



FLORISSANT CITY COUNCIL AGENDA

City Hall

955 rue St. Francois

Monday, September 25, 2017

7:30 PM

Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- Meeting minutes and executive minutes of September 19th, 2017

IV. PROCLAMATION

- Dr. Rance Thomas

V. POLICE COMMENDATIONS

- Detective Tim Green
- Detective Chris Easton, Detective Nick Osmer, Detective Josh Smith, Detective Brian Bussen and Detective Dewitt Edwards
- Officer Pat O'Fallon and K-9 Aresh
- Officer Richard Kohnen and Officer Kayla Fels
- Officer Mobin Malik, Detective Joshua Smith and Sgt. Tony Mocca
- Officer Benjamin Bathon
- Officer Alex Keim
- Detective Dustin Edwards
- Officer Pat O'Neil
- Detective Jo Monahan, Detective Brian Bussen and Dispatcher Matt Young

VI. CERTIFICATE OF APPRECIATION

- Greg Williams

VII. HEARING FROM CITIZENS

(Speaker cards are available at the entrance to the Council Chambers)

VIII. COMMUNICATIONS

- 1 Letter dated September 13, 2017 from Mayor James Paunovich from Calverton Park thanking the Police Department for their assistance to the Calverton Park Police in apprehending a violent offender.

IX. PUBLIC HEARINGS

17-09-023 Application Staff Rpt Plans	Request to issue an amendment to B-5 Ordinance no. 8105 to allow for a retail establishment (Dollar General) for the property located at 15275 New Halls Ferry Road. (Planning and Zoning recommended denial on 9/5/17)	Robert Cissell
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X. OLD BUSINESS

A. SECOND READINGS

9308	Ordinance to authorize an amendment to Special Permit no. 3472 to allow for an addition of a UPS business for the property located at 1545 S. New Florissant Road.	2 nd Reading Schildroth
9309 Memo	Ordinance authorizing an appropriation of \$900,000 from the General Revenue Fund to Account no. 4050 "Professional Services" to cover expenses from a class action agreement.	2 nd Reading Pagano

XI. NEW BUSINESS

A. BOARD APPOINTMENTS

B. REQUESTS

Ward 3 Application	Request for a beer and wine liquor license for Happy Nails located at 360 N. Hwy 67.	Sara Nguyen
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C. BILLS FOR FIRST READING

9310 Application Staff Rpt Plans	Ordinance to rezone for Darin Tucker the property located at 22 Floweridge Lane from R-4 Single Family Dwelling District, to R-6 Multiple Family Dwelling District to allow for construction of a duplex. (Recommended Denial)	Eagan
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9311 Memo	Ordinance to amend the Miscellaneous Revenue Account no. 03-40330 in the amount of \$12,396.50 and appropriate \$29,000 from the General Revenue Fund to account no. 03-6149 "Capital Additions" for the replacement of a totaled police vehicle.	Pagano
9312 Memo	Ordinance authorizing a transfer of \$3,500 from Account no. 01-5-06-27000 "Gasoline-Golf Course" to Account no. 01-5-06-3000 "Golf Course Equipment Repairs" for unanticipated equipment repairs for the golf course.	Pagano

XII. COUNCIL ANNOUNCEMENTS

XIII. MESSAGE FROM THE MAYOR

XIV. ADJOURNMENT

THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL SEPTEMBER 22TH, 2017 AT 12:00 PM ON THE BULLETIN BOARD OUTSIDE THE COUNCIL CHAMBERS. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK'S OFFICE AT 839-7630 OR TDD 839-5142 BY NOON ON MONDAY, SEPTEMBER 25, 2017.

CITY OF FLORISSANT



COUNCIL MINUTES

September 19, 2017

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Tuesday, September 19, 2017 at 7:30 p.m. with Council President Pagano presiding. The Chair asked everyone in attendance to stand and join Webelos Cub Scout Pack #829 in the reciting Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Lee, Jones, Eagan, Caputa, Schildroth, Henke, Pagano, Parson and Siam. Also present was Mayor Thomas P. Schneider, City Attorney John Hessel and City Clerk Karen Goodwin. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Lee moved to approve the Meeting Minutes of August 28, 2017, seconded by Parson. Motion carried.

Mayor Schneider announced the passing of actor Jeffrey Lloyd, a member of the theatre community who performed often at the Florissant Theatre. He was an active member of the Hawthorne Players and many other community theatre productions. He will be greatly missed by friends, theatre patrons, and family.

The Chair stated the next item on the agenda was Hearing from Citizens.

John Engelmeyer, 1281 Graham Rd., stated that he appreciated that the discussion of the proposed court building had been brought out into the chambers for the benefit of the public. He also stated that the recent Ward 5 & 7 Meetings were the most productive and open that he has ever attended. Conversely, the recent senior town hall meeting did not address any concerns/questions of the residents. He thanked Councilwoman Pagano and the City Clerk for responding to all this emails.

31 Paul Young, 525 Mullanphy, stated that the speeding on Mullanphy and Patterson Lanes
32 continued to be a problem has become quite dangerous. He thanked all law enforcement officers for
33 their service, especially the Florissant Police.

34 Brian Hallows, 695 Mescalero, expressed his concern about protecting service dogs and their
35 owners from aggressive, at large-dogs. He asked the Council to pass legislation that would enact this
36 type of protection. At the minimum, he asked for additional training for animal control employees
37 when dealing with these type of situations. Councilman Eagan responded to Mr. Hallows that he had
38 contacted the Director of Public Works to research the issue and he would be getting back to him in the
39 near future.

40 The next item on the Agenda was Communications of which there were none.

41 The next item on the Agenda was Public Hearings.

42 The City Clerk reported that Public Hearing #17-09-021 to be held this night on a request to
43 rezone the property located at 22 Floweridge Lane for Darin Tucker from R-4 Single Family Dwelling
44 District to R-6 Multiple Family Dwelling District to allow for the construction of a duplex had been
45 advertised in substantially the same form as appears in the foregoing publication and by posting the
46 property. The Chair declared the Public Hearing to be open and invited those who wished to be heard
47 to come forward.

48 Mr. Tucker, petitioner, 1365 Night Drive, appeared before the Council and gave a brief
49 overview of the proposed area to be rezoned. He stated that his wife's family owns an apartment
50 complex at Rosetta and Thompson and which he maintains. The adjacent vacant lot in question was
51 overgrown with trees and vegetation, which he found necessary to cut down and clean up for safety
52 reasons. Ultimately, he purchased the property and displayed "before and after" pictures to the
53 Council. He would now like to build a single level duplex on the site for additional income and for his
54 mother. The lot abuts all the apartment buildings on Thompson and his duplex will fit in nicely with
55 the apartment buildings. He was denied a recommendation from the Planning & Zoning Commission.
56 He talked to all the neighbors and no one objected to the duplex. He submitted a petition sheet with all
57 the neighbors' signatures.

58 Councilman Eagan stated that this piece of property is very unique and located on the cusp of
59 residential property. The property northeast of the lot is a condominium complex. He supports the
60 new construction and noted that it would be contiguous to the existing "apartment type" structures. He
61 felt the duplex would be a good fit for the neighbored. Also, Mr. Tucker had not been notified in a

62 timely manner, causing him to miss the first Planning & Zoning meeting. P & Z denied his request at
63 the next meeting by a 2 to 3 vote without a full board present. Councilman Eagan felt the request
64 needed to be looked at by the Council.

65 Councilman Lee stated that the existing apartments are pre-existing non-conforming uses. The
66 duplex will not be located in an all single family residential neighborhood. Mr. Tucker hoped to bring
67 his mother to live in one side of the duplex and rent the other side.

68 Councilman Henke stressed that although it was not definitive, the final vote could have very
69 well been a different outcome if the P & Z Commission would have had a full board. He agreed that it
70 would be a positive proposal for this site and good for the area.

71 Councilman Schildroth noted that, historically, it was rare when the Council opposed the
72 recommendation of the Planning & Zoning Commission. But he felt in this case, the petitioner had
73 done due diligence with the neighbors and not been notified of the first P & Z meeting. He agrees with
74 Councilman Eagan.

75 Mike O'Fallon, Campion Lane resident, stated that he was very happy that a Florissant resident
76 was willing to invest in the city. Mr. Tucker keeps his property pristine and well cared for.

77 The Chair asked if there were any citizens who would like to speak on said public hearing.
78 Being no citizens who wished to speak, Councilman Eagan moved to close P.H. #17-09-021, seconded
79 by Caputa. Motion carried.

80 The City Clerk reported that Public Hearing #17-09-022 to be held this night on a request to
81 authorize an amendment to Special Use Permit No. 3472 to allow for an addition of a UPS business for
82 the property located at 1545 S. New Florissant Road had been advertised in substantially the same form
83 as appears in the foregoing publication and by posting the property. The Chair declared the Public
84 Hearing to be open and invited those who wished to be heard to come forward.

85 Pat Hardin, petitioner, appeared before the City Council and stated that UPS would like to
86 install an automated UPS – Access Point Locker at the Circle K Gas Station. When UPS has packages
87 that are undeliverable or when a customer is not at home, this program allows the residents to have a
88 secure, local, neighborhood location at which to pick up their package. The package will not be sent
89 back to Earth City so the customer won't have to take off work to retrieve the package. The lockers
90 will be open 24 hours, well-lit and installed with three cameras. It is a safe way to pick up a package.
91 They currently have 6 Access Points installed in the metropolitan area.

92 In response to Councilman Schildroth's question, the petitioner explained how the process
93 would work. Mr. Hardin explained that if UPS can't leave a package, they will leave a notice with a
94 special number printed on it. The number can be used as a tracking device or a means to pick up the
95 package at the locker. At the locker, the customer scans in the special code and inserts his/her
96 identification. Once verified, the locker will open. There are several forms of identification that can
97 be used. If all else fails, a "live" call button will be available. There will be 68 lockers of various
98 sizes, all approximately 2 feet in depth. They hope to have the drivers visit the locker the same day
99 that the delivery attempt was made. This drop off at the locker would be approximately 5 p.m. so the
100 customer could pick it up the same day. Customers could also schedule a pick up/ drop off in advance
101 as well. Packages stay in the lockers for up to 7 days. Councilman Schildroth stated that he has
102 elderly constituents who have had their packages stolen in the past, especially during the holiday
103 season. He stated that he is in favor of this request.

104 Councilman Parson stated that he appreciated the convenience of this service. That being said,
105 he expressed his concern about the busy location of the gas station and the increase in traffic that will
106 occur. In response, the petitioner stated that they put approximately 15-20 packages a day in the
107 lockers at other locations, but it will depend upon the business flow at this location. There will never
108 be a parade of UPS trucks delivering or picking up at the gas station at the same time.

109 After the P & Z meeting, UPS contacted the gas station and suggested the possibility of
110 restriping their lot to increase the efficiency of the traffic flow. They agreed to monitor the flow and
111 make changes when necessary. UPS will remove the shrubs, level the site and install a concrete pad.
112 The landscaping will be replaced. The maximum time for installation will could be a week. Brightly
113 colored concrete bollards will be installed for protection and the unit will be ADA accessible.

114 Mr. Hardin stated that there are three cameras on site and are graffiti resistant. In the four states
115 that he covers, there has never been a robbery or incident. Most of the units are bolted into the
116 concrete and he will confirm that this is the case with this unit. The unit will be anchored according to
117 Florissant code.

118 Kevin O'Donnell, 512 Rancho Lane, asked if a customer subscribed to this service for a fee or
119 will it be automatic. Mr. Hardin stated that it was a free service. If a customer wanted to redirect the
120 package to another city, for example Kansas City, there would be a fee.

121 The Chair asked if there were any other citizens who would like to speak on said public hearing.
122 Being no other citizens who wished to speak, Councilman Schildroth moved to close P.H. #17-09-022,
123 seconded by Eagan. Motion carried.

124 Councilman Schildroth moved that Bill No. 9303 An Ordinance authorizing an amendment to
125 B-5 Ordinance No. 7582 to allow for exterior alterations including a blade sign for the property located
126 at 1232 Graham Road be read for a second time, seconded by Henke. Motion carried and Bill No. 9303
127 was read for a second time. Councilman Schildroth moved that Bill No. 9303 be read for a third time,
128 seconded by Parson. Motion carried and Bill No. 9303 was read for a third and final time and placed
129 upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

130 Kevin O'Donnell, 512 Rancho Lane, asked when the A & W portion would be opening. Mr.
131 Lee stated that they are open now. Before the final vote all other interested persons were given another
132 opportunity to be heard. On roll call the Council voted: Lee yes, Jones yes, Eagan yes, Caputa yes,
133 Schildroth yes, Henke yes, Pagano yes, Parson yes and Siam yes. Whereupon the Chair declared Bill
134 No. 9303 to have passed and said Bill became Ordinance No. 8343.

135 Councilman Eagan moved that Bill No. 9304 An Ordinance to approve the final subdivision
136 plat of St. Sophia, dividing one lot into two lots for the property located at 936 Charbonier Road be
137 read for a second time, seconded by Siam. Motion carried and Bill No. 9304 was read for a second
138 time. Councilman Eagan moved that Bill No. 9304 be read for a third time, seconded by Caputa.
139 Motion carried and Bill No. 9304 was read for a third and final time and placed upon its passage.

140 Before the final vote all interested persons were given an opportunity to be heard. On roll call
141 the Council voted: Lee yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes,
142 Parson yes and Siam yes. Whereupon the Chair declared Bill No. 9304 to have passed and said Bill
143 became Ordinance No. 8344.

144 Councilman Siam moved that Bill No. 9305 An Ordinance to authorize a Special Permit for a
145 digital sign for the property located at 2040 N. Highway 67 be read for a second time, seconded by
146 Henke. Motion carried and Bill No. 9305 was read for a second time. Councilman Siam moved that
147 Bill No. 9305 be read for a third time, seconded by Henke. Motion carried and Bill No. 9305 was
148 read for a third and final time and placed upon its passage. Before the final vote all interested persons
149 were given an opportunity to be heard. On roll call the Council voted: Lee yes, Jones yes, Eagan yes,
150 Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes and Siam yes. Whereupon the Chair
151 declared Bill No. 9305 to have passed and said Bill became Ordinance No. 8345.

Councilwoman Pagano moved that Bill No. 9307 An Ordinance appropriating the Community Development Block Grant (CDBG) Funds for the 2017 Fiscal Year for the City of Florissant be read for a second time, seconded by Caputa. Motion carried and Bill No. 9307 was read for a second time. Councilwoman Pagano moved that Bill No. 9307 be read for a third time, seconded by Siam. Motion carried and Bill No. 9307 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard. On roll call the Council voted: Lee yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes and Siam yes. Whereupon the Chair declared Bill No. 9307 to have passed and said Bill became Ordinance No. 8346.

The next item on the agenda was Board Appointments.

Councilman Henke moved to reappoint Patty Sosa, 690 rue St. Francois, to the Landmark Historic District Commission as a member from Ward 6 for a term expiring on 4/28/2020, seconded by Eagan. Motion carried.

Councilman Parson moved to reappoint Loretta Ashford, 3010 Newgate, to the Citizens Participation Committee as a member from Ward 8 for a term expiring on 4/9/2018, seconded by Schildroth. Motion carried.

Councilwoman Pagano moved to accept the Mayor's appointment of Nadia Williams, 2318 SuCasa, Apt B, to the Youth Advisory Commission as a member from Ward 2 for a term expiring on 9/19/2020, seconded by Jones. Motion carried.

Councilwoman Pagano moved to accept the Mayor's appointment of Nalani Williams, 2318 SuCasa, Apt B, to the Youth Advisory Commission as a member from Ward 2 for a term expiring on 9/19/2020, seconded by Jones. Motion carried.

Councilman Schildroth introduced Bill No. 9308 An Ordinance authorizing an amendment to Special Permit No. 3472 to allow for an addition of a UPS business for the property located at 1545 S. New Florissant Road and said Bill was read for the first time by title only.

Councilman Eagan introduced Bill No. 9309 An authorizing an appropriation of \$900,000 from the General Revenue Fund to Acct. No. 4050 "Professional Services" to cover expenses from a class action agreement and said Bill was read for the first time by title only.

The next item on the Agenda was Council Announcements.

Councilman Parson informed the residents that he supports a foundation that fights pediatric cancer. The Quasi Prince Foundation started in Florissant and supports families and children with

183 brain tumors. On December 10th from 9-11 a.m. they will be hosting a free pancake breakfast at the
184 Eagan Center. He reminded residents to establish a “Florissant Five,” which involved asking residents
185 to establish a relationship with at least 5 of their neighbors on their street. Getting to know your
186 neighbors and establishing personal relationships helps to decrease crime in the neighborhoods.

187 Councilman Schildroth informed residents that St. Louis County was almost finished working
188 on the Washington Street Project. Also, he asked citizens to have patience with the Graham Road
189 construction. He stated that the recent 5 & 7 Ward Meeting was very well attended and very
190 informative. The Fall Festival will be held October 8th in Old Town. He commended Councilman
191 Parson on his excellent speech which he gave at the recent 9/11 memorial service. He thanked all the
192 police officers for the extra hours worked and their dedication to citizens’ safety.

193 Councilman Lee commented on the excellent new sound system installed in Council Chambers.
194 The Fall Festival, to be held October 8th, will have numerous events scheduled all day for people and
195 pets of all ages. He congratulated City Attorney John Hessel on being named “Lawyer of the Year.”

196 Councilman Jones stated that he is not happy with the city’s contracted trash service and the
197 promises they failed to keep. Also he encouraged residents to volunteer/donate to the T.E.A.M. Food
198 Pantry.

199 Councilman Eagan announced that the Florissant Police Benevolent Association will be hosting
200 a golf tournament on 9/29 at the Florissant Golf Club.

201 Councilman Caputa stated that Suicide Prevention Awareness Walk and Softball Tournament at
202 St. Ferdinand Park were very successful and attendance has increased over last year. Also, he
203 encouraged residents to secure their firearms and not leave them in their vehicles. All residents should
204 leave their porch lights on for added security. In regards to the recent news articles regarding
205 Florissant, he felt the Council should have been made aware of the recent changes in personnel.

206 The next item on the Agenda was Mayor Announcements.

207 Mayor Schneider stated that the recent disc golf tournament at Dunegant Park was very well
208 attended and a great success. He congratulated Councilman Parson on the well-attended and successful
209 Prince Foundation parade held in Florissant. The recent Senior Town Hall Meeting held on
210 September 14th at the Eagan Center was very well attended. Christian Hospital will be investing in a
211 new Siteman Cancer Center at the Florissant Campus scheduled to open in 2019.

212 The next City Council Meeting was scheduled for Monday, September 25, 2017 at 7:30 pm.

213 Councilman Caputa moved to adjourn the meeting, seconded by Henke. Motion carried. The
214 meeting was adjourned at 8:46 p.m.

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220 The following Bills were signed by the Mayor:

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222 Bill No. 9303 Ord. 8343

223 Bill No. 9304 Ord. 8344

224 Bill No. 9305 Ord. 8345

225 Bill No. 9307 Ord. 8346

226

Karen Goodwin, City Clerk

CITY OF FLORISSANT
CITY COUNCIL

OPEN EXECUTIVE SESSION

September 19th, 2017



The City Council of the City of Florissant met in open Executive Session on Tuesday, September 19th, 2017 at 6:30 pm. in the Council Conference Room at the Florissant City Hall, 955 rue St. Francois, with Council President Jackie Pagano presiding. On Roll Call the following Council members were present: Caputa, Schildroth, Henke, Pagano, Parson, Siam, Lee, Jones and Eagan was absent. Also present was Mayor Schneider, City Clerk Karen Goodwin and City Attorney John Hessel.

Councilman Lee moved to call for a closed meeting to discuss real estate pursuant to Section 610.021(1) of the Revised Statutes of Missouri, seconded by Caputa. On Roll Call the Council voted: Jones yes, Eagan absent, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes and Lee yes. Motion carried.

The Council discussed real estate matters.

Councilman Lee moved to open the closed executive session, seconded by Caputa. On roll call the Council voted: On Roll Call the Council voted: Jones yes, Eagan absent, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes, Siam yes and Lee yes. Motion carried.

At 6:55 pm the Council proceeded into the council chambers for the remainder of the open executive session. Councilman Eagan joined the meeting.

The meeting resumed and Councilwoman Pagano stated that the next item was an update on the Justice Center project.

Lou Jearls, Public Works Director stated that Phil Lum, Building Commissioner and the consultants for the Justice Center Project, Mark Kemp with Wachter and Scott Fahl from Nova Group with him to provide an update and request for a change order.

Mr. Lum gave description of the problems discovered with the roof and structure of the building once construction or clean out of the building began. They are estimating a total change order for this issue to be approximately \$630,000 which includes the design and some soft costs. Mr. Kamp further detailed the roof problems stating that they had to shut down the project for

safety concerns on July 19th, 2017. He feels they have negotiated a reasonable cost for the repairs.

Council President Pagano stated that in the interest of time, this issue would be continued to the Workshop that was scheduled for the next evening on September 20, 2019.

There being no further business to discuss, Councilwoman Pagano motioned to adjourn, seconded by Eagan. Motion carried and the meeting adjourned at 7:26 pm.

Karen Goodwin
City Clerk

COMMENDATIONS SEPTEMBER 25, 2017

Detective Tim Green

On April 19, 2017 two elderly females were the victims of a Robbery and an Attempted Robbery. The suspect's intent was to forcibly steal the purse of each victim. In one of the two incidents the suspect was seen touching a vehicle. Detective Green was called to the scene where he processed the vehicle and obtained fingerprints which were identified by the St. Louis County Crime Lab as those of a suspect that was currently on parole for robbing other elderly female victims. The violent offender was also implicated in a robbery of an elderly female in Granite City, Illinois. The suspect was arrested and charged in both Missouri and Illinois with Robbery.

Due to Detective Green's professional and determined performance of duty a dangerous, persistent offender has been removed from the streets of Missouri and Illinois. He is hereby officially commended.

Detective Chris Easton, Detective Nick Osmer, Detective Josh Smith, Detective Bryan Bussen and Detective Dewitt Edwards

On May 16, 2017 the Florissant Police Department initiated an investigation in a suspected drug dealer. During the investigation the dealer was observed conducting open air narcotics sales. Upon contacting the suspect (and other persons present) they were able to locate ½ pound of methamphetamine and a large quantity of U. S. currency.

As their investigation continued they were able to identify other mid-level dealers, conduct a consent search, seize two more ounces of methamphetamine and obtain a written confession implicating the original dealer as a supplier.

As the detectives worked with the St. Charles County Regional Drug Task Force they were able to secure a search warrant on August 3, 2017 and search the residence of the supplier. The search resulted in the seizure of ½ pound of methamphetamine and approximately \$60,000.00. A controlled delivery was also set up on August 4, 2017 with a Kansas City Missouri supplier and another 5 kilograms of methamphetamine was seized.

Their diligent investigative techniques and excellent police work has removed several dangerous drug dealers from the streets of Florissant, St. Charles and Kansas City. For their excellent work they are hereby officially commended

Officer Pat O'Fallon and K-9 Aresh

On June 19, 2017 Officers responded to a call of a disturbance in the 2300 block of Monetzuma. Arriving officers were informed that a subject had sliced his wrist with a knife and they found a large amount of blood at the scene but were unable to locate the subject.

Officer O'Fallon and his K-9 partner Aresh, who were off duty at the time, were called to the scene. Aresh was able to track the subject into a wooded area and officers at the scene were able to provide first aid until paramedics arrived. The quick response and outstanding tracking by Officer O'Fallon and his K-9 partner Aresh undoubtedly saved a life.

For Officer O'Fallon and Aresh's excellent police work and outstanding service they are officially commended.

Officer Richard Kohnen & Officer Kayla Fels

Between May 24, 2017 and June 8, 2017 Officer Fels and Officer Kohnen investigated several felonies at residences and businesses in the City of Florissant. The officers identified several juvenile suspects and were able to take them into custody for the various crimes. Officer Fels and Officer Kohnen conducted follow-up interviews with all of the parents of the juveniles and issued citations to the parents for Parental Neglect. In spite of hostile behavior by the suspects both officers conducted themselves with professional demeanor.

For their diligent police work and excellent handling of juveniles committing criminal acts in the City of Florissant they are hereby commended.

Officer Mobin Malik, Detective Joshua Smith and Sgt. Tony Mocca

On June 2nd, 2017 Officer Smith and Officer Malik responded to a call of a parental kidnapping. The father was in town from California and had refused to return his daughter to the mother who had legal custody. Their investigation led to the discovery that the father had removed the child to another state. After they presented the facts to the St. Louis County Prosecuting Attorney an "at large" warrant was issued for the arrest of the father. With the assistance of Sgt. Mocca the father and child's location was discovered and after working with the Los Angeles Police Department a search warrant was issued in California. Upon the execution of the search warrant the father was arrested and the child was returned to her mother.

Due to their excellent handling of this case and your skillful follow-up investigation a 13 year old girl was rescued from a dangerous situation and returned home.

For their excellent police work and outstanding handling of this case they are officially commended.

Officer Benjamin Bathon

On June 29, 2017 Officer Bathon conducted a traffic stop in the 3500 block of Parker Road. As a result of the stop Officer Bathon was able to seize four firearms and a felony quantity of narcotics. His investigation revealed that one of the firearms was stolen from a burglary in St. Louis County. Four occupants of the vehicles were arrested, two of which were convicted felons and one was currently on Probation/Parole for narcotics violations.

During the follow-up investigation approximately fifty pounds of marijuana was seized. Due to Officer Bathons excellent patrol techniques and follow-up investigation he has removed a dangerous felon from the streets of the City of Florissant.

Officer Bathon is hereby officially commended.

Officer Alex Keim

On July 20, 2017 Officer Keim conducted a routine traffic stop for expired license plates. When he discovered the driver was a convicted felon, currently on probations for Unlawful Use of a Firearm, and wanted by several police agencies for traffic warrants he gained consent to search his vehicle. The search resulted in the location of a stolen 9mm handgun. Following the arrest of the driver Officer Keim was able to secure a complete confession.

Due to his excellent patrol techniques and follow-up investigation Officer Keim has removed a dangerous felon from the streets of the City of Florissant.

He is hereby officially commended.

Detective Dustin Edwards

On August 14, 2017 Detective Edwards was advised that a black vehicle had been involved in an incident where the occupants fired several shots at another vehicle with an assault rifle. While patrolling he observed a similar vehicle. As he followed the vehicle other officers converged on his location. Upon their arrival he conducted a felony vehicle stop and located the assault rifle in the front seat. The three occupants were taken into custody and charged with Assault 1st Degree and Armed Criminal Action.

Due to Detective Edwards excellent patrol techniques and self-initiated police work he has removed three dangerous felons from the streets of the City of Florissant.

He is hereby officially commended.

Officer Pat O'Neil

On August 15, 2017 Officer O'Neil received a call to the North County Christian School regarding the theft of credit cards. As he investigated the crime he discovered that the credit cards had been taken in a burglary and that they had been used at several locations. Officer O'Neil's follow-up investigation resulted in him positively identifying a suspect and securing video recordings of the suspect making the transactions.

Due to his extra effort a suspect has been identified and is currently being sought by our department.

For his diligent police work and extra effort in this case he is hereby commended.

Detective Joe Monahan, Detective Bryan Bussen and Dispatcher Matt Young

On August 27, 2017 officers responded to a Robbery in the 200 block of U. S. Highway 67 where an elderly victim was assaulted and her purse was brutally taken. As Detective Bussen and Detective Monahan realized that this was very similar to another Robbery on August 18th they recalled that there was a license plate in the original call notes taken by Dispatcher Young. Utilizing that license and registration information they were able to quickly arrest the suspects.

Due to the detective's excellent investigative skills and dispatcher Young's proficiency dangerous felons who were preying on the elderly have been removed from the streets of the City of Florissant.

They are hereby officially commended.

CERTIFICATE OF APPRECIATION

GREG WILLIAMS

On July 18, 2017 Officer Lively was attempting to make a felony arrest in the 500 block of Patterson. The suspect began to resist and while fighting with Officer Lively he attempted to get the officer's weapon from his holster. Without thinking of his personal safety Mr. Williams physically engaged himself in the struggle to restrain the suspect. Because of his assistance the suspect was restrained until other officers arrived and he was taken into custody without the officer sustaining any injury.

Because of Mr. Williams's bravery and courageous actions the Florissant Police Department would like to formally commend him and thank him for his selfless act of heroism.



City of Calverton Park

A Community of Neighbors

52 Young Drive
St. Louis, MO 63135
Phone: (314) 524-1212
Fax: (314) 524-2012

September 13, 2017

Mayor Thomas P. Schneider
955 Rue St. Francois
Florissant, MO 63031

Dear Col. Lowery,

On behalf of the Calverton Park Police Department, and the residents of Calverton Park, we send you a very big "thank you" for assisting our officer on early Tuesday morning, September 6, 2017. While attempting to subdue a violent offender, Officer Bowes was unable to alert his dispatcher of his imminent danger. As soon as he had the suspect under control, and was able to make the proper alert, your officers responded quickly and effectively.

We deeply appreciate this cooperation between our departments, and will continue to do our part assisting your department as needed.

Best Regards,

James A Paunovich
Mayor

Col. Vince Delia
Chief of Police

cc: Mayor Thomas Schneider

*cc to Council
Agallor*

CITY OF FLORISSANT



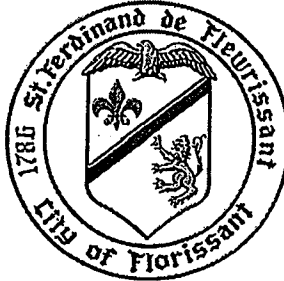
PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, September 25, 2017 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 8105 to allow for a retail establishment (Dollar General) for the property located at 15275 New Halls Ferry Road (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 15275 & 15267 New Halls Ferry Road

Property Owners Name: New Halls Ferry Real Estate, LLC Phone #: 314-605-4757

Property Owners Address: P.O. Box 762, Florissant, MO 63032

Business Owners Name: New Halls Ferry Real Estate, LLC Phone #: 314-605-4757

Business Owners Address: 1346 Fairmount Ct., St. Louis, MO 63139

DBA (Doing Business As) _____

Authorized Agents Name: Robert D. Cissell CO. Name: Cissell Mueller, LLC
(Authorized Agent to Appear Before The Commission)

Agents Address: 5530 Salt River Rd., St. Peters, MO 63376 Phone #: 636-970-0330

Request Approval of a preliminary development plan.

'B-5' Amendment

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Applicant's Signature _____

Date 6/27/17

Received by: 6/29/17 Receipt # 602436 Amount Paid: 100.00 Date: 6/29/17

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: 7/4/17

SIGNATURE OF STAFF WHO REVIEWED APPLICATION _____

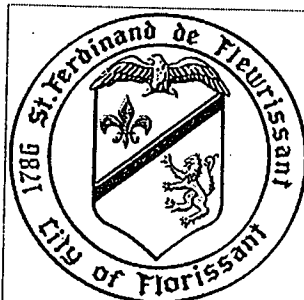
COMMISSION ACTION TAKEN:

RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

SIGN. Paul J. H.

DATE: 9/5/2017

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5
PLANNED COMMERCIAL DISTRICT ORDINANCE



PLANNING & ZONING ACTION:

Address of Property:

15275& 15267 New Halls Ferry Road

RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

Council Ward 4 Zoning B-5

SIGN.

DATE: 9/5/2017

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

PETITION TO AMEND B-5 ORDINANCE # 8105

Enter ordinance number or number requesting to amend.

1) Comes Now New Halls Ferry Real Estate, LLC

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property owner

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 5.0
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for vacant

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:
A change in the proposed layout and addition of a retail store

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME New Halls Ferry Real Estate, LLC

Print Name

PETITIONER(S) SIGNATURE (S) _____

FOR limited liability company

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
- () I (we) have a legal interest in the herein above described property.
- (X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE _____

ADDRESS 5530 Salt River Rd. St. Peters

STREET CITY

MO

STATE

63376

ZIP CODE

TELEPHONE NUMBER 636-970-0330

BUSINESS

I (we) the petitioner (s) do hereby appoint Robert Cissell

Print name of agent.

as

my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐ Partnership: ☐ Corporation: ☐ X LLC

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation: LLC

- (1) Names & addresses of all partners Cary Corbett, Bill Jennings
- (2) Telephone numbers 314-605-4757
- (3) Business address 1346 Fairmount Ct.; St. Louis, MO 63139
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name New Halls Ferry Real Estate, LLC
Address 1346 Fairmount Ct.; St. Louis, MO 63139
Property Owner New Halls Ferry Real Estate, LLC
Location of property 15275 & 15267 New Halls Ferry Road
Dimensions of property 5.0 Ac
Property is presently zoned B-5 per ordinance # 8105
Current & Proposed Use of Property Currently vacant - proposed retail/restaurant
Type of Sign pylon Height _____
Type of Construction masonry and metal panel Number Of Stories 1
Square Footage of Building 7,450 Number of Curb Cuts 2
Number of Parking Spaces 30 Sidewalk Length 170
Landscaping: No. of Trees 6 Diameter 2.5"
No. of Shrubs 72 Size 18" height
Fence: Type N/A Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING B-5'
PROPERTY OWNER OF RECORD _____ PHONE NO. _____
AUTHORIZED AGENT _____ PHONE NO. _____
PROPOSAL _____

- 1) a. Uses - Are uses stipulated _____ ☒ Yes / No
b. What current District would this proposal be a permitted use: _____
c. Proposed uses for out lots: _____

2) Performance Standards: ☒

- a) Vibration: Is there any foreseen vibration problems at the property line? Yes / No
b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No
c) Odor is there any foreseen problem with odor? Yes / No
d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? Yes / No
e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No
f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? Yes / No
g) Is there any dangerous amount of radiation produced from the operation? Yes / No
h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No
i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? Yes / No
j) Is buildings screened from adjoining residential? Yes / No

- 3) Are height of structures shown? ☒ Yes / No
4) Are all setbacks shown? ☒ Yes / No
5) Are building square footages shown? ☒ Yes / No

6) What is the exterior construction of the buildings? metal!

- 7) Is off street loading shown? ☒ Yes / No

8) Parking:

- a) Does parking shown meet the ordinance? ☒ Yes / No
b) Is a variance required in accordance with the ordinance? ☒ Yes / No
c) Ratio shown 4 to 1000 SF
d) Total Number 30
e) Will cross access and cross parking agreements be required? ☒ Yes / No
f) Is the parking lot adequately landscaped? ☒ Yes / No

- 9) Are there any signs? ☒ Yes / No
Number of signs shown _____
Type of Signs _____
Are sizes, heights, details, and setbacks shown? ☒ Yes / No

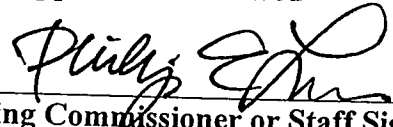
- 10) Are existing and proposed contours shown at not more than five (5) feet intervals? ☒ Yes / No

- 11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? ☒ Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? ☒ Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? ☒ Yes / No
- 14) Was a traffic study submitted?
Does the City Staff recommend a traffic study? Yes / No ☒
Yes / No ☒
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? ☒ Yes / No
- 16) Is a legal description of the property shown?
Does legal description appear to be proper? ☒ Yes / No
☒ Yes / No
- 17) Is an out-boundary plat of the property submitted? ☒ Yes / No
- 18) Suggested time limitations of construction: Start 90 Finish 3/60
- 19) Is parking lot lighting shown? ☒ Yes / No
- 20) Are new walkways required? ☒ Yes / No
- 21) Is there sufficient handicapped access? ☒ Yes / No
- 22) a) Are there proposed curb-cuts?
b) Do the curb-cuts meet the City ordinances? ☒ Yes / No
☒ Yes / No
- 23) Will this project require any street improvements? Yes / No ☒
- 24) Staff recommendations for site development plans: _____

- 25) Staff Comments: _____

7/12/17
Date Application reviewed


Building Commissioner or Staff Signature

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

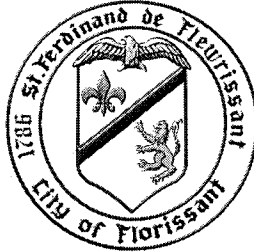
Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

1
2
3
4

MEMORANDUM



6
7
8

CITY OF FLORISSANT

9 To: Planning and Zoning Commissioners Date: July 12, 2017 **rev. 8/31/17**
10
11 From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr. - P.E.
12 Director of Public Works,
13 Tom Goldkamp, EIT
14 City Engineer
15 Applicant,
16 File
17
18 Subject: Request recommended approval to amend a 'B-5' to allow for a retail
19 establishment (**Dollar General**) at **15275 New Halls Ferry** in an existing
20 'B-5' Zoning District.
21

22
23
24

STAFF REPORT
CASE NUMBER PZ-071717-1

25
26

I. PROJECT DESCRIPTION:

27 This is a request for recommended approval to amend a 'B-5' to allow for a retail
28 establishment (**Dollar General**) at **15275 New Halls Ferry** in an existing
29 'B-5' Zoning District
30

31
32

II. EXISTING SITE CONDITIONS:

33 The existing address at **15275 and 15267 New Halls Ferry** have been vacant for
34 approximately the last 4 years as the former Wedgewood Bath and Tennis Club and both
35 sites were re-zoned to 'B-5' in anticipation of a restaurant development.
36

37 The structures existing on the site are removed.
38
39

40 **III. SURROUNDING PROPERTIES:**

41
42 The properties adjacent and to the North are to remain in an 'R-4' District. The addresses
43 adjacent are 5, 6, 7 & 8 Weymouth Ct. and 603 Shadow Rock Dr.
44

45 **IV. STAFF ANALYSIS:**

46 The application is accompanied by professionally completed plans sealed and signed Alta
47 Survey 1 and 2 of 2 dated 10/7/14, Sheets A01LD, **A02 revised 8/11/17**, and A07 dated
48 12/14/16. Preliminary Development Plan 1, 2 and 3 of 3 dated **revised 8/2/17**.
49

50 The following are staff comments:
51

52 **Consolidation Plan or Subdivision Process:** There are 3 lots previously re-zoned. This
53 plan is shown to occur on Lot 2, which is a part of 15275 New Halls Ferry.
54

55 **Sheet 1 and 2 of the ALTA Survey Comments:**

- 56 1. Site plan indicates site conditions prior to demo of the sign, pool, building and
57 indicates remaining paved areas.
58

59 **Sheet 1 of 3 Preliminary Development Plan Comments:**

- 60 1. The size of the overall development is 5 acres for all 3 Lots.
61 2. The lot size shown for the Dollar General is 1.63 acres.
62 3. The new building is shown out of the flood zone 'x'.
63 4. Landscape calculation table meets City requirements for minimum landscaping.
64 5. Greenspace minimum for 1.63 acre is 30% per 405.245 para. 9, appears to be met.
65 6. **Trash enclosure is shown with vinyl gates, needs 20'x10' front apron per**
66 **Ordinance No. 8323**
67 7. Note 20 indicates that irrigation of landscape will be installed.
68 8. No 6' vinyl privacy screen is shown along the north property line, although
69 ordinance 8105 includes a portion of the property line to have a 6' vinyl fence, a
70 landscaped buffer, and a detail of the fence.
71 9. 30 parking spaces are shown with accessible parking, meeting code requirements.
72 10. Parking compliance and screening compliance is indicated in a note by the
73 engineer's seal.
74 11. **There is a freestanding sign shown on the site plan behind the front setback**
75 **line, south edge of lot.**
76 12. A segmental block wall is shown in the front stormwater area.

77 **Sheet 2 of 3 Comments:**

- 78 1. Lighting photometric plan, 25' light standards and details shown.
79 2. No Dumpster enclosure details shown.

80 **Sheet 3 of 3 Cross Sections Comments:**

- 81 1. Plan indicates topographic, traffic flow, Floodplain location and building height
82 information.
83 2. Building height approximately 21 feet tall, well under the 45' max.

84 **Sheet A01LD Comments:**

- 85 1. The plan indicates an on-grade loading entrance at the south corner of the
86 building, single exit door to the north and main entry vestibule on the east.
87 2. The plan and details indicate a steel building about 85'x85'

88 **Sheet A02 Comments:**

- 89 1. **The building is shown to be constructed of Belden brick 503-505 and metal**
90 **insulated 'Kingspan' panels with stucco finish in 'light stone' color.**

91 **Sheet A07 Comments:**

- 92 1. The coming soon sign is shown 8x4, however needs to be limited to 6 feet in
93 overall height as a temporary sign under 500.050.
94 2. The prototypical main sign is shown at 26'x 3'-9"= 97.5 s.f.
95 3. The typical post sign is shown as 6'x16'-1"= 97 s.f., however no location is
96 shown. The site plan 1 of 3 clearly shows the 40' front setback line. One suitable
97 location in the front that appears to be within the entry island shown striped. The
98 center of this island is about 35' behind the setback line, otherwise, the parking
99 interferes with any other front location

100
101
102 **VI. STAFF RECOMMENDATIONS:**

103
104 See attached suggested motion.

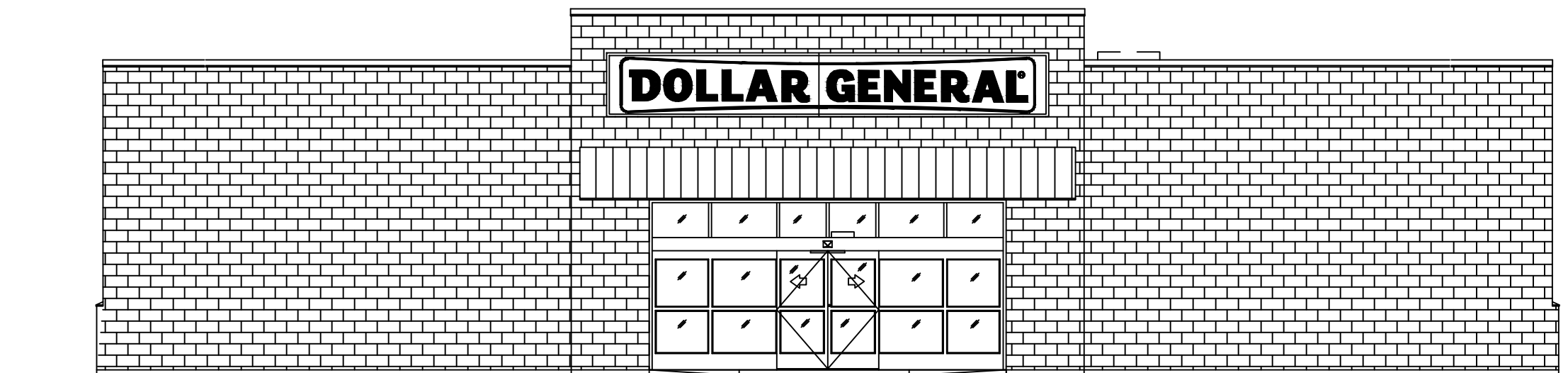
105
106 (end report)

DOLLAR GENERAL®

FLORISSANT, MISSOURI

STORE # - 18943

(7,500 S.F. - CENTER ENTRY-LEFT DELIVERY)



REQUIRED NATIONAL ACCOUNT VENDORS

COMPANY	CONTACTS	PHONE #	REQUIRED ITEMS
MC CUE CORPORATION	PRICING - BRAD ROBINSON ORDERING - BRETT JOHNSON	404-293-7758 brobinson@mcuecorp.com 800-800-8503 EXT. 268	TRIM KIT INCLUDES BUMPER GUARDS AND CART STOP
YORK	NATIONAL ACCOUNTS	800-481-9738 york-dollargeneral-be@jci.com	HVAC UNITS AR, CO, IL, IN, KY, KS, MO, OH, OK, WV
CARRIER	ANDREW BROWNELL	315-432-6444 andrew.brownell@carrier.utc.com	HVAC UNITS CT, IA, MA, ME, MI, MN, ND, NE, NH, NJ, NY, PA, RI, SD, VT, WI
LENNOX	MICHAEL JOHNSTON	972-497-6884 dollargeneral@lennoxind.com	HVAC UNITS AL, AZ, CA, DE, FL, GA, LA, MD, MS, NC, NM, NV, OR, SC, TN, TX, VA
ROOF CURB SYSTEMS	GREG SMYTH	800-683-5848 gsmyth@roofcurb.com	RTU CURB
CURBS PLUS INC.	ALLAN THRAILKILL	888-639-2872 alan.thrailkill@curbs-plus.com	RTU CURB
KCC INTERNATIONAL INC.	GREG CONRAD	800-382-2872 gconrad@kcccurbs.com	RTU CURB
SHERWIN WILLIAMS	LOCAL SHERWIN WILLIAMS STORE		PAINT, PRIMER, CONCRETE SEALER AND BLOCK FILLER
RECORD DOOR SYSTEMS	MICHAEL VINNIK	704-290-0234 dollargeneral@recorddoors.com	MODEL #GT1175-02
STANLEY ACCESS TECHNOLOGIES	DENNIS WEBB	256-776-8902 DGdoors@sbdinc.com	AR,AZ,CA,CO,CT,DE,IL,IA,KS,LA,MA,ME,MI,MN,MO, ND,NE,NH,NJ,NM,NV,NY,OK,OR,RI,SD,TX,VT,WI
ASSA ABLOY ENTRANCE SYSTEMS	ROSS MERKLING	609-528-2580 dollargeneral.besam.us@assaabloy.com	AL, FL, GA, MS, NC, SC, TN
D&P CUSTOM LIGHTING	NATIONAL ACCOUNT SALES	800-251-2200	CUSTOM POWER POLES
EMERSON CLIMATE TECHNOLOGIES	WEBSITE: http://dollargeneralbid.ectolutions.net	USER NAME: dollargeneralbid PASSWORD: dollargeneralbid	EMS SUPPLIER NOTE: CUSTOMIZED DOLLAR GENERAL EMS PANEL REQUIRES STORE #, CITY, STATE, ZIP CODE & QTY. OF HVAC UNITS OF THE INSTALL SITE WHEN ORDERING.
EUCLID CHEMICAL COMPANY	PHIL BRANDT	877-438-3826 PBrandt@euclidchemical.com	CONCRETE POLISHING SYSTEMS
RETRO-PLATE SYSTEMS	CURTIS TURNBULL	888-942-3144 corporateaccounts@retroplatesystem.com	CONCRETE POLISHING SYSTEMS
ETI	MICHAEL STRINGER	920-915-4010 DGorders@led-llc.com	ELECTRICAL LIGHTING SUPPLIES AR,AZ,CA,IL,IA,KS,MN,MO,MS,ND, NE,NM,NV,OK,OR,SD,TX,WI
LSG	MICHAEL STRINGER	920-915-4010 DGorders@led-llc.com	ELECTRICAL LIGHTING SUPPLIES AL,CA,CT,DE,FL,GA,IN,KY,MA,MD,ME,MI, NC,NH,NJ,NY,OH,PA,RI,SC,TN,VA,VT,WV
CED - CONSOLIDATED ELECTRICAL DISTRIBUTORS	ROBERT DECKER	270-781-2229 robertd@cedbgky.com	ELECTRICAL SWITCH GEAR AR,AZ,CA,CO,IA,IN,IL,LA,KS,KY,MI,MN, MO,MS,ND,NE,NM,NV,OK,OR,SD,TX,WI
NESCO	CHRIS TRACY	800-244-6980 dollargeneral@needhamelectric.com	ELECTRICAL SWITCH GEAR AL,CT,DE,FL,GA,MA,MD,ME,NC,NH,NJ, NY,OH,PA,RI,SC,TN,VA,VT,WV
GIRTMAN AND ASSOCIATES	MIKE MOYNAHAN	615-350-6000 dgconstruction@bass-security.com	INTERIOR DOORS AND FRAMES AND RESTROOM ACCESSORIES AL,AR,AZ,CA,CO,FL,GA,IA,KS,LA,MS,MN, MO,NE,NM,NV,OK,OR,SC,SD,TN,TX,WI
COOK & BOARDMAN GROUP	JOE HARRELL	336-837-0673 nationalsales@cookandboardman.com	INTERIOR DOORS AND FRAMES AND RESTROOM ACCESSORIES CT,DE,IL,IN,KY,MA,MD,ME,MI,NC,NH,NJ, NY,OH,PA,RI,VA,VT,WV
STANLEY CONVERGENT SECURITY SOLUTIONS	DAN GOLDSMITH	740-215-8913	INTERIOR FIRE ALARM PANELS
CROSSCOM NATIONAL	ANDREA LEMAY	847-850-6297 dollargeneral@crosscomnational.com	LOW VOLTAGE & VOICE/DATA CO,CT,DE,FL,IA,IL,IN,KS,MA,MD,ME,MI,MN, MO,ND,NE,NH,NJ,NY,OH,PA,RI,SD,VT,WI,WV
ASD	CHRIS RUDNITSKI	826-624-1044 crudnitski@asd-usa.com	LOW VOLTAGE & VOICE/DATA AL,AR,AZ,CA,GA,KY,LA,MS,NC,NM,NV, OK,OR,SC,TN,TX,VA
GRAYBAR	JEROME BANNISTER	615-743-3202 office, 615-924-2135 cell DollarGeneral@graybar.com	CABLE TRAY
RAINBIRD IRRIGATION	LOCAL RAIN BIRD DISTRIBUTER	WWW.RAINBIRD.COM	IRRIGATION SYSTEMS

REQUIRED NATIONAL ACCOUNTS FOR ENGINEERING AND CONSTRUCTION MATERIAL TESTING

COMPANY	CONTACTS	PHONE #	
ATC ASSOCIATES, INC.	LESLIE GREENWOOD	205-733-8775 dollargeneral@atcassociates.com	www.atcassociates.com
BUILDING AND EARTH SCIENCES, INC.	MATT ADAMS	205-836-6300 dollargeneral@buildingandearth.com	www.buildingandearth.com
EAS PROFESSIONALS, INC.	JERRY MARRONE	864-234-7368 dollargeneral@eas-pro.com	www.eas-pro.com
PROFESSIONAL SERVICE INDUSTRIES, INC. (PSI)	TERESA HEBNER	770-424-6200 #3030 teresa.hebner@psiusa.com	www.psiusa.com
TERRACON	JOHN MEADOW	770-623-0755 #353 dollargeneral@terracon.com	www.terracon.com

NOTE: MATERIAL TESTING IS REQUIRED ON ALL TRIPLE NET LEASES.

PROTOTYPE MANAGEMENT TEAM

COMPANY	CONTACTS	PHONE #	
MJM ARCHITECTS	GARY CONWAY	615-244-8170 dg@mjmarch.com	www.mjmarch.com
ENTECH	MITCH SIMPSON	615-373-2640 email@entechtn.com	www.entechtn.com

NATIONAL ACCOUNT & CONTACT INFORMATION SUBJECT TO CHANGE

CODE INFORMATION:

CODES USED:

2009 INTERNATIONAL BUILDING CODE

2009 INTERNATIONAL MECHANICAL CODE

2009 INTERNATIONAL ENERGY CODE

2009 INTERNATIONAL PLUMBING CODE

2008 NATIONAL ELECTRICAL CODE

CITY OF FLORISSANT AMENDMENTS

NOTE: VERIFY CITY HAS NOT ADOPTED NEWER CODES

USE GROUP:	"M" MERCANTILE
CONSTRUCTION TYPE:	2 B
ACTUAL BUILDING SIZE:	7,500 SF
ALLOWABLE SIZE:	12,500 SF
ACTUAL HEIGHT:	18'-6"
ALLOWABLE HEIGHT:	55'-0"
SPRINKLERS REQUIRED:	NO
FIRE RATED ASSEMBLIES:	NONE @ BEARING WALLS AND CEILING/ROOF ASSEMBLY
OCCUPANT LOADS:	
SALES AREA	5,956 SF ÷ 30 = 199 OCCUPANTS
RECEIVING AREA	888 SF ÷ 300 = 3 OCCUPANTS
EXIT LOADS:	
3'-0" DOOR	180 OCCUPANTS
6'-0" DOORS	360 OCCUPANTS
PLUMBING FIXTURE COUNT:	
202 OCCUPANTS	
101 MALE	1 WC, 1 LAVATORY
101 FEMALE	1 WC, 1 LAVATORY

PROJECT TEAM:

CONSTRUCTION MANAGER:	
CISSELL MUELLER 5530 SALT RIVER ROAD ST. PETERS, MO 63376	GREGG SPARKS, P.E. greggsparks@cissellmueller.com 636-970-0330 phone 636-970-2116 fax
ARCHITECT:	
PFAFF PARTNERSHIP, INC. 180 WEIDMAN ROAD SUITE 218 MANCHESTER, MO 63021	JOHN PFAFF, R.A. johnp@pfaffinc.com 636-256-0109 phone 636-256-0525 fax
CIVIL ENGINEER:	
ARC DESIGN RESOURCES, INC. 5291 ZENITH PARKWAY LOVES PARK, IL	RYAN SWANSON www.arcdesign.com 815-484-4300 phone
STRUCTURAL ENGINEER:	
MCNEALY ENGINEERING INC. 11457 OLDE CABIN ROAD SUITE 350 ST. LOUIS, MO 63141	BILL MCNEALY bmcnealy@sbcglobal.net 314-997-7310 phone 314-997-4287 fax
MEP ENGINEERING:	
AEDIFICA CASE 782 MERUS COURT FENTON, MO 63026	MATT CASE mcase@aedifica.com 636-349-1600 ext. 227 phone 636-349-1730 fax

DRAWING LIST

GENERAL:

T01 TITLE SHEET

CIVIL:

C01-LD SITE PLAN CRITERIA - LEFT DELIVERY
C01-RD SITE PLAN CRITERIA - RIGHT DELIVERY
C02-LD GRADING PLAN - LEFT DELIVERY
C02-RD GRADING PLAN - RIGHT DELIVERY
C03 GENERAL SITE NOTES
C04 DETAILS
L01-LD LANDSCAPE PLAN - LEFT DELIVERY
L01-RD LANDSCAPE PLAN - RIGHT DELIVERY

OWNER:

F01 FIXTURE PLAN

ARCHITECTURAL:

A01-LD FLOOR PLAN, DETAILS & INTERIOR PARTITIONS
A01-RD FLOOR PLAN, DETAILS & INTERIOR PARTITIONS
A02 EXTERIOR ELEVATIONS
A03-LD SECTIONS & DETAILS
A03-RD SECTIONS & DETAILS
A04 ROOM FINISH SCHEDULE & SALES FLOOR ELEVATIONS
A05 DOOR SCHEDULE & DETAILS
A06 TOILET ROOM PLAN & DETAILS
A07 SIGN DETAILS
A08 SIGN BRACING DETAILS
A09-LD REFLECTED CEILING PLAN
A09-RD REFLECTED CEILING PLAN

STRUCTURAL:

S01 ROOF PLAN & METAL BUILDING NOTES
S02 CONCRETE SPECS & CONCRETE FINISH SPECS
S03 CONCRETE ANALYSIS & MISC NOTES

ELECTRICAL:

E1-LD POWER PLAN
E1-RD POWER PLAN
E2-LD LIGHTING PLAN
E2-RD LIGHTING PLAN
E3 POWER POLE DETAILS
E5.1 PANEL SCHEDULES - THREE PHASE
E5.2 PANEL SCHEDULES - SINGLE PHASE

EMS1-LD EMS LOW VOLTAGE PLAN
EMS1-RD EMS LOW VOLTAGE PLAN
EMS2 EMS PANEL & CONTROLS

ES1 SITE LIGHTING PLAN

MECHANICAL:

M1-LD HVAC LAYOUT & SCHEDULE
M1-RD HVAC LAYOUT & SCHEDULE

PLUMBING:

P1-LD PLUMBING PLANS & SCHEDULES
P1-RD PLUMBING PLANS & SCHEDULES
P2-LD PLUMBING DETAILS & DIAGRAMS
P2-RD PLUMBING DETAILS & DIAGRAMS

SQUARE FOOTAGE LEGEND

TOTAL SQUARE FOOTAGE	7,512 S.F.
TOTAL LEASABLE AREA	7,512 S.F.
OVERALL BUILDING DIMENSIONS	85'-0" X 85'-0"
SALES FLOOR DIMENSIONS	83'-0" X 68'-6"
SALES AREA	5,956 S.F.
RECEIVING AREA	888 S.F.
BREAK ROOM & OFFICE AREA	154 S.F.
TOILET ROOMS & HALLWAY AREA	193 S.F.
TOTAL NET AREA (BLDG AREA PER CODE)	7,191 S.F.

NOTES:

- BUILDING MUST COMPLY WITH ALL BUILDING (FEDERAL, STATE AND LOCAL), FIRE, ACCESSIBILITY AND HEALTH DEPARTMENT CODES.
- NO TAPERED COLUMNS ALLOWED.
- MAINTAIN INTERIOR CLEAR SALES SPACE AS REQUIRED ON PLANS.

DOLLAR GENERAL

STORE NO. 18943

XX

FLORISSANT

MO

DG PARTNERS, LLC

5530 SALT RIVER ROAD

ST. PETERS, MO 63376



CISSELL MUELLER
CONSTRUCTION, INC.
5530 SALT RIVER RD.,
ST. PETERS, MO 63376

ARCHITECTS
& PLANNERS

PFAFF
PARTNERSHIP?

PROJECT NUMBER

1716

DATE

11 AUG. 2017

REVISIONS

SHEET NAME

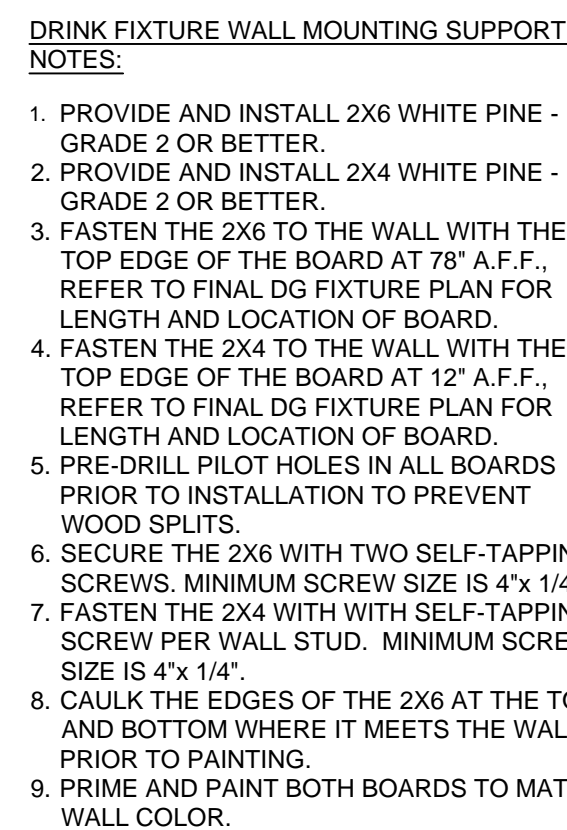
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SHEET NUMBER

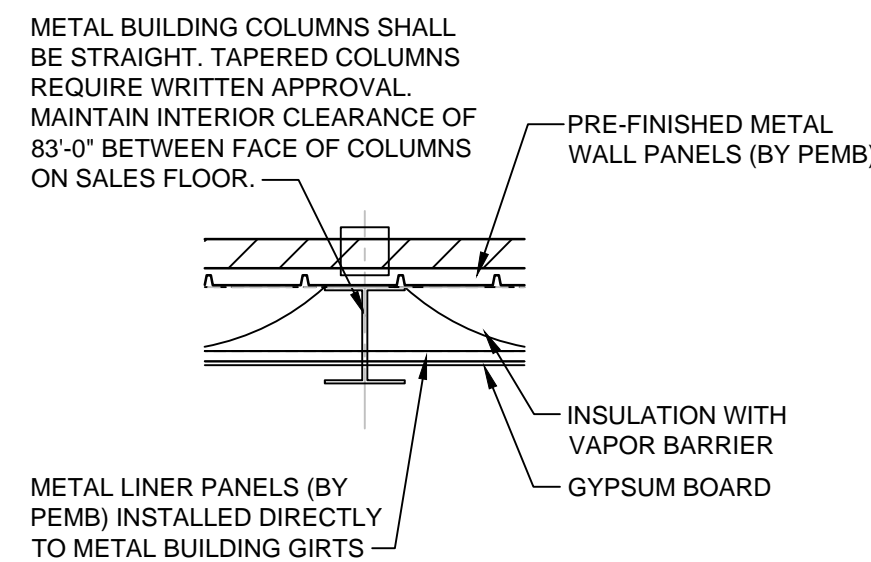
T1



1	RECEIVING DOOR BUZZER - TORK MDL.#7A725 OR EQUAL	10	CONC. SLAB WITH MIN. 6x6xW1.4 WELDED WIRE MESH OVER POLYETHYLENE VAPOR BARRIER (MIN. 10 MM THICK) OVER CRUSHED STONE BASE, TYPICAL, OR EQUIVALENT. SEE STRUCTURAL DWGS. PROVIDE CONTROL JOINTS AS SHOWN ON S03.	21	REFRIGERATION BY DOLLAR GENERAL.
2	DOOR SCOOPE, PROVIDED BY BASS SECURITY. REFER TO T01 DOOR SCHEDULE.	11	METAL BUILDING FRAME. REFER TO NOTED WALL SECTION FOR ADDITIONAL INFORMATION.	22	STEEL COLUMN, ROUND (BY PEMB) WITH RECESSED BASE- PLATE. PAINT SW7005 PURE WHITE. WRAP STEEL COLUMN WITH TIGHT LOOP CARPET (BLACK) FROM BASE TO 48" A.F.F.
3	WEATHER STRIP ON LOW PROFILE THRESHOLD PROVIDED BY BASS SECURITY. SEE TO T01 AND DOOR SCHEDULE.	12	1/2" MIN GYPSUM BOARD (TO 10'-0" A.F.F.) OVER METAL LINER PANELS AND INSULATION WITH VAPOR BARRIER. REFER TO INTERIOR SALES AREA ELEVATIONS.	23	POWER POLE. COORDINATE FINAL LOCATION WITH FINAL DOLLAR GENERAL FIXTURE PLAN (F01).
4	STRIP FLOOR FOR DESIGNATED EGRESS PATH (PAINT YELLOW) AND DESIGNATED EMS PANEL CLEARANCE (PAINT RED).	13	SMOOTH, ECONOMY SIZED BRICK WAINSCOT. PAINTED. SEE ELEVATIONS FOR SPECIFIED COLOR. REFER TO WALL SECTION FOR ADDITIONAL INFORMATION.	24	CONTROL JOINTS ARE TO BE PLACED ALONG COLUMN LINES AND DIVIDING COLUMN BAYS AS INDICATED. COORDINATE WITH STRUCTURAL DRAWINGS.
4A	STRIP FLOOR FOR DESIGNATED ADA EGRESS PATH (PAINT YELLOW).	14	SLOPE CONCRETE 1/8" PER FOOT AWAY FROM BUILDING.	25	FLOOR AREA AT BASE OF COLUMNS, WITHIN THE CONSTRUCTION JOINTS, TO BE PAINTED BLACK MGC TINT.
5	PROVIDE AND INSTALL A TEN GALLON WATER HEATER (OR LARGER IF REQUIRED BY CODE) ABOVE THE MOP SINK.	15	BROOM FINISH CONCRETE SIDEWALK, TYPICAL.	26	ALTERNATE LOCATION FOR DELIVERY DOORS. MOVE ELECTRICAL EQUIPMENT TO OTHER WALL.
6	3/8" METAL STUD WITH 1/2" MINIMUM GYPSUM BOARD (BOTH SIDES). REFER TO NOTED WALL SECTION. REFER TO ROOM FINISH SCHEDULE FOR GYPSUM BOARD HEIGHT AT ANY PARTICULAR WALL.	16	BRONZE STOREFRONT SYSTEM. REFER TO NOTED WALL SECTION FOR ADDITIONAL INFORMATION.	27	20 GA. METAL STUD FRAMING TO DECK ABOVE BETWEEN COLUMNS AT INTERIOR ENTRY DOORS. STUDS TO BE INSTALLED FLUSH WITH THE INTERIOR FACE OF THE ADJACENT COLUMNS. FINISH AS NOTED.
7	METAL LINER PANELS TO 8'-0" A.F.F. AT RECEIVING AREA. (BY PRE-ENGINEERED BUILDING MANUFACTURER).	17	LINE OF METAL AWNING ABOVE (BY PEMB). REFER TO REFLECTED CEILING PLAN AND NOTED SECTION.	28	CART AREA. REFER TO 5 & 6/A06 FOR ADDITIONAL DETAILS.
8	DIMENSIONS ARE TO COLUMN LINE UNLESS OTHERWISE NOTED.	18	A.D.A. COMPLIANT ACCESSIBLE RAMP WITH YELLOW PAINTED SIDES TO ACCESSIBLE PARKING STALLS.	29	ENDCAP COOLER/FREEZER TO BE HARDWIRED THROUGH SO CORD WITH DUPLEX AT END. GC TO LEAVE BOTTOM OF CORD HANGING AT 80" A.F.F. (SEE ELECTRICAL). SO CORD TO BE ANCHORED TO PURLINS ABOVE. COORDINATE LOCATION WITH FINAL DOLLAR GENERAL FIXTURE PLAN.
9A	METAL BUILDING PANELS (BY PEMB). REVERSE-RIB PROFILE AT FRONT ELEVATION. REFER TO ELEVATIONS FOR COLOR.	19	MC CUE CART AND BUMPER GUARDS. TOP INSTALLED @ 3'-5" A.F.F. ORDER TRIM KIT FOR THIS PROTOTYPE.	30	MC CUE RAILING IN FRONT OF ELECTRICAL PANELS. 8'-0" LONG WITH TWO TOP RAILS WITH NO MIDDLE POST.
9B	METAL BUILDING PANELS (BY PEMB). REFER TO ELEVATIONS FOR COLOR.	20	WALL HYDRANT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.		

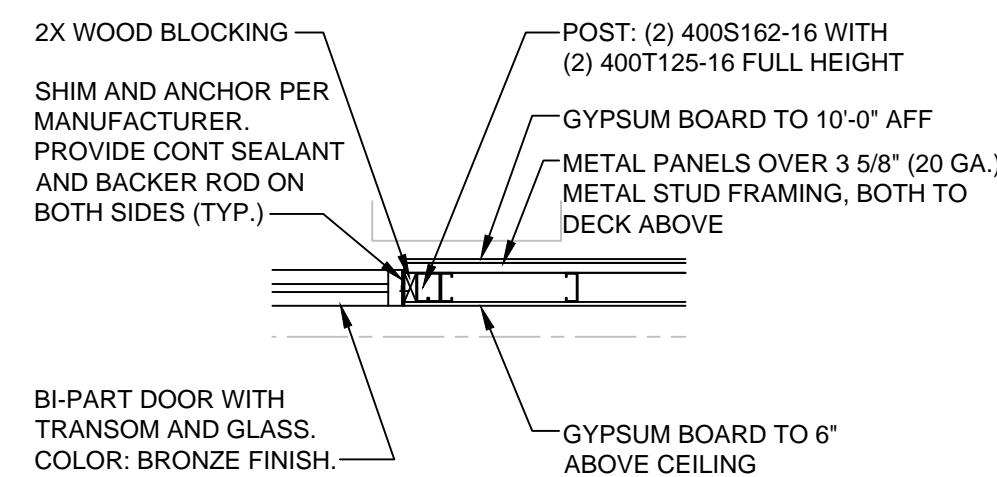


A01-LD SCALE: NTS (1/2"=1'-0")

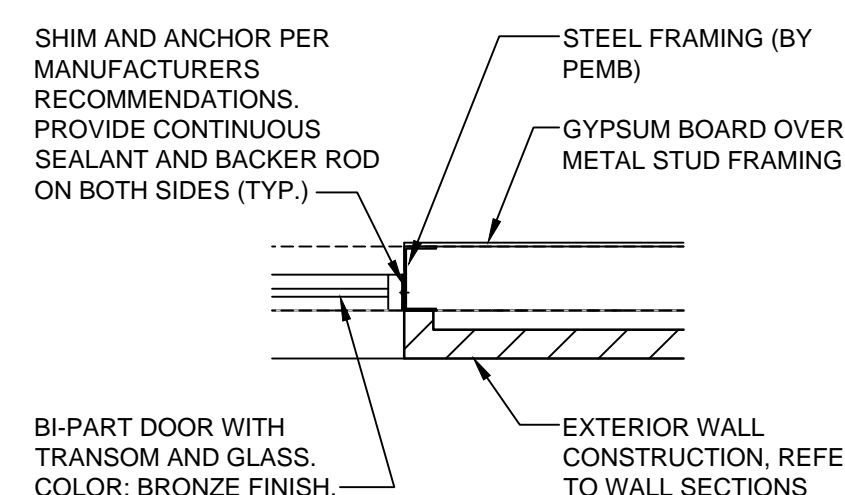


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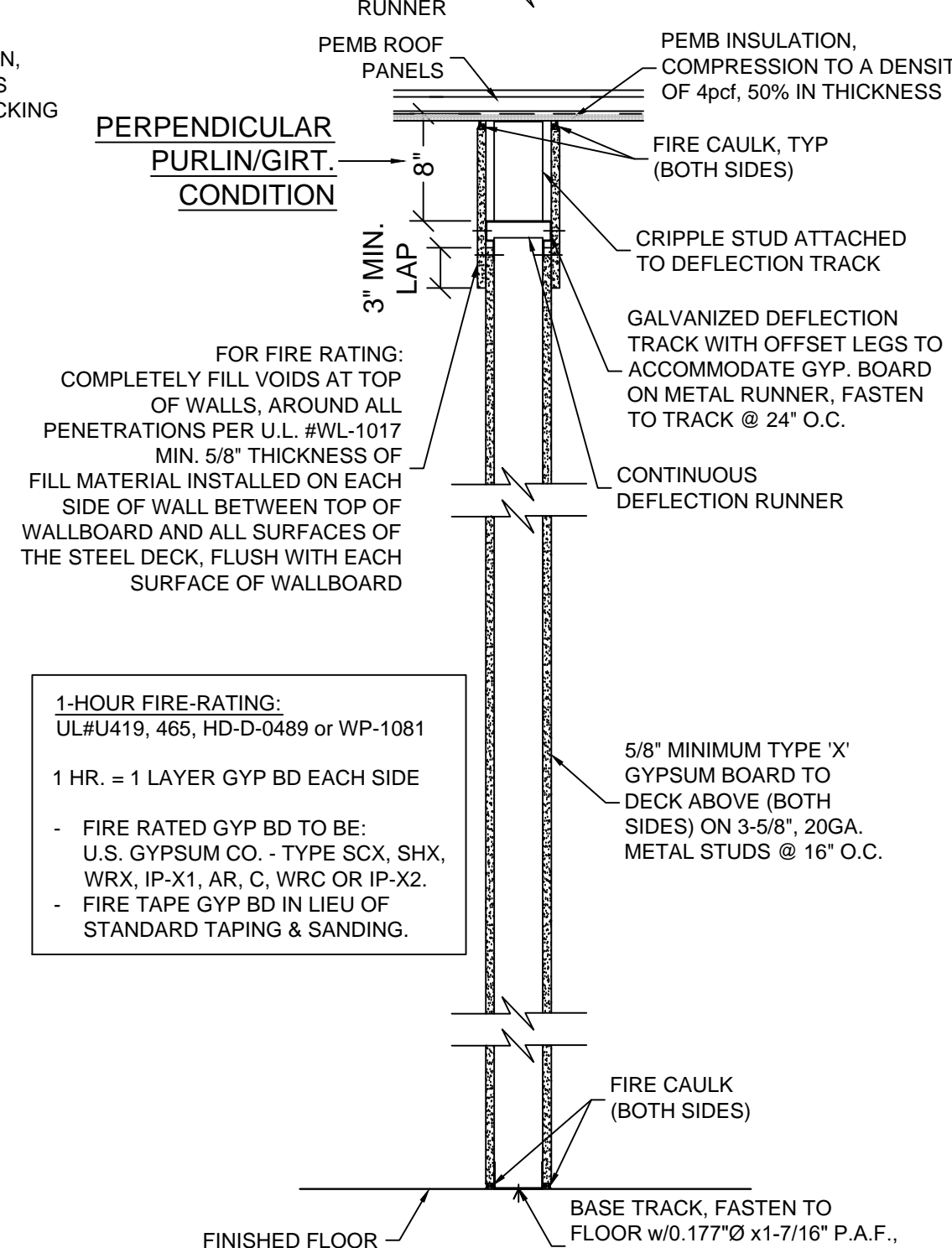
A01-LD SCALE: NTS (1/2"=1'-0")



A01-LD SCALE: NTS (1/2"=1'-0")

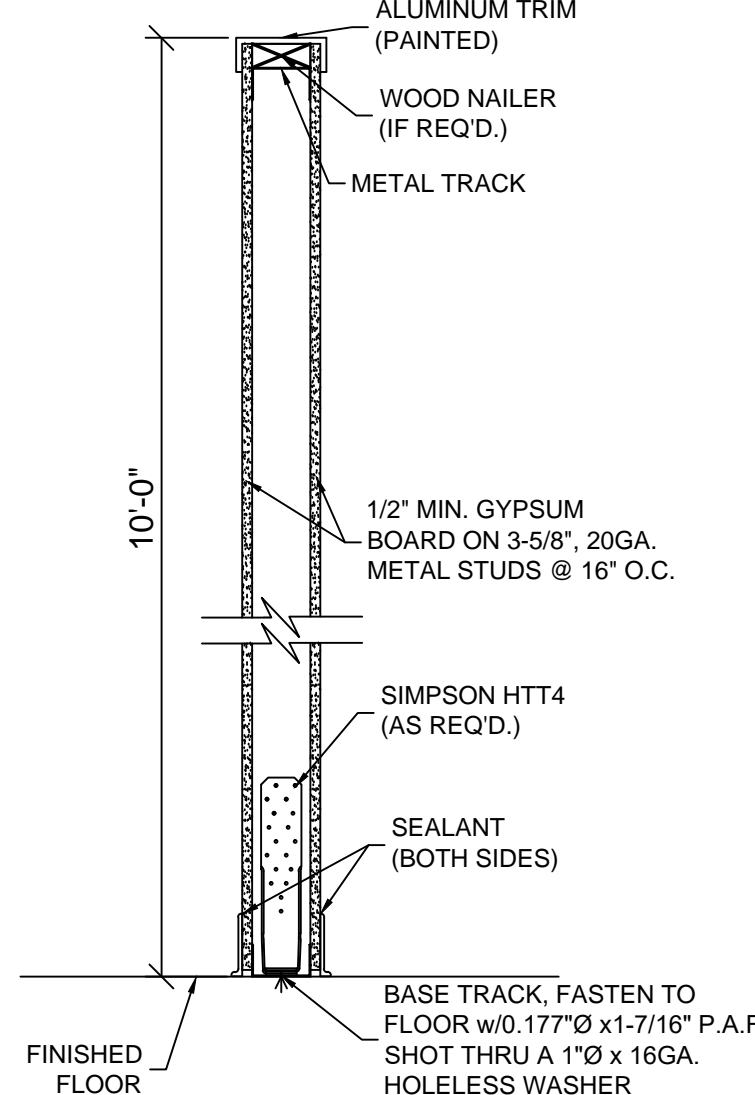


5B EXTERIOR JAMB

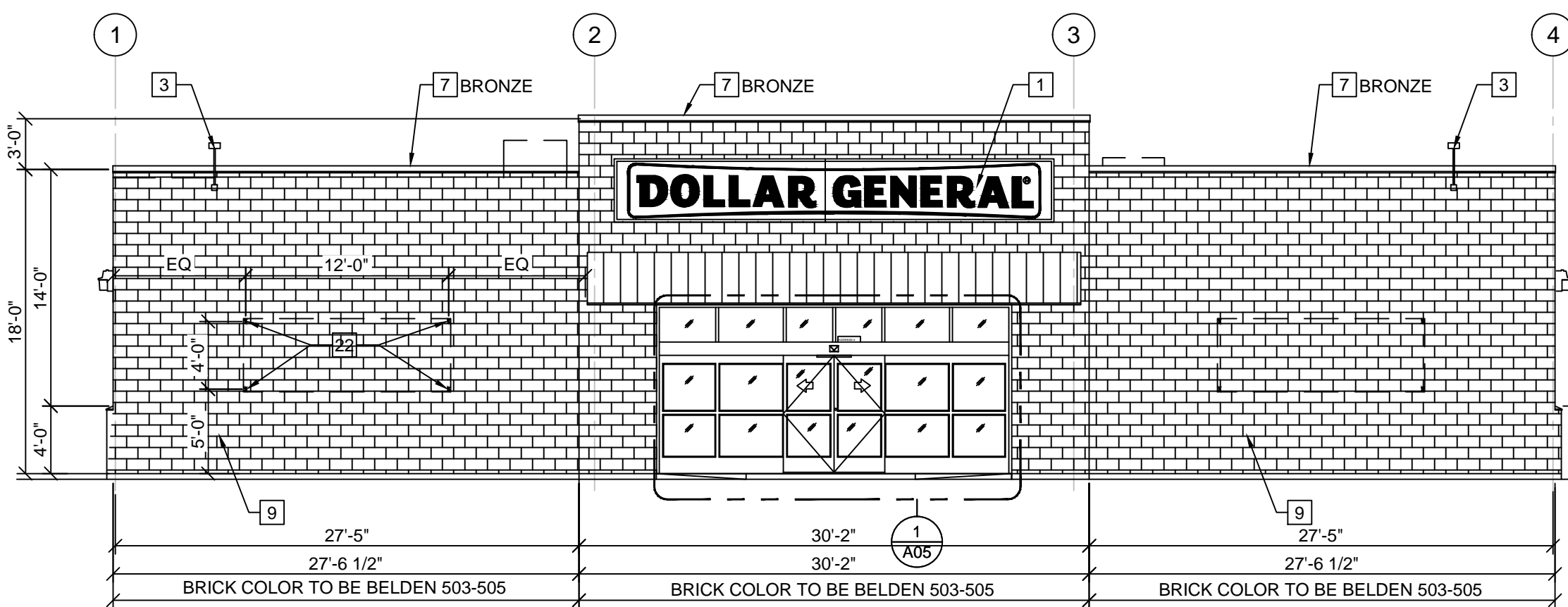


A01-LD SCALE: NTS (1"=1'-0")

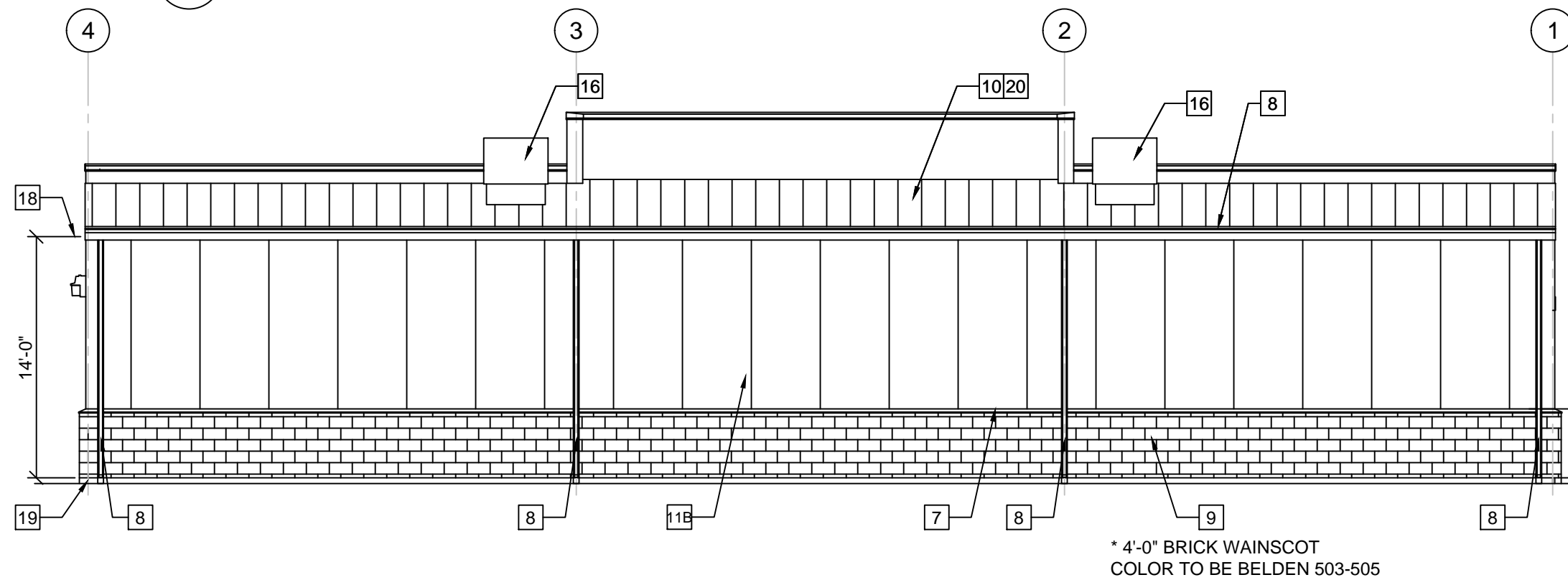
A01-LD SCALE: NTS (1"=1'-0")



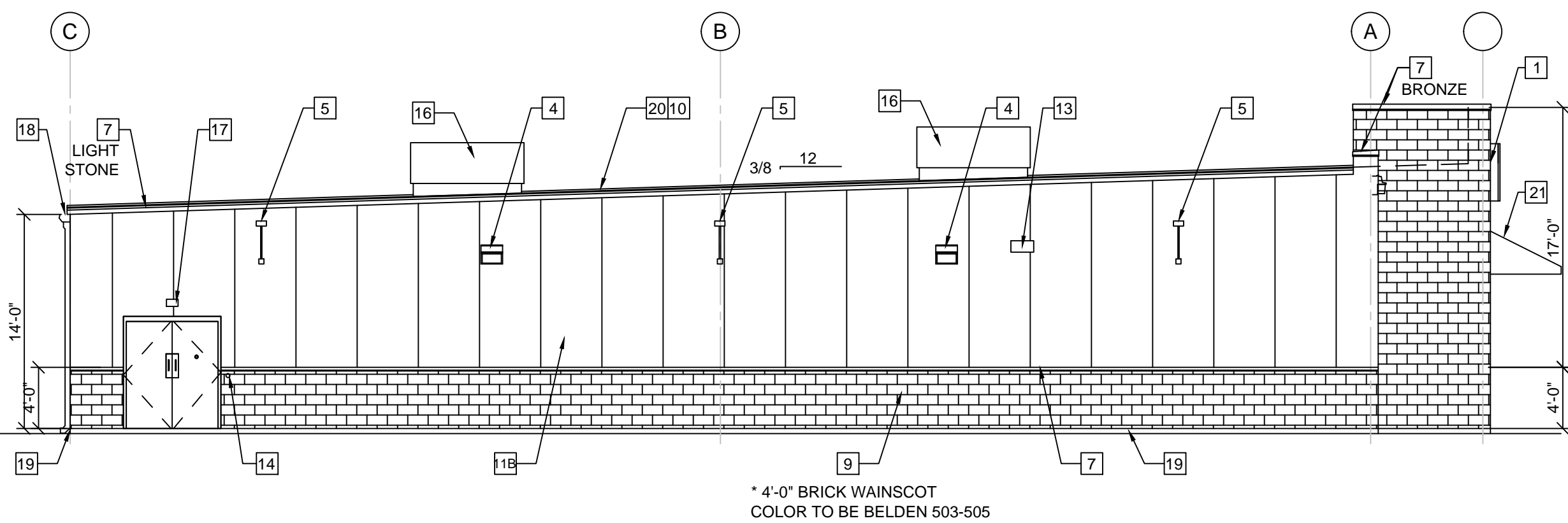
SCALE: NTS (1"=1'-0")



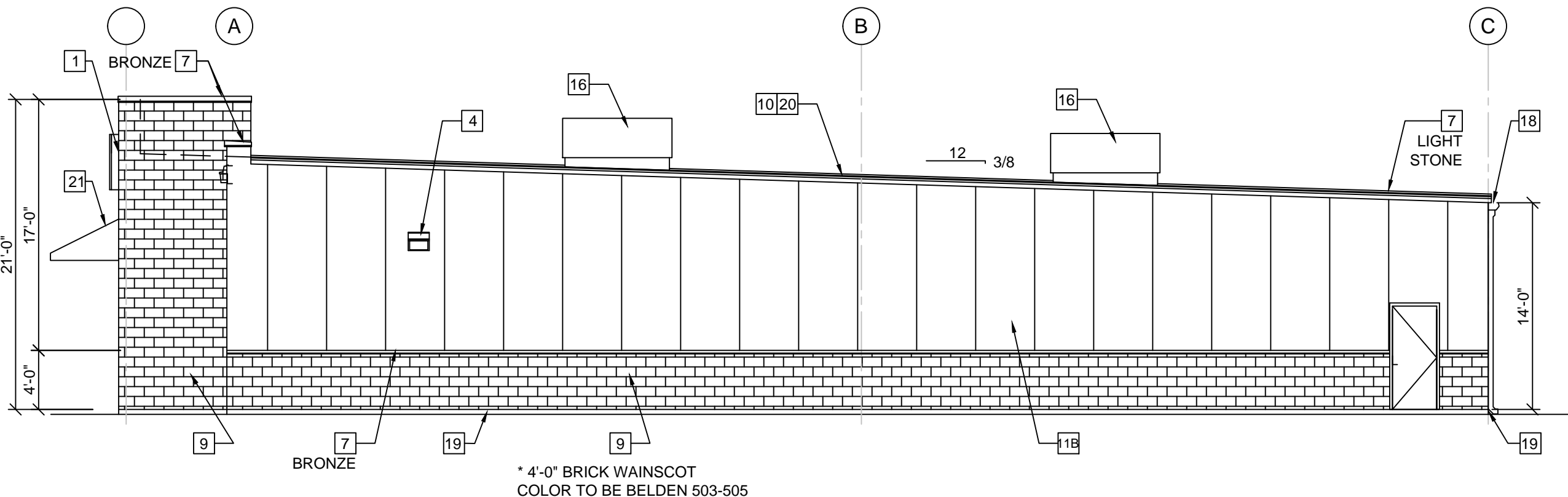
1-LD
A02
FRONT ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"



2-LD
A02
REAR ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"



3-LD
A02
LEFT SIDE ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"

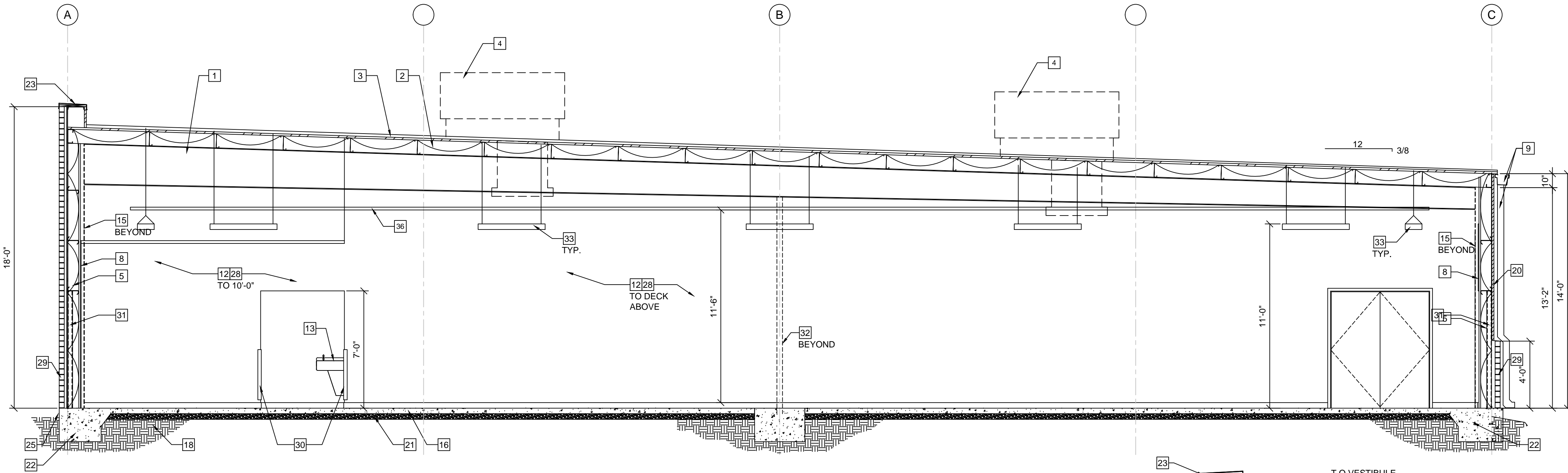


4-LD
A02
RIGHT SIDE ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"

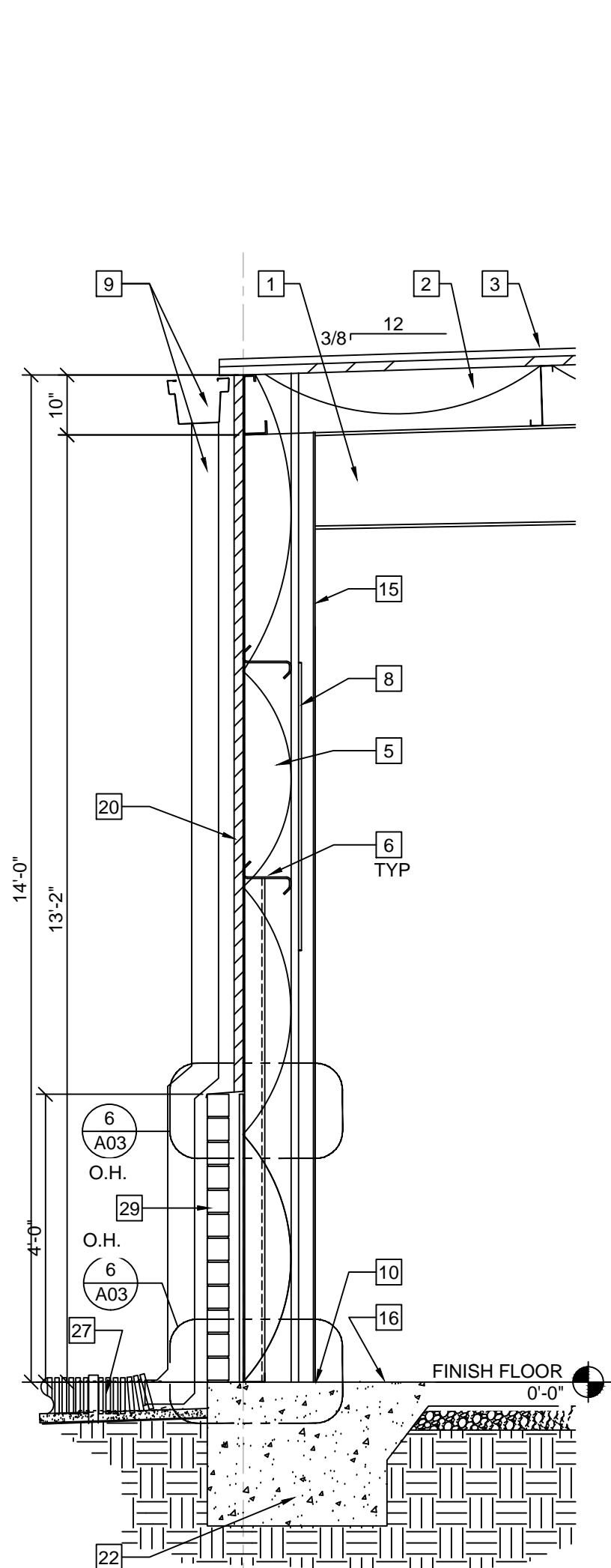
ELEVATION KEYED NOTES

- 1 SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF THE CANOPY. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- 2 NOT USED.
- 3 FLOOD LIGHT 16'-6" A.F.F. AT CENTERLINE OF CONNECTION TO WALL. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- 4 WALL PACK 12'-0" A.F.F. TO TOP OF WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 5 FLOOD LIGHT 12'-0" A.F.F. AT CENTERLINE OF CONNECTION TO WALL. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- 6 NOT USED.
- 7 TRIM/COPING/FLASHING - COLOR AS NOTED OR REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
- 8 GUTTER AND DOWNSPOUT - SEE EXTERIOR FINISH SCHEDULE FOR COLOR.
- 9 4" SMOOTH FACED ECONOMY SIZED BRICK, COLOR TO BE BELDEN 503-505.
- 10 STANDING SEAM METAL ROOF. GALVALUME FINISH.
- 11 NOT USED.
- 12 NOT USED.
- 13 KINGS PAN' SANDWICH PANELS WITH STUCCO FINISH. COLOR TO BE LIGHT STONE
- 14 NOT USED.
- 15 VENT FOR BATHROOM EXHAUST. REFER TO M01 FOR ADDITIONAL INFORMATION.
- 16 DOOR BUZZER. REFER TO E01 FOR ADDITIONAL INFORMATION.
- 17 WALL HYDRANT. REFER TO P01 FOR ADDITIONAL INFORMATION.
- 18 HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- 19 OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
- 20 MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
- 21 FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON PAVED AREAS.
- 22 NOT USED.
- 23 METAL AWNING BY PEMB MANUFACTURER. REFER TO STRUCTURAL SHEETS FOR COLOR.
- 24 1/2" DIAMETER x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.

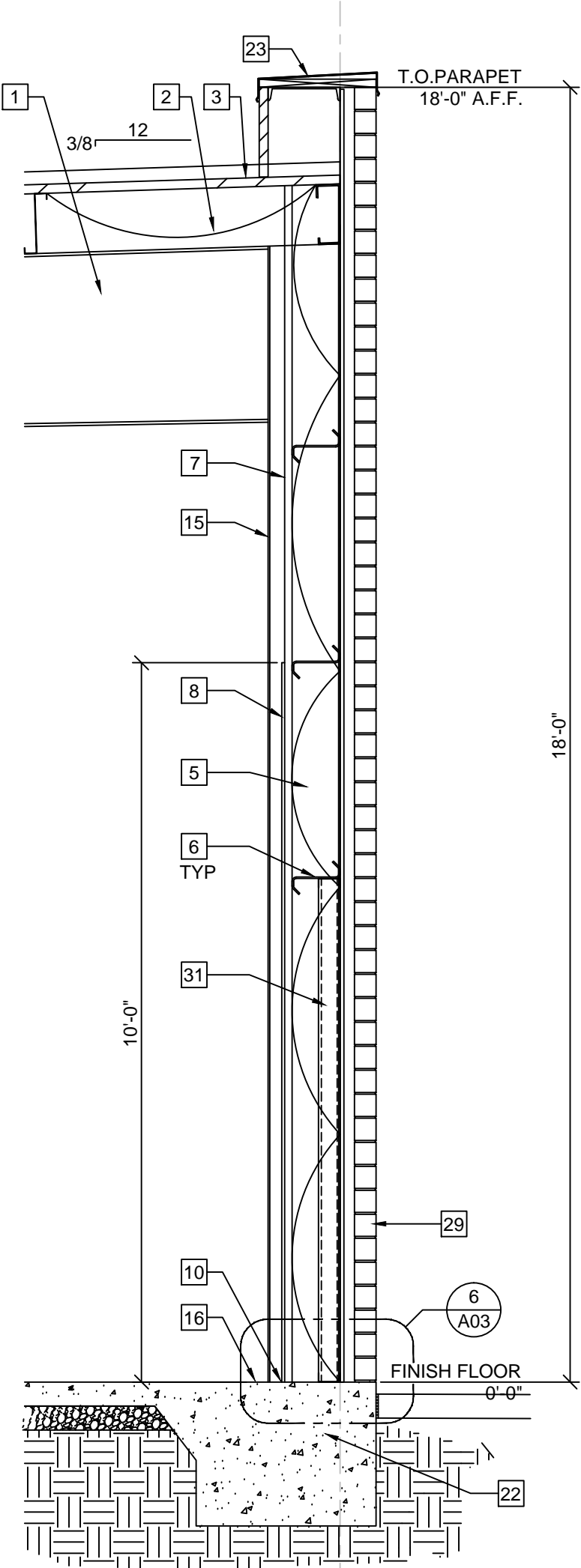




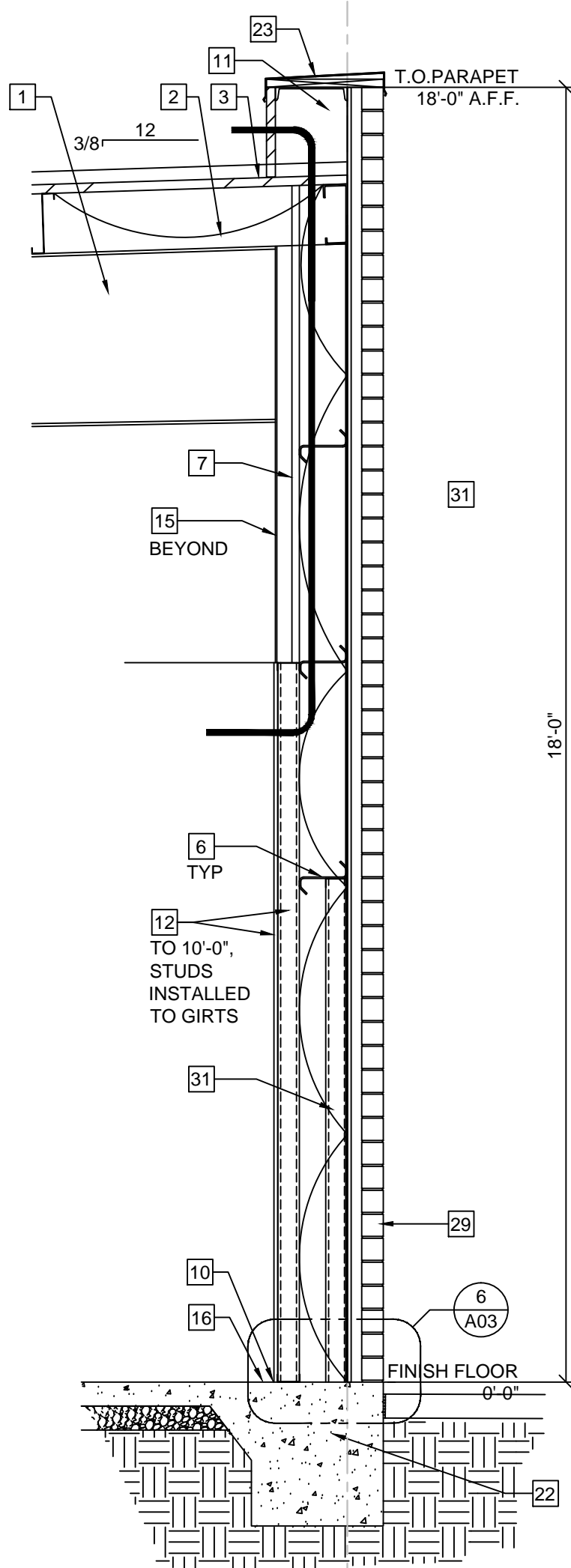
BUILDING SECTION - LEFT DELIVERY
A03-LD SCALE: (1/4"=1'-0")



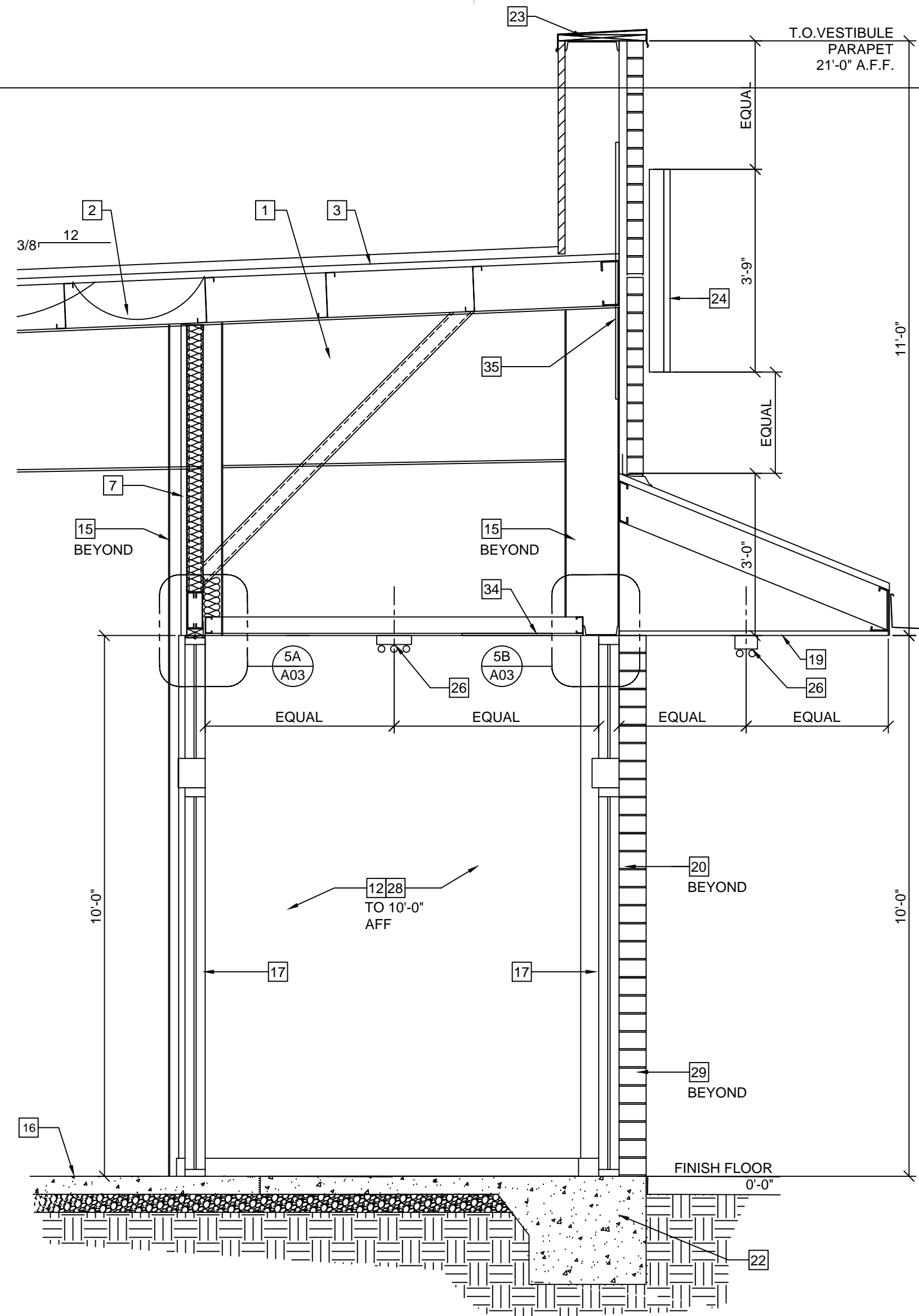
2A WALL SECTION
A03-LD SCALE: NTS (1/2"=1'-0")



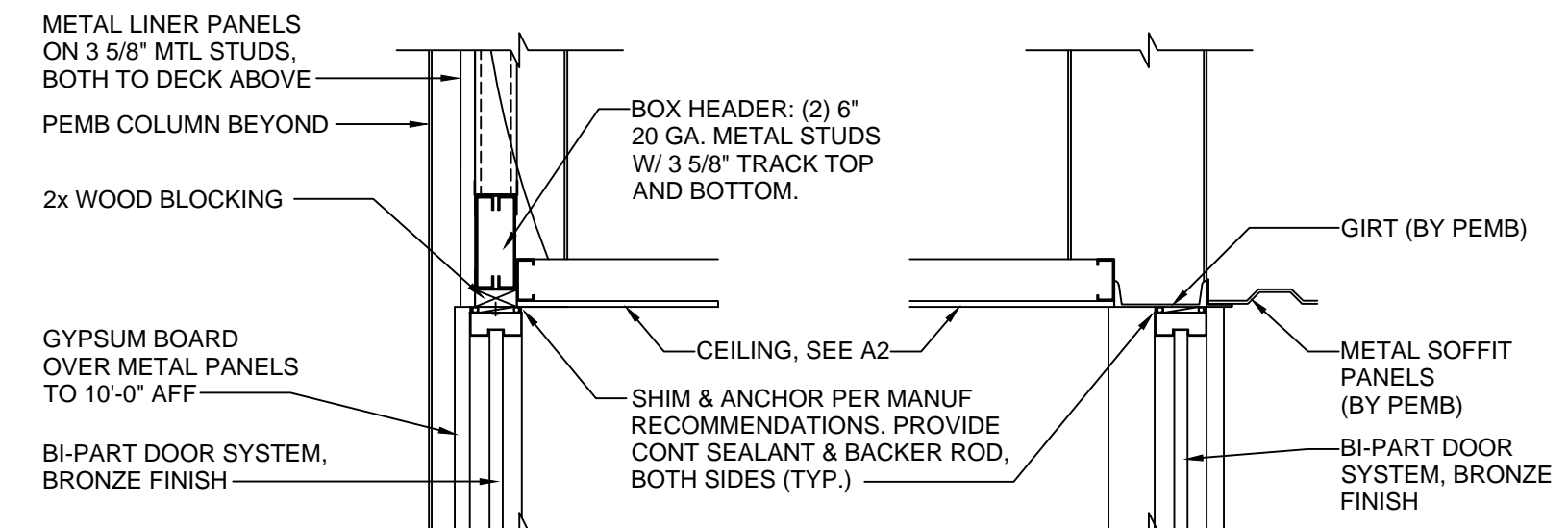
2B WALL SECTION
A03-LD SCALE: NTS (1/2"=1'-0")



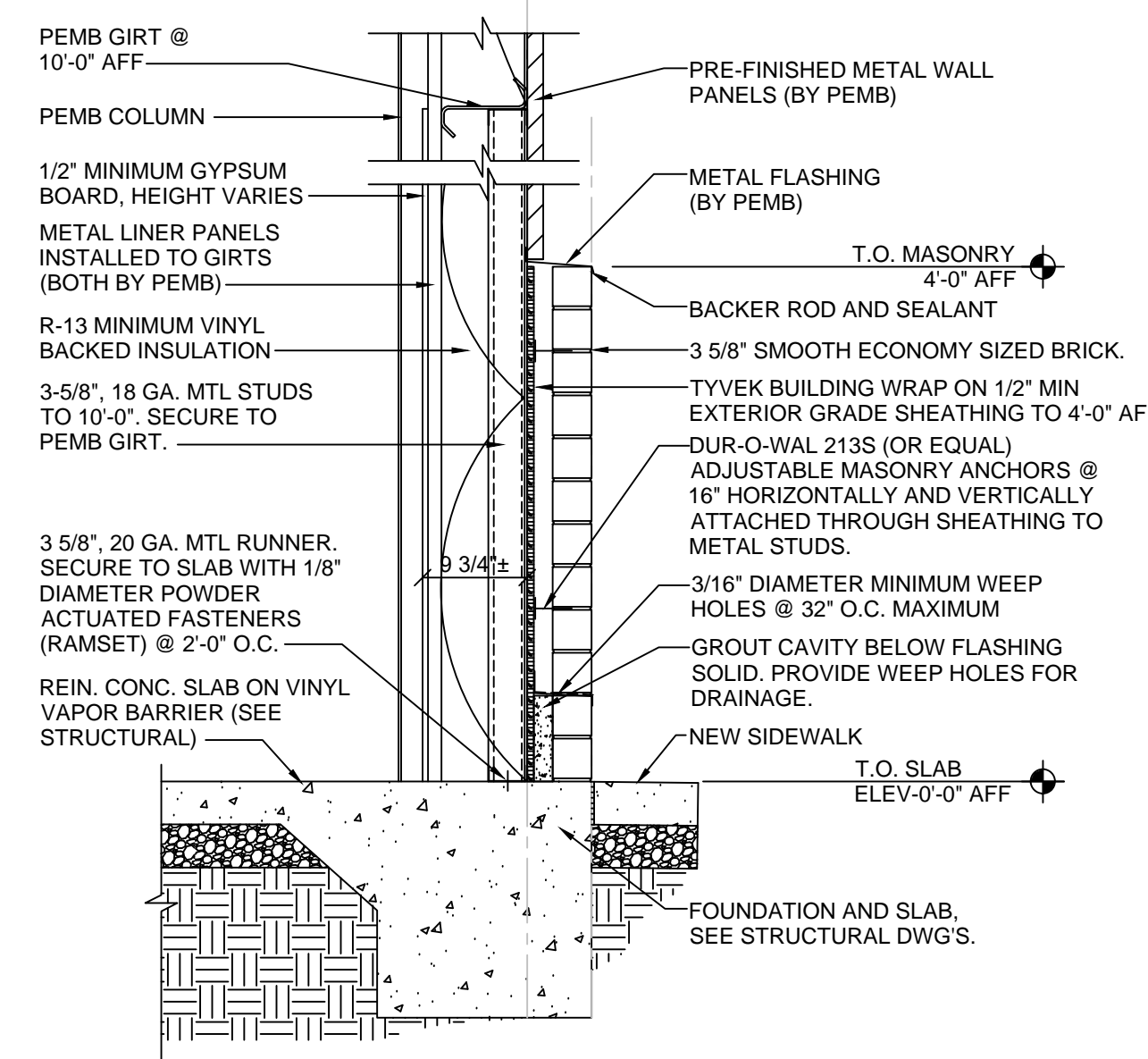
3 WALL SECTION
A03-LD SCALE: NTS (1/2"=1'-0")



4 WALL SECTION
A03-LD SCALE: NTS (1/2"=1'-0")



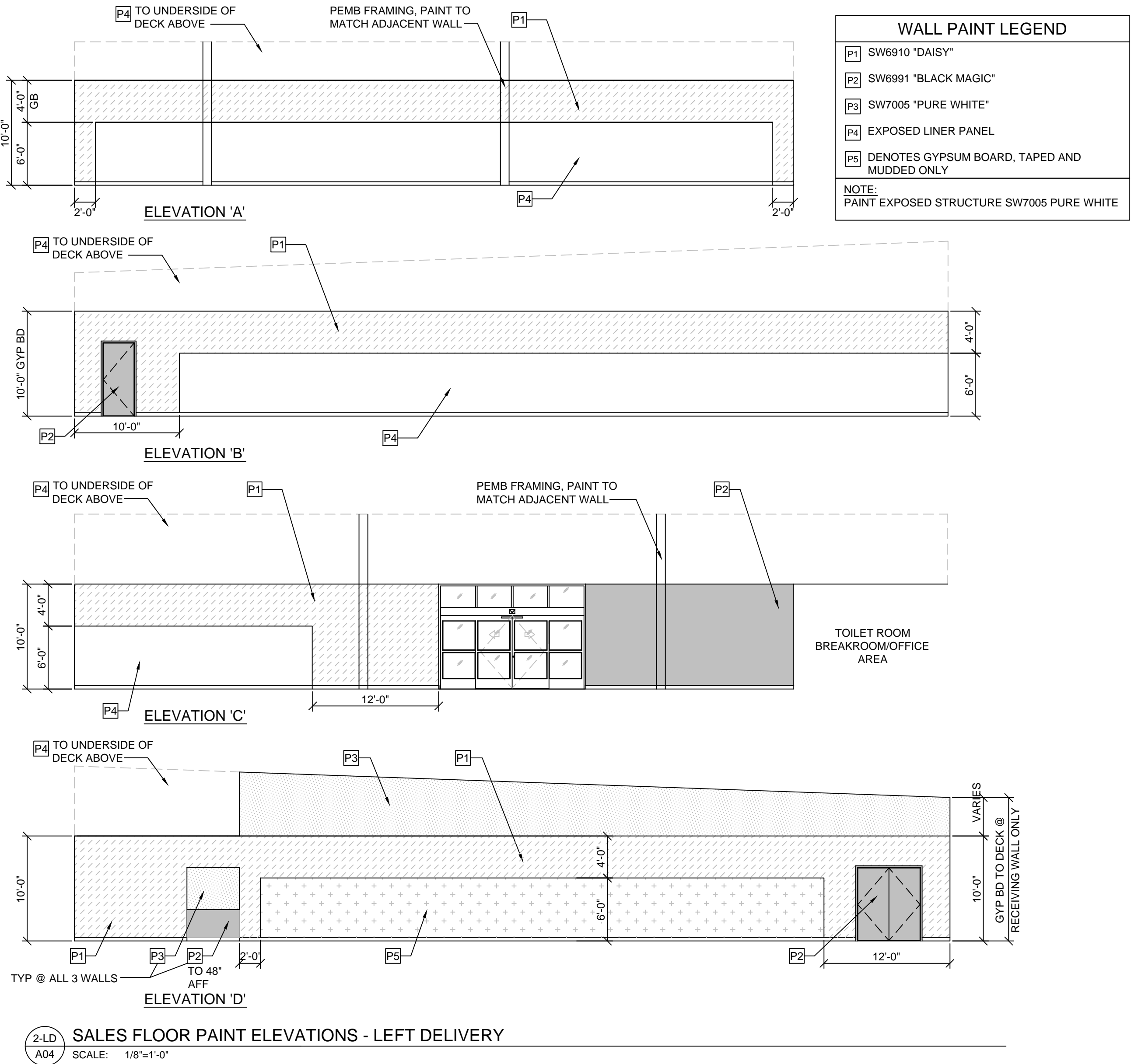
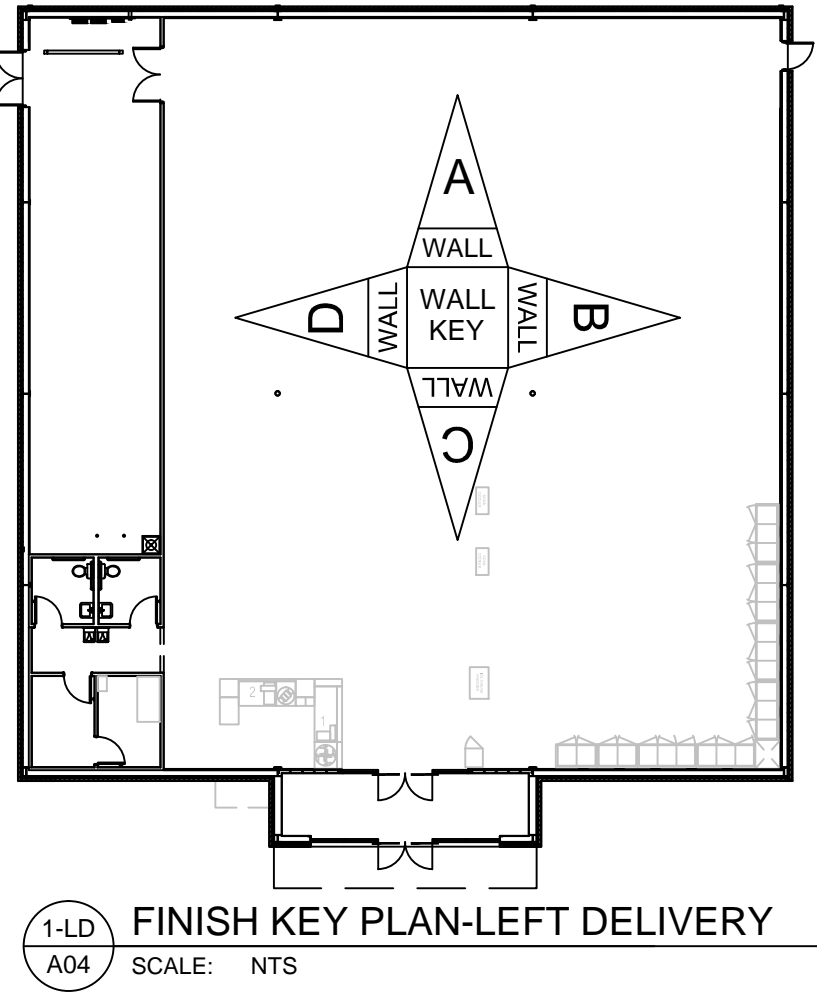
5A STOREFRONT HEAD DTL
A03-LD SCALE: NTS (3/4"=1'-0")



6 DETAIL
A03-LD SCALE: NTS (3/4"=1'-0")

SECTION KEYED NOTES	
1 PRE-ENGINEERED METAL BUILDING SYSTEM BY BUILDING MANUFACTURER.	20 PRE-FINISHED METAL WALL PANELS, REVERSE-RIB PROFILE (BY PEMB).
2 MIN. R-19 BATT INSULATION IN TWO LAYERS WITH R-5 THERMAL BLOCKS AT EACH PURLIN. (BY PEMB) - INSULATION SYSTEM TO LEAVE BOTTOM OF PURLINS EXPOSED FOR ATTACHMENTS - "SAG AND BAG" PREFERRED, "LONG TAB/BANDED FILLED CAVITY" ACCEPTABLE.	21 GRANULAR FILL.
3 STANDING SEAM METAL ROOF, GALVALUME FINISH (BY PEMB).	22 REINFORCED CONCRETE FOOTING. (REFER TO NOTES ON S2)
4 ROOF MOUNTED HVAC UNIT, SEE MECHANICAL DRAWINGS.	23 PREFINISHED METAL COPING. SEE ELEVATIONS FOR COLOR.
5 MINIMUM R-13 VINYL FACED BATT INSULATION (BY PEMB).	24 STOREFRONT SIGN (BY DOLLAR GENERAL) V REFER TO ELEVATIONS & STRUCTURAL NOTES FOR REQUIRED BLOCKING.
6 METAL BUILDING GIRT (BY PEMB).	25 FINISH GRADE (NO SIDEWALKS) AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR.
7 VERTICAL METAL LINER PANELS, 28 GA.	26 LIGHTING, REFER TO ELECTRICAL DRAWINGS.
8 1/2" MINIMUM GYPSUM BOARD OVER LINER PANELS. METAL LINER PANELS TO DECK ABOVE; T.O. GYPSUM BOARD 10'-0" AFF. PAINTED, REFER TO INTERIOR SALES FLOOR ELEVATIONS.	27 WHERE DOWNSPOUTS DISCHARGE ONTO GRADE (NO SIDEWALKS), MINIMUM 5'-0" LONG, 4" PERFORATED LANDSCAPE PIPE STRAPPED TO A 12"x24" CONCRETE SPLASH BLOCK SHALL BE INSTALLED TO PREVENT EROSION AROUND STRUCTURE.
9 PRE-FINISH GUTTER & DOWNSPOUT.	28 INTERIOR WALL - PAINTED - SEE ROOM SCHEDULE FOR MORE INFORMATION.
10 PROVIDE METAL CLOSURE. SEAL & CAULK TO RODENT PROOF BUILDING.	29 SMOOTH ECONOMY SIZED BRICK, REFER TO ELEVATIONS FOR SPECIFIED COLOR.
11 LOCATION OF 1 1/2" CONDUIT WITH PULLSTRING (ABOVE OFFICE) FOR SATELLITE LINE. PROVIDE WEATHERTIGHT SEAL AT HORIZONTAL PENETRATION. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF CONDUIT.	30 MC CUE TRIM KIT.
12 1/2" MINIMUM GYPSUM BOARD ON 3 5/8" MTL STUDS, HEIGHT AS NOTED.	31 3 5/8" 18 GA. METAL STUDS FROM FLOOR TO TO PEMB GIRT @ 10'-0" AFF. STUD TO BE INSTALLED FLUSH WITH EXTERIOR FACE OF COLUMNS.
13 ADA COMPLIANT DRINKING FOUNTAIN, REFER TO PLUMBING.	32 STEEL COLUMN (BY PEMB) WITH RECESSED BASEPLATE, WRAP WITH CARPET UP TO 48" AFF.
14 NOT USED.	33 1"x4" LIGHT FIXTURES HUNG WITH AIRCRAFT CABLE, ADD UNISTRUT TO PURLINS AS REQUIRED FOR HANGING.
15 METAL BUILDING COLUMNS SHALL BE STRAIGHT.	34 20"x30" MINIMUM ACCESS PANEL FOR SIGNAGE JUNCTION BOX; COORDINATE LOCATION WITH ELECTRICAL DRAWINGS AND SIGNAGE VENDOR.
16 REINFORCED CONCRETE SLAB ON VINYL VAPOR BARRIER.	35 BLOCKING FOR BUILDING SIGNAGE. COORDINATE WITH SIGN VENDOR.
17 ALUMINUM BI-PART DOOR AND STOREFRONT GLAZING SYSTEM, COLOR BRONZE.	36 CABLE TRAY - SEE A09
18 UNDISTURBED EARTH AND COMPACTED SUB GRADE.	
19 SOFFIT BEYOND (BY PEMB).	

ROOM SCHEDULE																
NO	ROOM NAME	FLOOR		BASE		A WALL		B WALL		C WALL		D WALL		CEILING		REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
100	BREAK ROOM	SEALED CONCRETE	CONCRETE WITH SEALER	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD TO 10'-0" A.F.F.	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F.	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F. WHITE METAL LINER PANELS ABOVE	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F. WHITE METAL LINER PANELS ABOVE	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	EXPOSED TO STRUCTURE ABOVE	N/A	
101	OFFICE	SEALED CONCRETE	CONCRETE WITH SEALER	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD TO 10'-0" A.F.F.	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F.	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F. WHITE METAL LINER PANELS ABOVE	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F. WHITE METAL LINER PANELS ABOVE	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	EXPOSED TO STRUCTURE ABOVE	N/A	
102	SALES AREA	POLISHED CONCRETE (STEPS 1-9)	POLISHED CONCRETE WITH SEALER	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD ON WHITE METAL LINER PANELS. REFER TO ELEVATIONS	SHERWIN WILLIAMS, PRO-MAR LATEX SATIN. SEE ELEVS ON THIS SHEET.	GYPSUM BOARD ON WHITE METAL LINER PANELS. REFER TO ELEVATIONS	SHERWIN WILLIAMS, PRO-MAR LATEX SATIN. SEE ELEVS ON THIS SHEET.	GYPSUM BOARD ON WHITE METAL LINER PANELS. REFER TO ELEVATIONS	SHERWIN WILLIAMS, PRO-MAR LATEX SATIN. SEE ELEVS ON THIS SHEET.	GYPSUM BOARD TO HEIGHT INDICATED ON WALL SECTIONS	SHERWIN WILLIAMS, PRO-MAR LATEX SATIN. SEE ELEVS ON THIS SHEET.	EXPOSED TO STRUCTURE ABOVE	N/A	
103	RECEIVING AREA	SEALED CONCRETE	CONCRETE WITH SEALER	N/A	N/A	METAL LINER PANEL TO 8'-0" A.F.F.	WHITE (SEE EXTERIOR FINISH SCHEDULE	GYPSUM BOARD TO ROOF DECK	TAPED, PAINTED AS REQ'D BY CODE. METAL LINER PANEL TO DECK AS ALTERNATE.	GYPSUM BOARD TO ROOF DECK	TAPED, PAINTED AS REQ'D BY CODE. METAL LINER PANEL TO DECK AS ALTERNATE.	METAL LINER PANEL TO 8'-0" A.F.F.	WHITE (SEE EXTERIOR FINISH SCHEDULE	EXPOSED TO STRUCTURE ABOVE	N/A	
104	MENS	SEALED CONCRETE	SHERWIN WILLIAMS ACRYLIC SILICONE SILK CHOCOLATE HC-117	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYP BD OR ACT CEILING @ 8'-0" A.F.F.	WHITE	
105	WOMENS	SEALED CONCRETE	SHERWIN WILLIAMS ACRYLIC SILICONE SILK CHOCOLATE HC-117	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYP BD OR ACT CEILING @ 8'-0" A.F.F.	WHITE	
106	VESTIBULE	POLISHED CONCRETE (STEPS 1-9)	POLISHED CONCRETE WITH SEALER	4" RUBBER / VINYL BASE	BLACK	CMU	SHERWIN WILLIAMS - SW6991-BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS.	CMU	SHERWIN WILLIAMS - SW6991-BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS.	CMU	SHERWIN WILLIAMS - SW6991-BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS.	CMU	SHERWIN WILLIAMS - SW6991-BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS.	EXTERIOR GRADE GYP BD @ 10'-0"	WHITE	
107	HALLWAY	POLISHED CONCRETE (STEPS 1-9)	POLISHED CONCRETE WITH SEALER	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD TO ROOF DECK	SHERWIN WILLIAMS - SW6991-BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS TO 48" AFF. SHERWIN WILLIAMS - SW7005 PURE WHITE, PRO-MAR LATEX SEMI-GLOSS ABOVE 48" AFF.	GYPSUM BOARD TO 10'-0" AFF	SHERWIN WILLIAMS - SW7005 PURE WHITE, PRO-MAR LATEX SEMI-GLOSS ABOVE 48" AFF.	GYPSUM BOARD TO 10'-0" AFF	SHERWIN WILLIAMS - SW6991-BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS TO 48" AFF. SHERWIN WILLIAMS - SW7005 PURE WHITE, PRO-MAR LATEX SEMI-GLOSS ABOVE 48" AFF.	GYPSUM BOARD TO 10'-0" AFF	SHERWIN WILLIAMS - SW6991-BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS TO 48" AFF. SHERWIN WILLIAMS - SW7005 PURE WHITE, PRO-MAR LATEX SEMI-GLOSS ABOVE 48" AFF.	EXPOSED TO STRUCTURE ABOVE	N/A	



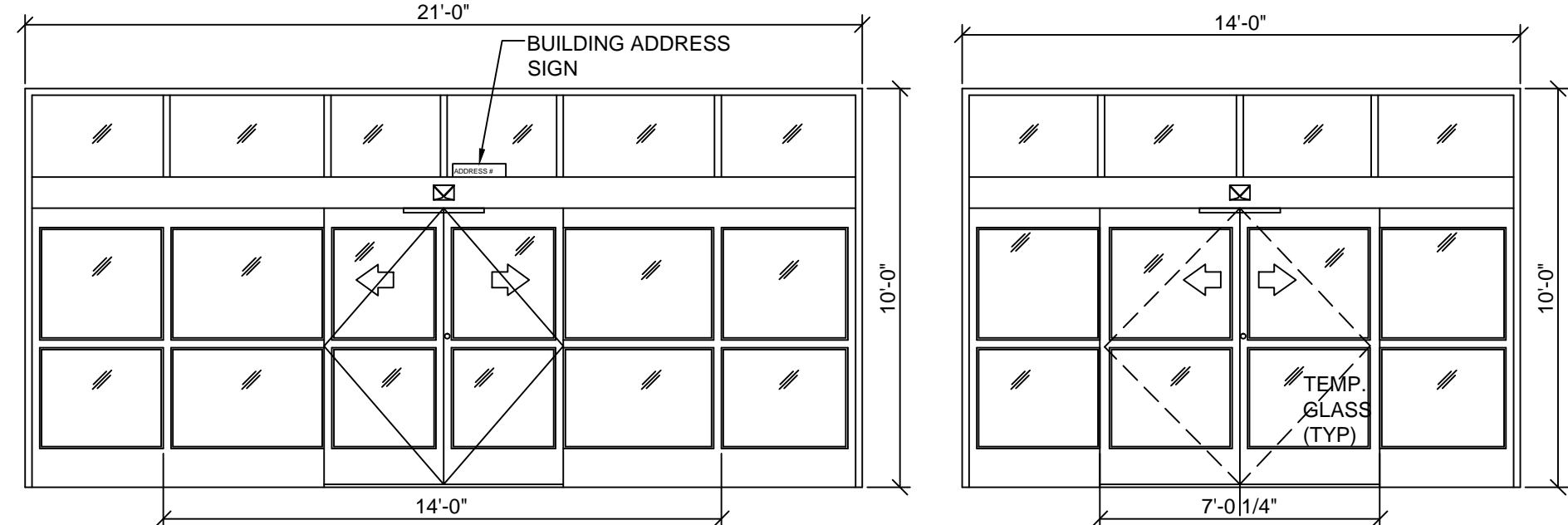
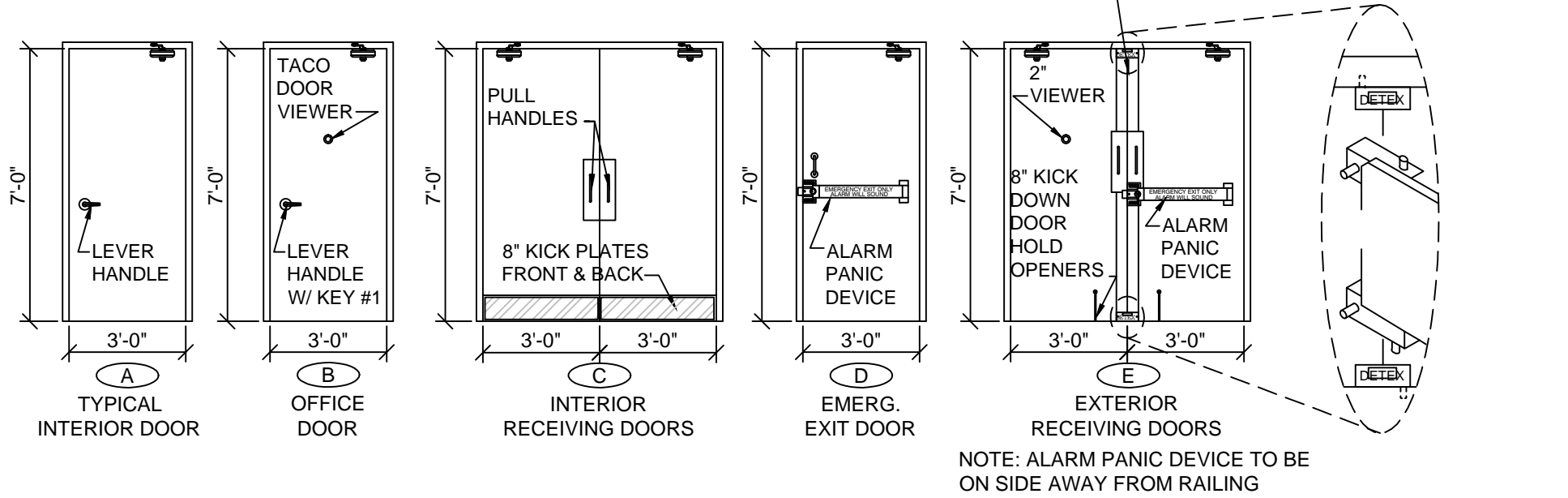
DOOR SCHEDULE									
NO.	Type	SIZE			DETAILS		DOOR HARDWARE	REMARKS	
		W	H	T	HEAD	JAMB			
100	A	3' - 0"	7' - 0"	1 3/4"	5/A5	4/A5	(1) STANLEY PASSAGE LOCKSET OCL230-E-626-S4 - NO KEY REQUIRED, (1) STANLEY DOOR CLOSER QDC311-689, (1) IVES WALL STOP #402-1/2B-26D	SOLID CORE WOOD DOOR OR HOLLOW CORE METAL DOOR PAINTED SW6991, BLACK MAGIC (SEMI-GLOSS).	
101	B	3' - 0"	7' - 0"	1 3/4"	5/A5	4/A5	(1) STANLEY STOREROOM LOCKSET QCL270-E-626-S4-SC-KD - KEY #1, (1) STANLEY DOOR CLOSER QDC311-689, (1) IVES WALL STOP #402-1/2B-26D, (1) TACO DOOR VIEWER #TA3310PC.	SOLID WOOD DOOR OR HOLLOW CORE METAL DOOR PAINTED SW6991, BLACK MAGIC (SEMI-GLOSS).	
102	D	3' - 0"	7' - 0"	1 3/4"	3/A5	2/A5	(1) VON DUPRIN GUARD-X EXIT ALARM LOCK #2670-28, (1) STANLEY DOOR CLOSER QDC311-689, (1) DOOR PULL 8N US28, (1) DOOR SWEEP, WEATHERSTRIPPING, (1) 7015SC8-26D-RIM CYLINDER	HOLLOW CORE METAL DOOR, PAINT EXTERIOR SW7041, VAN DYKE BROWN (SEMI-GLOSS); PAINT INTERIOR SW6991, BLACK MAGIC (SEMI-GLOSS).	
103A	C	6' - 0"	7' - 0"	1 3/4"	5/A5	4/A5	(2) BURNS PULL PLATES #5410-32D-26D-GRIP, (2) BURNS PUSH PLATES #54-US32D, (4) IVES KICK PLATES #8400-S32D-8X34 (2) STANLEY DOOR CLOSERS QDC311-689, (2) IVES 4" DOOR HOLDER #452B26D - IF NOT FIRE RATED WALL.	FIRE RATED DOORS, SOLID CORE WOOD DOOR OR HOLLOW METAL DOOR PAINTED SW6991, BLACK MAGIC (SEMI-GLOSS).	
103B	E	6' - 0"	7' - 0"	1 3/4"	3/A5	2/A5	(1) VON DUPRIN GUARD-X EXIT ALARM LOCK #2670-28, (1) VON DUPRIN GUARD-X DOUBLE DOOR STRIKE #2609, (1) DETEX DOUBLE DOOR HOLDER #DDH-2250 TOP & BOTTOM, (2) STANLEY DOOR CLOSERS QDC311-689 (2) BURNS PULL PLATES #5410-32D-26D-GRIP (2) BURNS PUSH PLATES #54-US32D, (1) 2" DOOR SCOPE #DS/1000MB, (2) 8" DOOR HOLDERS #608Z, (1) NATIONAL GUARD HD THRESHOLD #425 HD-6 FT., (2) DOOR SWEEPS, WEATHERSTRIPPING, (1)7015SC8-26D RIM CYLINDER	HOLLOW CORE METAL DOOR, PAINT EXTERIOR SW7041, VAN DYKE BROWN (SEMI-GLOSS); PAINT INTERIOR SW6991, BLACK MAGIC (SEMI-GLOSS).	
104	A	3' - 0"	7' - 0"	1 3/4"	5/A5	4/A5	(1) STANLEY STOREROOM LOCKSET QCL270-E-626-S4-SC-KD - KEY #2, (1) STANLEY DOOR CLOSER QDC311-689, (1) IVES WALL STOP #402-1/2B-26D.	SOLID WOOD DOOR OR HOLLOW CORE METAL DOOR PAINTED SW6991, BLACK MAGIC (SEMI-GLOSS).	
105	A	3' - 0"	7' - 0"	1 3/4"	5/A5	4/A5	(1) STANLEY STOREROOM LOCKSET QCL270-E-626-S4-SC-KD - KEY #2, (1) STANLEY DOOR CLOSER QDC311-689, (1) IVES WALL STOP #402-1/2B-26D.	SOLID WOOD DOOR OR HOLLOW CORE METAL DOOR PAINTED SW6991, BLACK MAGIC (SEMI-GLOSS).	
106A	F	6' - 0"	7' - 0"		---	---	BY DOOR MANUFACTURER TO BE RE-KEYED BY DOLLAR GENERAL AREA MANAGER WITH (1) ILCO RIM CYLINDER #7015SC8-26D.	21'-0" BI-PART WITH TRANSOM AND GLASS, BRONZE FINISH. REFER TO COVER SHEET FOR VENDOR INFORMATION.	
106B	G	6' - 0"	7' - 0"		---	---	BY DOOR MANUFACTURER TO BE RE-KEYED BY DOLLAR GENERAL AREA MANAGER WITH (1) ILCO RIM CYLINDER #7015SC8-26D.	14'-0" BI-PART WITH TRANSOM AND GLASS, BRONZE FINISH. REFER TO COVER SHEET FOR VENDOR INFORMATION.	

NOTE: PULL HANDLES AND
DOOR CLOSERS ARE TO BE
LOCATED ON THE
NON-SALES SIDE OF DOORS.

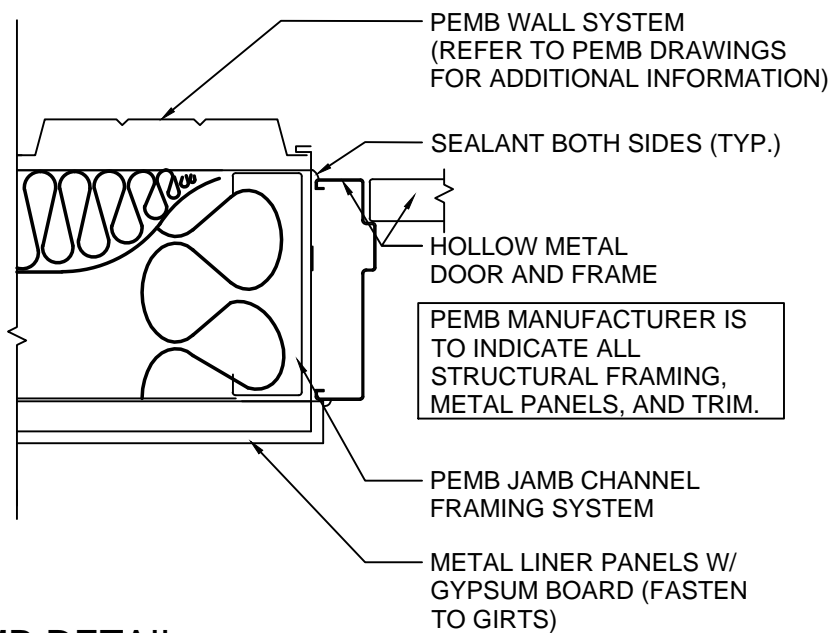
NOTE: PULL HANDLES AND
DOOR CLOSERS ARE TO BE
LOCATED ON THE
RECEIVING SIDE OF DOORS.

FULL HEIGHT
ASTRAGAL (EXT.)

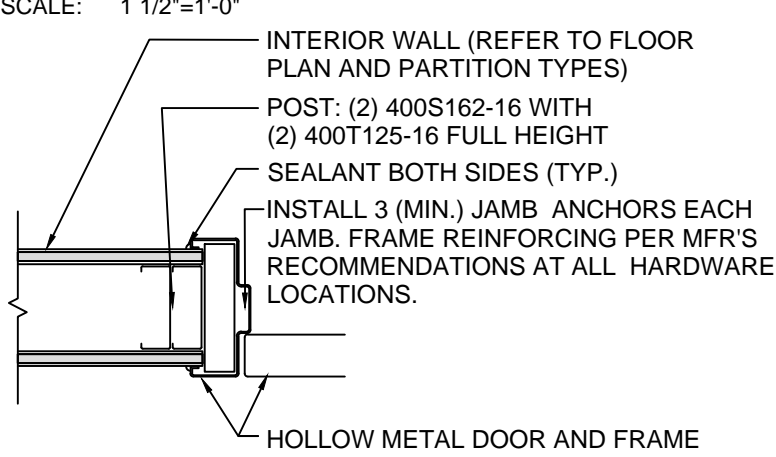
DETEX DOUBLE DOOR
HOLDER MODEL# DDH-2250
INSTALLED TOP AND
BOTTOM



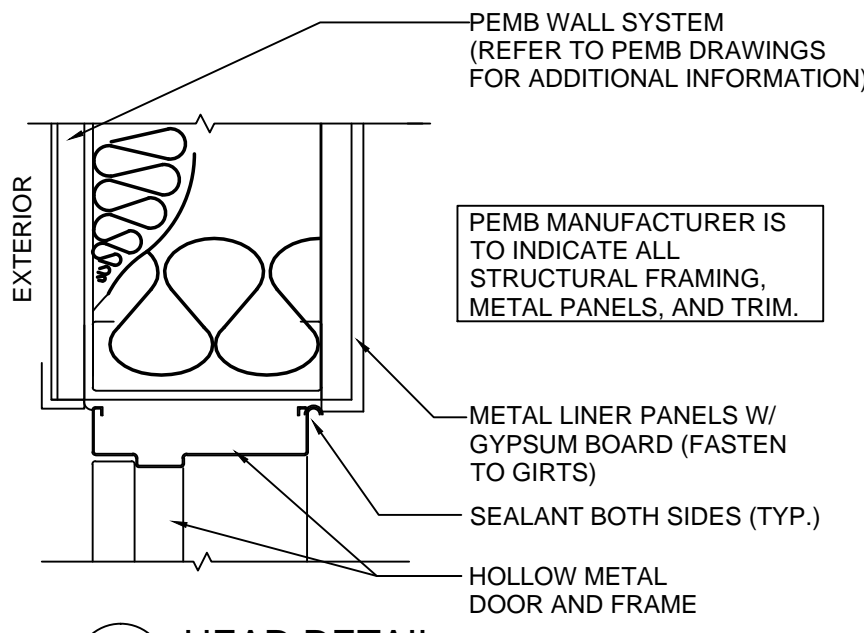
1 DOOR ELEVATIONS
SCALE: 1/4"=1'-0"



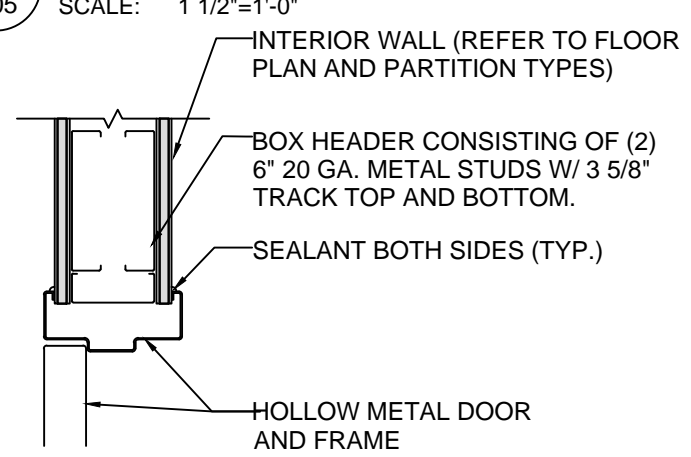
2 JAMB DETAIL
SCALE: 1 1/2"=1'-0"



4 JAMB DETAIL
SCALE: 1 1/2"=1'-0"

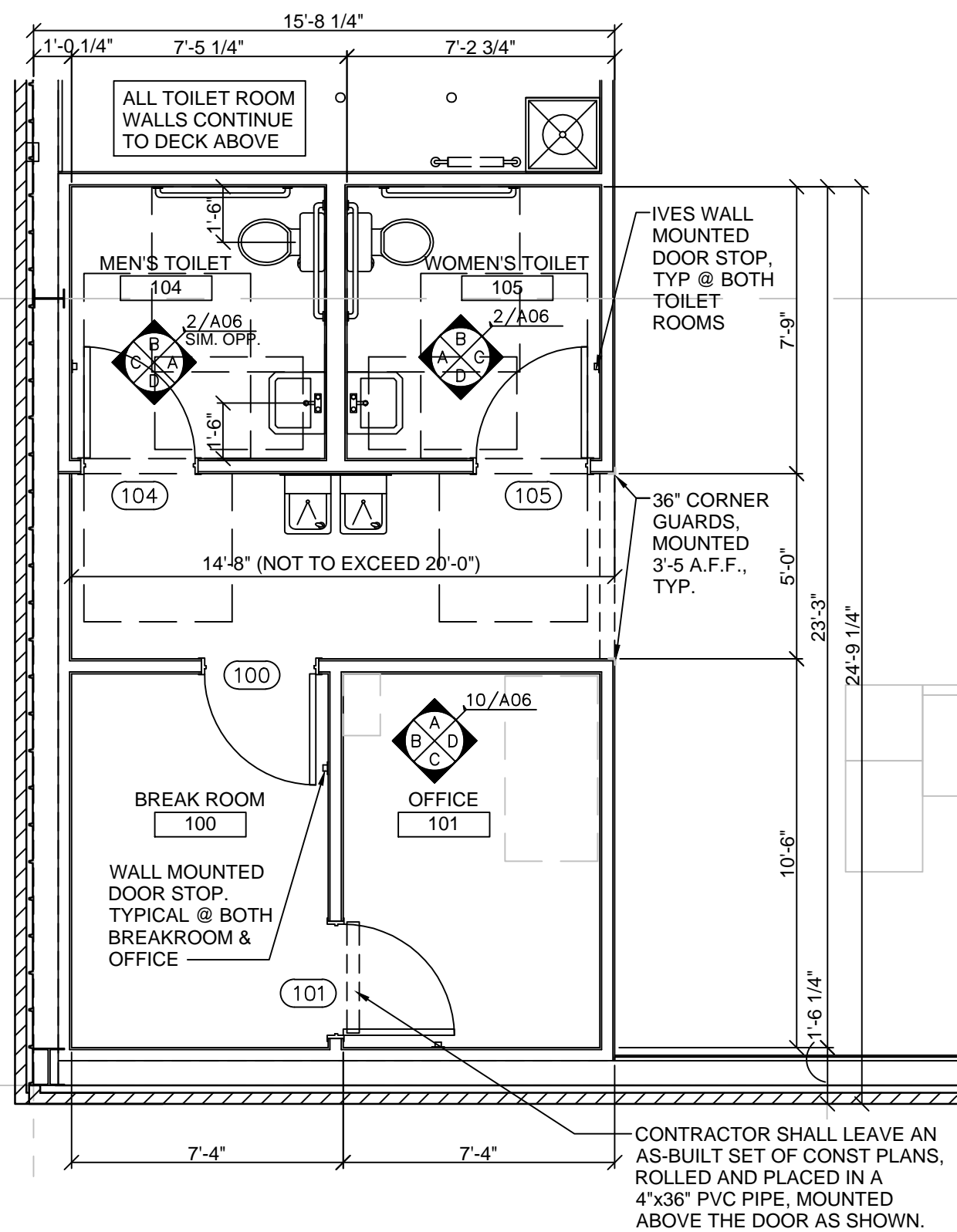


3 HEAD DETAIL
SCALE: 1 1/2"=1'-0"

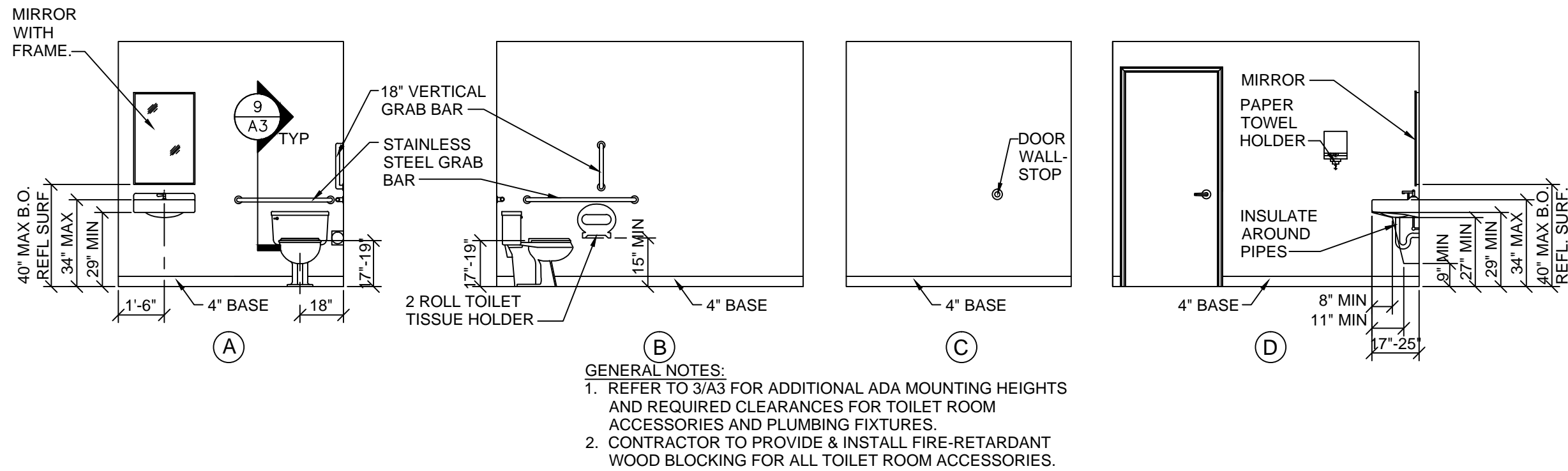


5 HEAD DETAIL
SCALE: 1 1/2"=1'-0"

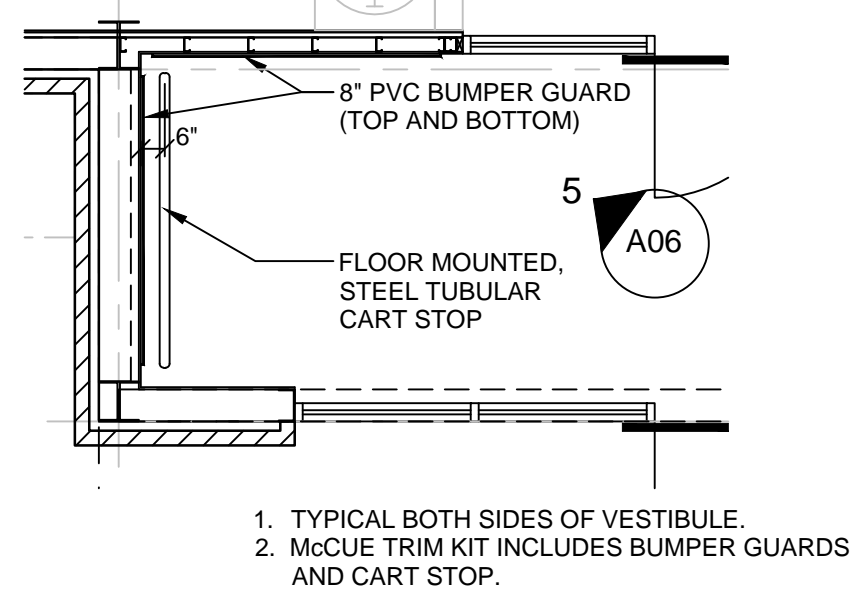
DOOR 103A-FIRE-RATED DOOR HARDWARE:
(2) SVR EXIT QED316-36"-7FT-689
(1) EXIT TRIM QRT330-E-SC-KD-689
(2) BURNS PULL PLATES #5410-32D-26D-GRIP,
(2) BURNS PUSH PLATES #54-US32D, (4) IVES KICK PLATES #8400-S32D-8X34
(2) STANLEY DOOR CLOSERS QDC311-689.



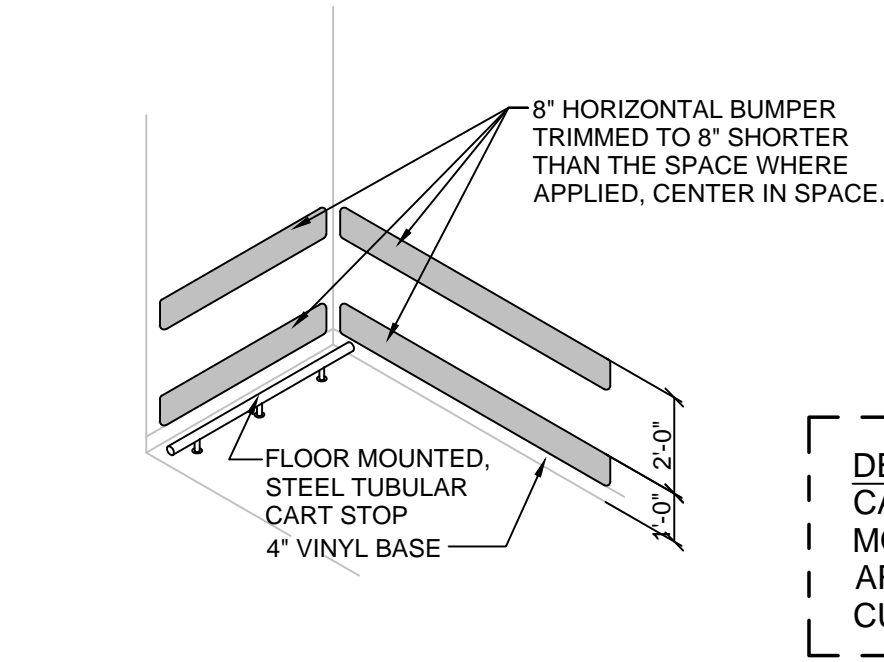
1-LD A06 RESTROOM/OFFICE/BREAKROOM PLAN-LEFT DELIVERY
SCALE: NTS (1/4" = 1'-0")



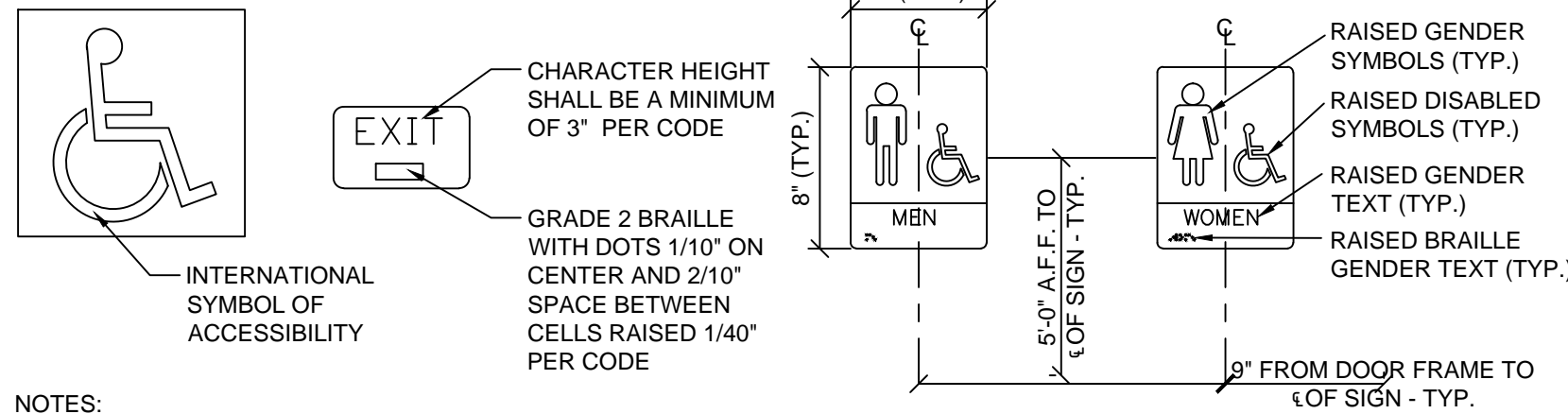
2 TOILET ROOM ELEVATIONS
SCALE: NTS (1/4" = 1'-0")



4 ENLARGED CART AREA
SCALE: NTS (1/4" = 1'-0")



5 CART AREA DETAIL
SCALE: NTS



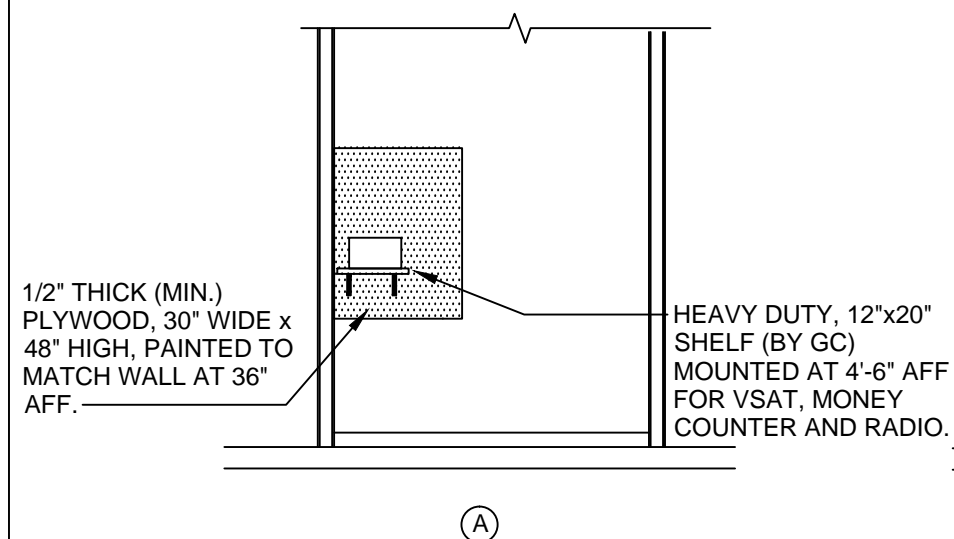
- NOTES:
- SIGNS SHALL CONFORM TO ANSI OR LOCAL ACCESSIBILITY GUIDELINES WHICHEVER IS MORE STRINGENT.
 - ALL BUILDINGS AND ENTRANCES THAT ARE ACCESSIBLE AND USABLE BY PERSONS WITH DISABILITIES SHALL BE IDENTIFIED WITH A MINIMUM OF ONE INTERNATIONAL SYMBOL OF ACCESSIBILITY.
 - G.C. TO PROVIDE TACTILE "EXIT" SIGNS AT ALL GRADE LEVEL EXIT DOORS PER CODE.
 - SIGNS TO BE INSTALLED ON THE LATCH SIDE OF THE DOOR, OR IF NO SPACE ON THE NEAREST WALL PREFERABLY ON THE RIGHT. SIGNAGE SHALL HAVE NON GLARE FINISH W/ A CONTRASTING BACKGROUND. SEE A1 FOR LOCATION OF SIGNAGE.

6 ACCESSIBLE SIGNAGE
SCALE: NTS (1 1/2" = 1'-0")

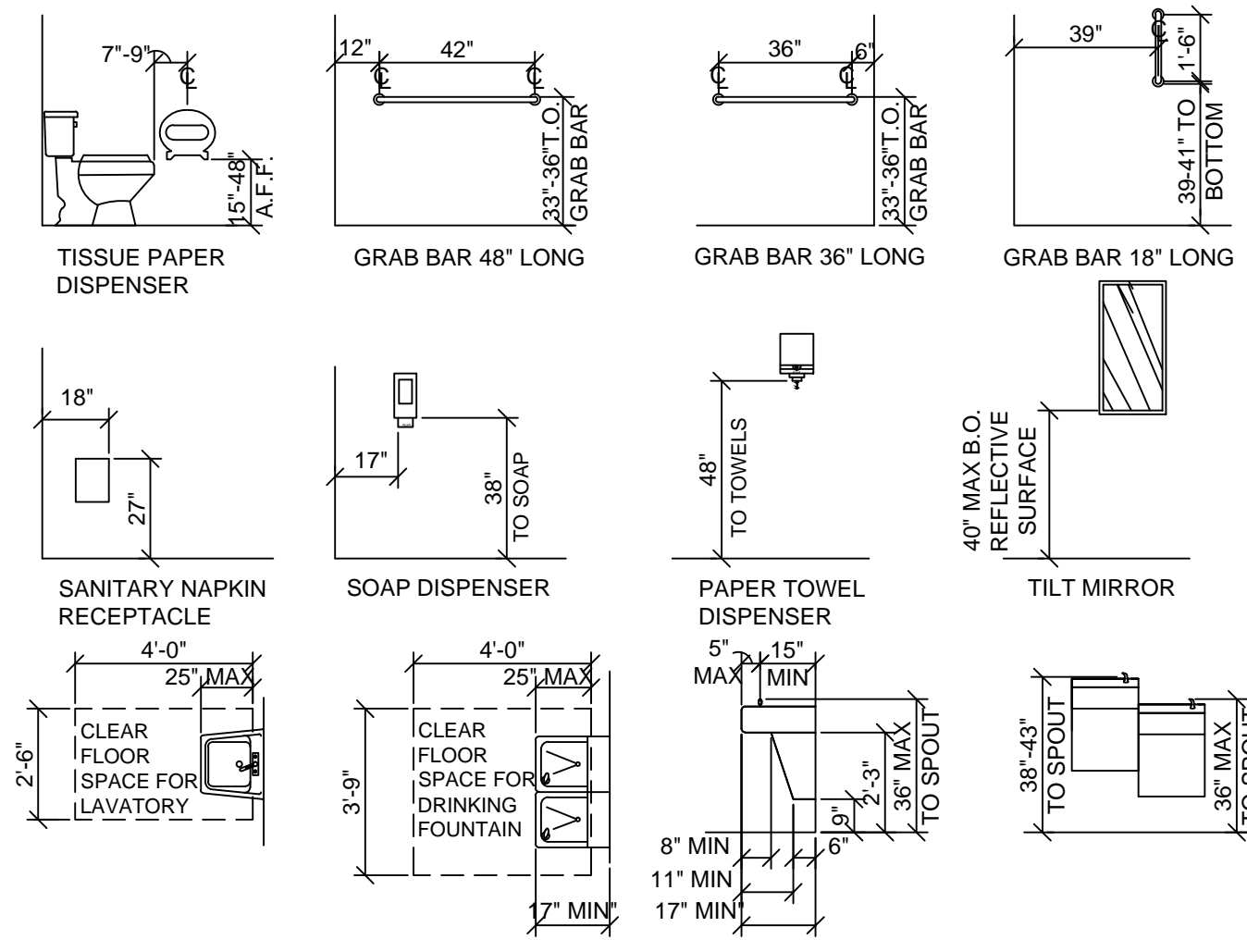
TOILET ROOM ACCESSORIES	
B2740	BOBRICK DOUBLE TOILET TISSUE DISPENSER
B253	BOBRICK PAPER TOWEL DISPENSER
A-24x36	GAMCO 24" x 36" ANGLE FRAME MIRROR
150Sx36	GAMCO 1 1/2" X 36" GRAB BAR
150Sx42	GAMCO 1 1/2" X 42" GRAB BAR
150Sx18	GAMCO 1 1/2" X 18" GRAB BAR
MS-1	GAMCO MOP HOLDER

TOILET ROOM NOTES:

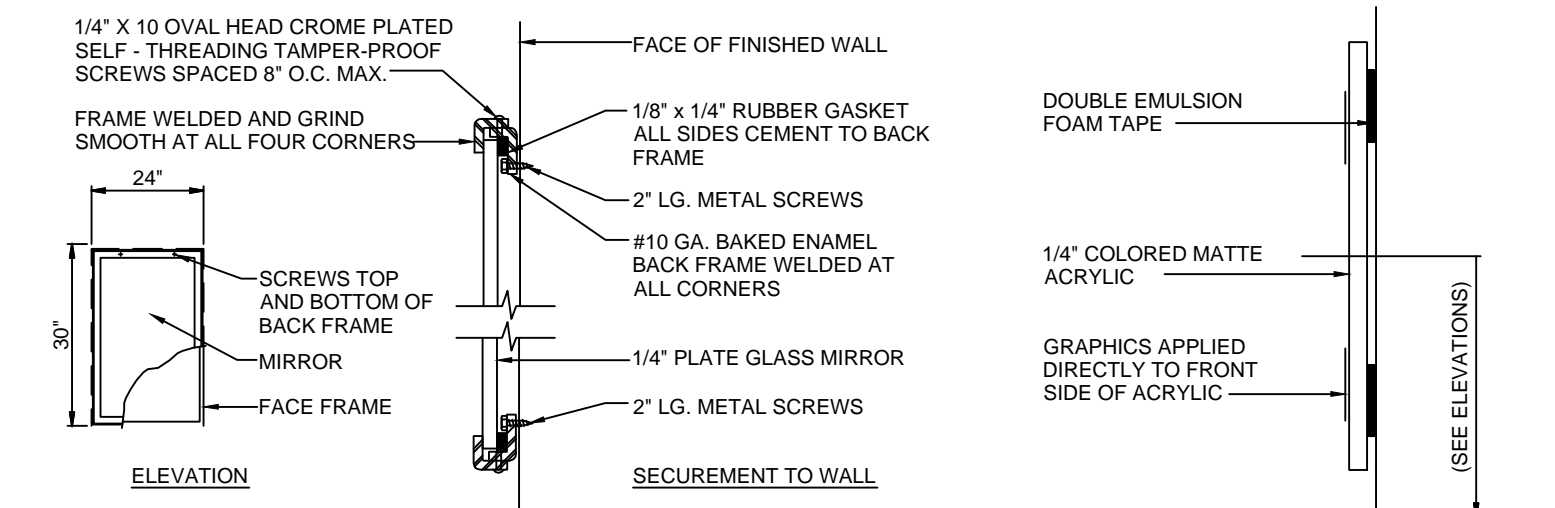
- ALL TOILET ROOM ACCESSORIES PROVIDED BY BASS SECURITY. REFER TO T01 FOR VENDOR CONTACT.
- ALL STORES MUST INCLUDE 2 REST ROOMS, EVEN WHEN NOT REQUIRED BY CODE. ANY VARIATION MUST BE APPROVED, IN WRITING, BY THE DOLLAR GENERAL CONSTRUCTION DEPARTMENT.
- RESTROOMS MUST COMPLY WITH ALL BUILDING (FEDERAL, STATE, AND LOCAL) FIRE, AND HEALTH DEPARTMENT CODES. ADA REQUIREMENTS MUST ALSO BE MET IN BOTH RESTROOMS. SOME CODES MAY REQUIRE ADDITIONAL TOILETS OR LAVATORIES. PLEASE CONTACT DOLLAR GENERAL CONSTRUCTION DEPARTMENT FOR ALTERNATE PLANS FOR THESE SITUATIONS.
- PROVIDE AND INSTALL 2'x3' MIRROR (OR LARGER IF REQUIRED BY CODE).
- CONTRACTOR TO INSTALL SOAP DISPENSERS, TOILET PAPER HOLDERS, DOOR CLOSER, EXHAUST FANS, AND ALL BASS SECURITY PARTS IN BOTH RESTROOMS. PROVIDE SOLID BLOCKING IN WALL FOR SUPPORT.



10 OFFICE ELEVATIONS
SCALE: NTS

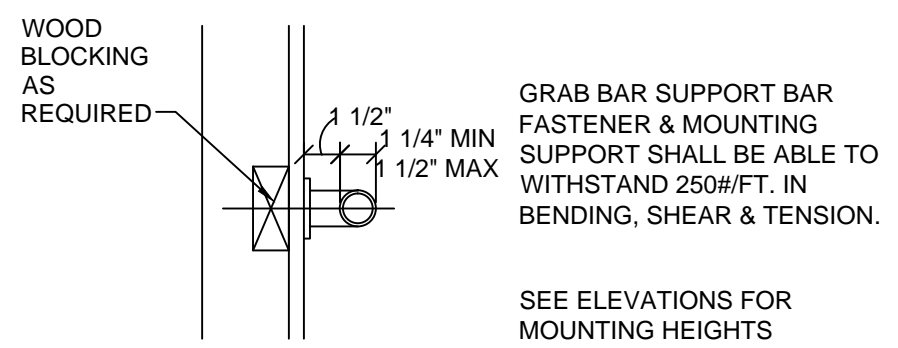


3 ACCESSIBILITY CLEARANCE/HEIGHTS
SCALE: NTS (1/4" = 1'-0")

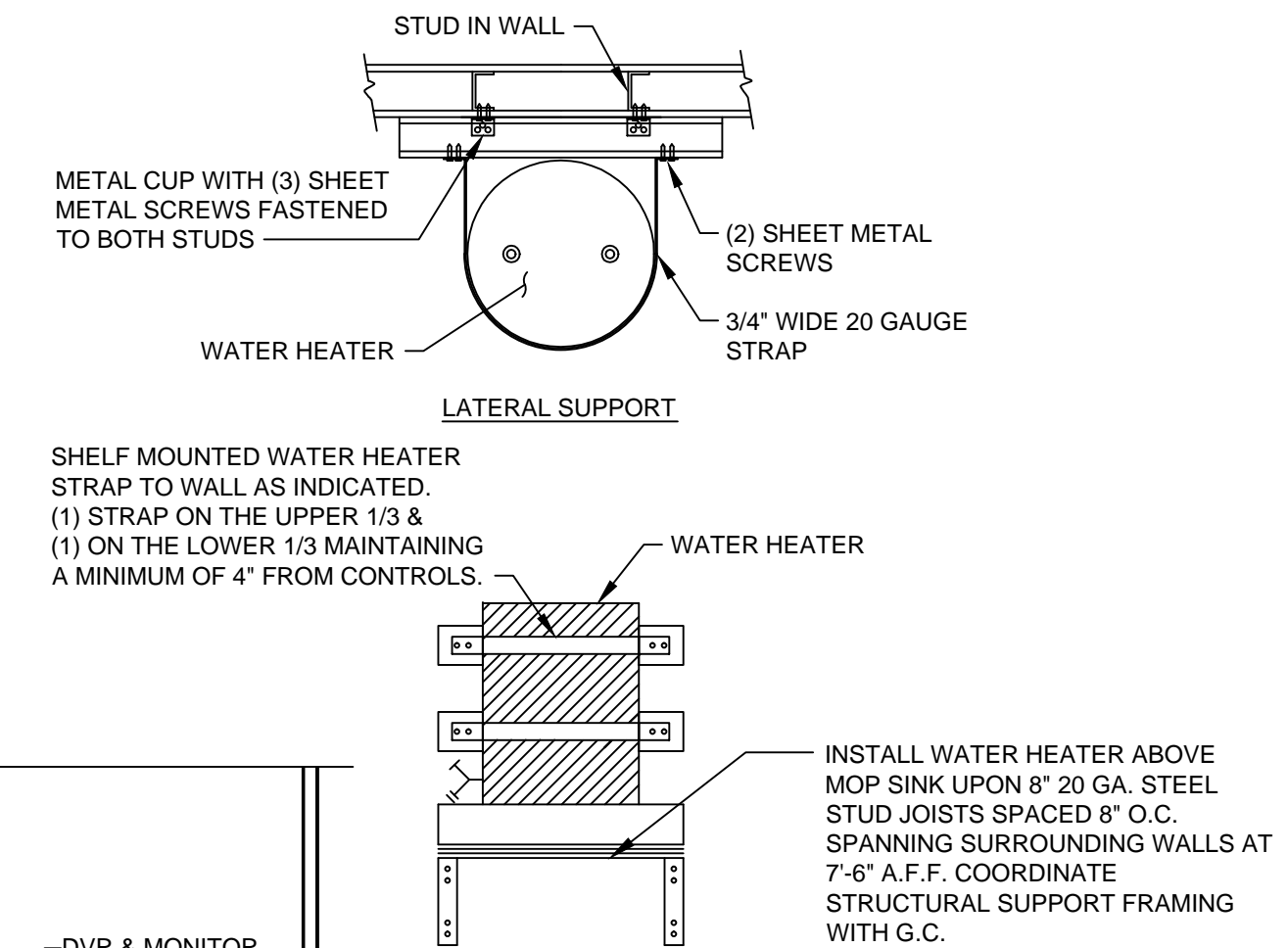


8 MIRROR INSTALLATION
SCALE: NTS

9 SIGNAGE INSTALLATION
SCALE: NTS

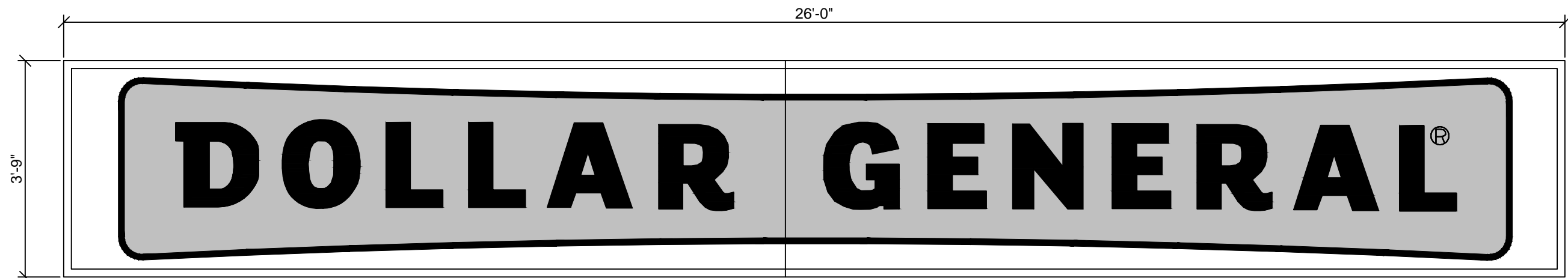


7 GRAB BAR DETAIL
SCALE: NTS (1 1/2" = 1'-0")

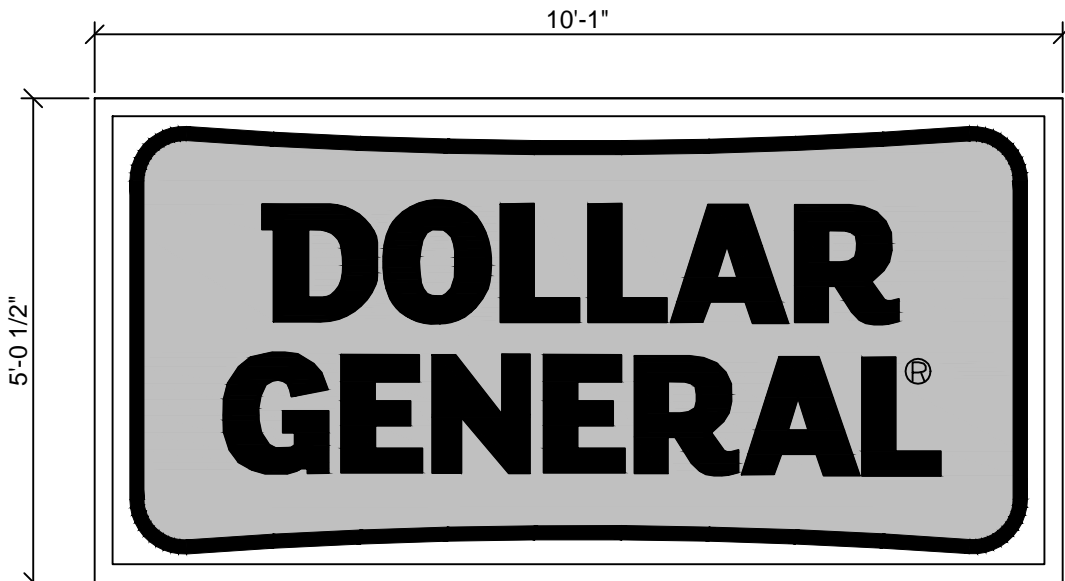


11 WATER HEATER SHELF DETAIL
SCALE: NTS

NOTE: ELEVATIONS SHOWN ARE FOR LEFT-HAND DELIVERY - REVERSE FOR RIGHT-HAND DELIVERY ELEVATIONS



PROTOTYPICAL MAIN BUILDING SIGN



THIS SIGN IS FOR SPECIALTY
USE ONLY.



THIS SIGN IS TO BE PROVIDED AND INSTALLED
BY THE DEVELOPER OR CONTRACTOR AT THE
BEGINNING OF CONSTRUCTION PROJECT.

- | SIGN SPECIFICATIONS | | | |
|--|--|--|--|
| 1. BUILDING SIGNS: PROVIDE CONDUIT AND WIRE FROM ELECTRICAL PANEL TO THE SIGN CANOPY. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND. BUILDING CANOPY MUST BE SUFFICIENTLY BUILT TO SUPPORT THE DOLLAR GENERAL SIGN OF UP TO 1400 LBS. NOTE: IF THE LEASE SPECIFIES A 5'-0" X 40'-0" BUILDING SIGN OR 24" LETTER SET (OR LARGER), 2 qty. - 10/2 WIRE WITH GROUND. | | | |
| 2. PYLON SIGNS: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO LOCATION OF THE PYLON SIGN BASE. BURY CONDUIT UNDER PARKING AREA. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND. | | | |
| 3. FINAL ELECTRICAL CONNECTIONS FOR SIGN SHALL BE THE SIGN VENDORS RESPONSIBILITY SINCE THE 'J' BOX AND WIRES ARE IN PLACE. | | | |
| 4. SEE CHART ABOVE FOR SIGN SPECIFICATIONS. | | | |
| 5. SEE SHEET A8 FOR SIGN BRACING DETAILS. | | | |
| 6. PYLON SIGN CABINETS TO CLEAR 15' FROM GRADE AND EDGE SHALL BE LOCATED NO CLOSER THAN 10' TO ANY OVERHEAD UTILITY LINES. | | | |

Building Signs			
Sign Size	Sign Weight	# Of Circuits	Amps/Voltage
3' x 23' box	380 lbs.	(1) 15 A	2.5 115
3'-9" x 26' box	441 lbs.	(1) 15 A	5 115
4'-6" x 33'-3" box	750 lbs.	(1) 15 A	8.4 115
5' x 40' box	1220 lbs.	(1) 15 A	10 115

Building Letters			
Sign Size	Sign Weight	# Of Circuits	Amps/Voltage
18"	215 lbs.	(2) 15 A	19.6 115
24"	288 lbs.	(1) 15 A & (1) 20 A	23.45 115
30"	387 lbs.	(2) 20 A	28 115
36"	649 lbs.	(2) 15 A & (1) 20 A	32.9 115

Pylon Signs			
Sign Size	Sign Weight	# Of Circuits	Amps/Voltage
4' x 8'	188 lbs.	(1) 15 A	1.7 115
5' x 10'	375 lbs.	(1) 15 A	3.4 115
6' x 16'	738 lbs.	(1) 15 A	5 115



CISSELL MUELLER
CONSTRUCTION, INC.
5530 SALT RIVER RD.,
ST. PETERS, MO 63376

ARCHITECTS
& PLANNERS
DEFAFF
PARTNERSHIP
180 MEDIAN RD. - 218
MANCHESTER, MO 63021
636 236 004 FAX 6325

PROJECT NUMBER
1716
DATE
11 AUG. 2017

REVISIONS

SHEET NAME
SIGN DETAILS

SHEET NUMBER

A07

DOLLAR GENERAL
STORE NO. 15043
XX
FLORESANT
MO

DG PARTNERS, LLC
5530 SALT RIVER ROAD
ST. PETERS, MO 63376

LEGEND

LIGHT FIXTURE TYPE

WALL PACK

EXHAUST FAN

NIGHT LIGHT CIRCUIT

TRANSFER GRILLE

EMERGENCY LIGHT

EXT. LED LIGHT AND EXT ARM

EMERGENCY LIGHT & EXIT COMBO

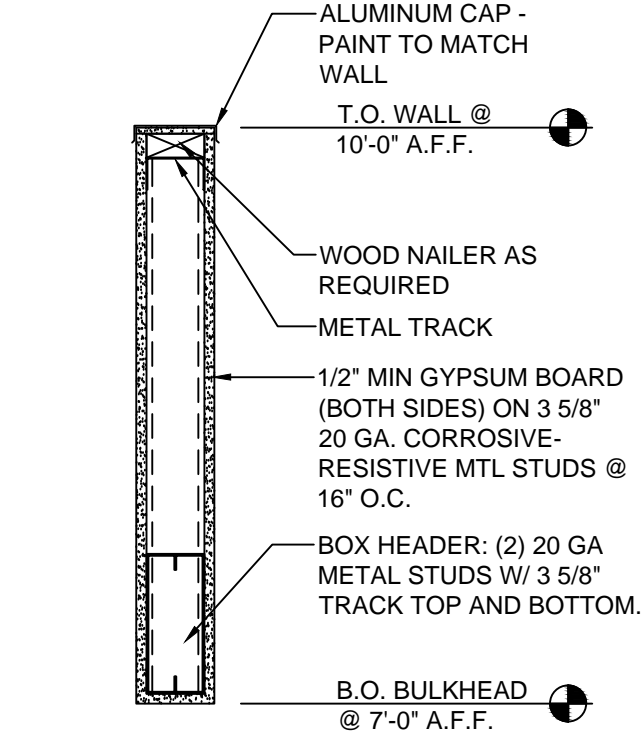
REFLECTED CEILING PLAN NOTES

1. ALL LIGHTS TO BE MOUNTED SUCH THAT THE TOP OF THE FIXTURES ARE AT 11'-0" A.F.F. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

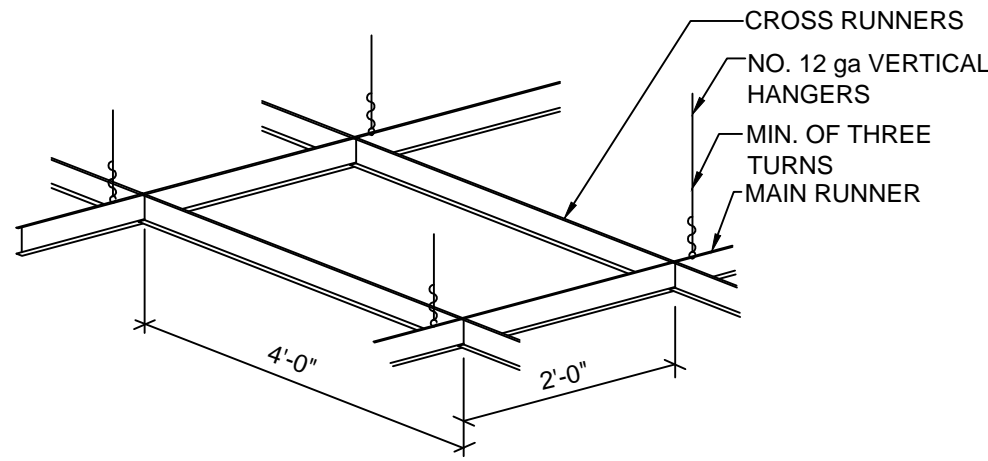
2. CABLE TRAY TO BE MOUNTED SUCH THAT BOTTOM OF TRAY IS AT 11'-6" A.F.F.

3. CABLE TRAY SYSTEM TO BE INSTALLED USING FULL LENGTHS WITH MINIMAL CUTTING OF SECTIONS. AREAS WHERE CUTTINGS MAY BE REQUIRED ARE AS NOTED ON THE PLAN.

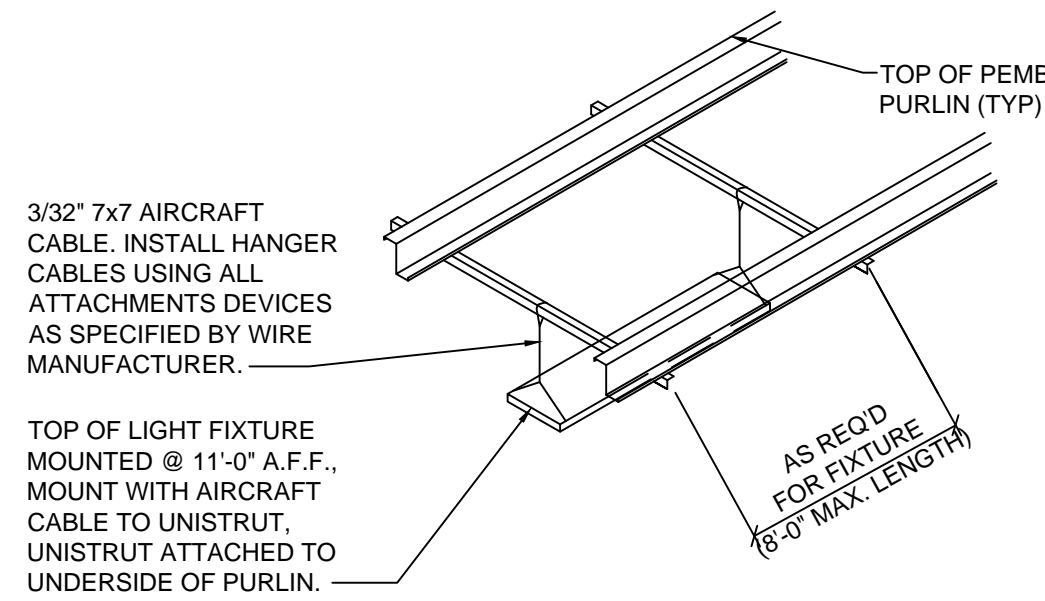
** REFER TO THE ELECTRICAL DRAWINGS FOR LIGHT DESIGNATIONS AND OTHER ADDITIONAL INFORMATION



2 BULKHEAD DETAIL
SCALE: 1"=1'-0"

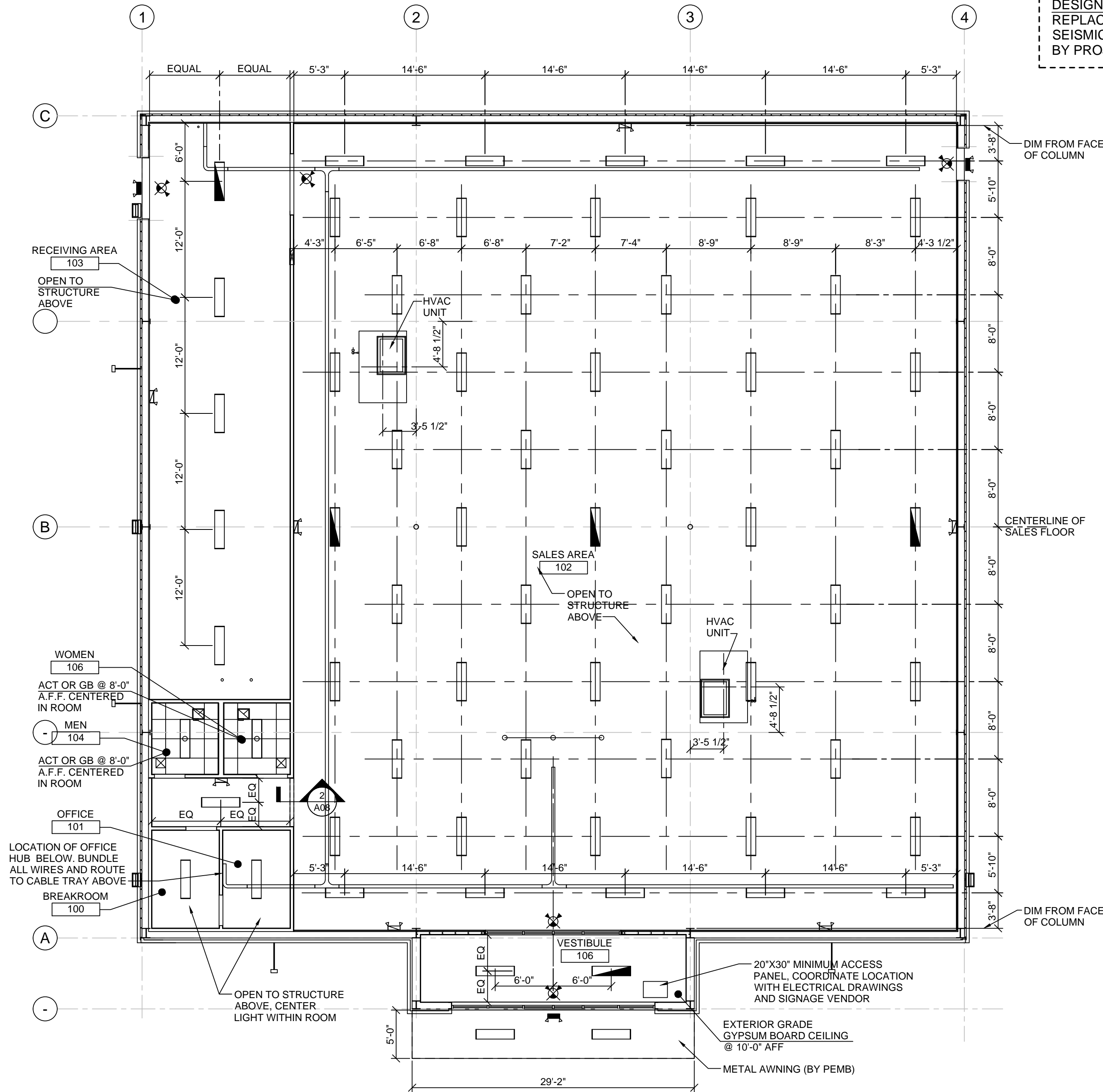


3 CEILING DETAIL
SCALE: 1"=1'-0"

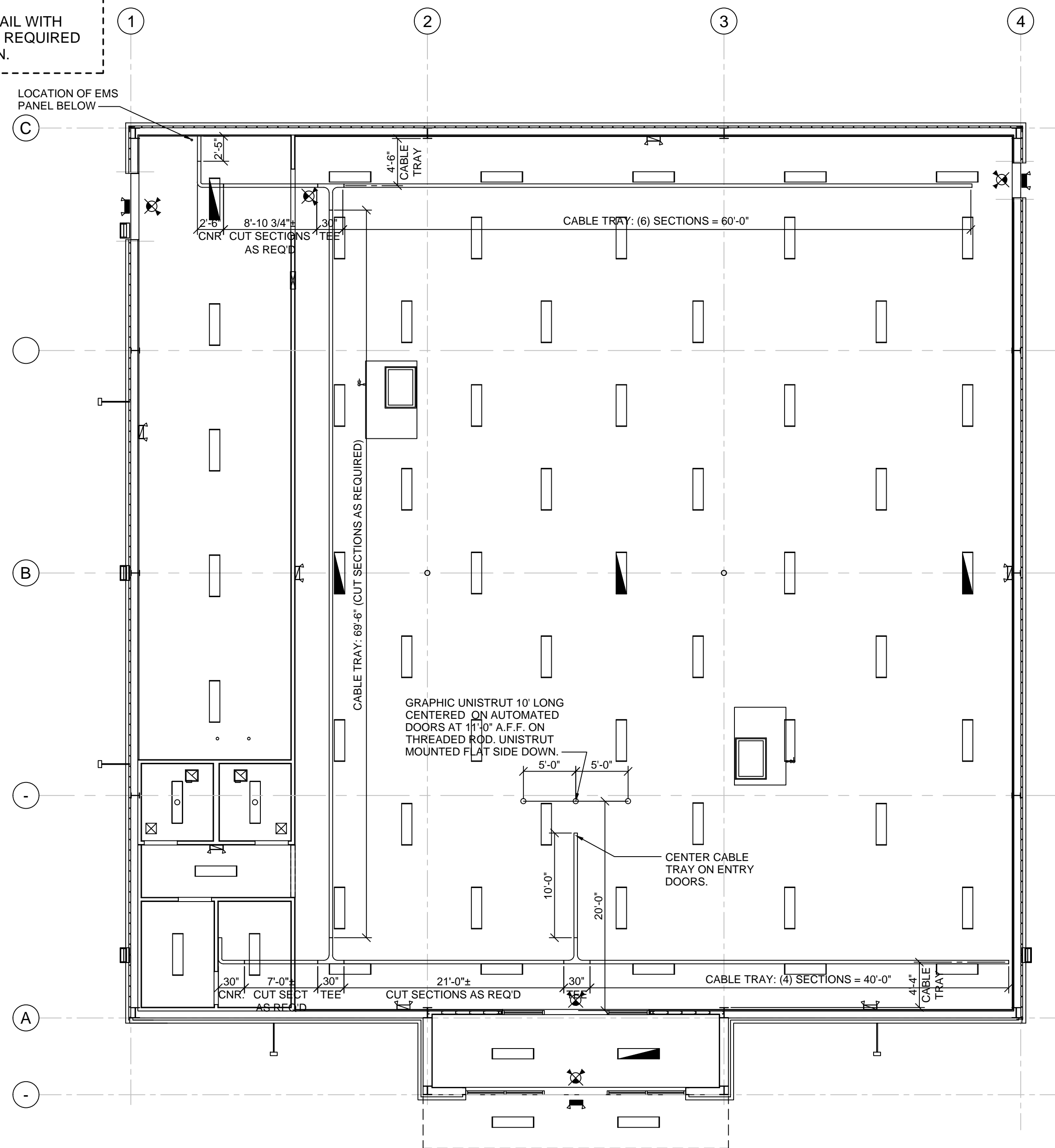


4 LIGHTING ATTACHMENT DETAIL
SCALE: 1 1/2"=1'-0"

DESIGNER NOTE:
REPLACE CEILING DETAIL WITH
SEISMIC DETAIL WHEN REQUIRED
BY PROJECT LOCATION.

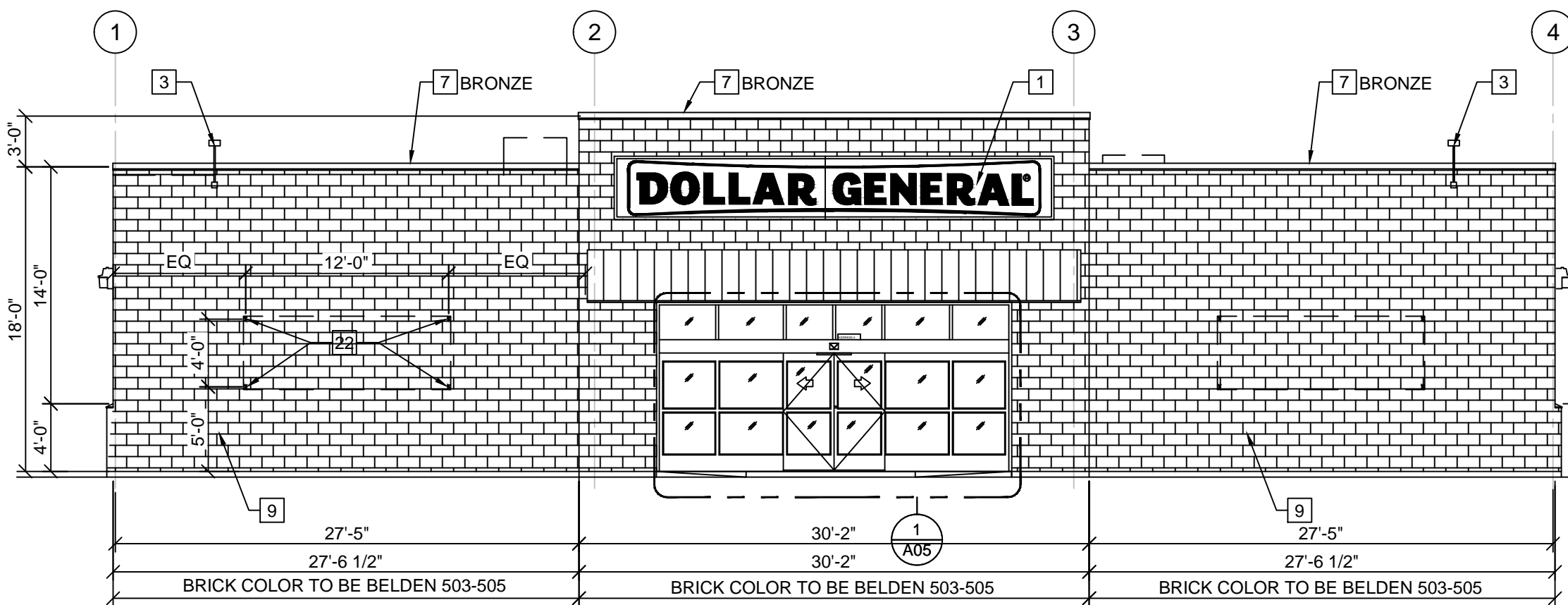


1A REFLECTED CEILING PLAN (LEFT SIDE DELIVERY)
SCALE: 1/8"=1'-0"

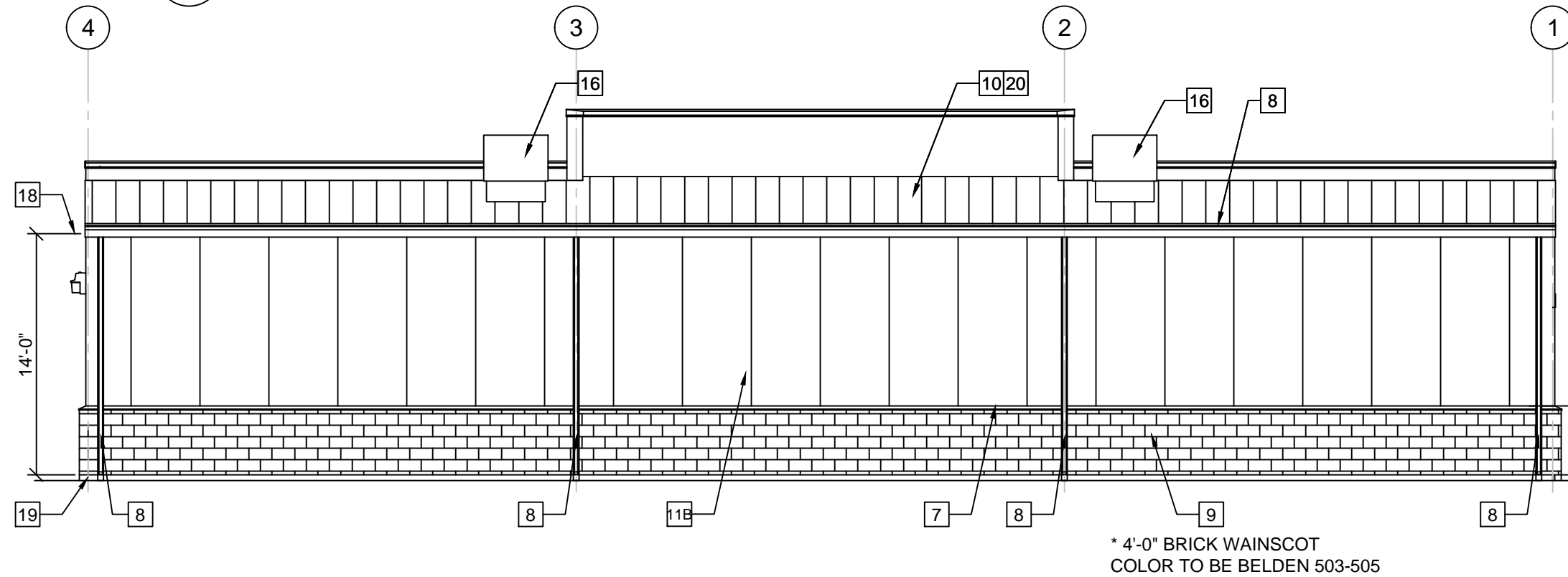


1B CABLE TRAY AND UNISTRUT PLAN (LEFT SIDE DELIVERY)
SCALE: 1/8"=1'-0"

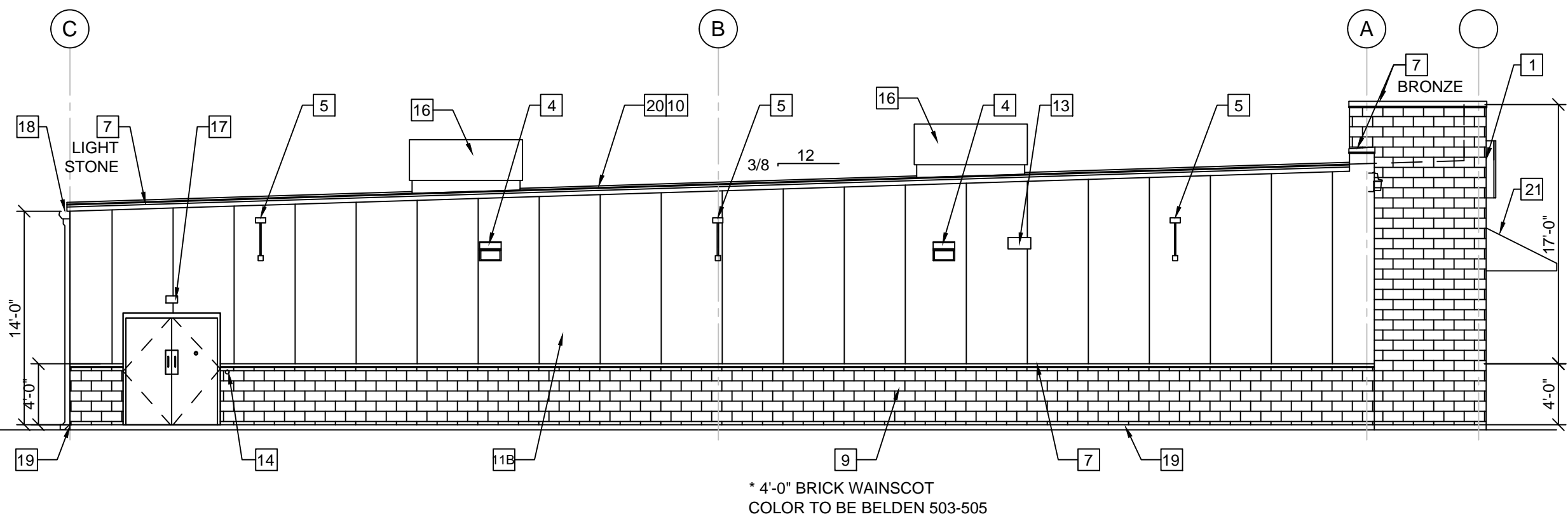




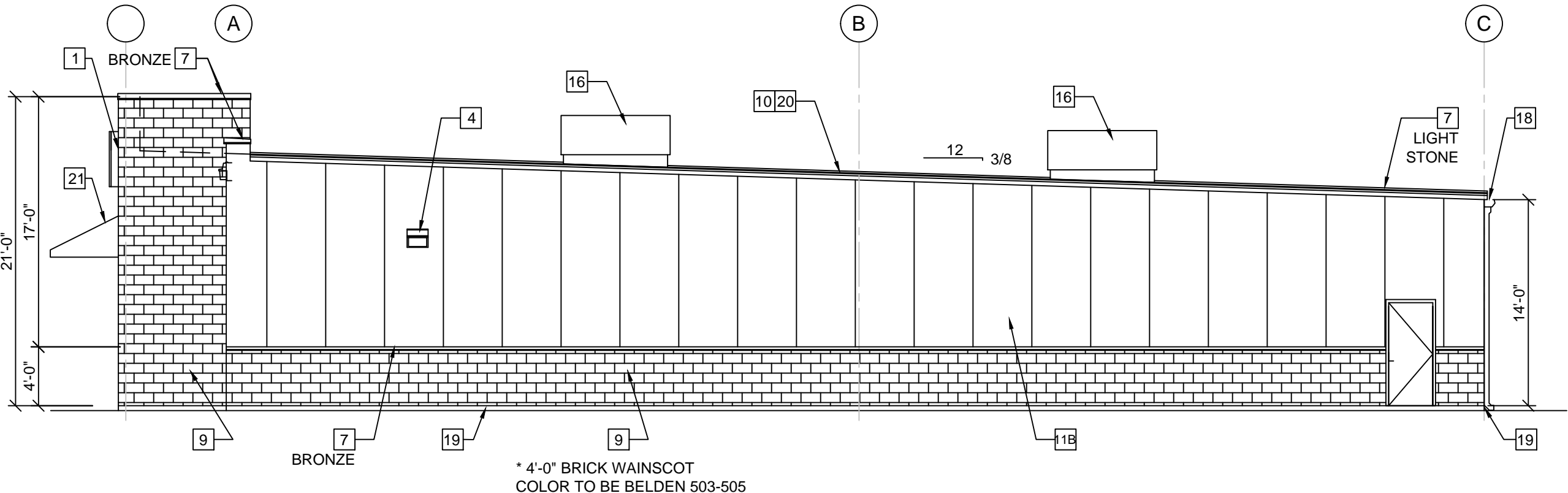
1-LD
A02 FRONT ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"



2-LD
A02 REAR ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"



3-LD
A02 LEFT SIDE ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"



4-LD
A02 RIGHT SIDE ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"

ELEVATION KEYED NOTES

- 1 SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF THE CANOPY. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- 2 NOT USED.
- 3 FLOOD LIGHT 16'-6" A.F.F. AT CENTERLINE OF CONNECTION TO WALL. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- 4 WALL PACK 12'-0" A.F.F. TO TOP OF WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 5 FLOOD LIGHT 12'-0" A.F.F. AT CENTERLINE OF CONNECTION TO WALL. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- 6 NOT USED.
- 7 TRIM/COPING/FLASHING - COLOR AS NOTED OR REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
- 8 GUTTER AND DOWNSPOUT - SEE EXTERIOR FINISH SCHEDULE FOR COLOR.
- 9 4" SMOOTH FACED ECONOMY SIZED BRICK, COLOR TO BE BELDEN 503-505.
- 10 STANDING SEAM METAL ROOF. GALVALUME FINISH.
- 11 NOT USED.
- 12 NOT USED.
- 13 KINGSPAN® SANDWICH PANELS WITH STUCCO FINISH. COLOR TO BE LIGHT STONE
- 14 NOT USED.
- 15 VENT FOR BATHROOM EXHAUST. REFER TO M01 FOR ADDITIONAL INFORMATION.
- 16 DOOR BUZZER. REFER TO E01 FOR ADDITIONAL INFORMATION.
- 17 WALL HYDRANT. REFER TO P01 FOR ADDITIONAL INFORMATION.
- 18 HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- 19 OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
- 20 MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
- 21 FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON PAVED AREAS.
- 22 NOT USED.
- 23 METAL AWNING BY PEMB MANUFACTURER. REFER TO STRUCTURAL SHEETS FOR COLOR.
- 24 1/2" DIAMETER x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.



1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 SEPTEMBER 19, 2017

3
4 BILL NO. 9308

ORDINANCE NO.

5
6 **ORDINANCE TO AUTHORIZE AN AMENDMENT TO SPECIAL**
7 **PERMIT NO. 3472 TO ALLOW FOR AN ADDITION OF A UPS**
8 **BUSINESS FOR THE PROPERTY LOCATED AT 1545 S. NEW**
9 **FLORISSANT ROAD.**

10
11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
13 operation of service station; and

14 WHEREAS, the Florissant City Council has heretofore granted a Special Use Permit to
15 Shell Oil for the location and operation of a service station on the property described in
16 Ordinance No. 3472; and

17 WHEREAS, ordinance no. 3472 was subsequently amended by ordinance nos. 5062,
18 5215 and 5595 and transferred to Mac's Convenience Stores by ordinance no. 7593; and

19 WHEREAS, an application has been filed by Mac's Convenience Stores LLC d/b/a
20 Circle K for an amendment to the said Special Use Permit heretofore granted under Ordinance
21 No. 3472 as amended and transferred by ordinance no. 3472 to authorize the addition of certain
22 conditions; and

23 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
24 meeting of August 21, 2017 has recommended that the said Special Use Permit be amended;
25 and

26 WHEREAS, due notice of a public hearing no. 17-09-022 on said application to be held
27 on the 19th of September, 2017 at 7:30 P.M. by the Council of the City of Florissant was duly
28 published, held and concluded; and

29 WHEREAS, the Council, following said public hearing, and after due and careful
30 consideration, has concluded that the granting of an amendment to the Special Use Permit
31 authorized by Ordinance No. 3472 as amended and transferred by ordinance no. 3472, as
32 hereinafter provided would be in the best interest of the City of Florissant.

33
34 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
35 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
36

Section 1: Ordinance No. 3472 (as amended by ordinances 5062, 5255, 5595 and 7593) is hereby amended to allow a UPS business operation as described in related documents presented and according to the attached drawings as prepared by Lingle Design Group and dated 5/10/17. Approval is subject to the regulations of these ordinances, and the following additional requirements:

1. **GENERAL DEVELOPMENT CONDITIONS.**

a. Unless, and except to the extent, otherwise specifically provided, in Ord. No. 3472, development shall be effected only in accordance with all ordinances of the City of Florissant.

b. Any landscaping that is displaced shall be relocated or replaced.

2. **PROJECT COMPLETION.**

Construction shall start within 90 days of issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 180 days of start of construction.

Section 2: Said Special Permit shall be conditioned on and shall remain in full force and effect so long as the conditions set out in Ordinance No. 3472, as now amended, are adhered to.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2017.

Jackie Pagano
President of the Council
City of Florissant

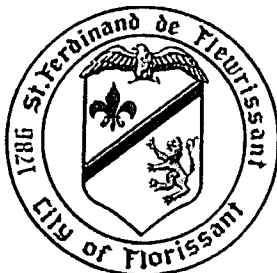
Approved this ____ day of _____, 2017.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

**PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

Council Ward 4 Zoning B3

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN. [Signature] **DATE:** 8/21/17

SPECIAL PERMIT FOR Addition of UPS Access Point locker to Circle K

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR _____ amendment to a Special Use, Ord. No. 3472
ordinance # _____ Statement of what the amendment is for.

LOCATION 1545 S New Florissant Rd. Florissant, MO 63031
Address of property.

1) Comes Now Mac's Convenience Stores LLC d/b/a Circle K

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) owner

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for fueling station and convenience store and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

- 7) The petitioner (s) state (s) the following factors and reason to justify the permit: **see attached*
(If more space is needed, separate sheets maybe attached)

Betty Watts *Betty Watts* 331-251-7300
PRINT NAME SIGNATURE email and phone
FOR Mac's Convenience Stores LLC d/b/a Circle K
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
1. I (we) have a legal interest in the herein above described property.
 2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE *Emily McGowin*
ADDRESS 4080 W Jonathan Moore Pike, Columbus, IN 47201
STREET CITY STATE ZIP CODE
TELEPHONE / EMAIL 331-251-7300 /
BUSINESS

I (we) the petitioner (s) do hereby appoint Emily McGowin, Hunter Development Group as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

Betty Watts
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:

Individual _____ Partnership _____ Corporation X

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) Name under which business is operated _____

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners Betty Watts, LLC Manager

(2) Telephone numbers 331-251-7300

(3) Business address 4080 W. Jonathan Moore Pike, Columbus, IN 47201

(4) State of Incorporation & a photocopy of incorporation papers DE

(5) Date of Incorporation 03/17/2008

(6) Missouri Corporate Number FL0882234

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. Mac's Convenience Stores LLC

(8) Name in which business is operated Circle K

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Circle K
Address 1545 S. New Florissant Rd, Florissant, MO
Property Owner Mac's Convenience Stores, LLC d/b/a Circle K
Location of property corner S. New Florissant Rd and Dunn Rd
Dimensions of property 0.47 acres
Property is presently zoned B3 Requests Rezoning To n/a
Proposed Use of Property no change in use
Type of Sign n/a Height n/a
Type of Construction pre-manufactured UPS locker Number Of Stories n/a
Square Footage of Building 57 SF locker Number of Curb Cuts n/a
Number of Parking Spaces n/a Sidewalk Length n/a
Landscaping: No. of Trees n/a Diameter n/a
No. of Shrubs n/a Size n/a
Fence: Type n/a Length n/a Height n/a

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

locker kiosk. UPS has seen delivery claims and package theft significantly reduced in areas where packages are delivered to a locker rather than left at a consignee's door.

Basis for Amendment to Special Use Permit, Ord. No. 3472

The installation of a UPS Access Point locker at the Circle K store at 1545 S. New Florissant Rd will not cause any inconsistency with the goals, objectives, and policies of the City's comprehensive plan. It is consistent with the existing Filling Station/Car-wash land use because it is a continuation of convenience store services available at the existing Circle K. In addition to gasoline, beverages and snacks, and occasional grocery and toiletry items, Circle K customers will be able to pick up parcels delivered to the secure UPS Access Point locker.

The locker is compatible with the existing convenience store use through the hours of operation (open 24 hours) and type and amount of traffic generated. The locker will be installed against the existing carwash building wall on the east side of the building, on the north side of the lot, perpendicular to S. New Florissant Rd.

The UPS Access Point locker will be the only one of its kind within a two mile radius and will not create a concentration or proliferation of the parcel delivery locker use on the property. The locker will slightly increase the number of persons using the property but will not increase the number of persons residing or working on the property. Locker patrons will park in existing parking spaces and walk to the locker to make their transactions, which will last approximately two to five minutes. The locker will not increase noise, odors, visual, or other potential nuisance factors.

The UPS Access Point locker service will provide a convenient amenity to citizens in the surrounding neighborhood. No negative impacts are anticipated. The UPS Access Point locker will not in any way reduce light and air to adjacent properties. It will not adversely affect property values in adjacent areas. It will not be a deterrent to the improvement, development, or redevelopment of surrounding properties in accord with existing regulations. The UPS locker will not negatively impact any adjacent natural systems or public facilities, including parks and open spaces.

Thank you for your consideration of our request for an amendment to the Special Use Permit for 1545 S. New Florissant Rd. We look forward to the opportunity to expand the UPS Access Point service to the residents of the City of Florissant.

Kindest regards,

Emily McGowin
Hunter Development Group
(for Circle K / UPS)

INTRODUCED BY McLAUGHLIN
September 12, 1977

BILL NO. 4041

ORDINANCE NO. 3472

AN ORDINANCE AUTHORIZING THE ISSUANCE OF A SPECIAL PERMIT TO SHELL OIL COMPANY FOR THE PURPOSE OF REMODELING AND REVITALIZING THE EXISTING SERVICE STATION ON THE PROPERTY HEREINAFTER DESCRIBED TO A SELF-SERVICE SHELL STATION AND TO AUTHORIZE A POLE SIGN OF 25' IN HEIGHT AT THE DESCRIBED LOCATION.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by special permit, after public hearing thereon, to permit the location and operation of a service station and to authorize the installation of a pole sign; and

WHEREAS, an application has been filed by SHELL OIL COMPANY for the location and operation of a self-service filling station on the property hereinafter described and to locate there at a 72' pole sign advertising the said service station; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that said special permit for the remodeling of the Shell Service Station to a complete self-service Shell Service Station be allowed and that the SHELL OIL COMPANY be allowed to install at the said location a 25' pole sign with 8x8 Shell logo and 2x8 self-service sign in accordance with the plans herein submitted be approved; and

WHEREAS, due notice of a public hearing upon said application to be held on the 8th day of August, 1977 at 8:00 PM by the Council of the City of Florissant was duly published; and

WHEREAS, the Council, following said public hearing, and after careful and due consideration, has concluded that the issuance of a special permit for the remodeling of the present Shell Service Station to a complete self-service Shell Service Station and the installation of a 25' pole sign would be in the public interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A special permit is hereby granted to SHELL OIL COMPANY to remodel the existing Shell Service Station on the property hereinafter

BILL NO.

4041

ORDINANCE NO. 3472

described to a complete self-service Shell Service Station and to construct and locate there at a 25' pole sign on the following described property:


A triangular shaped tract of land in Block 1 of Lawndale, according to Plat thereof recorded in Plat Book 22, Page 56 of the St. Louis County Records, bounded as follows: Northeastly by Florissant Road, Southerly by U. S. Highway (U.S. Highway 66) and (Missouri State Highway 77) Northwesterly by property conveyed to MAE W. PONDROM by deed recorded in Book 1650, Page 136, of the St. Louis County Records.

Section 2: This special permit shall be conditioned on and is to remain in force and effect only under the following terms and provisions and subject to all the ordinances of the City of Florissant:

- a. That the remodeling shall be in accordance with the plans as filed with the Planning and Zoning Commission.
- b. That the erection of the 25' pole sign shall be in accordance with the plans and drawings - revision dated 8/28/77, #156-J8 - as submitted to the Planning and Zoning Commission.
- c. Satisfactory proof of compliance with all fire regulations, including but not limited to compliance with Ordinance 33, Florissant Valley Fire Protection District, relating to self-service dispensing devices as has been filed with the Department of Public Works.
- d. A twelve foot wide right turn lane on southbound Florissant Road along the entire frontage of the property will be constructed by Shell Oil Company in accordance with St. Louis County Highway Department specifications.

Section 3: This ordinance shall be in force and effect upon its passage and approval as provided by law.

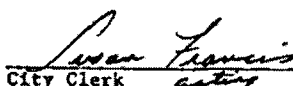
Adopted this 26th day of September, 1977.


President of the Council
City of Florissant

Approved this 26th day of September, 1977.


Mayor, City of Florissant

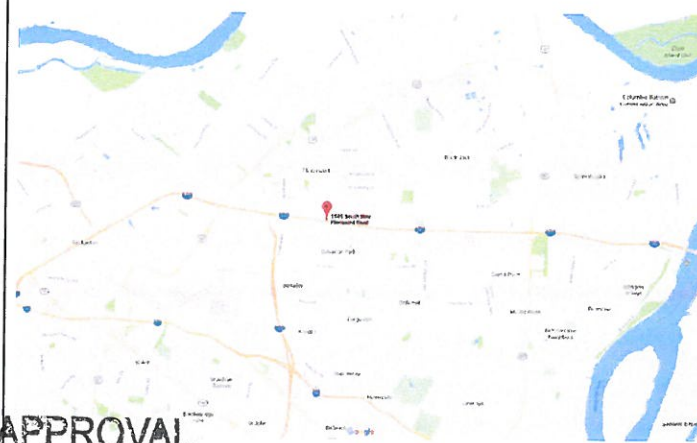
ATTEST:


City Clerk acting

UPS Access Point™



VICINITY MAP



RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN.

Carl Lingle

DATE:

8/21/17

CIRCLE K

CODE / BUILDING INFORMATION

BUILDING: 2009 INTERNATIONAL BUILDING CODE

ELECTRICAL: 2011 NATIONAL ELECTRIC CODE

ENERGY CONSERVATION: 2009 INTERNATIONAL ENERGY CONSERVATION CODE

ACCESSIBILITY: 2009 ICC ANSI 117.1

STATEMENT OF COMPLIANCE

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH ALL APPLICABLE LAWS, CODES & ORDINANCES.

SIGNATURE:

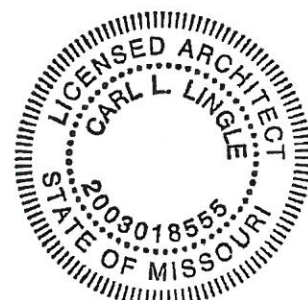
Carl Lingle
ARCHITECT/ENGINEER

REGISTRATION NO.:

2003018555

DATE:

12/31/17



SHEET INDEX

LATEST REVISION

REVISION NUMBER DATE

ARCHITECTURAL

A1	TITLE SHEET		
A2	SITE PLAN		
A2.1	AERIAL SITE PLAN		
A3	ENLARGED PLAN		
A4-A10	LOCKER SHOP DRAWINGS		

PROJECT TEAM DIRECTORY

	FIRM	CONTACT - TITLE	ADDRESS	PHONE# / FAX#
ARCHITECTS	LINGLE DESIGN GROUP, INC.	CARL LINGLE	158 WEST MAIN ST. LENA, IL 61048	PHONE: (815) 369-9155 FAX: (815) 369-4495
UPS	UPS ACCESS POINT	RUSSELL REAMS	55 GLENLAKE PARKWAY, NE ATLANTA, GA 30328	PHONE: (404) 828-6856
CONTRACTOR				

WORK SCOPE

1. CONSTRUCTION CREW TO ACCEPT DELIVERY OF PRE-MANUFACTURED UPS ACCESS POINT LOCKERS - ASSEMBLE AND INSTALL PER MANUFACTURER'S SPECIFICATIONS.
2. CONSTRUCTION CREW TO INSTALL UPS LOCKERS NEAR EXISTING CARWASH BUILDING ON NEW CONCRETE. SEE SHEET A2.

GENERAL NOTES

DRAWINGS ARE DIAGRAMMATIC - FOR UNIT PLACEMENT AND ACCESSIBILITY CLEARANCE ONLY. G.C. TO REFER TO LOCKER SYSTEM SHOP DRAWINGS FOR INSTALLATION METHODS.

1. GENERAL:

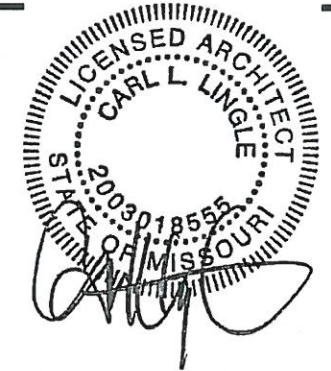
- A. THESE NOTES SERVE AS THE SPECIFICATIONS FOR THE ARCHITECTURAL PORTION OF THE WORK.
- B. ARCHITECTS APPROVAL MUST BE SECURED FOR ALL SUBSTITUTIONS.

2. DISCOVERY AND FIELD VERIFICATION

- A. DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER EXISTING CONDITIONS WHICH ARE NOT KNOWN OR ARE AT VARIANCE WITH PROJECT DOCUMENTATION (DISCOVERY). SUCH CONDITIONS MAY INTERFERE WITH NEW CONSTRUCTION OR REQUIRE PROTECTION AND/OR SUPPORT OF EXISTING WORK DURING CONSTRUCTION, OR MAY CONSIST OF DAMAGE OR DETERIORATION TO STRUCTURAL MATERIALS OR COMPONENTS WHICH COULD JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING(S).
- B. THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ALL DISCOVERIES HE BELIEVES MAY INTERFERE WITH THE PROPER EXECUTION OF THE WORK OR JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING(S) PRIOR TO PROCEEDING WITH WORK RELATED TO SUCH DISCOVERIES.

NOTE:

THROUGHOUT THESE DRAWINGS, UPS, WILL BE LISTED AS "OWNER"



UPS LOCKERS
CIRCLE K
1545 S NEW FLORISSANT ROAD
FLORISSANT, MO 63031

158 WEST MAIN ST.
LENA, IL 61048
PH: 815-369-9155
FAX: 815-369-4495
WWW.LINGLEDESIGN.COM



REVISONS	NO.	DESCRIPTION	DATE						
	1								
	2								
	3								
	4								
	5								

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TITLE SHEET	CK-MO-HL0001622	DRAWN BY: JJE	CHECKED BY: LRD	APPROVED BY: CLL

PROJECT NO: 17-398

DATE: 05/10/17

SHEET NUMBER:

A1

CONTRACTOR SHALL VERIFY FIELD LOCATION AND COMPLIANCE OF EXISTING ACCESSIBLE PARKING SPACES, ROUTE, AND BUILDING ENTRANCE.

NEW UPS 19'-0" LOCKERS (68 LOCKER UNIT) TO BE INSTALLED ON NEW CONCRETE

CAR WASH

19'-0"

CONTRACTOR TO VERIFY AND MAINTAIN - 3'-0" MIN. CLEAR SPACE IN FRONT OF LOCKERS

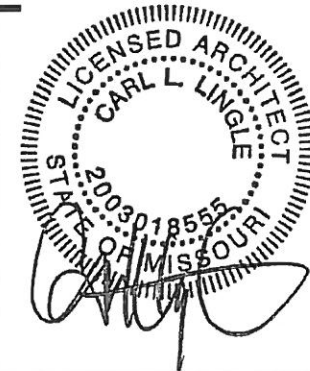
CONTRACTOR TO FABRICATE LEVEL CONCRETE PAD PER MANUFACTURER'S SPECS - CONCRETE SHOULD BE LEVEL WITH EXISTING PARKING SURFACE.

CIRCLE K

FUEL CANOPY

NORTH

SCALE: 1/16"=1'-0"



PREPARED FOR:
**UPS LOCKERS
CIRCLE K**
1545 S NEW FLORISSANT ROAD
FLORISSANT, MO 63031

158 WEST MAIN ST.
LENA, IL 61048
PH: 815-369-9155
FAX: 815-369-4495
WWW.LINGLEDESIGN.COM



REVISIONS			DATE
NO.	DESCRIPTION		
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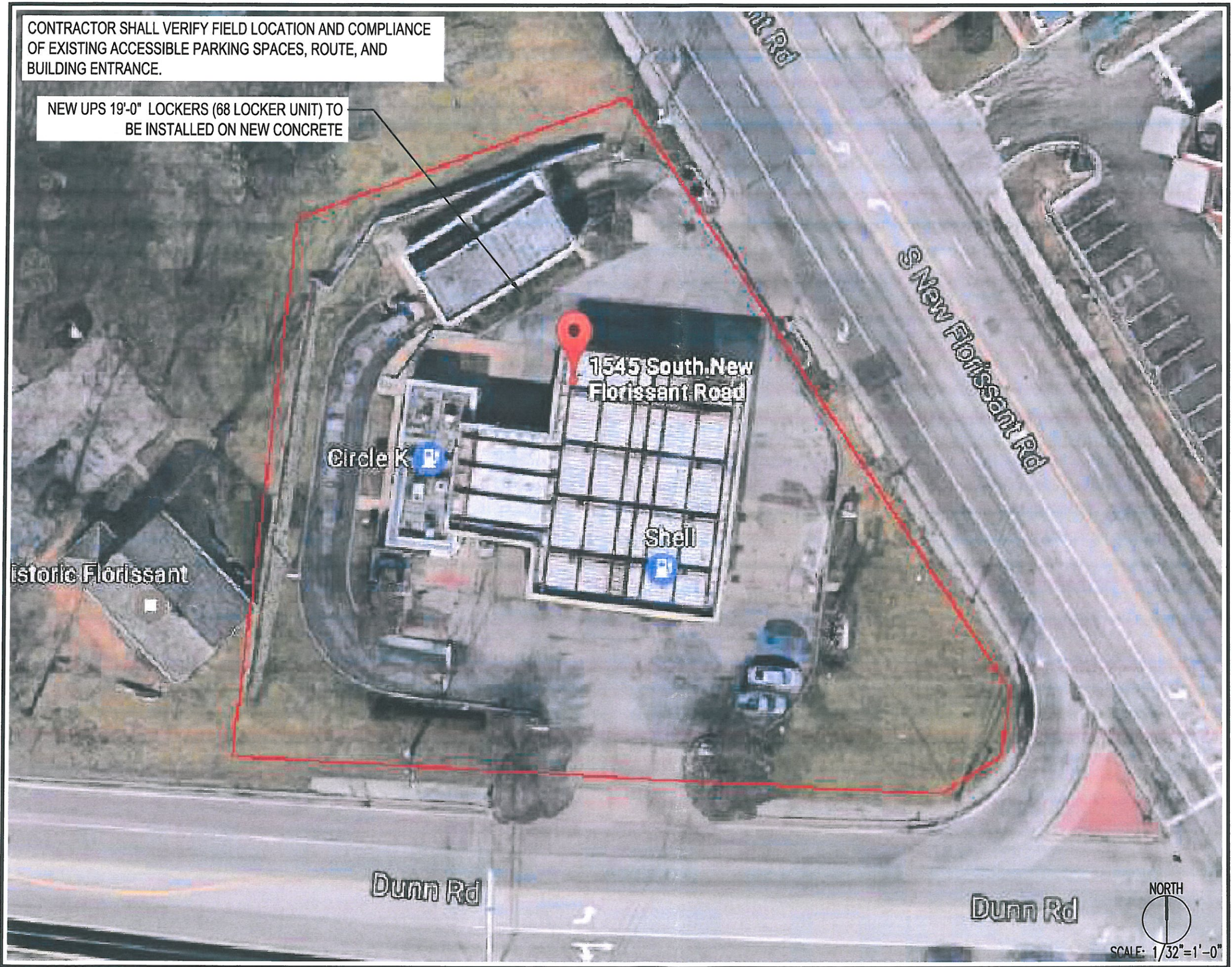
SITE
PLAN
CK-MO-HL0001622

DRAWN BY: JJE	CHECKED BY #1: LRD	CHECKED BY #2: -	APPROVED BY: CLL
---------------	--------------------	------------------	------------------

PROJECT NO: 17-398

DATE: 05/10/17

SHEET NUMBER:
A2



CONTRACTOR SHALL VERIFY FIELD LOCATION AND COMPLIANCE OF EXISTING ACCESSIBLE PARKING SPACES, ROUTE, AND BUILDING ENTRANCE.

NEW UPS 19'-0" LOCKERS (68 LOCKER UNIT) TO BE INSTALLED ON NEW CONCRETE

1545 South New Florissant Road

Circle K

Shell

Historic Florissant

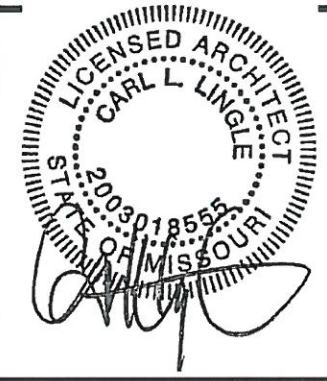
Dunn Rd

Dunn Rd

New Florissant Rd

NORTH

SCALE: 1/32"=1'-0"



PREPARED FOR:

**UPS LOCKERS
CIRCLE K**

1545 S NEW FLORISSANT ROAD
FLORISSANT, MO 63031

158 WEST MAIN ST.
LENA, IL 61048

PH: 815-369-9155
FAX: 815-369-4495
WWW.LINGLEDESIGN.COM

LINGLE DESIGN GROUP, INC.

REVISIONS			
NO.	DESCRIPTION	DATE	
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AERIAL SITE PLAN		CK-MO-HL0001622	
DRAWN BY: JUE	CHECKED BY #1: LRD	CHECKED BY #2: -	APPROVED BY: CLL

PROJECT NO: 17-398

DATE: 05/10/17

SHEET NUMBER:
A2.1

ACCESSIBILITY REQUIREMENTS

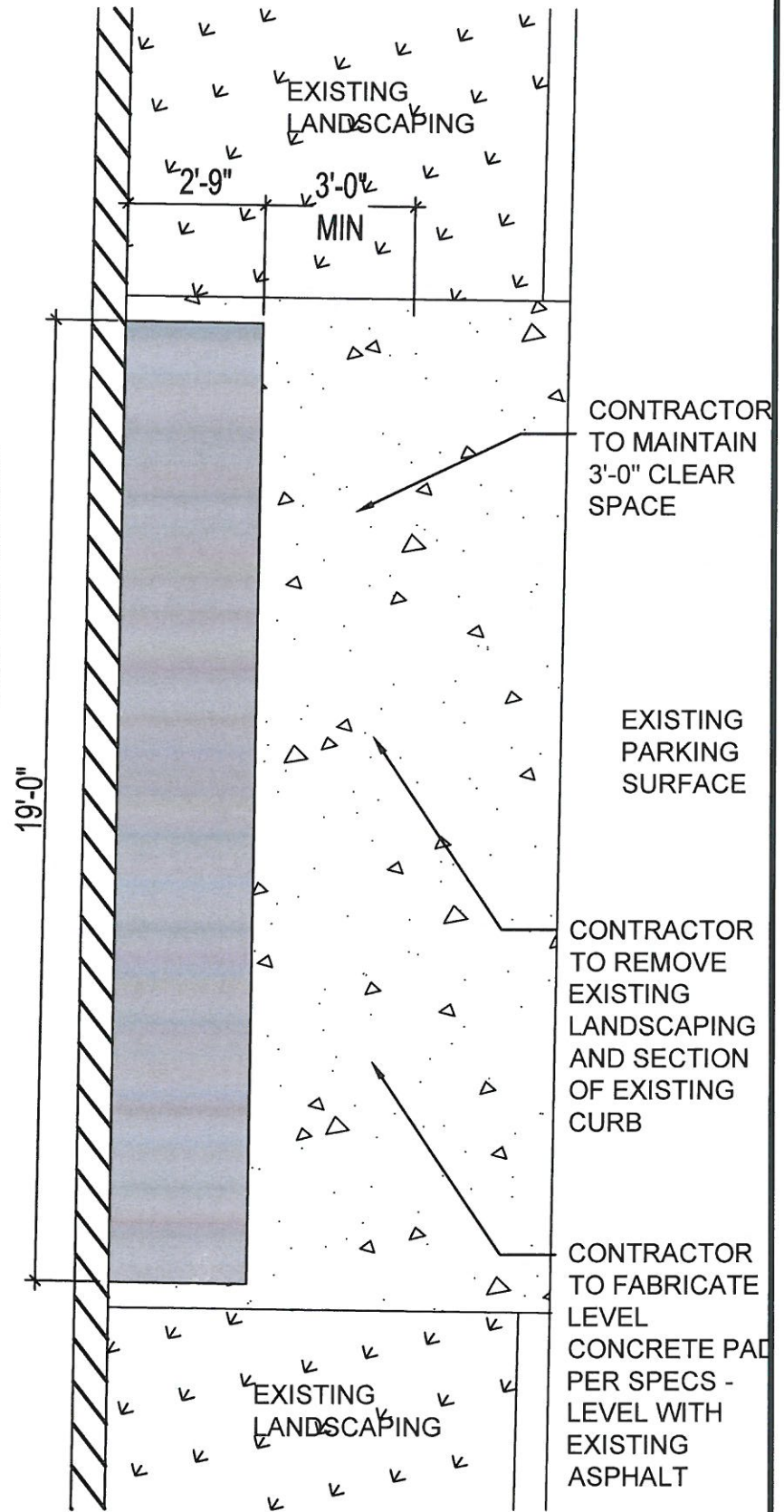
- 3'-0" MIN AREA OF CLEAR SPACE IN FRONT OF LOCKERS SHOULD ALWAYS BE MAINTAINED.
- AREA SHOULD HAVE A SLOPE NOT GREATER THAN 5% AND A CROSS SLOPE NOT GREATER THAN 2%.
- SURFACE SHOULD BE LEVEL AND FREE OF ANY BUMPS, DIPS, OR OTHER CHANGES IN ELEVATION



1 PROPOSED LOCKER LOCATION

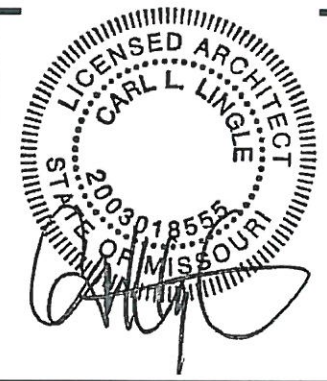
SCALE: NTS

EXISTING BUILDING



2 ENLARGED PLAN @ LOCKERS

SCALE: NTS



PREPARED FOR:
UPS LOCKERS
CIRCLE K
 1545 S NEW FLORISSANT ROAD
 FLORISSANT, MO 63031

1158 WEST MAIN ST.
 LEVA, IL 61048
 PH: 815-369-9155
 FAX: 815-369-4495
 WWW.LINGLEDESIGN.COM

Lingle Design Group

REVISIONS		
NO.	DESCRIPTION	DATE
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2		
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INSTALL GUIDE

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TZ Locker System – 15186 UPS 5kPa (0.73PSI)
Canopy



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Outline Summary

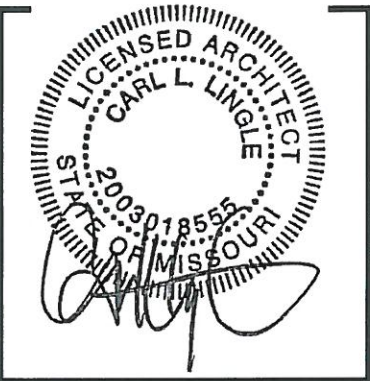
The structure of the 15186 UPS Locker System with Canopy was designed for the load cases nominated in this document using the nominated materials. These load cases considered load condition expected over the life of the System in its operating environment. The load conditions applied and the subsequent reactions that need to be carried by the foundations and/or wall mounts are to be found later in this report.

The 15186 TZ Canopy was developed by TZI Australia Pty Limited. While the structures design was conducted by Design Bench Pty Ltd using AS 1170 Structural Design Actions, AS4100:1998 Steel Structures and Finite Element Analysis the final assessment for the appropriateness of the load cases applied and confirmation of the structural adequacy by an appropriate USA certifying engineer is the sole responsibility of TZ Ltd or its agents.

The final ‘as installed’ fitness for purpose is dependent upon the installer, and the wall/slab/foundations/anchors – whose adequacy is the responsibility of the customer/installation engineer. It is the responsibility of TZI Ltd or its agents to ensure the unit is installed appropriately for a specific installation and its conditions.



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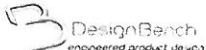
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15186 UPS Locker with 5kPa (0.73 PSI) Canopy
System Outline



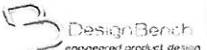
DesignBench
engineered product design

Rev		
0	Initial Release	03/05/2016
1	Issued for Review (updated)	13/05/2016
2	Imperial measurements added	13/10/2016



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15186 UPS Locker with 5kPa (0.73 PSI) Canopy
System Outline



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Design Summary

The 15186 TZ Locker System with Canopy Installation comprises a Canopy Plinth and a Locker Bank. Installations have three configurations comprising 8, 9 and 11 lockers with a cantilevered canopy covering three lockers towards the middle of the installation.

Two possible methods exist to support a locker installation. One has the structural support provided via anchor bolts secured in a ground slab. The second utilises two wall braces and wall brackets to support horizontal forces and the moment induced from the cantilevered canopy roof into a suitable wall structure; while vertical forces are supported by mounting pads in the plinth.

In both cases a Locker Installation requires suitable load bearing surfaces/walls as appropriate with the capacity to withstand the applied loads through wall brackets, plinth feet, ground anchors and wall anchors. The actions to be supported by the foundations/slab or the walls are provided later in this outline – the suitability of the slab/foundations/ground/wall and the anchor bolts is to be determined on a site by site basis by others.

The primary loads on the Canopy come from wind loads and snow load on the canopy roof. The locker loads are locker self-mass and parcel mass, snow loading on those exposed locker caps, wind loads and pedestrian bump loads.

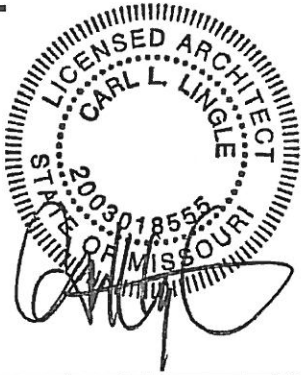
The assessment of the locker columns is not included in this report but was assessed separately and qualified in report 14049.

A Locker Install, depending on the chosen method of support comprises:

- Vertical canopy roof structural members that integrate a roof cantilever, rear columns and ground foot support.
- Canopy roof comprising foam cored roofing panels and trim that are secured to roof beams that attach to the canopy roof structural members.
- Horizontal ground beams across the Plinth front and rear, which link the base of the cantilevered roof columns and provide a base plinth to support the bank of lockers.
- The Locker Bank comprises individual locker columns that connect to both the base plinth and to the sides of adjacent lockers.
- A series of chemically set ground anchors connect the base plinth to a foundation slab.
- Wall Brackets to take horizontal loads imposed on the locker bank into a wall structure
- Wall Braces located between the canopy columns that support the imposed moment on the cantilevered canopy; and to take a portion of the horizontal loads imposed on the locker bank into a wall structure

When installed, adjacent locker columns are connected at their tops to through their side walls by two M10 screws. Each locker’s base is secured to the Base Plinth (fabricated base) with four M12 screws with heavy duty square washers.


If utilised the plinth footings are secured to a slab or foundations via a foot plate with sets of M12 Chemical anchor bolts, nuts and structural washers. Similarly the Wall Brackets and Wall Braces, if utilised, are secured by a series of M10 wall anchors. By these means forces acting on the locker modules are carried across the locker system and taken to ‘ground’ into a supporting slab or foundations. All fasteners used in locker module, plinth and canopy roof assemblies’ connections are to be galvanised class 8.8 or equivalent with washers appropriately torqued for full load capacity.



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Nominated Use/Environment

The intended service duty nominated for the structure is ‘commercial retail’ for permanent installation/fixture with a 10 year lifespan intended for use in Public spaces mounted adjacent internal and external walls of buildings or similar in urban or shopping districts. Loading that the unit has been assessed against is outlined in the Canopy and Locker Bank Actions/Loads section.

It is assumed that the unit will retain reasonable condition over the intended life and the painted sheetmetal components will withstand the operating environment. The Locker System and Canopy structure, depending upon situation, may need monitoring over its service life for events such as corrosion or incidental damage that could affect its structural performance.

It is recommended that the first unit manufactured be assessed to confirm its suitability for its intended use by TZI Ltd or its agents.

Materials of Construction

The TZ Locker System structural elements are constructed from cold formed sheet metal connected with rivets, weld nuts, fusion welds and spot welds. The Canopy Structure and Plinth base is predominantly fabricated from 4mm (0.15”) and 5 mm (0.2”) folded steel sheet. The materials nominated for the construction are:

- Cold rolled steel sheet - equivalent to JIS 3131 SPHC with a certified minimum Yield Tensile Stress of 220 MPa (31.91 KSI) and Minimum Ultimate Tensile Stress of 330 MPa (47.86 KSI)
- Rivets - C1006-C1010 Steel as per Emhart POP rivet type with galvanised coating.
- Canopy Roof Screws 14g-10TPI x Hex Washer Tek’s – Buildex or similar
- Canopy 100mm (3.94”) Solaris Roof Panels or similar
- Base Plate M20 Stud – class 5.6 Stud.
- Fasteners and Anchor Assembly:
 - Locker Column to Locker Column, Roof Beam to Canopy Arch, or Plinth fasteners and equivalent washers – Class 8.8 Steel, Galvanised Zinc.
 - Ground Anchors – Hot Dipped Galvanised class 8.8 M12 Studs, structural washers and nuts.
 - Weld Nuts – Class 9 material to suit Class 8.8 fasteners
- Ground Anchor materials – to be specified by anchor engineer; this will vary depending upon install specific wall and supporting slab strength.

Canopy and Locker Bank Actions/Loads

The actions to be withstood by the Canopy Structure and Plinth with locker bank are:

- Loads imposed by winds on the lockers and canopy
- A 5kPa (0.73 PSI) vertical pressure applied to the top of the canopy and exposed lockers, representative of snow loading.
- The self-mass of the locker system in combination with its associated parcel mass.
- The self-mass of the canopy structure.
- A body bump against the locker bank that is then carried through the canopy plinth structure to ground.

Both the magnitudes of these loads and factors applied to arrive at a design load are taken from the Australian Standards AS1170 Load Code.

Snow Loading

The client nominated a vertically imposed uniform canopy design pressure of 5kPa (0.73 PSI) as the snow loading requirement. In the structural assessment the design load was factored with a load combination factor of 1.0 x as per AS1170.0

Wind Loading

The design pressures representative of Wind loading were determined using AS NZS 1170.2-2011 Structural Design Actions - Wind Actions. Using a client nominated site wind speed of 40 m/s (131.23 Ft/s) a design wind speed of 30.3 m/s (99.41 Ft/s) was derived; this value was then used to determine locker and canopy design pressures. For installations expected to experience higher wind actions 40m/s (131.23 Ft/s) site wind speed with the requisite shielding to achieve a design wind speed below 30m/s (98.43 Ft/s) assessment would be needed and support or shelter provide as appropriate.

The following assumptions were made to determine the magnitude of the design pressures for both the Locker Bank ‘wall’ and the canopy roof. Installed against a building such as a convenience store, petrol station or similar; in close proximity to a wall or similar to shield the rear of the locker installation from the effects of wind. The building acts as the dominant bluff body to the wind flow for all wind directions; windward (toward the locker front), sidewall and leeward actions. The building has a nominal plan of 10m x 10m (32.8’ x 32.8’) and a wall height ranging from the height of locker installation up to 10m (32.8’). The Locker Installation was nominally set inboard of the building line by 1m (3.2’). The canopy and locker bank was offset 5.9-9.8” (150-250mm) between the locker rear and the building wall. Parameters used: Terrain Category TC3; Wall Height <10m (32.8’); sheltered suburban exposure for a Shielding Multiplier of 0.85; Local Pressure factor of 1.5. A factor for wind loads of x1.0 was used in the load combinations.

Wind Loading on Locker Bank Assembly

From the design wind speed of 30.3 m/s (99.41 Ft/s) a net design wind pressure of 0.66kPa (0.10 PSI) applied either into or away from the front face of the Locker Bank was calculated as the structural action for structural assessment.

Wind Loading on Locker Canopy

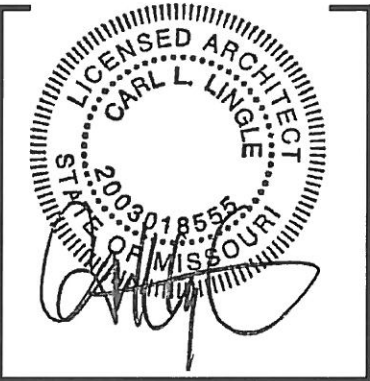
From a design wind speed of 30.3 m/s (99.41 Ft/s) the following net design wind pressures were determined and applied to the canopy for strength assessment:

- Net wind action upwards on the canopy roof of 0.83kPa (0.12 PSI)
- Net wind action downwards the canopy roof 0.39kPa (0.06 PSI)

Other Design Loads


In addition to the wind and snow loads the following item loads/actions were used in the load combinations:

- Self (Dead) Load of Locker column - mass of 100kg (220.46 Lbs)
- Parcel Load per locker column - mass of 100kg (220.46 Lbs)
- Wall Brace per each - mass of 22kg (48.5 Lbs)
- Self (Dead) Load of Canopy Plinth Structure
 - 8 Column Configuration - mass of 480kg (1058.22 Lbs)
 - 9 Column Configuration - mass of 490kg (1080.27 Lbs)
 - 11 Column Configuration - mass of 520kg (1146.40 Lbs)



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- Bump Load from Person – 1.5 kN (337.21 Lbf) applied at a nominal shoulder height of 1200mm (3.9') across two Locker Columns of the installed Locker Bank. This Bump Load was assumed to be transferred through the two locker columns' connections into the plinth then to the supports immediately adjacent the two locker columns.

Canopy and Locker Bank Load Combinations

The Load Combinations, Load Combination Factors and the Design Action Effect used to assess the structure's Ultimate Limit State (ULS) strength are given below:

Self Mass Combinations

- ((Locker Bank Self Load + Canopy Self Load) x 1.2) + Parcel Load x 1.5).

Wind Action Combinations

- ((Locker Bank Self Load + Canopy Self Load) x 0.9) + (Wind Load acting *into* the Locker Bank centre x1.0) + (Wind Load acting into the *underside* of the canopy x1.0).
- ((Locker Bank Self Load + Canopy Self Load)x1.2 + Locker Parcel Load x1.5) + (Wind Load acting *into* the Locker Bank centre x1.0) + (Wind Load acting into the *underside* of the canopy x1.0).
- ((Locker Bank Self Load + Canopy Self Load) x 0.9) + (Wind Load acting *away* from the Locker Bank centre x1.0) + (Wind Load acting into the *topside* of the canopy x1.0).
- ((Locker Bank Self Load + Canopy Self Load)x1.2 + Locker Parcel Load x1.5) + (Wind Load acting *away* from the Locker Bank centre x1.0) + (Wind Load acting into the *topside* of the canopy x1.0).

Bump Actions Combinations

- ((Locker Bank Self Load + Canopy Self Load) x 0.9) + (Bump Load x 1.5).
- ((Locker Bank Self Load + Canopy Self Load)x 1.2 + Parcel Load x 1.5) + (Bump Load x 1.5).

Snow Actions Combinations

- ((Locker Bank Self Load + Canopy Self Load) x 0.9) + (Snow Load x 1.0).
- ((Locker Bank Self Load + Canopy Self Load)x 1.2 + Parcel Load x 1.5) + (Snow Load x 1.0).
- (Locker Bank Self Load + Canopy Self Load)x 0.9) + (Snow Load x 1.0) + (Wind Load acting away from the Locker Bank centre x 0.7) + (Wind Load acting into the topside of the canopy x0.7).
- ((Locker Bank Self Load + Canopy Self Load)x 1.2 + Parcel Load x 0.7) + (Snow Load x 1.0) + (Wind Load acting away from the Locker Bank centre x 0.7) + (Wind Load acting into the topside of the canopy x0.7).

Reference Drawings List

The drawing below is typical of installation requirements for #8, #9 and #11 locker installs.

Drawing 15186-009-11 RevA

Maximum Design Actions

The Maximum Design Actions shown in the tables below are taken from the actions from the load cases given earlier; these are rounded up to the nearest 1.0kN; and are based on the Ultimate Limit State Loads. The Ultimate Limit State Loads calculated are derived from load combinations and load combination factors based on the Australian Standards AS1170 Load Code, as detailed in the earlier section of this outline.

Mounting Configurations

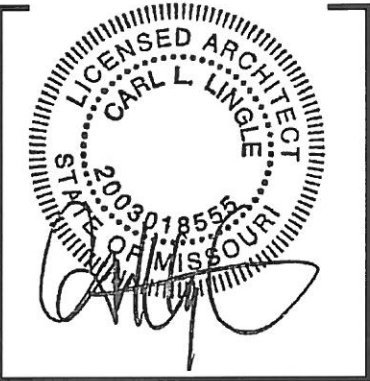
Wall Mount without Slab Anchors

Refer to Wall Mounting and Ground Plinth Mounting Point Images below.

Anchor Point	Mount Location	Load Distribution	Note	Mount Required Capacity [kN]		
				Shear	Compression	Tension
A	Top Wall Bracket	Total for M10 Anchor pair		-	2.0kN (449.62Lbf)	2.0kN (449.62Lbf)
B	Bottom Wall Bracket	Total for M10 Anchor pair		2.5kN (562.02Lbf)	2.0kN (449.62Lbf)	2.0kN (449.62Lbf)
C	Top Wall Brace	Total across all M10 Anchors		4.0kN (899.24Lbf)	2.0kN (449.62Lbf)	10.0kN (2248.09Lbf)
D	Bottom Wall Brace	Total across all M10 Anchors		4.0kN (899.24Lbf)	10.0kN (2248.09Lbf)	2.0kN (449.62Lbf)
E	Rear Outer Plinth	Across Anchor Plate area	Note 2	-	6.0kN (1348.85Lbf)	-
F	Front Outer Plinth	Across Anchor Plate area	Note 2	-	6.0kN (1348.85Lbf)	-
G	Rear Inner Plinth	Across Anchor Plate area	Note 2	-	18.5kN (4158.97)	-
H	Front Inner Plinth	Across Anchor Plate area	Note 2	-	10.0kN (2248.09Lbf)	-

Note:

- The joints C and D on the two Wall Braces located between the Canopy Columns are intended not to transfer vertical shear loads to the wall anchors. The nominal shear value provided gives some shear capacity.
- This mounting configuration, Wall Mount without Slab Anchors, has no anchors into the pavement any overturning forces are supported by compression into the pavement and compression/tension into the wall anchors. A degree of shear capacity in the base slab footings E, F, G, and H is required due to load transfer through friction between the base plate and the ground slab.



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15186 UPS Locker with 5kPa (0.73 PSI) Canopy
System Outline




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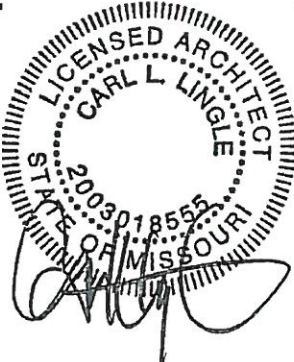
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Top Wall Brace Anchor Loads
Refer to Ground Plinth Mounting Point Images below.

Anchor Point	Brace Anchor Location	Load Distribution	Mount Required Capacity [kN]		
			Shear	Compression	Tension
1	Outer top	Single M10 Anchor	6kN (1348.85Lbf)	1kN (224.81Lbf)	7.0kN (1573.66Lbf)
2	Inner top	Single M10 Anchor	6kN (1348.85Lbf)	1kN (224.81Lbf)	7.0kN (1573.66Lbf)
3	Outer bottom	Single M10 Anchor	6kN (1348.85Lbf)	1kN (224.81Lbf)	3.0kN (674.43Lbf)
4	Inner bottom	Single M10 Anchor	6kN (1348.85Lbf)	1kN (224.81Lbf)	3.0kN (674.43Lbf)

Bottom Wall Brace Anchor Loads
Refer to Ground Plinth Mounting Point Images below.

Anchor Point	Brace Anchor Location	Load Distribution	Mount Required Capacity [kN]		
			Shear	Compression	Tension
1	Outer top	Single M10 Anchor	6kN (1348.85Lbf)	1kN (224.81Lbf)	2kN (449.62Lbf)
2	Outer bottom	Single M10 Anchor	6kN (1348.85Lbf)	1kN (224.81Lbf)	2kN (449.62Lbf)
3	Inner top	Single M10 Anchor	6kN (1348.85Lbf)	1kN (224.81Lbf)	1.5kN (337.21Lbf)
4	Inner bottom	Single M10 Anchor	6kN (1348.85Lbf)	1kN (224.81Lbf)	1.5kN (337.21Lbf)



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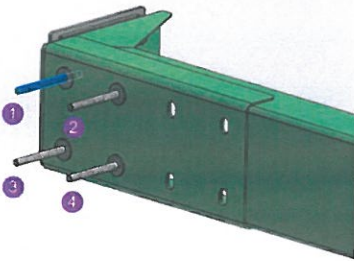
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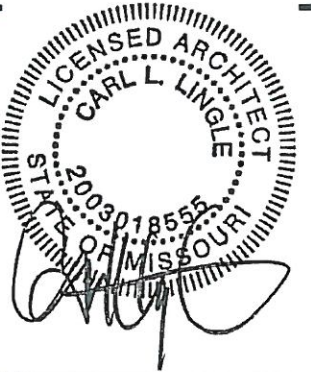
Wall Brace Anchor Position



Plinth Anchor Restraint Only
Refer to Ground Plinth Mounting Point Images below.

Anchor Point	Mount Location	Load Distribution	Mount Required Capacity [kN]		
			Shear	Compression	Tension
E	Rear Outer Plinth	Total across either #4 M10 Anchors in Anchor Plate; or across anchor plate area.	2kN (449.62Lbf)	7.0kN (1573.66Lbf)	3.0kN (674.43Lbf)
F	Front Outer Plinth	Total across either #4 M10 Anchors in Anchor Plate; or across anchor plate area.	2kN (449.62Lbf)	9.0kN (2023.28Lbf)	3.0kN (674.43Lbf)
G	Rear Inner Plinth	Total across either #4 M10 Anchors in Anchor Plate; or across anchor plate area.	3.0kN (674.43Lbf)	12.0kN (2697.71Lbf)	7.0kN (1573.66Lbf)
H	Front Inner Plinth	Total across either #4 M10 Anchors in Anchor Plate; or across anchor plate area.	3.0kN (674.43Lbf)	28.0kN (6294.65Lbf)	7.0kN (1573.66Lbf)
I	Front Outer Mid Beam Compression Plinth	Total across support face underside of beam	3.0kN (674.43Lbf)	9.0kN (2023.28Lbf)	-


- Note:
- #11 Locker Install Configuration requires mid span support for compression load in outer front Ground Beams as given by Anchor Point "I" above. #2 Places only. The shear capacity nominated allows for transfer of a nominal shear load through friction between underside of beam and support pad.



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PROJECT NO: 17-398

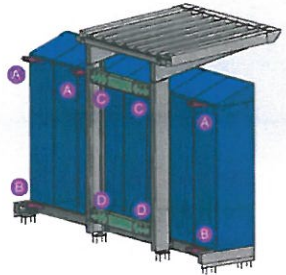
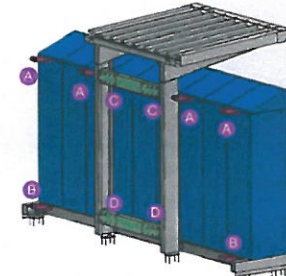
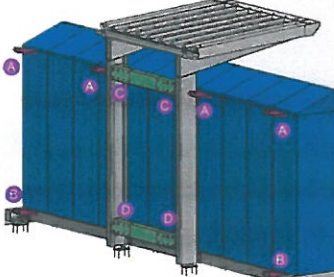
DATE: 05/10/17

SHEET NUMBER:
A9

Packet Page 60 of 100

Wall Mounting Point Images

Anchor connection via Wall Brace Anchors only - No ground plinth anchors

Install Image	Description
	#8 Locker Install Wall Bracket Mounting (magenta) Wall Brace Mounting (green) Ground Slab to take vertical compressive loads; no anchors into slab required.
	#9 Locker Install Wall Bracket Mounting (magenta) Wall Brace Mounting (green) Ground Slab to take vertical compressive loads; no anchors into slab required.
	#11 Locker Install Wall Bracket Mounting (magenta) Wall Brace Mounting (green) Ground Slab to take vertical compressive loads; no anchors into slab required.

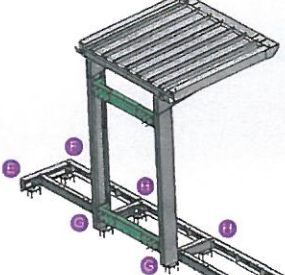
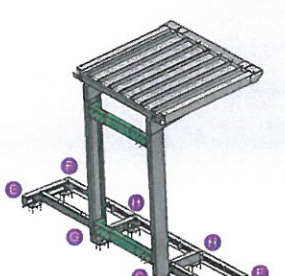
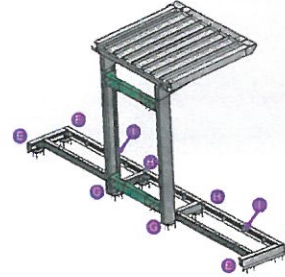
DB Job No. DB1041 TZ Canopy

Page 13 of 14

6th Oct 2016

Ground Plinth Mounting Points

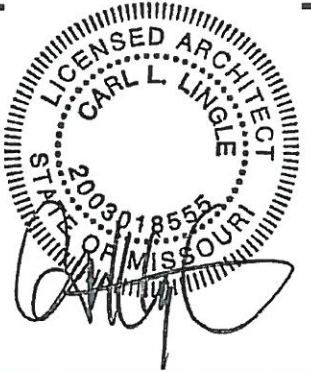
Anchor connection via Plinth Anchors only - No Wall Brace Anchors

Install Image	Description
	#8 Locker Install Ground Plinth Mounting Vertical Wall Brace (green) shown in illustration but not required for installation. Ground slab provides support for all actions
	#9 Locker Install Ground Plinth Mounting Vertical Wall Brace (green) shown in illustration but not required for installation. Ground slab provides support for all actions
	#11 Locker Install Ground Plinth Mounting Vertical Wall Brace (green) shown in illustration but not required for installation. Ground slab provides support for all actions Note: Additional Compression supports "I" mid span under outer #4 Column front ground beams

DB Job No. DB1041 TZ Canopy

Page 14 of 14

6th Oct 2016



PREPARED FOR:
**UPS LOCKERS
CIRCLE K**
1545 S NEW FLORISSANT ROAD
FLORISSANT, MO 63031

158 WEST MAIN ST.
LENA, IL 61048
PH: 815-369-9155
FAX: 815-369-4495
WWW.LINGLEDESIGN.COM


LINGLE DESIGN GROUP

REVISIONS				
NO.	DESCRIPTION	DATE		
1				
2				
3				
4				
5				

ALL DRAWINGS AND WRITTEN MATERIAL CONTAINED HEREIN ARE THE PROPERTY OF LINGLE DESIGN GROUP, INC. THEY MAY NOT BE REVISED, COPIED, REDUCED, OR DISCLOSED IN ANY MANNER WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT.

SHOP
DRAWINGS

CK-MO-HL0001622

DRAWN BY: JUE	CHECKED BY #1: LRD	CHECKED BY #2: -	APPROVED BY: CLL
---------------	--------------------	------------------	------------------

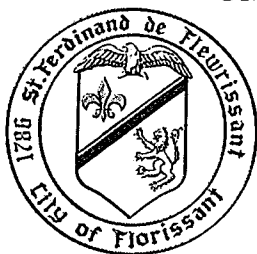
PROJECT NO: 17-398

DATE: 05/10/17

SHEET NUMBER:
A10

1

MEMORANDUM



CITY OF FLORISSANT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: August 15, 2017

From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr. PE-PWLF
Director of Public Works
Applicant
File
Subject: **1545 S. New Florissant Road** - Request recommended approval to
amend a Special Use, ordinance no. 3472, in a 'B-3' Zoning District.

STAFF REPORT

CASE NUMBER PZ-082117-4

I. PROJECT DESCRIPTION:

This is a request for recommended approval to amend a Special Use, ordinance no. 3472 (as amended by ordinances 5062, 5255, 5595, and 7593) in a 'B-3' Zoning District to allow an addition of a UPS business to the exterior.

II. EXISTING SITE CONDITIONS:

The existing property at **1545 S. New Florissant Road** is a 1071 s.f. filling station according to public record. It has been in operation since 1990 and would like to apply for permit for exterior alterations.

III. SURROUNDING PROPERTIES:

The adjacent property to the North is 1475 S. New Florissant Road in a 'B-3' District owned by the filling station, Spirit Energy LLC. The property to the west is 1067 Dunn Road in an 'B-3' District with easement agreement for the retaining wall.

IV. STAFF ANALYSIS:

The application is accompanied by professional plans A1, A2, A2.1, A3, A4, A5, A6, A7 A8, A9 and A10, all dated 5/10/17. Staff has the following review comments:

General: The Existing building consists of masonry. Upon examination of plans, there is brick that is being covered by a locker-like installation. Petitioner should come

41 prepared to discuss how much painted masonry is being covered by the lockers and metal
42 canopy.
43

44 **V. STAFF RECOMMENDATIONS:**

- 45 1. The exterior changes affect the existing Special Use.
46 2. Any other items in need of change to the ordinance may be considered.
47

48 **Suggested Motion to Amend a Special Use:**
49

- 50 1. I move to recommended approval to amend a Special Use, ordinance no. 3472 (as
51 amended by ordinances 5062, 5255, 5595, and 7593) in a 'B-3' Zoning District to
52 allow a UPS business operation as described related documents presented and
53 according to the attached drawings as prepared by Lingle Design Group and
54 dated 5/10/17. Approval is subject to the regulations of these ordinances, and the
55 following additional requirements:
56

57 1. **GENERAL DEVELOPMENT CONDITIONS.**
58

- 59 a. Unless, and except to the extent, otherwise specifically provided in
60 ordinance no. 3472, development shall be effected only in accordance with
61 all ordinances of the City of Florissant.

62 *B. Any landscaping that is displaced shall be relocated or replaced.*
63 2. **PROJECT COMPLETION.**

64 Construction shall start within 90 days of the issuance of building permits for
65 the project and shall be developed in accordance of the approved final
66 development plan within 180 days of start of construction.
67

68 (End of report and suggested motion 8/15/17)

CITY OF FLORISSANT

Public Hearing



In accordance with Section 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Tuesday, September 19, 2017 at 7:30 p.m. on the following proposition:

To authorize an amendment to Special Permit No. 3472 (as amended by Ord. Nos. 5062, 5215, 5595 and 7593) to allow for an addition of a UPS business for the property located at 1545 S. New Florissant Road (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, City Clerk

1 INTRODUCED BY COUNCILWOMAN PAGANO
2 SEPTEMBER 19, 2017
3

4 BILL NO. 9309

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN APPROPRIATION OF \$900,000**
7 **FROM THE GENERAL REVENUE FUND TO ACCOUNT NO. 4050**
8 **“PROFESSIONAL SERVICES” TO COVER EXPENSES FROM A CLASS**
9 **ACTION AGREEMENT.**

10
11 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
12 COUNTY, MISSOURI, AS FOLLOWS:
13

14 Section 1: There is hereby appropriated and set apart from the General Revenue Fund of
15 the City of Florissant the sum of \$900,000 from the General Revenue Fund to Account no. 4050
16 “Professional Services” to cover expenses from a class action agreement.

17 Section 2: This ordinance shall become in force and effect immediately upon its
18 passage and approval.

19
20 Adopted this ____ day of ____, 2017.

21
22 _____
23 Jackie Pagano
24 President of the Council
25 City of Florissant
26

27 Approved this ____ day of ____, 2017.

28
29 _____
30 Thomas P. Schneider
31 Mayor, City of Florissant
32
33

34 ATTEST:

35
36 _____
37 Karen Goodwin, MMC/MRCC
38 City Clerk
39

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: September 8, 2017

Mayor's Approval:

Agenda Date Requested: September 19, 2017

Description of request: A supplemental appropriation to provide funding for the Qualified Settlement Fund and attendant administrative costs related to an agreement reached in the Watkins vs. City of Florissant class action petition. Respectfully request \$900,000 to account #4050 Professional Services from general revenue. See attached memo for further information.

Department: Finance

Recommending Board or Commission: N/A

Type of request:

Ordinances	X	Other	X
Appropriation	X	Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N

Public Hearing needed: Yes / No

No

3 readings? : Yes / No

No

Back up materials attached:

Minutes
Maps
Memo
Draft Ord.

Back up materials needed:

Minutes
Maps
Memo
Draft Ord.

X

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

City of Florissant, Missouri
Memorandum

To: Mayor Thomas P. Schneider
From: Randy McDaniel, Director of Finance
Subject: Supplemental Appropriation
Date: September 12, 2017

In January, 2016 the City of Florissant was served with a class action petition titled "Stanley Watkins (Plaintiff) vs. City of Florissant (Defendant)." The plaintiff, on behalf of himself and all others similarly situated, by and through legal counsel of ArchCity Defenders, Inc., Campbell Law LLE and Saint Louis University Legal Clinic, alleged that the City of Florissant charged a variety of illegal fees through the municipal court designed to profit the City at the expense of the general welfare. The fees referenced in the petition were said to be statutorily prohibited and void because they were enacted for profit and not to promote the welfare of the public and violate the Missouri Constitutional rights of plaintiff and class.

On September 7, 2017 I was copied on communication from the City Attorney which indicated that an agreement had been reached in the aforementioned class action petition. From the various communications I believe the City will need to provide funds in the amount of \$857,622.34 to establish a Qualified Settlement Fund (QSF). The QSF will provide funds for the payment of \$281,385 in legal fees, \$1,500 to the plaintiff and the balance of \$574,737.34 will be for payments to the class members.

In addition, there will be administrative fees associated with the payment of the legal fees, the payment to the plaintiff and payments to the class members. Administrative costs are estimated at \$42,377.66.

Based on this, I respectfully request a supplemental appropriation in the amount of \$900,000 to Professional Services account #4050 from general revenue.

CITY OF FLORISSANT

955 rue St. Francois
314-921-5700

APPLICATION FOR LIQUOR LICENSE

TYPE OF LICENSE REQUESTED:

- () Full Liquor by the Drink () Full Package Liquor () Consumption of Liquor
(X) Malt Liquor & Wine by the Drink () Malt Liquor & Wine Package () Tasting
() Full Liquor by Drink (Non-Profit)

To the City Clerk, City of Florissant, Saint Louis County Missouri:

The undersigned hereby makes application for a liquor license issued under Chapter 600 of the Florissant City Code

TYPE OF LICENSE REQUESTED:

- (X) Individual () Partnership () Corporation () Limited Liability Corp
(Attach list of Partners) (Attach list of officers, addresses)

Name of Business Happy Nails

Business Address 360 N Hwy. 67

Phone 314-707-7000

Names of Applicant, Corporation, or LLC Sara Phuong Nguyen

Address of Owner 7601 Canisius Hazelwood MO 63042 Phone (314)677-4907
Street City State Zip

Name of Managing Officer Sara P. Nguyen

Home Address 7801 Canisius B.N. Hazelwood MO 63042 314-677-4907
Street City/State Zip Home Phone

Managing Officer Date & Place of Birth 10-23-1978 Vietnam Cell Phone 314-677-4907

Managing Officer Driver's License No.
(Provide a copy of driver's license)

ocial Security Number
Social Security Number used
for purposes of identification in running record check.

Managing Officer Personal Property Taxes 20 Paid? () Yes (X) No (Attach most recent copy)

Managing Officer Register Voter of Missouri? (X) Yes () No (Attach a Voter Registration Certificate)

Have you ever been arrested? No What Charge? _____
Where? _____ Disposition? _____

Citizen of U.S.A.? (X) Yes () No Naturalized? () Yes Date _____ () No
If Naturalized, Give Number: _____ Dist. _____
(Provide naturalization documentation)

Do you have an interest in any liquor license which is now in force? No

If so, give details _____

Have you previously held a liquor license of any type? NO

If so, when and where _____

9/20/17 Council
cc: to Clerk
+ Mayor

Have you ever had a liquor license suspended or revoked? No
If so, give details _____

Have you ever been convicted of any violation of any federal or state law? No
If so, give details _____

Have you ever been convicted of any municipal or county ordinance violation? No
If so, give details _____

Have you ever been convicted of any violation of a federal law, state statute or local ordinance relating to intoxicating liquor? No
If so, give details _____

Has the location previously been occupied as a liquor establishment, liquor store or tavern? No
If so, state name _____

Is the location within 200 feet of property used for church, school or public playground? No

If Individual Applicant, sign below:

If Partnership, corporation or LLC complete the following:

Happy nails
Trade Name

[Signature]
Signature of Managing Officer

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

Sara Nguyen, of lawful age, being first duly sworn upon 08/31/2017 oath
(Individual or **Managing Officer**)

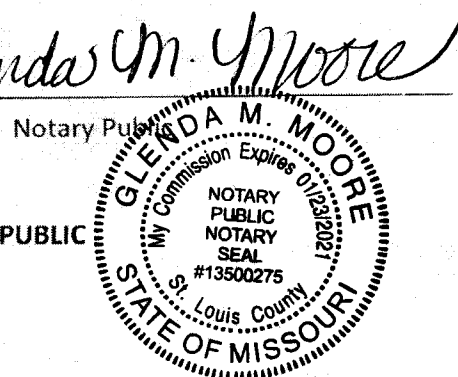
deposes and states that he/she is the (applicant) (the managing officer of the corporation or partnership seeking the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations and rules adopted by the City relating to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.

[Signature]
Signature of Individual or **Managing Officer**

Subscribed and sworn to before me this 31 day of August, 2017

My Commission Expires: 01/23/2021

NOTE: APPLICATION MUST BE SWORN TO BEFORE A NOTARY PUBLIC



APPLICATION FOR SUNDAY LIQUOR LICENSE

To the City Clerk, City of Florissant, Saint Louis County Missouri

Authorizing the sale of retail liquor by the drink or package in the city of Florissant on **Sunday** from 9:00 a.m. to midnight

TYPE OF OPERATION:

(**X**) Individual () Partnership () Corporation () Limited Liability Corp

Name of Business Happy Nails

Location 360 N. Hwy 67 **Phone** 314-707-7000

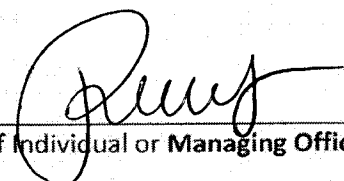
Exact Trade Name, LLC or Corporation Happy Nails

The undersigned (Individual, Partnership, Corporation, LLC), hereby makes application to the City Clerk, City of Florissant, St. Louis County, Missouri for a "By the Drink/Package Liquor License" authorizing the sale of retail liquor on Sundays from 9:00 a.m. to midnight for the period beginning on _____ and expiring on June 30, 2017, on the above described premises and agrees that if the license herein applied for is granted, and the licensee shall violate any provisions of the State Liquor Control Act or of the City of Florissant Code and particularly any provision of Chapter 600 of the Florissant City Code pertaining to alcoholic beverages or permit any other person to do so upon the licensed premises, the City Council, by a majority vote, may suspend or revoke such license.

1) I/WE presently hold Florissant License Number _____ authorizing the sale of retail liquor by the drink or package in Florissant for premises described in this application.

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

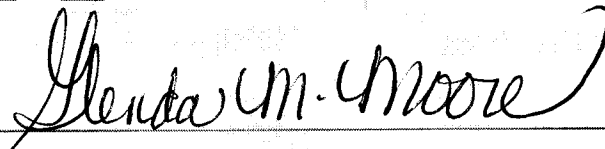
I Sara Nguyen of lawful age, being first duly sworn upon my oath, depose and say that I
(Print Name of Managing Officer)
have read this application and that I fully understand the same; that I know the contents thereof and the statements contained therein and that the same are true of my own knowledge.



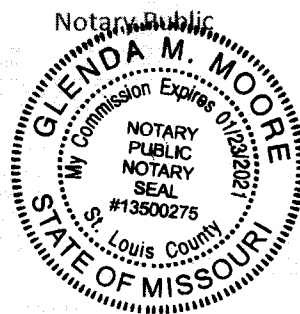
Signature of Individual or Managing Officer

Subscribed and sworn to before me this 31 day of Aug., 2017.

My Commission Expires: 01/23/2021



Notary Public



SUPPLEMENT TO APPLICATION FOR LIQUOR LICENSE

CORPORATION & LIMITED LIABILITY COMPANY:

Copy of Certificate of Incorporation/ Registration &
Articles of Organization papers must be attached

To the Florissant City Council,
Florissant, St. Louis County, Missouri _____

DATE _____

TO BE COMPLETED BY ALL PARTNERS, OR IF CORPORATION OR LIMITED LIABILITY CORPORATION BY ALL OFFICERS OR MEMBERS:

1. FULL NAME Sara Phuong Nguyen
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH 10-23-1978 SEX Female
PHONE NUMBER (314)677-4907
ADDRESS 7801 Canisius Lane
LAST PREVIOUS ADDRESS _____
NO. OF YEARS _____

2. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YEARS _____

3. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YEARS _____

4. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YEARS _____

PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

EMERGENCY INFORMATION

OWNER OF PROPERTY Sara Phuong Nguyen PHONE (314)677-4907
ADDRESS 7801 Canisius Lane CITY Hazelwood STATE MO ZIP 63042
NAME OF BUSINESS Happy Nails II PHONE 314-707-7006
ADDRESS 360 N Hwy 67 CITY Florissant STATE MO ZIP 63031
BUSINESS HOURS 9:00 am until 9:00 pm
OWNER/MANAGER Sara Nguyen PHONE 314-677-4907
HOME ADDRESS 780 Canisius Ln CITY Hazelwood STATE MO ZIP 63042

**PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY
OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE**

CONTACT #1
NAME Jeanna Williams ADDRESS 1100 Lawson Pl Ct
CITY & STATE Florissant, MO ZIP 63031 PHONE 314-660-3238
HAS KEY: YES () NO ()

CONTACT #2
NAME _____ ADDRESS _____
CITY & STATE _____ ZIP _____ PHONE _____
HAS KEY: YES () NO ()

ARE THERE LIGHTS LEFT ON AFTER BUSINESS HOURS: YES ☒ NO ()

IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS: YES ☒ NO ()

IF YES, WHO: Owner and manager

ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS: YES () NO ☒

DESCRIBE: 2017 Toyota Rav4 White
(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? YES ☒ NO ()

IF YES, WHERE IS IT LOCATED: In Office

CAN IT BE SEEN FROM THE OUTSIDE? YES () NO ☒

IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? YES ☒ NO ()

IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.

CITY OF FLORISSANT



FLORISSANT, MISSOURI

WAIVER

Authorization to complete record check

I, Sara Phuong Nguyen

RESIDING AT 7801 Canisius Lane

IN THE CITY OF Hazelwood

STATE Missouri

I do hereby authorize the City Clerk of the City of Florissant, Missouri to make a full and complete check of my record in the Metropolitan St. Louis area, state of Missouri, all prior areas of residence, and through the National Criminal Information Center in Washington, D.C.

Glenda M. Moore
Witness

[Signature]
Signature

08/31/17
Date

10/23/1978
Date of Birth

** Social Security Number

** Driver's License Number & State

*** Social Security & Driver's License Numbers will be used for purposes of identification in completing record check.*

STATE OF MISSOURI



John R. Ashcroft
Secretary of State

CERTIFICATE OF ORGANIZATION

WHEREAS,

Happy Nails Sara 2 LLC
LC001525968

filed its Articles of Organization with this office on the 14th day of February, 2017, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, John R. Ashcroft, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 14th day of February, 2017, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri.
Done at the City of Jefferson, this 14th day of February, 2017.

Effective Date: February 15, 2017


Secretary of State





State of Missouri

John R. Ashcroft, Secretary of State

Corporations Division
PO Box 778 / 600 W. Main St., Rm. 322
Jefferson City, MO 65102

LC001525968
Date Filed: 2/14/2017
Effective: 2/15/2017
John R. Ashcroft
Missouri Secretary of State

Articles of Organization

(Submit with filing fee of \$105.00)

1. The name of the limited liability company is

Happy Nails Sara 2 LLC

(Must include "Limited Liability Company," "Limited Company," "LC," "L.C.," "LLC," or "LLC")

2. The purpose(s) for which the limited liability company is organized:

Manicure and Pedicure and other Beauty services

3. The name and address of the limited liability company's registered agent in Missouri is:

<u>DAVID SUNARTO</u>	<u>16100 CHESTERFIELD PARKWAY WEST # 363</u>	<u>CHESTERFIELD MO 63017</u>
<small>Name</small>	<small>Street Address: May not use PO Box unless street address also provided</small>	<small>City/State/Zip</small>

4. The management of the limited liability company is vested in: ☐ managers ☒ members (check one)

5. The events, if any, on which the limited liability company is to dissolve or the number of years the limited liability company is to continue, which may be any number or perpetual: Perpetual

(The answer to this question could cause possible tax consequences, you may wish to consult with your attorney or accountant)

6. The name(s) and street address(es) of each organizer (PO box may only be used in addition to a physical street address):

(Organizer(s) are not required to be member(s), manager(s) or owner(s))

<i>Name</i>	<i>Address</i>	<i>City/State/Zip</i>
<u>NGUYEN, SARA</u>	<u>360 N HIGHWAY 67</u>	<u>FLORISSANT MO 63031</u>

7. ☐ Series LLC (OPTIONAL) Pursuant to Section 347.186, the limited liability company may establish a designated series in its operating agreement. The names of the series must include the full name of the limited liability company and are the following:

New Series:

☐ The limited liability company gives notice that the series has limited liability.

New Series:

☐ The limited liability company gives notice that the series has limited liability.

New Series:

☐ The limited liability company gives notice that the series has limited liability.

(Each separate series must also file an Attachment Form LLC 1A.)

Name and address to return filed document:

Name: Nguyen Sara

Address: Email: dsunarto@hotmail.com

City, State, and Zip Code: _____

LLC-1 (08/2013)

8. The effective date of this document is the date it is filed by the Secretary of State of Missouri unless a future date is otherwise indicated: : 2/15/2017

(Date may not be more than 90 days after the filing date in this office)

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

All organizers must sign:

SARA NGUYEN
Organizer Signature

SARA NGUYEN
Printed Name

02/14/2017
Date of Signature



CITY OF FLORISSANT

PUBLIC HEARING NOTICE

A Public Hearing will be held by the Florissant City Council in the Council Chambers, 955 rue St. Francois, Florissant, MO., on Tuesday, September 19, 2017 at 7:30 p.m. on the following proposition, to-wit:

To rezone for Darin Tucker the property located at 22 Floweridge Lane from R-4 Single Family Dwelling District, to R-6 Multiple Family Dwelling District, to allow for construction of a duplex.

Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, City Clerk.

1 INTRODUCED BY COUNCILMAN EAGAN
2 SEPTEMBER 25, 2017
3

4 BILL NO. 9310

ORDINANCE NO.

5
6 **ORDINANCE TO REZONE FOR DARIN TUCKER THE PROPERTY**
7 **LOCATED AT 22 FLOWERIDGE LANE FROM R-4 SINGLE FAMILY**
8 **DWELLING DISTRICT, TO R-6 MULTIPLE FAMILY DWELLING**
9 **DISTRICT TO ALLOW FOR CONSTRUCTION OF A DUPLEX**
10
11

12 WHEREAS, Title IV, Land Use as amended, establishes within the City of Florissant
13 district classifications for the purpose of regulating their construction and use of land, buildings
14 and property within the said various districts, and said Ordinance provides the nature, kind and
15 character of buildings that may be erected in each of the said districts and the use to which the
16 land and buildings may be put; and

17 WHEREAS, the Planning and Zoning Commission has recommended denial at their
18 meeting on August 21, 2017 that 22 Floweridge be rezoned from R-4 Single Family District to
19 R-6 Multiple Family Dwelling district for the construction of a duplex; and

20 WHEREAS, due and lawful notice of a public hearing no. 17-09-021 on said proposed
21 zoning change was duly published and held on Tuesday, September 19, 2017 at 7:30 P.M. by the
22 Council of the City of Florissant; and

23 WHEREAS, the Council of the City of Florissant, after careful and due deliberation, has
24 concluded that the amendment of the Land Use Ordinance, as hereinafter set forth, to be in the
25 best interest of the City of Florissant.
26

27 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
28 COUNTY, MISSOURI, AS FOLLOWS:
29

30 Section 1: The zoning classification for the property known as 22 Floweridge Lane and
31 described by the survey and legal description attached hereto is hereby changed from R-4
32 "Single Family Dwelling District" to R-6 "Multiple Family Dwelling District" to allow for the
33 construction of a duplex.
34

35 Section 2: This ordinance shall become in force and effect immediately upon its passage
36 and approval.
37

Adopted this _____ day of _____, 2017.

Jackie Pagano
President of the Council
City of Florissant

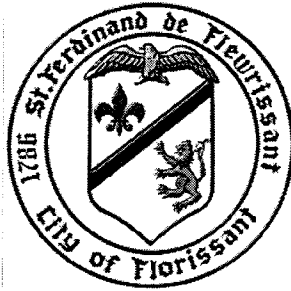
Approved this _____ day of _____, 2017.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

RE-ZONING APPLICATION TO THE PLANNING AND ZONING
COMMISSION CITY OF FLORISSANT, MISSOURI



PLANNING & ZONING ACTION:

RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

SIGN.

DATE:

8/21/17

Address of Property:

22 Floweridge Lane

Council Ward 3 Zoning R4

Initial Date Petitioner Filed _____
(Building Commissioner complete)

PETITION FOR REZONING FROM A CURRENTLY ZONED R4 DISTRICT TO
Enter current zoning district
A R6 ZONING DISTRICT IN COUNCIL WARD 3
Enter zoning classification request

- 1) Comes Now DARIN Tucker
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property) owner of property
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

If other than title, give date of contract _____ and expiration date of Contract _____

- A. The petitioner(s) hereby state that he (she) (they) is (are) hereby submitting a description of the entire parcel or tract of land owned by the holder of the fee simple title, giving bearing and distances.
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned, giving bearings & distances (metes and bounds). Not required if description is identical to "A".
- C. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property described in "A" above, drawn to scale of 100 feet or less to the inch, referenced to point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions (bearings and distances) of property, north point and scale. If property is being described in "A" above, designate said property and show dimensions of same.

7/17/17 599463 dl 125.00

334648



* 2 0 1 5 1 0 1 4 0 0 6 4 8 *

GERALD E. SMITH, RECORDER OF DEEDS
ST. LOUIS COUNTY MISSOURI
41 SOUTH CENTRAL, CLAYTON, MO 63105

TYPE OF
INSTRUMENT
WD

GRANTOR
BANK OF AMERICA NA

TO

GRANTEE
TUCKER DARIN

PROPERTY
DESCRIPTION:

FLOWERIDGE L: 22 PB: 86 PG: 26WOP

Lien Number

Notation

Locator

NOTE: I, the undersigned Recorder of Deeds, do hereby certify that the information shown on this Certification Sheet as to TYPE OF INSTRUMENT, the NAMES of the GRANTOR and GRANTEE as well as the DESCRIPTION of the REAL PROPERTY affected is furnished merely as a convenience only, and in the case of any discrepancy of such information between this Certification Sheet and the attached Document, the ATTACHED DOCUMENT governs. Only the DOCUMENT NUMBER, the DATE and TIME of filing for record, and the BOOK and PAGE of the recorded Document is taken from this CERTIFICATION SHEET.

RECORDER OF DEEDS DOCUMENT CERTIFICATION

STATE OF MISSOURI)
SS.
COUNTY OF ST. LOUIS)

Document Number

00648

I, the undersigned Recorder of Deeds for said County and State, do hereby certify that the following and annexed instrument of writing, which consists of 6 pages, (this page inclusive), was filed for record in my office on the 14 day of October 2015 at 02:30PM and is truly recorded in the book and at the page number printed above.

In witness whereof I have hereunto set my hand and official seal the day, month and year aforesaid.

T1
Deputy Recorder



Gerald E. Smith
Recorder of Deeds
St. Louis County, Missouri

Mail to:

ServiceLink Aliquippa Title Company
4000 Industrial Blvd
Aliquippa, PA 15001

Destination code: 4002

RECORDING FEE 36.00
(Paid at the time of Recording)

Page 2

3. I have given a lot of thought about building on this property even long before I had purchased it. My wife's grandparents are Paul and Laverne Callahan, they own the property at 675/677 Rosetta Drive in which borders 22 Floweridge Lane on the east side. Paul has now passed away, but Laverne still lives at 677 Rosetta. I spent a lot of time with them over the years and we talked about the possibilities of purchasing the property and what I could build if I was able to own it. Both of them were in the business of renting and owning several homes in the Florissant and Ferguson areas. They purchased the property at Rosetta as their home as an investment in their retirement portfolio. I have the same drive and ambition as they had and the vision of what I believe this property can and will be if given the opportunity to do so. Since I purchased this property I have spent a lot of time working on cleaning up the over grown trees, brush, and debris. This has not only improved my property and its appearance, but also the neighboring property as well. I have received a lot of praise from neighboring apartment owners, home owners and also some of the tenants in the area as well on how great the property looks now. I say all this hoping you will see how much this means to me and know that what I build on this property will only help and improve the area. Please consider the rezoning this property on 22 Floweridge from a zone R4 to a zone R6 that already rest against existing R6 properties. Thank you!

Darin Tucker – owner of 22 Floweridge Lane property

Darin Tucker July 17, 2017

GRANTEE RIDER

In Witness Whereof, the said Grantor(s) has executed these presents the day and year first above written.

Darin Tucker
Grantee: DARIN TUCKER

STATE OF *Missouri*
COUNTY OF *ST. LOUIS* } ss.

On this 12 day of October, 2015, Personally appeared to me known to be the person(s) described herein and who executed the forgoing instrument, and acknowledged that he executed the same as his free act and deed, as the Grantee(s), party of second part.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County of St. Louis, and the State of Missouri, the day and year first written above.

Maggie Singleton
Notary Public

My Commission Expires:
July 15, 2018

Commission # 14432658
St. Louis County
July 15, 2018
My Commission Expires
MAGGIE SINGLETON



Type of Document: SPECIAL WARRANTY DEED

Date of Document: 8/25/2015

Grantor (s): BANK OF AMERICA, N.A.

Grantor (s) Mailing Address: 2505 W CHANDLER BLVD, AZ 85224

Grantee (s)(lender): DARIN TUCKER

Grantee (s) Mailing Address: 1365 NIGHT DR. FLORISSANT, MO 63031

Legal Description: PARCEL NO. 1: LOT 22 OF FLOWERIDGE, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI. PARCEL NO: 2 A TRACT OF LAND IN SURVEYS 166, 167, 168, 169 AND 170 OF ST. FERDINAND COMMON FIELDS IN TOWNSHIP 47 NORTH, RANGE 6 EAST AND DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERN CORNER OF A 20 ACRE, TRACT CONVEYED TO BERNARD KLAAS AND WIFE, BY DEED RECORDED IN BOOK 921, PAGE 76 OF THE ST. LOUIS COUNTY RECORDS.

Reference Book and Pages (s): BOOK 86 PAGE 26

Prepared By/Return To:

ServiceLink, LLC
400 Corporation Drive
Aliquippa, PA 15001
Servicelink # 3346429

SPECIAL WARRANTY DEED

This Deed, made and entered into this 25th day of August, 2015, by and between **Bank of America, N.A.**, whose mailing address is 2505 W Chandler Blvd (Mail Code: AZ1-805-03-03) Chandler, AZ 85224, of the County of Maricopa, State of Arizona, **Grantor(s)**, and **DARIN TUCKER, a (an)** _____ **person**, whose mailing address is 1365 Night Dr, Florissant, MO 63031, of the County of St. Louis, State of Missouri, **Grantee(s)**.

Witnesseth, that the said Grantor(s), for and in consideration of the sum of **One Thousand One and 00/100 Dollars (\$1001.00)** and other valuable considerations paid by the said Grantee(s), the receipt of which is hereby acknowledged, does by these presents Grant, Bargain, Sell, Convey and Confirm unto the said Grantee(s), the following described Real Estate, situated in the County of Saint Louis and State of Missouri, to-wit:

All that certain parcel of land situate in the County of St. Louis, State of Missouri, being more particularly described as follows:

Parcel No. 1:

Lot 22 of Floweridge, a subdivision in St. Louis County, Missouri, according to the plat thereof recorded in Plat Book 86, Page 26 of the St. Louis County Records.

Parcel No. 2:

A tract of land in Surveys 166, 167, 168, 169 and 170 of St. Ferdinand Common Fields in Township 47 North, Range 6 East and described as follows: Beginning at the most Western corner of a 20 acre, tract conveyed to Bernard Klaas and wife, by deed recorded in Book 921, Page 76 of the St. Louis County Records; thence North 37 degrees 45 minutes East along the Northwest line of said Bernard Klaas Tract 77.57 feet to a point; thence South 52 degrees 15 minutes East along the Northwest line of said Bernard Klaas Tract 77.53 feet to a point; thence South 37 degrees 45 minutes West 77.53 feet to a point in the Southwest line of said Bernard Klaas tract thence North 52 degrees 16 minutes West by survey (North 52 degrees 17 minutes West by deeds) along the Southwest line of said Bernard Klaas tract 149.33 feet to the point of beginning, according to the survey executed by Bangert and Kaller Surveying and Engineering Company on May 25, 1964.

Tax/Parcel ID: 08K540315

Commonly Known as: 22 FLOWERIDGE LN FLORISSANT MO 63031

Subject to Building lines, easements, restrictions and conditions of record, if any, and to any zoning law or ordinance affecting the herein described property.

Prior reference: Book 21088, Page 1

"Seller makes no representations or warranties, of any kind or nature whatsoever, whether expressed, implied, implied by law, or otherwise, concerning the condition of the title to the property prior to the date the seller acquired title."

To Have and to Hold the same, together with all rights and appurtenances to the same belonging, unto the said Grantee(s), and to their heirs and assigns, forever.

The said Grantor(s) hereby covenants that it and its heirs, executors and administrators shall and will *Warrant and Defend* the title to the premises unto the said Grantee(s), and to their heirs and assigns, forever, against the lawful claims of all persons claiming by, through or under Grantor(s) but none other, excepting, however, the general taxes for the calendar year 2015 and thereafter, and special taxes becoming a lien after the date of this deed.

In Witness Whereof, the said Grantor(s) has executed these presents the day and year first above written.

Bank of America, N.A.

By:

Kelly M. Sorenson

Name:

Kelly M. Sorenson

Title:

AVP

STATE OF Arizona
COUNTY OF Maricopa

} ss.

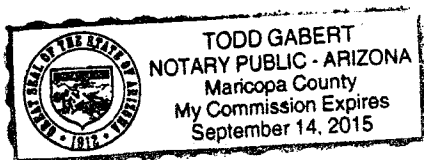
On this 25th day of August, 2014, before me personally appeared Kelly M. Sorenson, to me personally known, who, being by me duly sworn, did say that she is the AVP of **Bank of America, N.A.**, a Corporation of the State of Arizona, and that said instrument was signed in behalf of said corporation, by authority of its Board of Directors; and said Kelly M. Sorenson, AVP acknowledged said instrument to be the free act and deed of said corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid, the day and year first above written.

Todd Gabert

Notary Public.

My term expires: 09/14/2015



GRANTEE RIDER

In Witness Whereof, the said Grantor(s) has executed these presents the day and year first above written.

Darin Tucker
Grantee: DARIN TUCKER

STATE OF *Missouri*
COUNTY OF *ST. LOUIS* } ss.

On this *12* day of *October*, 2015, Personally appeared to me known to be the person(s) described herein and who executed the forgoing instrument, and acknowledged that he executed the same as his free act and deed, as the Grantee(s), party of second part.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County of St. Louis, and the State of Missouri, the day and year first written above.

Maggie Singleton
Notary Public

My Commission Expires:

July 15, 2018

MAGGIE SINGLETON
My Commission Expires
July 15, 2018
St. Louis County
Commission #14432558



Packet Page 89 of 100

"your solution for
engineering and
surveying"

FOR THE BENEFIT AND USE OF:

ORDER # 17-1591

DARIN TUCKER

DATE 7/7/17

ADDRESS: 22 FLOWERIDGE LANE, ST LOUIS COUNTY, MISSOURI

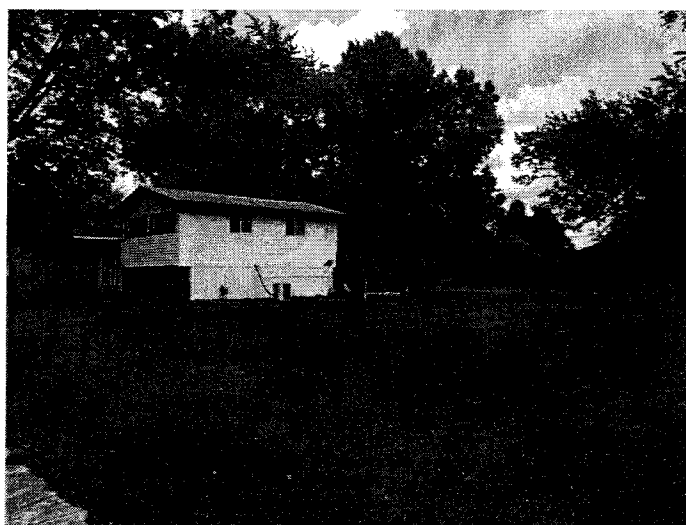
PROPERTY DESCRIPTION

SEE SURVEY FOR PROPERTY DESCRIPTION

RECORDED IN: ST LOUIS COUNTY, MISSOURI

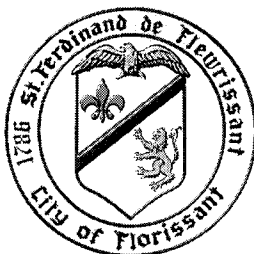
NOTES/ENCROACHMENTS & VIOLATIONS

SUBJECT PROPERTY'S CONC PAD LIES IN EASEMENT BY W 11.2' & 4.5' & L 10.0' & 7.8'



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MEMORANDUM



CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners

Date: August 2, 2017

From: Philip E. Lum, AIA-Building Commissioner c:

Louis B. Jearls, Jr. - P.E.,
PWL Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request Recommended Approval of a **Rezoning to a 'R-6' at 22 Floweridge** in an existing 'R-4' Zoning District.

STAFF REPORT CASE NUMBER PZ-080717-3

I. PROJECT DESCRIPTION:

The request before the commission is to rezone the property located to a **'R-6' at 22 Floweridge** in an existing 'R-4' Zoning District to allow the future development of a duplex. The property is approximately 19,082 s.f. **Survey included by THD Design Group, Inc. dated 7/7/17.**

BUILDING:

There is no existing residential structure on the property.

II. SURROUNDING PROPERTIES:

The properties to the West are in a 'R-6' District, the properties to the North are in the 'R-4' Single Family Dwelling District.

III. STAFF ANALYSIS:

The change in zoning as proposed is adjacent to the 'R-6' District. In addition, the petitioner owns some of the adjacent properties

VI. STAFF RECOMENDATIONS:

40

41

1. The City Comprehensive Plan does not specifically address small lot rezoning.

42

2. The re-zoning does not constitute spot zoning with 'R-6' adjacency.

43

44

Suggested Motion

45

I move to recommend approval of a rezoning of **22 Floweridge** from 'R-4' to 'R-6' Multiple Family District to allow redevelopment of a duplex subject to the conditions set forth below with these conditions being part of the record:

46

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49

1. Survey attached dated 7/7/17 shall be duly filed with St. Louis County Recorder's office for the purpose of re-zoning.

50

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52

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54

(End of report and suggested motion)

1st - Start
2nd - Pub
Motion fails
6/9 notes from

1

MEMORANDUM



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CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

7 To: Planning and Zoning Commissioners

Date: August 15, 2017

8
9 From: Philip E. Lum, AIA-Building Commissioner c:

Louis B. Jearls, Jr. - P.E.,
PWL Director Public Works
Deputy City Clerk
Applicant
File

10
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14
15 Subject: Request Recommended Approval of a **Rezoning to a 'R-6' at 22**
16 **Floweridge** in an existing 'R-4' Zoning District.
17

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STAFF REPORT

CASE NUMBER PZ-080717-3

21
22

VI. STAFF RECOMENDATIONS:

- 23 1. The City Comprehensive Plan does not specifically address small lot rezoning.
24 2. The re-zoning does not constitute spot zoning with 'R-6' adjacency.
25 3. **Staff discussed minutes of the last meeting where members of the**
26 **Commission expressed the desire to see favorable support by the neighbors.**
27 **John Hessel commented that he agrees with staff and advises the commission**
28 **that re-zoning is not a popularity contest, but consideration of the uses and**
29 **surrounding uses. Since the site is contiguous and/or near to properties that**
30 **are already zoned multi-family or appear to be legal non-conforming and are**
31 **already used for multi-family are more meaningful factors.**
32

33
34

Suggested Motion

I move to recommend approval of a rezoning of **22 Floweridge** from 'R-4' to 'R-6' Multiple Family District to allow redevelopment of a duplex subject to the conditions set forth below with these conditions being part of the record:

- 35
36
37
38 1. Survey attached dated 7/7/17 shall be duly filed with St. Louis County Recorder's
39 office for the purpose of re-zoning.

40 (End of report and suggested motion)

1 INTRODUCED BY COUNCILWOMAN PAGANO
2 SEPTEMBER 25, 2017
3

4 BILL NO. 9311

ORDINANCE NO.

5
6 **ORDINANCE TO AMEND THE MISCELLANEOUS REVENUE**
7 **ACCOUNT NO. 03-40330 IN THE AMOUNT OF \$12,396.50 AND**
8 **APPROPRIATE \$29,000 FROM THE GENERAL REVENUE FUND TO**
9 **ACCOUNT NO. 03-6149 "CAPITAL ADDITIONS" FOR THE**
10 **REPLACEMENT OF A TOTALED POLICE VEHICLE.**

11
12 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
13 COUNTY, MISSOURI, AS FOLLOWS:
14

15 Section 1: Revenue account no. 03-4-03300 "Miscellaneous Revenue" is hereby
16 amended by adding the amount of \$12,396.50 to reflect a reimbursement received from
17 Travelers Insurance for a totaled Ford Explorer police vehicle; and

18 Section 1: There is hereby appropriated and set apart from the General Revenue Fund of
19 the City of Florissant the sum of \$29,000 to Budget Account No. 036149 "Capital Additions"
20 for the purchase of a new police vehicle for the Police Department.

21 Section 2: This ordinance shall become in force and effect immediately upon its
22 passage and approval.

23
24 Adopted this ____ day of _____, 2017.

25
26 _____
27 Jackie Pagano
28 President of the Council
29 City of Florissant
30

31 Approved this ____ day of _____, 2017.

32
33 _____
34 Thomas P. Schneider
35 Mayor, City of Florissant
36
37

38 ATTEST:

39
40 _____
41 Karen Goodwin, MMC/MRCC
42 City Clerk
43

PAYMENT NO 1 14 396734 J
PAYMENT AMOUNT \$12,396.50
ISSUE DATE 09-13-2017
AUTHORIZED BY RABER, STACY
PHONE (844) 696-0477

CLAIM NO 25-1016-V43
LOSS DATE 08-07-2017
POLICY NO 3629-000-25K
INSURED GARNER, DELL

CITY OF FLORISSANT
955 SAINT FRANCOIS ST
FLORISSANT MO 63031-4925

REMARKS VIN: 1FM5K8ARXDGC21061 - Vehicle Total Loss Settlement

COVERAGE DESCRIPTION
PROPERTY DAMAGE LIABILITY

ON BEHALF OF
CITY OF FLORISSANT

AMOUNT
12,396.50

RETAIN STUB FOR RECORDS



STATE FARM MUTUAL AUTOMOBILE INSURANCE COMPANY

TITLE DOCUMENT PROCESSING
TDP CHVL OFFICE P07PCL323

JPMORGAN CHASE BANK, NA 56-1544/441
COLUMBUS, OH

1 14 396734 J

CLAIM NO 25-1016-V43
LOSS DATE 08-07-2017

INSURED GARNER, DELL

DATE 09-13-2017
MM DD YYYY

EXACTLY TWELVE THOUSAND THREE HUNDRED NINETY-SIX AND 50/100 DOLLARS

\$****12,396.50

Pay to the
Order of: CITY OF FLORISSANT

Michael J. Flynn
AUTHORIZED SIGNATURE
Jon C. Farney
AUTHORIZED SIGNATURE

SECURED DOCUMENT WATERMARK APPEARS ON BACK, HOLD AT 45° ANGLE FOR VIEWING



SALES TAX CERTIFICATE

OWNER

NAME: City Of Florissant
ADDRESS: 955 Saint Francois St
Florissant MO 63031-4925

TO WHOM IT MAY CONCERN:

RE: Claim Number: 25-1016-V43
Date Of Loss: August 07, 2017
Our Insured: Dell Garner

VEHICLE DESCRIPTION

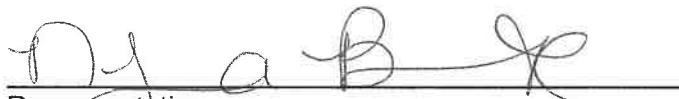
MAKE and MODEL: Ford EXPLORER
YEAR: 2013
VIN: 1FM5K8ARXDGC21061

In accordance with **Section 144.027, RS Mo**, and the **Missouri Titling Manual, Section 7, Page 4**, the above vehicle has been rendered a total loss as a result of damage or theft. Settlement has been made to the owner as follows:

Total Actual Cash Value: \$12,380.00
Retained Salvage Value: \$n/a (if applicable)
Insurance Proceeds: \$12,380.00 (includes deductible if applicable)
Date Paid: 08/29/2017

As an agent of State Farm Mutual Automobile Insurance Company, I hereby certify that the information contained in this certificate is true and accurate.

Signed:


Representative

NOT VALID AFTER 180 DAYS

State Farm Mutual Automobile Insurance Company

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: 9/22/17

Mayor's Approval:

Agenda Date Requested: 9/25/17

Description of request: Request to amend Acct 03-40330 in the amount of \$29,000.00 and to appropriate the same amount into Acct 036149 for the replacement of a Ford Explorer that was totaled in an accident. State Farm has reimbursed us for \$12,396.50.

Department: Police

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation	<input checked="" type="checkbox"/>	Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N

Public Hearing needed: Yes / No

3 readings? : Yes / No

Back up materials attached:	Back up materials needed:
Minutes	Minutes
Maps	Maps
Memo	Memo
Draft Ord.	Draft Ord.

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

1 INTRODUCED BY COUNCILWOMAN PAGANO
2 SEPTEMBER 25, 2017
3

4 BILL NO. 9312

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING A TRANSFER OF \$3,500 FROM**
7 **ACCOUNT NO. 01-5-06-27000 "GASOLINE-GOLF COURSE" TO**
8 **ACCOUNT NO. 01-5-06-3000 "GOLF COURSE EQUIPMENT REPAIRS"**
9 **FOR UNANTICIPATED EQUIPMENT REPAIRS FOR THE GOLF**
10 **COURSE.**

11
12 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
13 COUNTY, MISSOURI, AS FOLLOWS:
14

15 Section 1: There is hereby authorized a transfer of \$3,500 from Account no. 01-5-06-
16 27000 "Gasoline-Golf Course" to Account no. 01-5-06-3000 "Golf Course Equipment Repairs"
17 for unanticipated equipment repairs for the golf course.
18

19 Section 2: This ordinance shall become in force and effect immediately upon its passage
20 and approval.

21
22 Adopted this _____ day of _____, 2017.
23
24

25 _____
26 Jackie Pagano
27 President of the Council
28 City of Florissant
29

30 Approved this _____ day of _____, 2017.
31
32

33 _____
34 Thomas P. Schneider
35 Mayor, City of Florissant
36

37 ATTEST:
38
39

40 _____
41 Karen Goodwin, MMC/MRCC
42 City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: September 21, 2017

Mayor's Approval:

Agenda Date Requested: September 25, 2017

Description of request: Transfer \$3,500 from the Gasoline - Golf Course Account (01-5-06-27000) to the Golf Course Equipment Repairs Account (01-5-06-30000).

Please see the attached memo for explanation.

Department: Parks and Recreation

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer	X	Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			

Public Hearing needed: Yes / No

NO

3 readings? : Yes / No

NO

Back up materials
attached:

Minutes	
Maps	
Memo	X
Draft Ord.	

Back up materials
needed:

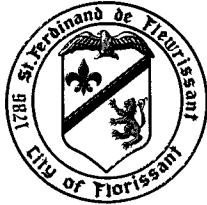
Minutes	
Maps	
Memo	
Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____



CITY OF FLORISSANT
PARKS & RECREATION DEPARTMENT
Interoffice Memorandum

Date: September 21, 2017

To: The Florissant City Council

Thru: Mayor Thomas P. Schneider

From: Todd Schmidt, Director of Parks and Recreation

Subject: Request to Transfer Funds

Copy: Randy McDaniel,
Director of Finance
Karen Goodwin
City Clerk

Due to unanticipated costs to repair equipment and replace parts on essential pieces of machinery required for course maintenance, I am respectfully requesting the transfer of \$3,500 from Account # 01-5-06-27000 (Golf Course - Gasoline) to Account # 01-5-06-30000 (Golf Course - Equipment Repairs).

PLEASE NOTE: This is not a request for an appropriation of additional funds, but simply a transfer within these two General Fund Golf Accounts.

Please advise if additional information is required. Thank you for your consideration.