		
2		
1	REVISED XX	KRM

GMR Facility Analysis † Engineering

Villa Del Cresta
MOW-364
428 Howdershell Rd.
Florissant, MO

ATM COMPLIANCE
AREA PHOTOMETRICS PLAN

DESIGN BY: CSB	DRAWN BY: DMW
REVIEWED BY: AWD	APPROVED BY: KRM

SHEET NO. LU-8

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CITY OF FLORISSANT

Public Hearing

In accordance with Chapter 405.310 of the Florissant Zoning Code, a Public Hearing will be held by the City Council of Florissant, MO. virtually via the Zoom platform, on Monday, April 26, 2021 at 7:00 P.M. on the following proposition:

To approve of a Special Use for a carryout restaurant in a 'B-3' Zoning District located at 2632 N Highway 67 (Busloop Burgers). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

MEMORANDUM

CITY OF FLORISSANT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: March 31, 2021

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E., Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request approval of a Special Use Permit for the for the operation of a carry-out restaurant, at **2632 N Highway 67 (Busloop Burgers)** in a B-3 Zoning District.

STAFF REPORT
CASE NUMBER PZ-040421-7

I. PROJECT DESCRIPTION:

This is a request for approval of a special use permit to allow for the operation of a carry-out restaurant at 2632 N Highway 67, currently zoned B-3.

II. EXISTING SITE CONDITIONS:

The existing property at 2632 N Hwy 67 has been vacant for approximately 1.5 years. The site is a tenant space within Surrey Plaza 1 Shopping Center and has multiple tenants. The site is predominantly paved except for a grassy area along N. Highway 67. There is a restaurant out-parcel at 2678 N Hwy 67.

The subject building on the property contains 1200 square feet and has a separation wall between it and other tenants. The front facing (North) wall of the building is aluminum and glass storefront with stucco plaster canopy, painted. The tenants are allowed canopy mounted signage areas on the building fascia.

There are ample parking spaces in front of this tenant space with off street parking in front of Surrey Plaza 1 sized for occupancy at capacity, approximately 225 spaces.

III. **SURROUNDING PROPERTIES:**

The property to the west is a B-3 District, it is also bounded by Trotterway to the East with Advance Auto and the property to the south is a residential R-4 District. The property across N Highway 67 are also B-2 properties. Dairy Queen is located in the out-parcel at 2678 N Hwy 67.

IV. **STAFF ANALYSIS:**

The application is accompanied by professionally completed architectural plans for conversion of a carryout restaurant (Little Caesar's) with a kitchen remodel for a burger restaurant. There are no tables in the customer area.

The current zoning allows for a restaurant if a Special Use is granted by City Council and since the current special use has expired, a new Special Use is required.

VI. **STAFF RECOMMENDATIONS:**

If the Special Use Permit is approved, staff recommends that the applicant submit plans compliant with the 2018 International Building Code and obtain the necessary permits for remodeling and signage.

Suggested Motion 2632 N Highway 67- Busloop Burgers:

I move to recommend approval for a Special Use Permit to allow for a carry-out restaurant, subject to the conditions set forth below with these conditions being part of the record.

1. The uses permitted shall be limited to a Carryout Restaurant.
2. Plans shall be consistent with plan dated 2/26/21 by Ramon Sarmiento and Deru and Associates.

(end report and suggested motion)

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION

City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. [signature] DATE: 4-11-21

Council Ward _____ Zoning _____

Initial Date Petitioner Filed_____
Building Commissioner to complete ward, zone & date filed

SPECIAL PERMIT FOR Restaurant
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #-_____ TO ALLOW FOR _____
ordinance # **Statement of what the amendment is for.**

LOCATION 2632 N. Lindbergh Florrisant Mo. 63033
Address of property.

1) Comes Now S.F.P. Enterprises Inc dba Busloop Burgers
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) SUZZETTA PORTER
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for retail _____ and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation X

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners SUZZETTA PORTER

(2) Telephone numbers 314.479.8013

(3) Business address 2632 N. Lindbergh Florrisant Mo. 63033

(4) State of Incorporation & a photocopy of incorporation papers Missouri

(5) Date of Incorporation Dec 14 - 2015

(6) Missouri Corporate Number 001367808

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. Busloop Burgers

(8) Name in which business is operated SFP Enterprises Inc.

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information. 1,200 SqFt

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name _____

Address _____

Property Owner Hoffman, TOM

Location of property 2632 N. Lindbergh Florissant Mo. 63033

Dimensions of property _____

Property is presently zoned _____ Requests Rezoning To _____

Proposed Use of Property Restaurant (TAKE OUT)

Type of Sign Channel Lettering Height 2ft

Type of Construction _____ Number Of Stories. 1

Square Footage of Building 1,200 Number of Curb Cuts _____

Number of Parking Spaces _____ Sidewalk Length _____

Landscaping: No. of Trees NONE Diameter NONE

No. of Shrubs NONE Size _____

Fence: Type NONE Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.

2. Show location of property in relation to major streets and all adjoining properties.

3. Show measurement of tract and overall area of tract.

4. Proposed parking layout and count, parking lighting.

5. Landscaping and trash screening.

5. Location, sizes and elevations of signage.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

SUZZETTA Porter Suzzetta Porter / suzzettaporterf@gmail.com
PRINT NAME SIGNATURE email and phone 314-479-8013

FOR S.F.P. Enterprises INC
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Suzzetta Porter

ADDRESS 9231 Argyle Ave. St Louis MO. 63114
STREET CITY STATE ZIP CODE

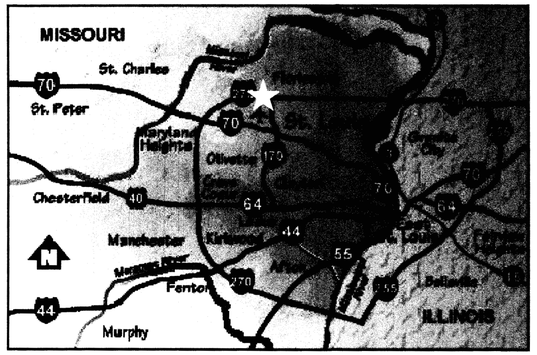
TELEPHONE / EMAIL 314 479-8013 / suzzettaporterf@gmail.com
BUSINESS

I (we) the petitioner (s) do hereby appoint SUZZETTA Porter as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

Suzzetta Porter
Signature of Petitioner authorizing an agent

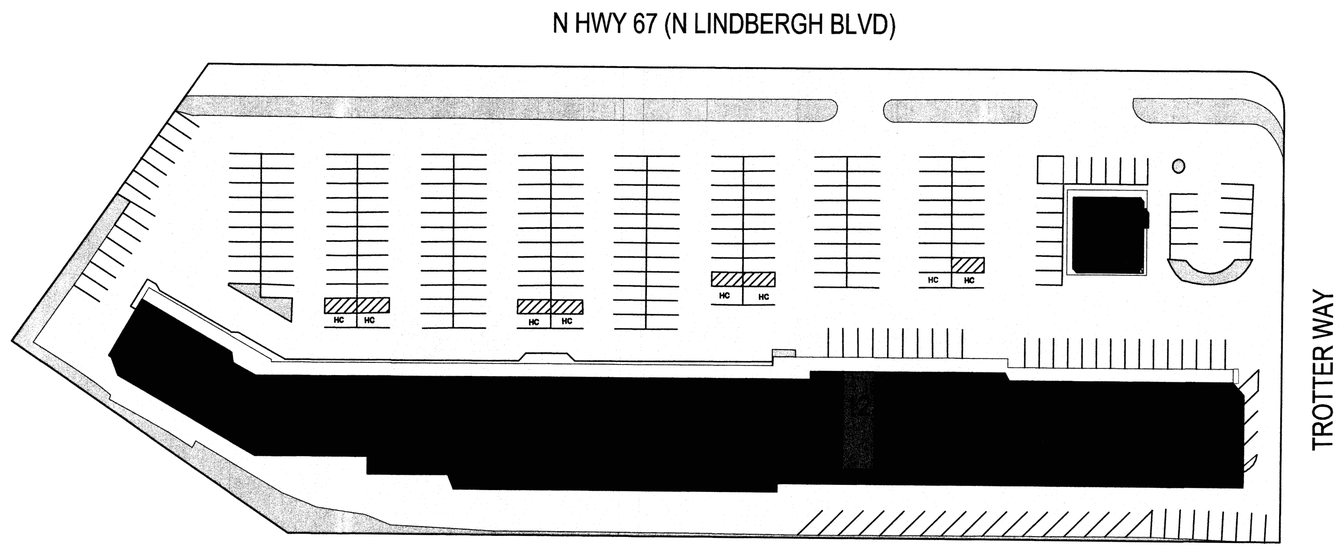
NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.



copyright 2012 CORE10 Architecture, Inc.

No.	Address	Tenant	Area (sf)
1	2520	Slim 4 Life	1618
2	2528	American Family Insurance	802
3	2532	Staten Island Cleaners	1,080
4	2536-40	ATN Nails	1,600
5	2544	Subway	1,200
6	2548-76	Family Dollar	9,000
7	2580-84	Cosmo Prof.	2,400
8	2588	Hair Suite	1,200
9	2592-96	Cabinets & Granite	2,400
10	2620	Boost Mobile	1,306
11	2632	Little Caesars	1,200
12	2636	Vacant	1,200
13	2640	Dr. McClain	1,200
14	2644	Wild Birds	2,400
15	2660	Planet Cash	1,246
16	2666-70	H&R Block	2,220
17	2674	La Patisserie	1,110
18	2678	Dairy Queen	1,848
19	2682	Heart Filled Creations	1,100
20	2686	Fast Track Urgent Care	3,300

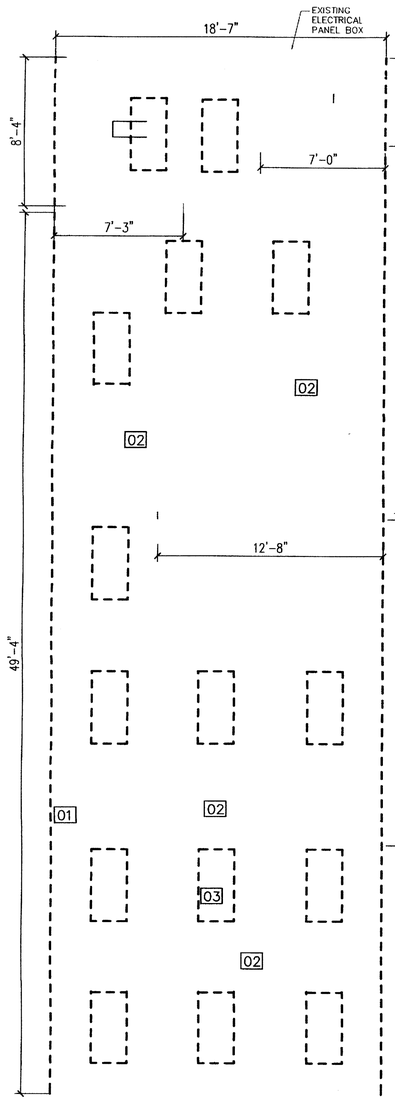


HOFFMAN DEVELOPMENT CO.
727 Craig Road, Suite 100
St. Louis, Missouri 63141
(314) 567-9944

SURREY PLAZA I

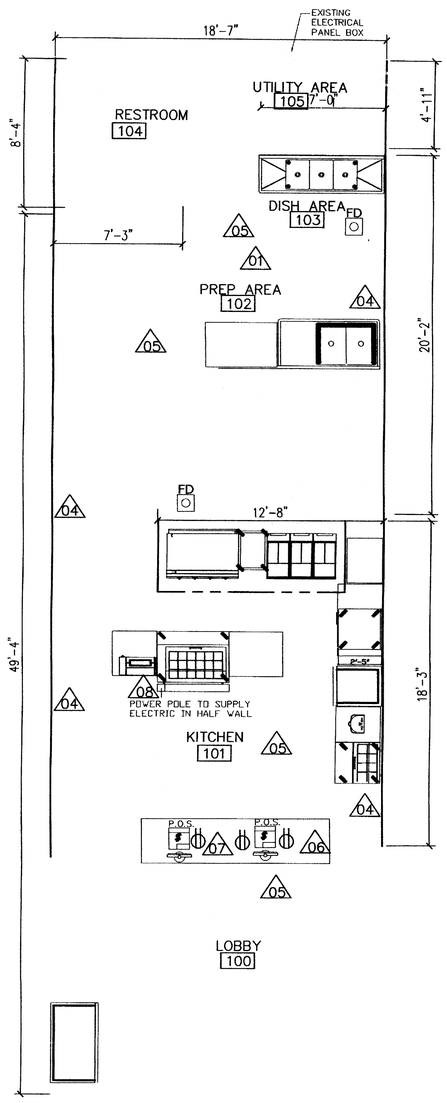
2520-2686 N Hwy 67, Florissant, MO

ST. LOUIS COMMERCIAL REALTY
727 Craig Road, Suite 100, St. Louis, MO 63141
(314) 567-9944 F (314) 567-9945



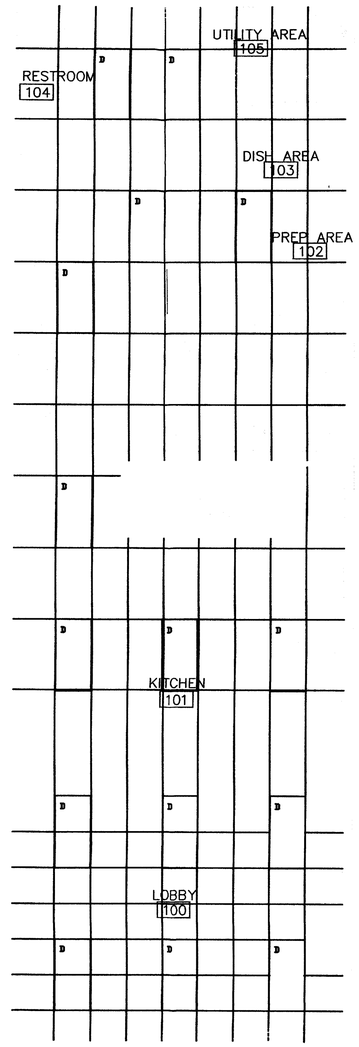
EXISTING FLOOR PLAN

3/16"=1'



NEW FLOOR PLAN

3/16"=1'



LIGHTING PLAN

3/16"=1'

General Requirements:

Work installed shall be in strict compliance with applicable 2018 IBC other state and local codes,governing codes and regulations. Contractors shall visit the site prior to bidding. Bids shall serve as evidence of knowledge of existing conditions. Field verify all existing equipment and working conditions.

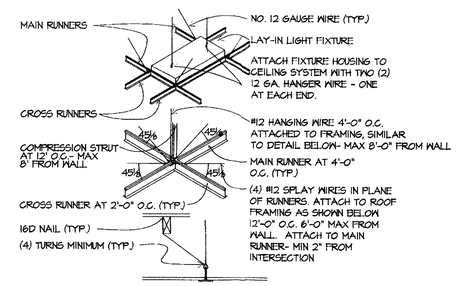
Furnish all labor, materials, equipment, and tools to perform carpentry work shown, noted or scheduled for a complete and finished installation.

All materials and equipment shall be commercial grade and shall carry a U.L. label.
Materials, products and equipment, including components thereof shall be new and such as appears on the Underwriter's Laboratory list of approved items and shall meet the requirements of recognized standards.

Secure and pay for all required permits and inspection certificates.

POWER & LIGHTING LEGEND:

- EXISTING ELECTRICAL PANEL
- $ SWITCH – SINGLE POLE
- $3 SWITCH – THREE POLE
- RECEPTACLE
- GFCI RECEPTACLE – GFI
- EXISTING EXHAUST FAN
- EMERGENCY EXISTING EMERGENCY LIGHT WITH BATTERY BACKUP
- EXIT EXISTING EXIT SIGN WITH BATTERY BACKUP
- D EXISTING 2X4 DROP IN LIGHT FIXTURE



1. LATERAL BRACING FOR SUSPENDED CEILING MUST BE PROVIDED PER CODE REQUIREMENTS WHERE CEILING LOADS ARE LESS THAN 5# PER FT. AND NOT SUPPORTING INTERIOR PARTITIONS. CEILING BRACING SHALL BE PROVIDED BY FOUR NO. 12 GAUGE WIRES SECURED TO THE MAIN RUNNER WITHIN 2" OF THE CROSS RUNNER INTERSECTION AND SPLAYED 40% FROM THE PLANE OF THE CEILING. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED AT 12'-0" O.C. IN BOTH DIRECTIONS, WITH THE FIRST POINT WITHIN 4'-0" FROM EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE ABOVE SHALL BE ADEQUATE FOR THE LOAD IMPOSED.
2. THE CONTRACTOR SHALL PROVIDE ALL MATERIAL AND LABOR REQUIRED TO SECURE THE WIRE HANGERS TO THE STRUCTURE ABOVE. THE METHOD USED MAY VARY DEPENDING UPON THE TYPE OF STRUCTURE. THE CONTRACTOR SHALL PROVIDE A DETAILED SHOP DRAWING WHICH CLEARLY INDICATES THE TYPE OF FASTENERS TO BE USED. THIS DRAWING SHALL BE SUBMITTED TO THE LOCAL BUILDING INSPECTOR FOR APPROVAL PRIOR TO FABRICATION OF THE SYSTEM.
3. SUSPENDED CEILING SHALL COMPLY WITH HEAVY DUTY SYSTEM CLASSIFICATION. CONTRACTOR SHALL SUBMIT SHOP DRAWING TO THE BUILDING DEPARTMENT PRIOR TO INSTALLATION.
4. PROVIDE 2" WALL ANGLE AT PERIMETER. SECURE ONE END OF GRID TO WALL ANGLE EACH DIRECTION- OPPOSITE END TO BE ¾" FROM WALL AND LEFT LOOSE. TIE MAIN AND CROSS RUNNERS TOGETHER TO PREVENT TWISTING.
5. SEE LIGHT FIXTURE ATTACHMENT DETAIL ABOVE FOR MECHANICAL AIR TERMINAL ATTACHMENT. LESS THAN 20#- SECURE TO GRID. 20# TO 56#- ATTACH WITH WIRE AS DETAILED ABOVE. MORE THAN 56#- SECURE TO STRUCTURE ABOVE.
6. CEILINGS EXCEEDING 1,000 SF SHALL HAVE SPLAY WIRES AND COMPRESSION STRUTS AS INDICATED IN DETAIL ABOVE.
7. CEILINGS EXCEEDING 2500 SF SHALL HAVE A FULL HEIGHT WALL OR SEPARATION JOINT.

LAY-IN CEILING GRID DETAILS

N.T.S

NORTH

DEMOLITION GENERAL NOTES

1. EXISTING CEILING MOUNTED EXHAUST FAN TO REMAIN.
2. EXISTING ROOFTOP UNIT TO REMAIN.
3. EXISTING ELECTRICAL PANEL TO REMAIN.
4. EXISTING CEILING MOUNTED LIGHTING TO REMAIN.
6. EXISTING FLOORING TO REMAIN.

XX DEMOLITION KEYED NOTES

1. REMOVE EXISTING FRP FROM EXISTING WALLS.
2. REMOVE EXISTING CEILING GRID.
3. REMOVE EXISTING CEILING LIGHTING.

FLOOR PLAN KEYED NOTES

01 SAW CUT FLOOR TO INSTALL UNDERGROUND PLUMBING ROUGH–IN FOR NEW THREE COMPARTMENT AND TWO COMPARTMENT SINK
02 FRAME UP NEW FRONT COUNTER.
03 INSTALL NEW ⅝" DRYWALL ON FRONT AND SIDES OF COUNTER.
04 INSTALL NEW FRP IN KITCHEN AREA.
05 INSTALL NEW CEILING GRID AND TILE. FOOD GRADE TILE IN KITCHEN AND STANDARD TILES IN LOBBY
06 INSTALL NEW NON–ABSORBENT COUNTER TOP THAT IS WASHABLE
07 INSTALL NEW RECEPTACLES AT SERVICE COUNTER.
08 INSTALL NEW POWER POLE AT EMPLOYEE WORK STATION

NORTH

GENERAL NOTES

1. INSTALL NEW CEILING GRID.
2. INSTALL NEW CEILING TILE AS REQUIRED
3. INSTALL NEW GRID MOUNTED LIGHTING.

NORTH

PERMIT SET
FOR CONSTRUCTION

STATE OF MISSOURI
RAMON A. S. SARMIENTO
NUMBER A-2003008732
ARCHITECT

Certificate of Authority: A-2012011821
119 S. MAIN STREET
ST. CHARLES, MO 63301
314.626.5129

CONSULTANT
DERU and Associates
DERU & ASSOCIATES, LLC
1155 N HWY 67
FLORISSANT, MO 63033
CONTACT: JEROME LOGAN
(314) 574–5770 CELL
jlogan@deruassociates.com

PROJECT
COMMERCIAL RENOVATION PROJECT
2632 N HWY 67
FLORISSANT , MO 63033

FOR
BUS LOOP BURGERS
2632 N HWY 67
FLORISSANT , MO 63033

REVISION

DATE
FEBRUARY 23, 2021

JOB NUMBER
DERU–0024

DRAWING TITLE

DRAWN BY/ CHECKED BY

DRAWING NUMBER
A1.0

COMMENTS
FOR BUILDING PERMIT APPLICATION

© 2013

CITY OF FLORISSANT

Public Hearing

In accordance with Chapter 405.310 of the Florissant Zoning Code, a Public Hearing will be held by the City Council of Florissant, MO. virtually via the Zoom platform, on Monday, April 26, 2021 at 7:00 P.M. on the following proposition:

To approve of a Special Use for a carryout restaurant in a 'B-3' Zoning District located at 147 Flower Valley SC (Creations Smoothies). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

MEMORANDUM

CITY OF FLORISSANT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant: while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: March 31, 2021

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request **recommended approval of a Special Use** for a Sit-down, carry-out restaurant at **147 Flower Valley Shopping Center (Creations Smoothies)** in a 'B-3' Extensive Business District.

STAFF REPORT
CASE NUMBER PZ-040521-8

I. PROJECT DESCRIPTION:

This is a request for recommended approval of a Sit-down, carry-out restaurant at **147 Flower Valley Shopping Center (Creations Smoothies)** in a 'B-3' Extensive Business District.

Refer to Plans submitted drawing G-1 and A-1dated 3/20/21 by Philip A Gomez, Architect, attached. The drawings include a site location map.

II. SITE CONDITIONS:

The existing property at 147 Flower Valley formerly housed a health offices space. The original property was 20'x 60'. The site contains 474 parking spaces.

The design is proposed to be remodeled to incorporate 45 customers plus staff.

III. SURROUNDING PROPERTIES:

The properties adjacent are 1 Flower Valley formerly Kmart, 175 Flower Valley (Planet Fitness and 3175 N Highway 67, Chick Fil A. All surrounding properties are in a B-3 Extensive Business District except the District to the north is a Residentially Zoned Unincorporated area.

IV. STAFF ANALYSIS:

A-1.0 submitted includes a customer seating area with a total customer count of 45 max persons. The plan does not show a furnishings plan with chairs, however, the number of patrons max is identified.

The new plan does not include allowances for employees, although the exact number of employees may not affect total parking since the shopping center has residual parking.

VI. STAFF RECOMMENDATIONS:

Suggested Motion for Recommended Approval for a Special Use to allow for a sit down, carry out restaurant at **147 Flower Valley** in a 'B-3' Zoning District.

I move to **Recommended Approval** for a Special Use Permit to allow for a sit-down, carry-out restaurant in a 'B-3' Zoning District, subject to the following stipulations:

1. The project shall be as shown on G-1 and A-1dated 3/20/21 by Philip A Gomez, Architect, attached.

(end of Suggested Motion and report)

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION

City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. DATE: 4-11-21

Council Ward 9 Zoning B3

Initial Date Petitioner Filed_____
Building Commissioner to complete ward, zone & date filed

SPECIAL PERMIT FOR Operation of a new restaurant
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #-_____ TO ALLOW FOR _____
ordinance # **Statement of what the amendment is for.**

LOCATION 147 Flower Valley Shopping Center Florissant, MO 63033
Address of property.

1) Comes Now Jordan & Johnson Enterprise LLC/DBA Creations Smoothies
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) leasing
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for n/a restaurant and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Kendall Johnson Kendall Johnson creationsflorissant@gmail.com/314-265-3986
PRINT NAME SIGNATURE email and phone

FOR Creations Smoothies - company
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Kendall Johnson

ADDRESS 147 Flower Valley Shopping Center Florissant, MO, 63033
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314-265-3986 / creationsflorissant@gmail.com
BUSINESS

I (we) the petitioner (s) do hereby appoint Kendall Johnson as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

Kendall Johnson
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership X Corporation _____

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners Kendall Johnson / Jordan Hrobowski

(2) Telephone numbers 314-265-3986 / 314-297-9816

(3) Business address 147 Flower Valley Shopping Center

(4) Name under which business is operated Creations Smoothie

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) State of Incorporation & a photocopy of incorporation papers _____

(5) Date of Incorporation _____

(6) Missouri Corporate Number _____

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____

(8) Name in which business is operated _____

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Kendall Johnson

Address 147 Flower Valley Shopping Center Florissant, MO, 63033

Property Owner Bill Yu

Location of property Florissant, MO

Dimensions of property 1815 sq ft

Property is presently zoned office Requests Rezoning To restaurant

Proposed Use of Property Smoothie & Juice Bar

Type of Sign logo of company Height 75 in x 96 in

Type of Construction _____ Number Of Stories. _____

Square Footage of Building _____ Number of Curb Cuts _____

Number of Parking Spaces _____ Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.

2. Show location of property in relation to major streets and all adjoining properties.

3. Show measurement of tract and overall area of tract.

4. Proposed parking layout and count, parking lighting.

5. Landscaping and trash screening.

5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____

_____

_____

_____

_____

Building Commissioner or Staff Signature

STATE OF MISSOURI

John R. Ashcroft
Secretary of State

CERTIFICATE OF ORGANIZATION

WHEREAS,

Jordan&Johnson enterprise LLC

LC1724182

filed its Articles of Organization with this office on the 11th day of August, 2020, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, John R. Ashcroft, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on 11th day of August, 2020, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

Effective Date: August 11, 2020

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, the 11th day of August, 2020.

Secretary of State

147 Flower Valley Shopping Center

GENERAL PROJECT NOTES

1. FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO STARTING WORK.

2. DO NOT SCALE DRAWINGS.

3. "±" (PLUS-MINUS) DIMENSIONS INDICATE APPROXIMATE EXISTING CONDITIONS FOR REFERENCE ONLY, AND ARE NOT TO BE USED FOR LAYOUT OF NEW CONSTRUCTION.

4. ALL WALL DIMENSIONS ARE TO OUTSIDE EDGE OF FINISHED GYP. BD. U.N.O.

5. ALL NEW INTERIOR PARTITIONS TO BE MTL STUDS WITH 5/8" GYP. BD. B.S. U.N.O.

6. PROVIDE ALL TRIM, ACCESSORIES AND JOINT FINISHING AS REQUIRED FOR GYP. BD. ASSEMBLIES. PROVIDE CORNER BEADS AT ALL EXPOSED HORIZONTAL AND VERTICAL CORNERS. CAULK ALL UNTAPED JOINTS AT PERIMETER.

7. USE APPROVED WATER-RESISTANT GYP. BD. OR CEMENT BD. IN AREAS TO BE EXPOSED TO MOISTURE.

8. ALL DOORS 7'-0" HIGH U.N.O.

9. GLAZING IN ALL DOORS TO BE FULLY TEMPERED, LAMINATED SAFETY, OR APPROVED SHATTER RESISTANT PLASTIC.

10. INTERIOR FINISHES SHALL HAVE A FLAME SPREAD RATING OF 200 OR LESS.

11. ALL TOILET ROOMS TO HAVE MIN. 50 CFM EXHAUST FANS, VENTED TO THE EXTERIOR.

12. LEAD FREE SOLDER IS REQUIRED ON ALL COPPER WATER SUPPLY PIPING.

13. ALL ELECTRICAL WORK SHALL CONFORM TO THE NEC AND LOCAL REGULATIONS.

14. ALL WORK SHALL MEET OR EXCEED ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS.

VERIFICATION OF EXISTING CONDITIONS:

INASMUCH AS THE REMODELING AND/OR REHABILITAION OF THE EXISTING FACILITY REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS, AND BECAUSE SOME OF THESE ASSUMPTIONS MAY NOT BE VERIFIABLE PRIOR TO CONSTRUCTION OR WITHOUT SIGNIFICANT COSTLY AND/OR DAMAGING INVESTIGATIONS, THE OWNER AGREES TO HOLD THE ARCHITECT HARMLESS AGAINST ALL DAMAGES, LIABILITIES OR COSTS ASSOCIATED WITH UNKNOWN CONDITIONS.

LIMITATION OF LIABILITY:

THE OWNER AGREES TO LIMIT THE ARCHITECT'S LIABILITY FOR ANY DAMAGES RELATING TO THIS PROJECT TO THE ARCHITECT'S FEE. THIS LIMITATION SHALL APPLY REGARDLESS OF THE CAUSE OF ACTION.

BUILDING CODE INFORMATION:

Municipality: City of Florissant, MO

Project Description: New smoothie shop build-out in an existing strip mall shopping center.

Code: 2018 International Building Code
2018 International Exist. Building Code

Use Group: B (less than 50 occupants)
Construction Type: II-A

Sprinkler System: None

OCCUPANCY

CUSTOMER SEATING ALLOWED:
675 SF / 15 SF PER OCCUPANT
= MAX. 45 OCC's
KITCHEN: 2 OCC's
RECEPTION: 1 OCC
TOTAL = 48 OCCUPANTS

EGRESS WIDTH REQUIRED

48 OCC's x .2"/OCC. = 9.6"
OF EXITS REQUIRED = 2
EGRESS WIDTH PROVIDED = 158" (4 EXITS)

TOTAL BUILDING AREA = 1815 SF

LEGEND

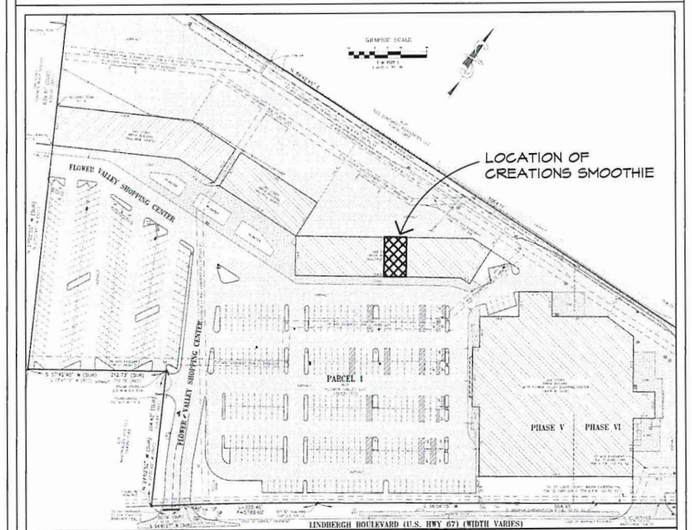
2 / A-3 — DETAIL NUMBER / DRAWING SHOWN ON

PORTION OF EXIST. WALL OR PARTITION TO BE REMOVED

NEW PARTITION, FURRING, OR INFILL

EXISTING DOOR TO REMAIN

NEW DOOR



LOCATION MAP (NOT TO SCALE)

DRAWING LIST

G-1 COVER SHEET/PROJECT NOTES
A-1 FLOOR PLAN

PHILIP A. GOMEZ
ARCHITECT #A-6390

314-504-7559

© 2021 Philip A. Gomez, Architect
These drawings, including all associated and referenced electronic data, are the sole property of the architect, and may not be altered in any way except by specific direction of the architect.

Client:

Kendall Johnson

11335 Latonka Trail
Florissant, MO 63033
314-265-3986
creationsflorissant@gmail.com

Project:

Creations Smoothie and Juice Bar
Store Build-out

147 Flower Valley Shopping Center
Florissant, MO

Prj #:

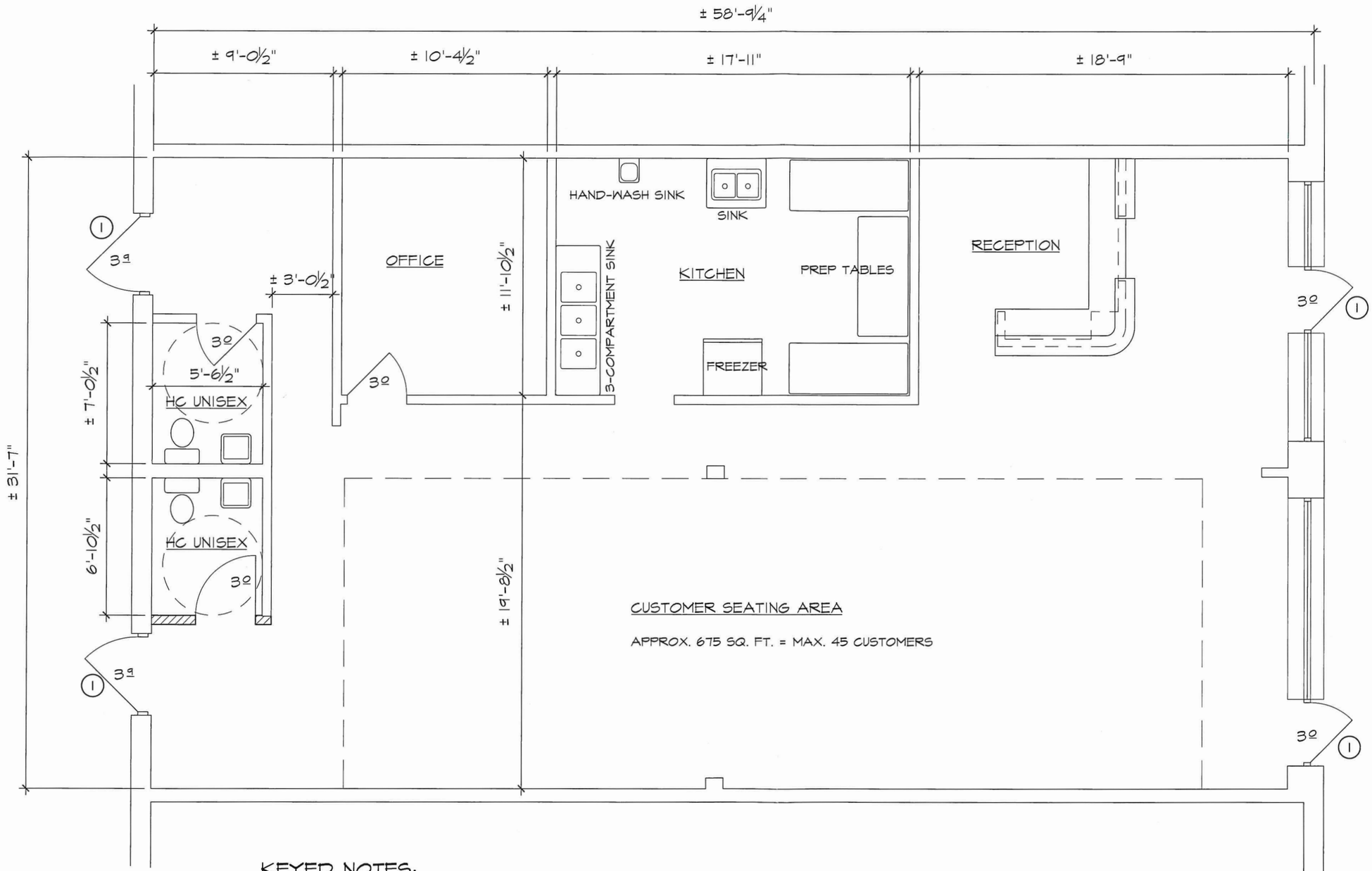
Date: 3-20-21

Sheet Contents:

Project Notes

Sheet No.:

G-1



KEYED NOTES:

1. EXISTING EXIT DOOR
2. ELECTRICAL PANEL CABINET

FLOOR PLAN

3/16"=1'-0"

PLAN NORTH

PHILIP A. GOMEZ
ARCHITECT #A-6390

314-504-7559

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Client:

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11335 Latonka Trail
Florissant, MO 63033
314-265-3986
creationsflorissant@gmail.com

Project:

Creations Smoothie and Juice Bar
Store Build-out

147 Flower Valley Shopping Center
Florissant, MO

Prj #:

Date: 3-20-21

Sheet Contents:

Floor Plan

Sheet No.:

A-1

INTRODUCED BY COUNCILMAN SCHILDROTH
APRIL 12, 2021

BILL NO. 9671 ORDINANCE NO.

AN ORDINANCE AUTHORIZING SUPPLEMENTAL BUDGET ADJUSTMENTS TO ROLL OVER FISCAL YEAR 2020 OUTSTANDING APPROPRIATIONS IN VARIOUS FUNDS.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: There is hereby authorized an appropriation of $**12,050** from the General Revenue Fund to various accounts listed as follows:

General Fund Total $ 12,050

01-5-40-24073	Software Purch/City Clerk	$	10,000
01-5-40-52140	Service Awards	$	2,050

Section 2: There is hereby authorized an appropriation of **$313,064** from the Capital Improvement Fund to various accounts listed as follows:

Capital Improvement Fund Total $313,064

03-5-03-29010	Building Maint-Access Control Doors	$	4,338
03-5-03-29070	Security Maint & Equip-Card Access	$	30,000
03-5-03-50045	Prof Serv – Computer Services	$	24,335
03-5-03-52000	Street Contracts	$	196,271
03-5-03-52100	Contracts – N Lafayette Engineering	$	11,778
03-5-03-52200	Contracts – St. Ferd/Hwy 67 Engineering	$	6,430
03-5-03-54020	Sidewalk Repairs	$	39,912

Section 3: There is hereby authorized an appropriation of $**17,468** from the Street Improvement Fund to various accounts listed as follows:

Street Improvement Fund Total $ 17,468

08-5-08-52100	Contracts – N Lafayette Construction	$	17,468

Section 4: There is hereby authorized an appropriation of $**409,521** the Park Improvement Fund to various accounts listed as follows:

Park Improvement Fund Total $ 409,521

09-5-09-61470	Capital Add's – Koch Pk Plygrd&Restroom	$	409,521

Section 5: There is hereby authorized an appropriation of **$525,000** from the Grant Revenue Street Improvement Fund to various accounts listed as follows:

Grant Revenue Park Improvement Fund Total $ 525,000

09-4-09450	Grant Revenue – Koch Park Playground &Restroom	$	525,000

Section 6: There is hereby authorized an appropriation of **$ 39,475** from the Public Safety Fund to various accounts listed as follows:

Public Safety Fund Total $ 39,475

17-5-17-61000	Cap Add's-Mobile Video Surveillance	$	12,975
17-5-17-61000	Cap Add's-Police Dept Fencing	$	26,500

Section 7: There is hereby authorized an appropriation of $**20,054** from the SOB (Special Obligation Bond) Project Fund to various accounts listed as follows:

2016 SOB (Special Obligation Bond) Project Fund Total $ 20,054

31-5-31-02000	Court Bldg Renovations	$	20,054

Section 8: There is hereby authorized an appropriation of $**14,567** from the Grant Revenue Capital Improvement Fund to various accounts listed as follows:

Grant Revenue Capital Improvement Fund Total $ 14,567

03-4-03510	Grant Revenue – St. Ferd/67 Engineering	$	5,144
03-4-03513	Grant Revenue – N Lafayette Engineering	$	9,423

Section 9: There is hereby authorized an appropriation of $**13,975** from the Grant Revenue Street Improvement Fund Total to various accounts listed as follows:

Grant Revenue Street Improvement Fund Total $ 13,975

08-4-08511	Grant Revenue – N Lafayette	$	13,975

Section 10: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____day of _____,2021.

_____
Keith Schildroth
President of the Council
City of Florissant

Approved this_____ day of _____, 2021.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC,
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: 4/8/21

Mayor's Approval:

Agenda Date Requested: 4/12/2020

Description of request:

FY20 Supplemental Budget to roll over FY20 outstanding appropriations and associated revenue at 11/30/20.

Department: City Clerk

Recommending Board or Commission:

Type of request:

Ordinances	**X**	**Other**	**X**
Appropriation	x	Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N
Public Hearing needed: **Yes / No**		3 readings? : **Yes / No**	N

Back up materials attached:		**Back up materials needed:**	
Minutes		Minutes	
Maps		Maps	
Memo	x	Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

KGR 4/22/2021

City of Florissant, Missouri
Memorandum

To: City Council Date: April 8, 2021

Thru: Mayor Timothy Lowery

From: Kimberlee Johnson
Director of Finance

Subject: FY21 re-appropriation of FY20 encumbrance rollover

Prior accounting processes allowed encumbrances to be spent any time after the fiscal year and did not allow for proper representation of goods/services expensed in current year compared to the current budget.

To alleviate this issue and adhere to best practices, upon closing of the FY18 fiscal year the City adopted the accounting process change to roll and re-encumber, budgeting expenses in the year they will be spent. Additionally, the audit no longer requires a second financial statement in addition to the GAAP required financial statements.

Per this new process, FY20 appropriations not completed by November 30th 2020 rolled over into FY21 and require re-appropriation for FY21. These are not new appropriations, they merely move out of FY20 and into FY21 and have no effect on the fund balance.

This memorandum is to request the council to approve the appropriation of the following FY20 outstanding encumbrances and associated revenue:

General Fund Total $ 12,050

01-5-40-24073	Software Purch/City Clerk	$ 10,000
01-5-40-52140	Service Awards	$ 2,050

Public Safety Fund Total $ 39,475

17-5-17-61000	Cap Add's-Mobile Video Surveillance	$ 12,975
17-5-17-61000	Cap Add's-Police Dept Fencing	$ 26,500

2016 SOB (Special Obligation Bond) Project Fund Total $ 20,054

31-5-31-02000	Court Bldg Renovations	$ 20,054

Park Improvement Fund Total $ 409,521

09-5-09-61470	Capital Add's – Koch P~~kark~~ Plygrd&Restroom	$ 409,521

Grant Revenue Park Improvement Fund Total $ 525,000

09-4-09450	Grant Revenue – Koch Pk Plygrd&Restroom	$ 525,000

Capital Improvement Fund Total $313,064

03-5-03-29010	Building Maint-Access Control Doors	$ 4,338
03-5-03-29070	Security Maint & Equip-Card Access	$ 30,000
03-5-03-50045	Prof Serv – Computer Services	$ 24,335
03-5-03-52000	Street Contracts	$ 196,271
03-5-03-52100	Contracts – N Lafayette Engineering	$ 11,778
03-5-03-52200	Contracts – St. Ferd/Hwy 67 Engineering	$ 6,430
03-5-03-54020	Sidewalk Repairs	$ 39,912

Grant Revenue Capital Improvement Fund Total $ ~~9,42~~14,567~~3~~

03-4-03510	Grant Revenue – St. Ferd/67 Engineering	$ 5,144
03-4-03513	Grant Revenue – N Lafayette Engineering	$ 9,423

~~**Public Safety Fund Total $ 39,475**~~

~~17-5-17-61000~~	~~Cap Add's-Mobile Video Surveillance~~	~~$ 12,975~~
~~17-5-17-61000~~	~~Cap Add's-Police Dept Fencing~~	~~$ 26,500~~

Street Improvement Fund Total $ 17,468

08-5-08-52100	Contracts – N Lafayette Construction	$ 17,468

Grant Revenue Street Improvement Fund Total $ ~~1,395,441~~13,975

08-4-08511	Grant Revenue – N Lafayette	$ 13,975

INTRODUCED BY COUNCILMAN MULCAHY
APRIL 12, 2021

BILL NO. 9672 ORDINANCE NO.

AN ORDINANCE AUTHORIZING AN APPROPRIATION OF $40,000 FROM THE CAPITAL IMPROVEMENT FUND TO BUDGET ACCOUNT NO. 03-5-06-61470 CAPITAL ADDITIONS-PARKS FOR REPAIRS ON THE WIESE HOUSE.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: There is hereby authorized an appropriation of $**40,000** from the Capital Improvement Fund to budget account no. 03-5-06-61470 Capital Additions-Parks for repairs on the Wiese House.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____day of _____,2021.

_____
Keith Schildroth
President of the Council
City of Florissant

Approved this_____ day of _____, 2021.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC,
City Clerk

CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum

Date: April 12, 2021

To: City Council

Thru: Mayor Tim Lowery

From: Cheryl A. Thompson-Stimage 4/12/21

Subject: Appropriation of Funds – Weise House Repairs

I am asking to appropriate $40,000 to make repairs at the Weise House. These repairs will include a new roof and repairs to the basement floor to prevent further flooding in the basement. The funds will be taken from Capital Improvement Fund and should be appropriated to account # 03-5-06-61470 Capital Additions – Parks.

Please advise if additional information is needed. Thank you for your consideration on this matter.

4-12-2021

INTRODUCED BY COUNCIL AS A WHOLE
APRIL 26, 2021 RESOLUTION NO. 1028

A RESOLUTION OF THE FLORISSANT CITY COUNCIL OPPOSING THE ELIMINATION OF APRIL MUNICIPAL ELECTIONS.

WHEREAS, there are already limited options throughout the year to hold elections, and decreasing these options negatively impacts the ability for voters to be engaged on local issues; and

WHEREAS, voters have come to expect that the April ballot includes important local races for city council members, aldermen, and school board officials; and

WHEREAS, April elections are intentionally tailored to community-specific issues such as electing local officials, local tax measures and other local community initiatives; and

WHEREAS, a specific ballot question or candidate is more of a stimulant to voter turnout than the date of an election; and

WHEREAS, there is no evidence to suggest that changing election dates for cities and school districts to November will result in enhanced voter knowledge of local ballot measures; and

WHEREAS, including local ballot measures in an already voluminous number of County, State and Federal candidates and questions will create ballot fatigue to the voter and may disrupt the focus on municipal ballot questions; and

WHEREAS, a ballot that has too many candidates and questions will likely result in a less-prepared voter; and

WHEREAS, mixing partisan and non-partisan candidates and questions may complicate election ballot logistics for County election authorities; and

WHEREAS, longer ballots lead to longer lines at voting precincts, particularly when including constitutional amendment questions; and

WHEREAS, local questions are generally non-partisan and focus on community. Including local officials and questions on a partisan ballot may cause them to be overshadowed by passionate and often negative partisanship, potentially skewing outcomes on community issues; and

WHEREAS, local ballot measures will be located at the bottom of the November ballot and receive little attention. This will likely stifle progress and development in communities across the state.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT THAT THEY OPPOSE THE ELIMINATION OF THE APRIL MUNICPAL ELECTIONS AND URGE LEGISLATORS TO OPPOSE THIS MEASURE.

Passed and resolved this 26th day of April, 2021.

_____

Keith Schildroth
President of the Council

ATTEST

_____

Karen Goodwin, City Clerk

INTRODUCED BY COUNCIL AS A WHOLE
APRIL 26, 2021 RESOLUTION NO. 1029

A RESOLUTION OF THE FLORISSANT CITY COUNCIL SUPPORTING MEDICAID EXPANSION AND IT'S FUNDING FOR THE STATE OF MISSOURI.

WHEREAS, in 2020, Missouri voters approved Amendment 2 to become the 38th state to expand Medicaid and provide healthcare coverage to over 230,000 lower-income Missourians; and

WHEREAS, North County Inc. strongly supports Medicaid expansion as a proven job creator and one of the solutions called for in the Ferguson Commission report to achieve greater equity in our community; and

WHEREAS, Implementing Medicaid expansion in Missouri is vital to the state's overall economic health; and

WHEREAS, Medicaid expansion will produce billions in economic output and create thousands of jobs, in addition to providing healthcare coverage to hundreds of thousands of working Missourians; and

WHEREAS, it is important for the St. Louis community sends a strong signal to the Missouri General Assembly to include Medicaid expansion in the budget; and

WHEREAS both Republican and Democrat led states have successfully implemented Medicaid expansion because it is a smart, pro-business investment; and

WHEREAS, Developing and recruiting a healthy workforce is important for every Missouri business to grow and is good for the state's overall economic health; and

WHEREAS, Governor Parson included Medicaid expansion in his proposed budget, and we need the General Assembly to include it in the Fiscal Year 2022 budget; and

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT THAT THEY SUPPORT MEDICAID EXPANSION FOR THE STATE OF MISSIOURI AND URGE THE MISSOURI GENERAL ASSEMBLY TO INCLUDE MEDICATE EXPANSION IN THE BUDGET.

Passed and resolved this 26th day of April, 2021.

_____

Keith Schildroth
President of the Council

ATTEST

_____

Karen Goodwin, City Clerk

INTRODUCED BY COUNCILMAN SIAM
APRIL 26, 2021

BILL NO. 9673 ORDINANCE NO.

ORDINANCE AUTHORIZING AN AMENDMENT TO B-5 ORDINANCE NO. 5733 AS AMENDED, TO ALLOW THE REMOVAL OF SIDING LOCATED AT 2341 N. HIGHWAY 67.

WHEREAS, ordinance no. 5733 was passed in June of 1995 approving changes to the Gramex Development plan to allow for a retail establishment with restrictions; and

WHEREAS, ordinance no. 5733 was amended by ordinance no. 8387 in February of 2018 to allow for remodeling of a retail establishment (Target); and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to the City Council at their meeting of April 5, 2021 that an amendment to B-5 ordinance no. 5733, as amended, to allow the removal of siding located at 2341 N. Highway 67.

WHEREAS, due and lawful notice of a public hearing no. 21-04-007 on said proposed change was duly published, held and concluded on 12th day of April, 2021 by the Council of the City of Florissant; and

WHEREAS, the Council, following said public hearing, and after due and careful deliberation, has concluded that that an amendment to B-5 ordinance no. 5733, as amended, to allow the removal of siding located at 2341 N. Highway 67 is in the best interest of the public health, safety and welfare of the City of Florissant; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: B-5 ordinance no. 5733, as amended by ordinance nos. 5896, 7401 and 8387, as depicted on documents prepared by Kimley-Horn, shown on elevation drawing T1101 dated February 8, 2021, is hereby further amended, to allow the removal of siding located at 2341 N. Highway 67 with the following stipulations:

1. GENERAL DEVELOPMENT CONDITIONS
    a. Unless and except to the extent otherwise specifically provided in ordinance no. 5733, as amended, development shall be affected only in accordance with all ordinances of the City of Florissant.
    b. Amend page 10, paragraph i), (4) to remove the following:

"The Planning & Zoning Commission may permit the use of phenolic siding over existing masonry as depicted by November 13, 2017 exterior elevations prepared by Kimley-Horn"

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2021.

_____
Keith Schildroth
President of the Council

Approved this _____ day of _____, 2021.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

INTRODUCED BY COUNCILMAN SCHILDROTH
APRIL 26, 2021

BILL NO. 9674 ORDINANCE NO.

ORDINANCE AUTHORIZING AN AMENDMENT TO SPECIAL USE ORDINANCE NO. 8068, AS TRANSFERRED, TO ALLOW FOR THE ADDITION OF A DETACHED WALK-IN COOLER AND BUS PARKING LOCATED AT 300 ST. FERDINAND.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a restaurant; and

WHEREAS, the Florissant City Council initially granted Special Use permit no. 8068 to Phat Boys BBQ LLC to allow for the operation of a restaurant in August of 2014; and

WHEREAS ordinance no. 8068 was transferred by ordinance no. 8206 to Sho-Mo BBQ, LLC; and

WHEREAS ordinance no. 8489 transferred ordinance no 8206 to Mann Meats; and

WHEREAS, an application has been filed by Mann Meats to amend Special Use Permit no. 8068 as transferred to allow for adding a walk-in cooler and bus parking; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant at their meeting of April 5, 2021 has recommended that the Special Use Permit amendment for the additional use; and

WHEREAS, due notice of public hearing no. 21-04-008 on said application to be held on the 26th day of April, 2021 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the granting of an amendment to the Special Use Permit authorized by Ordinance No. 8068, as hereinafter provided, would be in the best interest of the City of Florissant and will not adversely affect the health, safety, morals and general welfare of the City.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Special Use Permit No. 8068 as transferred by ordinance nos. 8206 and 8489, is hereby amended by adding bus parking and a detached walk-in freezer according to the plans attached hereto.

Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____day of _____, 2021.

_____
Keith Schildroth
President of the Council
City of Florissant

Approved this _____ day of _____, 2021.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

INTRODUCED BY COUNCILMAN EAGAN
APRIL 26, 2021

BILL NO. 9675 ORDINANCE NO.

ORDINANCE AUTHORIZING A SPECIAL USE PERMIT TO BANK OF AMERICA TO ALLOW FOR AN ATM IN THE PARKING LOT LOCATED AT 428 HOWDERSHELL.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and maintenance of ATM Machines in the City of Florissant; and

WHEREAS, an application has been filed by Bank of America for the installation of a an ATM Machine located at 428 Howdershell; and

WHEREAS, the Planning and Zoning Commission at their meeting on April 5, 2021, recommended that a Special Permit be granted; and

WHEREAS, due notice of public hearing no. 21-04-009 on said application to be held on the 26th of April, 2021 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a Special Permit for an ATM Machine would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section l: Special use Permit to Bank of America to allow for an ATM in the parking lot located at 428 Howdershell in accordance with attached plans by Nelson Architecture Inc. labeled C0.0 and C1.0 dated and sealed 3/19/21.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2021.

_____
Keith Schildroth
President of the Council

Approved this _____ day of _____, 2021.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

INTRODUCED BY COUNCILMAN SIAM
APRIL 26, 2021

BILL NO. 9676 ORDINANCE NO.

ORDINANCE AUTHORIZING A SPECIAL USE PERMIT FOR SFP ENTERPRISES, INC. D/B/A BUSLOOP BURGERS TO THE OPERATION OF A CARRY-OUT RESTAURANT LOCATED AT 2632 N. HWY 67.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of a restaurant in the City of Florissant; and

WHEREAS, an application has been filed by BSFP Enterprises, Inc d/b/a Busloop Burgers to allow for the operation of a carry-out restaurant located at 2632 N. Hwy 67; and

WHEREAS, the Planning and Zoning Commission at their meeting on April 5, 2021, recommended that a Special Permit be granted; and

WHEREAS, due notice of public hearing no. 21-04-010 on said application to be held on the 26th of April, 2021 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a Special Permit for a carry-out restaurant would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section l: Special Use Permit for SFP Enterprises, Inc. d/b/a Busloop Burgers to the operation of a carry-out restaurant located at 2632 N. Hwy 67 is hereby authorized with the following stipulations:

1. The uses permitted shall be limited to a Carry-out Restaurant
2. Plans shall be consistent with the plans dated 2/26/21 by Ramon Sarmiento and Deru and Associates and attached hereto.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2021.

_____
Keith Schildroth
President of the Council

Approved this _____ day of _____, 2021.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

INTRODUCED BY COUNCILMAN SIAM
APRIL 26, 2021

BILL NO. 9677 ORDINANCE NO.

ORDINANCE AUTHORIZING A SPECIAL USE PERMIT FOR JORDAN & JOHNSON ENTERPRISE LLC, D/B/A CREATIONS SMOOTHIES LOCATED AT 147 FLOWER VALLEY SHOPPING CENTER TO ALLOW FOR THE OPERATION OF A SIT-DOWN, CARRY-OUT RESTAURANT.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Permit, after public hearing thereon, to permit the location and operation of a restaurant in the City of Florissant; and

WHEREAS, an application has been filed by Jordan & Johnson Enterprise LLC, d/b/a Creations Smoothies to allow for the operation of a sit-down, carry-out restaurant located at 147 Flower Valley Shopping Center; and

WHEREAS, the Planning and Zoning Commission at their meeting on April 5, 2021, recommended that a Special Permit be granted; and

WHEREAS, due notice of public hearing no. 21-04-011 on said application to be held on the 26th of April, 2021 at 7:00 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of a sit-down, carry-out restaurant would be in the best interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section l: Special Use Permit for Jordan & Johnson Enterprise LLC, d/b/a Creations Smoothies located at 147 Flower Valley Shopping Center to allow for the operation of a sit-down, carry-out restaurant. is hereby authorized with the following stipulations:

1. The project shall be as shown on G-1 and A-1 plans dated 3/20/21 by Philip A. Gomez Architect as attached hereto.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2021.

_____
Keith Schildroth
President of the Council

Approved this _____ day of _____, 2021.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

INTRODUCED BY COUNCILMAN SCHILDROTH
APRIL 26, 2021

BILL NO. 9678 ORDINANCE NO.

ORDINANCE AUTHORIZING AN AMENDMENT TO SECTION 520.050 "GROUND SIGNS" SUBSECTION H "TEMPORARY SIGNS" SECTION 2 TO ALLOW FOR TEMPORARY SIGNAGE DURING ROAD PROJECTS.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Section 520.050 "Ground Signs" subsection H "Temporary Signs" section 2 (k) is hereby deleted in it's entirety and replaced with the following to read:

k. Upon substantial completion of the road project, all temporary signs granted under Section **520.050(H)(2)** shall be removed and shall become null and void

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2021.

_____
Keith Schildroth
President of the Council
City of Florissant

Approved this _____ day of _____, 2021.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

FLORISSANT CITY COUNCIL
AGENDA REQUEST FORM

4/20/2021

Mayor's Approval:

Agenda Date Requested: 4/26/2021

Description of request: Amend Section 520.050 (H) (2) (k)

Transfer of Funds from

(See Attached Memo)

Department: Public Works

Recommending Board or Commission: N/A

Type of request:

Ordinances	**X**	**Other**	
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment	**x**	Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment	X		
	Y/N		Y/N
Public Hearing needed: **Yes / No**	**N**	3 readings? : **Yes / No**	

Back up materials attached:		**Back up materials needed:**	
Minutes		Minutes	
Maps		Maps	
Memo	**X**	Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

KGR 4/20/2021

City of Florissant
Public Works Department
Interoffice Memo

Memo To: City Council Date: April 20, 2021

Thru: Mayor Timothy J. Lowery

From: Todd M. Hughes, P.E.
Director of Public Works and Health

Subject: Amendment of Code section 520.050 (H) (2) (k)

Due to road construction I would like to delete Section 520.050 (H) (2) (k) and replace it with the following:

Upon substantial completion of the road project, all temporary signs granted under Section **520.050(H)(2)** shall be removed and shall become null and void

Therefore, I respectfully request this code amendment.

Thank you in advance.

Respectfully submitted,

_____
Todd M Hughes, P.E.

INTRODUCED BY COUNCILMAN SCHILDROTH
APRIL 26, 2021

BILL NO. 9679 ORDINANCE NO.

AN ORDINANCE AUTHORIZING AN APPROPRIATION OF $60,000 FROM THE CAPITAL IMPROVEMENT FUND TO BUDGET ACCOUNT NO. 03-5-03-61430 CAPITAL ADDITIONS-THEATRE FOR REPLACEMENT OF THEATRE LIGHTING DIMMER RACK.

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: There is hereby authorized an appropriation of $**60,000** from the Capital Improvement Fund to budget account no. 03-5-03-61430 Capital Additions-Theatre for replacement of theatre lighting dimmer rack.

Section 2: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____day of _____,2021.

_____
Keith Schildroth
President of the Council
City of Florissant

Approved this_____ day of _____, 2021.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC,
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: April 21, 2021

Mayor's Approval:

Agenda Date Requested: 26-Apr-21

Capitial Improvement Fund Appropriation in the amount of $60,000 to account 03-5-03-61430 Capital Additions - Theatre for replacement of theatre lighting dimmer rack.

Department: Capital Imrovement Fund

Recommending Board or Commission:

Type of request:

Ordinances	**X**	**Other**	**X**
Appropriation	x	Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			

Public Hearing needed: **Yes / No** NO

3 readings? : **Yes / No** YES

Back up materials attached:		**Back up materials needed:**	
Minutes		Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

KGR 4/21/2021

CITY OF FLORISSANT
THEATRE DEPARTMENT
Memorandum

Date: April 21, 2021

To: The Florissant City Council

Thru: Mayor Timothy J. Lowery

From: Brian Paladin, Theatre Manager

Subject: Capital Improvement Fund Appropriation
Replacement of control dimmer rack for theatre stage lighting

4/21/21

I respectfully request the following appropriation:

Capital Improvement Fund	03-5-03-61430 – Capital Additions–Theatre	$60,000

The current lighting control system has failed. It was a custom build in 2001 for which there are no replacement parts. The requested purchase would be for a mass-produced system which the manufacturer will service and supply replacement parts for the foreseeable future.

Because of current industry standards, this purchase would require a complete equipment upgrade, therefore a new dimmer system and lighting package is more cost effective than purchasing the necessary equipment to work with our outdated lighting fixtures.

In addition to this, the operating cost of a new system will result in utility savings over ten thousand dollars annually. The newer lighting fixtures will consume on average 89% less energy use than the current system.

The current lighting system uses 750 watt and 1000-watt lamps which over the course of the year equates to $11,387 in electricity use. That number is calculated by taking the wattage time (3 hours per day) over the course of the year. The newer lighting fixtures utilize low watt LEDs.

Additionally, the newer lighting system operates at a lower temperature which will also save on HVAC costs for cooling the large theatre auditorium.

Please advise if additional information is needed. Thank you for your consideration on this matter.

INTRODUCED BY COUNCILMAN MULCAHY
APRIL 26, 2021

BILL NO. 9680 ORDINANCE NO.

ORDINANCE AMENDING TITLE III OF THE FLORISSANT CITY CODE, SCHEDULE III TABLE III-B "TWO WAY STOPS" BY ADDING "ST. MICHAEL AT AUBUCHON"

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Title IV-A "Yield Intersections" is hereby amended by removing the yield signs at St. Michael at Aubuchon.

Section 2: Title III of the Florissant City Code, Schedule III, Table III-B "Two Way Stops" is hereby amended by adding the following

St. Michael at Aubuchon

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2021.

_____
Keith Schildroth
President of the Council
City of Florissant

Approved this _____ day of _____, 2021.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MPPA/MMC/MRCC
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

4/19/2021

Mayor's Approval:

Agenda Date Requested: 4/26/21

Description of request: Request to replace yield signs with stop signs on St. Michael at Aubuchon

Department: Street

Recommending Board or Commission: Traffic Commission

Type of request:

Ordinances	**X**	**Other**	
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N
Public Hearing needed: **Yes / No**	No	3 readings? : **Yes / No**	Yes

Back up materials attached:		**Back up materials needed:**	
Minutes	X	Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

KGR 4/19/2021

CITY OF FLORISSANT

MEMO

TO: Councilman Patrick Mulcahy DATE: April 19, 2021

THRU: Mayor Timothy Lowery

THRU: Todd Hughes
Director of Public Works

FROM: Jason Timme
Street Superintendent

SUBJECT: Request to Replace Yield Signs with Stop Signs on St. Michael at Aubuchon

The Traffic Commission has reviewed the request to replace the yield signs with stop signs on St. Michael at Aubuchon at the April 13, 2021 meeting. The Traffic Commission made a recommendation to replace the yield signs with stop signs on St. Michael (see attached Minutes, Item 04/21).

04/21 REQUEST TO REPLACE YIELD SIGNS WITH STOP SIGNS ON ST. MICHAEL AT AUBUCHON
Approved
Ward 6

Request was made to replace yield signs with stop signs on St. Michael at Aubuchon. Zach Schneider said there is an email packet from Councilman Mulchahy. He said there was a resident who requested stop signs at St. Michael at the intersection with Aubuchon. He said there are currently yield signs there. The resident noticed the yield signs at St. Denis and Aubuchon have recently been replaced with stop signs and wanted to see if the same could be done at the St. Michael and Aubuchon intersection. Zach Schneider said he drove past there and checked it out. He drove all the way down from St. Marie to Parker. He said that is the only intersection that does not have a stop sign at the intersection. The only thing there is a yield sign. He said based on one of our previous meetings when Officer Kiefer was present, he had mentioned that yield signs were almost a thing of the past. People don't pay attention to them. It was stated that we've talked about this before, and all agreed that as the requests come in we would just go ahead and make a recommendation to change the yield signs to stop signs. It was stated that this item was brought to the Traffic Commission once before. The man who was requesting this wanted the stop signs there because kids play in the street. The Traffic Commission denied the request at that time because it didn't meet any of the criteria for the stop sign warrant. Pete Fischer said he thinks we set the precedent the last time when we switched it at the other intersection.

Motion was made by Don Adams to make a recommendation to replace the yield signs with stop signs on St. Michael at Aubuchon. Motion was seconded by Pete Fischer. On the roll call the commission voted: Donna Smith-Pupillo – yes, Don Adams – yes, Greg Keil – yes,

Pete Fischer – yes, Zach Schneider – yes, and Dave Clasby – yes. Motion carried. Item 04/21 was dropped from the Agenda.

MISCELLANEOUS:

Zach Schneider said he wanted to ask Officer Topcagic about a rumor that Officer Kiefer retired. Officer Topcagic said that Officer Kiefer is a fireman now. He said he is not a policeman anymore. Zack Schneider said we would like to congratulate him on his transition.

Next Traffic Commission meeting is scheduled for May 11, 2021.

ADJOURNMENT

No other items were brought before the Commission this evening. The meeting was adjourned.

For the Chairman
Mayor's Advisory Traffic Commission

MaryAnn Fitzpatrick

MaryAnn Fitzpatrick
Recording Clerk

MaryAnn Fitzpatrick Item 04/21

From: Kathy Blasingame
Sent: Friday, March 12, 2021 10:10 AM
To: MaryAnn Fitzpatrick
Subject: FW: Request - St. Michael & Aubuchon Stop Signs

FYI

-----Original Message-----
From: Cheryl Entwistle
Sent: Friday, March 12, 2021 9:36 AM
To: Kathy Blasingame <kblasingame@florissantmo.com>; Todd Hughes <THughes@florissantmo.com>
Subject: FW: Request - St. Michael & Aubuchon Stop Signs

Hi
See email request below.
Thanks
Cheryl

-----Original Message-----
From: Karen Goodwin
Sent: Friday, March 12, 2021 9:30 AM
To: Cheryl Entwistle <centwistle@florissantmo.com>
Subject: FW: Request - St. Michael & Aubuchon Stop Signs

-----Original Message-----
From: Ward 6
Sent: Wednesday, March 10, 2021 11:24 AM
To: Karen Goodwin <kgoodwin@florissantmo.com>
Subject: Request - St. Michael & Aubuchon Stop Signs

I had a resident request stop signs on St. Michael at the intersection with Aubuchon, there are currently yield signs there. The resident noticed the yield signs at St. Denis/Aubuchon had recently been replaced with stop signs and wanted to see if the same could be done here.

If the Traffic Commission could review this request it would be appreciated.

Thank you,

Patrick Mulcahy
Councilman, Ward 6

INTRODUCED BY COUNCILMAN MULCAHY
APRIL 26, 2021

BILL NO. 9681 ORDINANCE NO.

AN ORDINANCE AMENDING SCHEDULE XVIII "HANDICAPPED PARKING", TABLE XVIII-A "HANDICAPPED PARKING" BY ADDING "PADDOCK DRIVE, WEST SIDE OF PADDOCK IN FRONT OF 1325 PADDOCK, FOR A DISTANCE OF 300 FEET FROM THE INTERSECTION OF PARKER ROAD".

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: Schedule XVIII Handicap Parking, Title XVIII "Handicap Parking" of the Florissant City Code, is hereby amended by deleting "Paddock Drive, west side of Paddock in front of 1325 Paddock (2 spaces)".

Section 2: Schedule XVIII Handicap Parking, Title XVIII "Handicap Parking" of the Florissant City Code is hereby amended by adding "Paddock Drive, west side of Paddock in front of 1325 Paddock, for a distance of 300 feet from the intersection of Parker Road".

Adopted this _____ day of _____, 2021.

_____
Keith Schildroth
President of the Council
City of Florissant

Approved this _____ day of _____, 2021.

_____
Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

_____
Karen Goodwin, MMC/MRCC
City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

4/19/2021

Mayor's Approval:

Agenda Date Requested: 04/26/21

Description of request: Request to change ordinance to read "Handicap Parking only on Paddock Drive, west side of Paddock in front of 1325 Paddock, for a distance of 300 feet from the intersection with Parker Road.

Department: Street

Recommending Board or Commission: Traffic Commission

Type of request:

Ordinances	**X**	**Other**	
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N
Public Hearing needed: **Yes / No**	No	3 readings? : **Yes / No**	Yes

Back up materials attached:		**Back up materials needed:**	
Minutes	X	Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

KGR 4/19/2021

CITY OF FLORISSANT

MEMO

TO: Councilman Patrick Mulcahy DATE: April 19, 2021

THRU: Mayor Timothy Lowery

THRU: Todd Hughes
Director of Public Works

FROM: Jason Timme
Street Superintendent

SUBJECT: Request to Add Handicap Parking for Church of the Master on the Northwest Corner of Paddock Drive

The Traffic Commission has reviewed the request to add handicap parking for Church of the Master on the Northwest corner of Paddock Drive at the April 13, 2021 meeting. The Traffic Commission made a recommendation to add handicap parking on Paddock Drive, west side of Paddock in front of 1325 Paddock, for a distance of 300 feet from the intersection with Parker Road (see attached Minutes, Item 03/21).

UNDER OLD BUSINESS:

All old business was addressed and dropped from the Agenda at the January 12, 2021 meeting.

UNDER NEW BUSINESS:

03/21 REQUEST TO ADD HANDICAP PARKING FOR CHURCH OF THE MASTER ON THE NORTHWEST CORNER OF PADDOCK DRIVE
Approved
Ward 6

Request was made to add handicap parking for church of the Master on the northwest corner of Paddock Drive at Parker Road. See e-mail from Councilman Mulcahy, January 19, 2021, directing us to see the email from Mr. Jerry Chancey. Zach Schneider read the email stating where the no parking signs are to be placed. He said there were also a couple of photographs attached to the packet as well. Mr. Chancey said part of the sidewalk does not have any handicap signs on it. He said there are two handicap signs up closer to the front of the church and some handicap signs in the parking lot in the back, but the walk to the front is exhausting for a few of the members of the church. He said they would like at least two more handicap signs in the front of the church by the sidewalk. He said it is not a public sidewalk, it is on the church property and doesn't extend past the property line. Zach Schneider said he noticed that there is actually one handicap sign on the Parker Road side of the sidewalk leading toward the entrance. He said the other sign is a no parking sign blocking the sidewalk. He asked Mr. Chancey if he wanted the signs on the back side of the sidewalk farther away from Parker Road. Mr. Chancey said yes. Kyle Rachow said that is a stand-up curb there so there is no parking to block the actual ADA ramp coming from the street. It was stated that there are two signs there now and they want to

add two close to the Paddock side. It was also stated that normally you would want a 15 foot clearance for police and ambulances to access the building, so shouldn't that curb be painted red. Zach Schneider said there is clearly at least 30 feet between the two no parking signs. He asked if this is something the City would do. Kyle Rachow said the City had also talked about painting the handicap part of the stand-up curb blue as well. He said that was something we had already talked about. He said if the emergency curb is something to be done, we can go with red as well, and then blue in the handicap area. There was some discussion as to whether it is 15 or 20 feet for the emergency vehicles. Kyle Rachow said we'll have to look it up to see if it is actually 15 or 20 feet. Zach Schneider said he thinks that there is plenty of room for the additional handicap parking there. He said he actually parked his car, got out, marked the spot and then pulled up. He said there was plenty of room for two more signs, even if you had to move one sign that is closer to the sidewalk.

Motion was made by Zach Schneider to make a recommendation to add handicap parking on the northwest side of Paddock Drive at Church of the Master. Motion was seconded by Don Adams. On the roll call the commission voted: Donna Smith-Pupillo – yes, Don Adams – yes, Greg Keil – yes, Pete Fischer – yes, Zach Schneider – yes, and Dave Clasby – yes. Motion carried. Item 03/21 was dropped from the Agenda.

MaryAnn Fitzpatrick Item @ 3/21

From: Todd Hughes
Sent: Monday, March 1, 2021 2:42 PM
To: MaryAnn Fitzpatrick
Subject: FW: Handicap Sign for Church of the Master
Attachments: Paddock 1.pdf; Paddock 2.pdf

From: Cheryl Entwistle
Sent: Monday, March 1, 2021 2:41 PM
To: Todd Hughes <THughes@florissantmo.com>
Subject: FW: Handicap Sign for Church of the Master

Hi
See email request below.
Thanks
Cheryl

From: Karen Goodwin
Sent: Monday, March 1, 2021 2:27 PM
To: Cheryl Entwistle <centwistle@florissantmo.com>
Subject: FW: Handicap Sign for Church of the Master

From: Ward 6
Sent: Monday, March 01, 2021 2:21 PM
To: Karen Goodwin <kgoodwin@florissantmo.com>
Subject: Fw: Handicap Sign for Church of the Master

Hi Karen,

I see the Traffic Commission isn't meeting again. I am curious what to do with this request? Can I just pass this at Council or do they have to look at it first?

Thanks,

Patrick

From: Ward 6 <ward6@florissantmo.com>
Sent: Tuesday, January 19, 2021 11:56 AM
To: Karen Goodwin <kgoodwin@florissantmo.com>
Subject: Fw: Handicap Sign for Church of the Master

Please see the email and attachments from Mr. Chancey. The Church is requesting 2 additional handicap signs on Paddock Drive. If this could be added to the next Traffic Commission agenda it would be appreciated.

Thank you,

Patrick Mulcahy

From: Jerry Chancey <twosteppers@sbcglobal.net>
Sent: Tuesday, January 19, 2021 10:57 AM
To: Ward 6 <ward6@florissantmo.com>
Subject: Handicap Sign for Church of the Master

Patrick, I am currently the Facilities Ministry person for the Church of the Master UCC on the NW corner of Paddock Dr and Parker Rd. We would like for two Handicap Parking signs be placed on Paddock Dr along the sidewalk (see Paddock 1.pdf). We currently have two signs close to Parker Rd (see Paddock 2.pdf). Our parking lot has several handicap signs but the walk up the inclined sidewalk is troublesome for some of our members.

Jerry Chancey
Facilities Ministry

Google Maps ~~1345 Paddock Dr~~

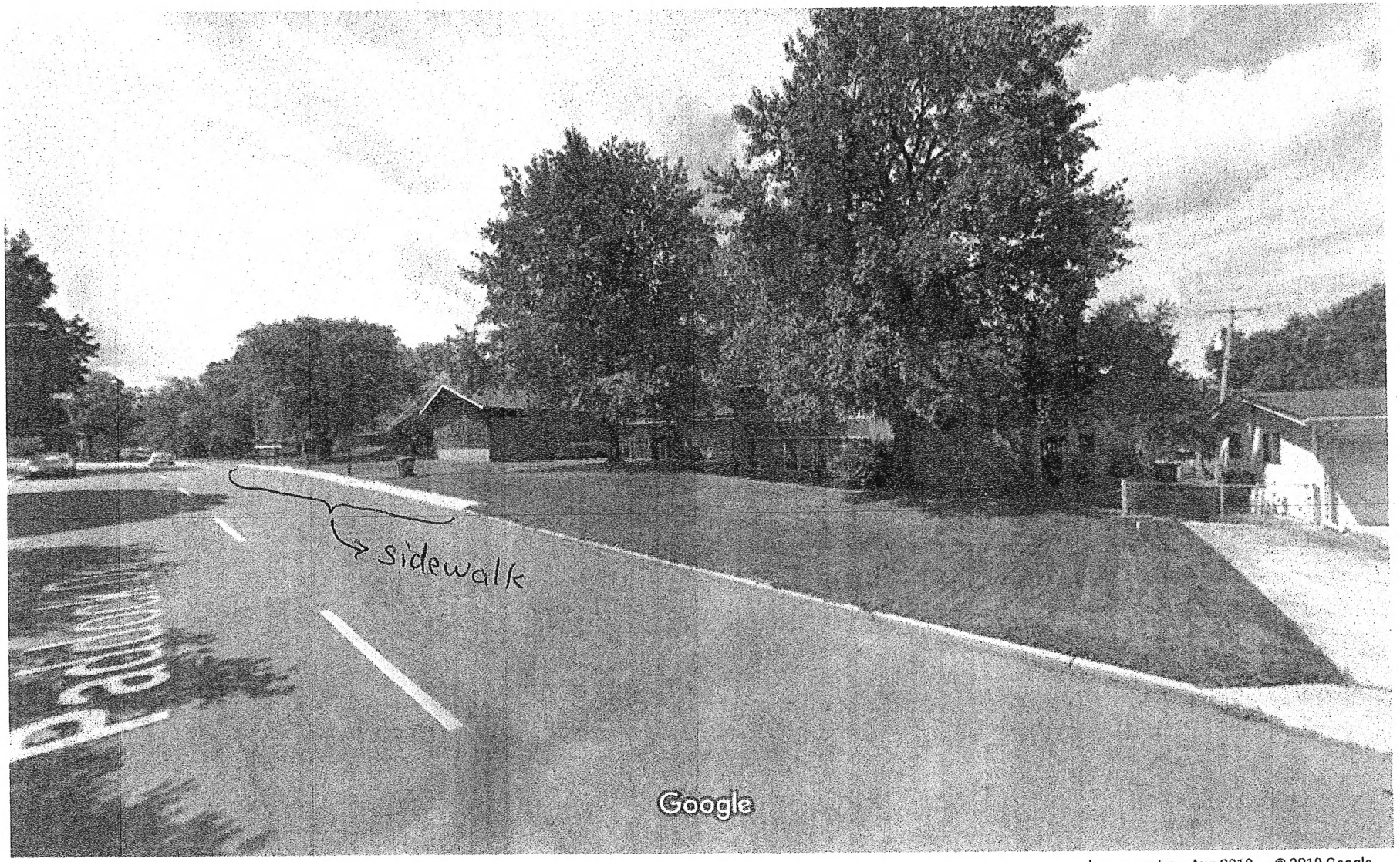

Image capture: Aug 2018 © 2019 Google

Google Maps ~~1310 Paddock Dr~~

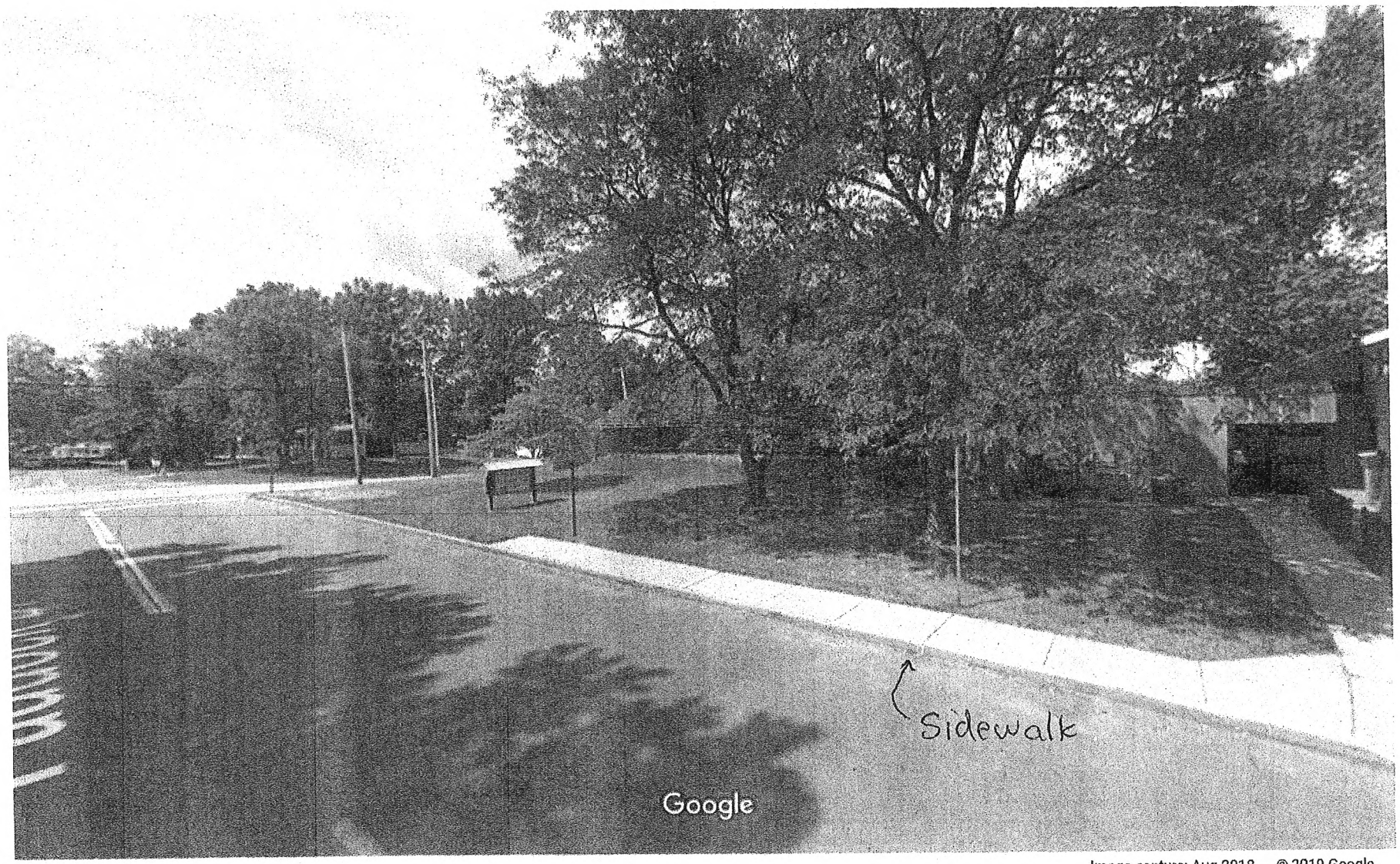

Image capture: Aug 2018 © 2019 Google