



FLORISSANT CITY COUNCIL AGENDA
City Hall
955 Rue St. Francois
MONDAY, MAY 22, 2023
7:00 PM
Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

5-8-2023	City Council Minutes 5-8-2023	
5-8-2023	Council Executive Minutes 5-8-2023	

IV. SPECIAL PRESENTATIONS

	PROCLAMATIONS	
	Proclamation presented to Ron Scanlon	
	Introduction of the incoming officers of the VFW Post 4105	
	PRESENTATIONS	
	Tim Green Legislative Update	

IV. HEARING FROM CITIZENS

V. COMMUNICATIONS

VI. PUBLIC HEARINGS

VII. OLD BUSINESS

	BILLS FOR SECOND READING	
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9878	Ordinance to rezone the property located at 495 Howdershell from 'B-3' Extensive Business District to a 'B-5' Planned Commercial District to allow for a car wash and storage building. (To be postponed to 5/22/2023 at the petitioner's request)	Eagan
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VIII. NEW BUSINESS

	BOARD APPOINTMENTS	
	BILLS FOR FIRST READING	
9883	Ordinance authorizing an amendment to Table XIII-B "Parking prohibited at certain locations at all times" by adding thereto a portion of St. Patrick Lane.	Schildroth

IX. COUNCIL ANNOUNCEMENTS

X. MESSAGE FROM THE MAYOR

XI. ADJOURNMENT

THIS AGENDA WAS POSTED ON THE BULLETING BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON MAY 19, 2023 BY 12:00 PM.

ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, MONDAY, MAY 22, 2023

CITY OF FLORISSANT



COUNCIL MINUTES

Monday, May 8, 2023

The Florissant City Council met in regular session at Florissant City Hall, 955 Rue St. Francois on Monday, May 8, 2023 at 7:00 PM with Council President Eagan presiding.

I. PLEDGE OF ALLEGIANCE

The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

II. ROLL CALL OF MEMBERS

On Roll Call the following Councilmembers were present: Siam, Harris, Manganelli, Eagan, Caputa, Schildroth, O'Donnell, Pagano, and Parson. Also present was Mayor Timothy Lowery, Deputy City Clerk Savanna Burton, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

III. APPROVAL OF MINUTES

4-24-2023. City Council Meeting Minutes

Councilman Harris made a motion to approve the City Council Minutes of April 24, 2023, seconded by Pagano. Motion carried.

IV. SPECIAL PRESENTATIONS

City Council Election of Officers

Councilman Parson made a motion to appoint Councilman Joe Eagan to Council President, seconded by Caputa. Motion carried.

Councilman Eagan made a motion to appoint Councilman Robert Parson to Council Vice President, seconded by Manganelli. Motion carried.

PROCLAMATIONS

Police Week

The City Clerk read the Proclamation for Police Week. Mayor Lowery presented the Proclamation the Florissant Police Department and thanked the department for their hard work keeping the city safe. Councilman Eagan stated it was an honor to stand with the men and women of the Florissant Police Department.

Municipal Clerk's Week

Attorney John Hessel read the Proclamation for Municipal Clerk's Week. Mayor Lowery presented the Proclamation to Deputy City Clerk and thanked the city clerk's office for their hard work. Councilman Eagan thanked Karen Goodwin and Savanna Burton for being part of the legislative function of the city. Deputy City Clerk Savanna Burton thanked the Council and mayor for the opportunities to go to trainings and continuing education opportunities.

V. HEARING FROM CITIZENS

There were none.

VI. COMMUNICATIONS

There were none.

VII. PUBLIC HEARINGS

There were none.

VIII. OLD BUSINESS

BILLS FOR SECOND READING

9878. Ordinance to rezone the property located at 495 Howdershell from 'B-3' Extensive Business District to a 'B-5' Planned Commercial District to allow for a car wash and storage building. (To be postponed to 5/22/2023 at the petitioner's request)
Councilman Eagan made a motion to postpone Bill No. 9879 to May 22, 2023, seconded by Pagano. Motion carried.

9880. Ordinance to approve Painting brick to new color at 2678 N. Highway 67 Dairy Queen
Councilman Siam moved that Bill No. 9880 be read for a second time, seconded by O'Donnell. Motion carried and Bill No. 9880 was read for a second time.
Councilman Siam moved that Bill No. 9880 be read for a third time, seconded by Pagano. Motion carried and Bill No. 9880 was read for a third time and placed upon its passage.
Before the final vote was taken, all interested persons were given the opportunity to be heard. David Greer, Dairy Queen owner, noted the changes to the brick color were chosen by the corporate offices which request a design change from franchisees every 10 years.
On Roll Call the Council voted as follows:

VOTING

Motion by: Councilman Siam, Tommy

Second by: Councilwoman Pagano, Jackie

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE
Councilman Eagan, Joseph	X			
Councilman Harris, Andrew	X			
Councilman Manganelli, Paul	X			
Councilman Caputa, Jeff		X		
Councilman Schildroth, Keith	X			
Councilman O'Donnell, Thomas	X			
Councilwoman Pagano, Jackie	X			
Councilman Parson Jr., Robert	X			
Councilman Siam, Tommy	X			

Whereupon the Chair declared Bill No. 9880 to have passed and become Ordinance No. 8886.

9881. Ordinance allowing the Mayor to enter into a supplemental agreement with the Missouri Highways and Transportation Commission for the Mullanphy Road Project to include Patterson Road to Shackelford Road.
Councilman Schildroth moved that Bill No. 9881 be read for a second time, seconded by Caputa. Motion carried and Bill No. 9881 was read for a second time.
Councilman Harris moved that Bill No. 9881 be read for a third time, seconded by Manganelli. Motion carried and Bill No. 9881 was read for a third time and placed upon its passage.
Before the final vote was taken, all interested persons were given the opportunity to be heard. Being none, on Roll Call the Council voted as follows:

VOTING

Motion by: Councilman Harris, Andrew
 Second by: Councilman Manganeli, Paul

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE
Councilman Eagan, Joseph	X			
Councilman Harris, Andrew	X			
Councilman Manganeli, Paul	X			
Councilman Caputa, Jeff	X			
Councilman Schildroth, Keith	X			
Councilman O'Donnell, Thomas	X			
Councilwoman Pagano, Jackie	X			
Councilman Parson Jr., Robert	X			
Councilman Siam, Tommy	X			

Whereupon the Chair declared Bill No. 9881 to have passed and become Ordinance No. 8887.

9882. Ordinance authorizing an amendment to 'B-5' Ordinance No. 6166 to allow for the expansion of a car sales establishment (Mission Hills Development).

Councilman Parson moved that Bill No. 9882 be read for a second time, seconded by O'Donnell. Motion carried and Bill No. 9882 was read for a second time.

Councilman Pagano moved that Bill No. 9882 be read for a third time, seconded by Schildroth. Motion carried and Bill No. 9882 was read for a third time and placed upon its passage.

Before the final vote was taken, all interested persons were given the opportunity to be heard.

Mike Szwargulski, 875 Florland noted concerns with the landscaping at the property which he has previous noticed has been overgrown and unkept.

On Roll Call the Council voted as follows:

VOTING

Motion by: Councilwoman Pagano, Jackie
 Second by: Councilman Schildroth, Keith

COUNCIL MEMBERS	YES	NO	ABSTAIN	RECUSE
Councilman Eagan, Joseph	X			
Councilman Harris, Andrew		X		
Councilman Manganeli, Paul	X			
Councilman Caputa, Jeff	X			
Councilman Schildroth, Keith	X			
Councilman O'Donnell, Thomas	X			
Councilwoman Pagano, Jackie	X			
Councilman Parson Jr., Robert	X			
Councilman Siam, Tommy			X	

Whereupon the Chair declared Bill No. 9882 to have passed and become Ordinance No. 8888.

BOARD APPOINTMENTS

Ward 2. Re-Appointment of Jeff Plodzien to the Board of Adjustment as a full member.
 Councilman Manganeli moved to appoint Jeff Plodzien to the Board of Adjustment with a term expiring 5/8/2028. Seconded by Eagan, motion carried.

Ward 1. Appointment of Joy Jablonski to Parks and Recreation Board
 Councilman Harris moved appoint Joy Jablonski to the Parks and Recreation Advisory Board with a term expiring 5/8/2026. Seconded by O'Donnell, motion carried.

Ward 6. Appointment of Marty Margherio to the Board of Adjustment as an altermate member.
 Councilman O'Donnell moved to appoint Marty Margherio to the Board of Adjustment as an alternate with a term expiring 5/8/2028. Seconded by Siam, motion carried.

BILLS FOR FIRST READING

There were none.

IX. COUNCIL ANNOUNCEMENTS

Councilman Manganeli thanked everyone for a great Valley of Flowers weekend. He reminded residents the bocce courts are being built for the June 3rd tournament and a few teams are still available at kofc2951.org for signups.

Councilman Schildroth thanked the Valley of Flowers committee for their hard work and the outgoing court and queen then congratulated the new queen Kaylee and her court.

Councilman O'Donnell thanked the men and women who serve on the boards and commission for the City of Florissant and Marty Margherio for volunteering to be an alternate for the Board of Adjustment. He stated he has been a resident of Florissant for 25 years, is a retired structural engineer from McDonnell Douglas, and has been a very active member of the community.

X. MESSAGE FROM THE MAYOR

Mayor Lowery noted it was a wonderful Valley of Flowers Festival with a lot of activities this year and congratulated the new queen and court. The City of Florissant was named a Tree City for 2023 on Arbor Day and celebrated on Friday, April 28th at Sunset Park. He stated a plaque dedication will take place on May 24th for Dr. Rance Thomas at 410 rue St. Francois.

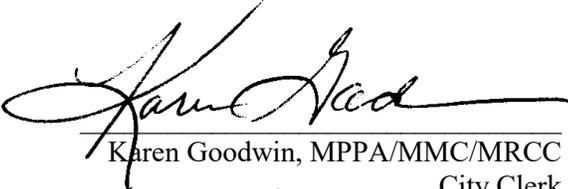
XI. ADJOURNMENT

The Council President stated the next regular City Council Meeting will be Monday, May 22, 2023 at 7:00 pm.

Councilman Siam moved to adjourn the meeting, seconded by Schildroth. Motion carried.

Adjourned at 7:23 PM

Respectfully submitted,


Karen Goodwin, MPPA/MMC/MRCC
City Clerk

- Bill No. 9880 Ord. No. 9886
- Bill No. 9881 Ord. No. 9887
- Bill No. 9882 Ord. No. 9888



**CITY OF FLORISSANT
CITY COUNCIL
OPEN EXECUTIVE SESSION**

May 8, 2023

The City Council of the City of Florissant met in open Executive Session on Monday, May 8, 2023 at 6:00 pm. in the Council Chambers with President Eagan presiding. On Roll Call the following Council members were present: Siam, Harris, Manganelli, Eagan, Caputa, Schildroth, O'Donnell, Pagano, Parson. Also present was Mayor Timothy Lowery, Deputy City Clerk Savanna Burton and City Attorney John Hessel.

Councilman Parson moved to go into closed session to confer with the City Attorney regarding real estate and legal matters in accordance with Chapter 610.021 (1) of the Missouri Revised Statutes, seconded by Pagano, on roll call the Council voted: Siam – yes, Harris – yes, Manganelli – yes, Eagan – yes, Caputa – yes, Schildroth – yes, O'Donnell – yes, Pagano – yes, and Parson – yes. The Council proceeded into closed session.

Council discussed conferred with the City Attorney regarding real estate and legal matters.

There being no further business to discuss, Councilman Eagan motioned to adjourn, seconded by Parson. Motion carried and the meeting adjourned at 6:58 p.m.

A handwritten signature in cursive script, appearing to read "Karen Goodwin".

Karen Goodwin
City Clerk



CITY OF FLORISSANT

Whereas:

Ron Scanlon has been the Commander of VFW Post 4105 for the past 5 years. During that time, he has transformed the Post. He saw the Post through the difficulties of COVID, created the no smoking rule and used the pandemic as an opportunity to completely remodel the Post including new parking lot, handicap access, the patio, new HVAC, coolers and has created an "event central" location that is a jewel for Old Town and the City as a whole, and

Whereas:

Ron is a US Navy Desert Storm Veteran. After graduating from Jennings High School, Ron began his Navy career in Great Lakes, IL then travelled to Orlando, FL eventually ending up in Norfolk, VA, and

Whereas:

While in Virginia Ron was stationed onboard the USS Puget Sound AD38 a Destroyer Tender. Along with a variety of Mediterranean, Indian Ocean, and North Atlantic cruises Ron was deployed to Bahrain during Desert Storm. In addition, Ron earned the National Defense Service Medal, the Armed Forces Expeditionary Medal, and the Good Conduct Medal; and

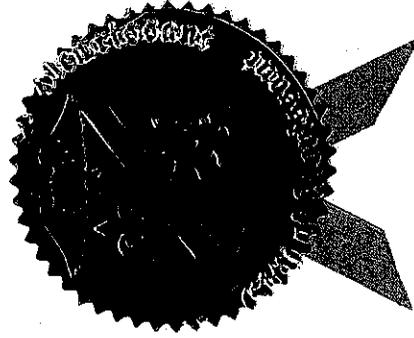
Whereas:

Ron is a Gold Legacy Life Member of VFW Post 4105 where he has been a member since 2000. Ron is also the 2022 Florissant Veteran of the Year. The VFW Post has achieved All American twice and All State 3 times during his tenure. Ron serves as the VFW Department of MO 12th District Sr. Vice Commander and a member of the VFW Honor Degree-Military Order of the Cooties Pup Tent 5, Ron was the Chairman assisting the city in becoming a POW MIA City and a Purple Heart City; and

Whereas:

Ron has been involved in CYC Sports over ten years and currently a board member of North County District. Ron is currently the Director of Loss Prevention & Health-Safety for Mers-Goodwill. His wife Jennifer works for Hazelwood School District Early Childhood. They have three sons and a daughter who is an Auxiliary Member of VFW Post 4105. Ron and his wife are proud grandparents of two granddaughters Emilia Leigh and Evelyn Harper.; and

Now, therefore, I, Timothy J. Lowery, Mayor of the City of Florissant, Missouri and Members of the City Council, do hereby thank Ron Scanlon for his dedication and commitment to the Florissant community.



In Witness Whereof I hereunto set my hand and cause to be affixed the Seal of the City of Florissant, Missouri, this 22nd day of May 2023.

CITY OF FLORISSANT

Public Hearing



In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, April 10, 2023 at 7:00 p.m. on the following proposition:

To rezone the property located at 495 Howdershell from 'B-3' Extensive Business District to a 'B-5' Planned Commercial District to allow for a car wash and storage building. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DISTRICT



PLANNING & ZONING ACTION:

Address of Property:

495 Howdershell Road

RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

Council Ward 2 Zoning 'B-3'

Initial Date Petitioner Filed 2/21/23

SIGN Allen G. Mink DATE: 3-20-23

Building Commissioner to complete ward, zoning & date filed

PETITION FOR A B-5 RE-ZONING:

1) Comes Now Todd Buckner Scrubbles Express Wash Howdershell, LLC
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Owner
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 2.475

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B3 District and is presently being used for: Vacant Bank Building

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following purpose to justify the re-zoning to a B-5:

Construct a car wash building on one lot and a climate controlled

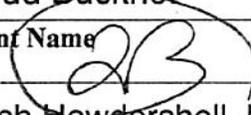
multi-story self storage building on another created lot within the 2.475 acre lot size

List purpose for this request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Todd Buekner

Print Name 

PETITIONER(S) SIGNATURE (S) _____

FOR Scrubbles Express Wash Howdershell, LLC

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or LLC Managing PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):

() I (we) have a legal interest in the herein above described property.

(X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE _____

ADDRESS 221 Point West Blvd St. Charles MO 63301
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 636-928-5552

I (we) the petitioner (s) do hereby appoint Larry Walker - Bax Engineering as
BUSINESS Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation/LLC:

(a) If an Individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a Partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a Corporation or LLC:

- (1) Names & addresses of all partners Todd Buckner P.O. Box 7726 Tifton GA 31793
- (2) Telephone numbers 229-520-2244
- (3) Business address 8182 Maryland Ave. Suite 1500 St. Louis, MO 63105-3916
- (4) State of corporation & a photocopy of incorporation papers Missouri
- (5) Date of corporation August 8, 2022
- (6) Missouri Corporate Number LC014397335
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated Scrubbles Express Wash Howdershell, LLC
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Todd Buckner

Address P.O. Box 7726 Tifton GA 31793

Property Owner Scrubbles Express Wash Howdershell, LLC

Location of property 495 Howdershell Road

Dimensions of property Approximately 389' X 275'

Current Use of Property Vacant Bank to be demolished

Proposed Use of Property Car Wash and Climate controlled multi-story self storage

Type of Sign _____ Height _____

Type of Construction _____ Number Of Stories 3 story storage/ +/- 27' car wash

Square Footage of Building 19,396.74 s.f./floor storage
3,867 s.f. car wash Number of Curb Cuts 2

Number of Parking Spaces 6 employee car wash
6 storage bldg loading Sidewalk Length n/a existing along right-of-ways

Landscaping: No. of Trees 31 Diameter 2-1/2" caliper

No. of Shrubs 180 Size 18" diameter

Fence: Type Decorative Aluminum Length 700 Feet Height 4 Feet

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY 495 Howdeshell CURRENT ZONING B-3

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT Bar Engig PHONE NO. _____

PROPOSAL _____

1) a. Uses - Are uses stipulated

Yes / No

b. What current District would this proposal be a permitted use: none

c. Proposed uses for out lots: u/a

2) Performance Standards:

a) Vibration: Is there any foreseen vibration problems at the property line?

Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels?

Yes / No

c) Odor is there any foreseen problem with odor?

Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart?

Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation?

Yes / No

f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter?

Yes / No

g) Is there any dangerous amount of radiation produced from the operation?

Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure?

Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown?

Yes / No

j) Is buildings screened from adjoining residential?

Yes / No

3) Are height of structures shown?

Yes / No

4) Are all setbacks shown?

Yes / No

5) Are building square footages shown?

Yes / No

6) What is the exterior construction of the buildings? brick/block (cmu)

7) Is off street loading shown?

Yes / No

8) Parking:

a) Does parking shown meet the ordinance?

Yes / No

b) Is a variance required in accordance with the ordinance?

Yes / No

c) Ratio shown _____ to _____ see report

d) Total Number _____

e) Will cross access and cross parking agreements be required?

Yes / No

f) Is the parking lot adequately landscaped?

Yes / No

9) Are there any signs?

Yes / No

Number of signs shown not submitted

Type of Signs ground sign on plan only

Are sizes, heights, details, and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals?

Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown?

Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes No
- 14) Was a traffic study submitted? Yes No
Does the City Staff recommend a traffic study? Yes No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes No
- 16) Is a legal description of the property shown? Yes No
Does legal description appear to be proper? Yes No
- 17) Is an out-boundary plat of the property submitted? Yes No
- 18) Suggested time limitations of construction: Start _____ Finish 12 mos?
- 19) Is parking lot lighting shown? Yes No
- 20) Are new walkways required? Yes No
- 21) Is there sufficient handicapped access? Yes No
- 22) a) Are there proposed curb-cuts? Yes No
b) Do the curb-cuts meet the City ordinances? Yes No
- 23) Will this project require any street improvements? Yes No
- 24) Staff recommendations for site development plans: see staff report

25) Staff Comments: _____

2/28/23
Date Application reviewed

Philip E. ...
Building Commissioner or Staff Signature

Received by: _____ Date: _____

ZONING AUTHORIZATION APPLICATION



CITY OF FLORISSANT- BUILDING DIVISION

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

I, as the owner or authorized agent for the property described below, do hereby certify that I have the authority to make this application for zoning authorization for the activity described below and as shown on any attached plans, documents or descriptions, that the information provided is correct and that any use or construction will conform to the regulations of the Florissant Zoning Code, Chapter 405, as applicable:
<https://www.ecode360.com/28082280?highlight=405&searchId=13635529016766742#28082280>

New Tenant/Occupant Existing Tenant/Occupant

Property Address: 495 Howdershell Road Zoning District: B-3

Applicant's Name: Todd Buckner Applicant's Email: thomas.tbuckpivots@gmail.com

Applicant's Address: P.O. Box 7726 Tifton GA 31793 Phone #: 229-520-2244

Property Owner's Name: Scrubbles Express Wash Howdershell LLC Owner's Email: thomas.tbuckpivots@gmail.com

Property Owner's Address: P.O. Box 7726 Tifton GA 31793 Phone #: (229) 520-2244

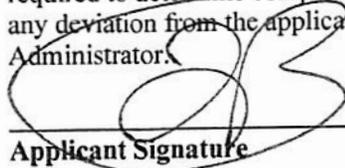
Property Use(s): Vacant

Detailed description of Use(s) proposed, or "No Change":

Proposed car wash on one lot and a multi-story climate controlled storage building on the other lot. Rezone the parcels to B-5.

(Provide attachments to adequately describe the proposed Property Use(s), refer to Land Use terms in the City Code, Chapter 405.)

This application authorizes the Building Commissioner or designee to perform reasonable site inspections as required to determine compliance with the conditions applicable to this application. Further, I understand that any deviation from the application as requested shall require the express written approval of the Zoning Administrator.



Todd Buckner

Applicant Printed Name

1/24/23

Date

OFFICE USE ONLY BELOW

Zoning Approved Not Approved Authorization Conditions: _____

Signature of Building Commissioner or Designee: _____ Date: _____

40 **IV. STAFF ANALYSIS:**

41 The application is accompanied by professionally prepared plans: C-1, C-2, C-3, C-4, C-
42 5 all dated 2/20/23 by Bax Engineering, Planning, Surveying, A-3 Color Elevations
43 (carwash) dated 2/17/23 by Levine and Associates and AD100.0, AD100.1, AD100.2
44 AD200.0 AD200.0.1, AD200.1, AD200.2, AD200.2.1 (storage building) dated 2/16/23
45 by MSSI Design, LLC., Photometric plan 1 of 1 dated 3/15/23 by St Louis Lighting
46 Group. The Petitioner has proposed a tunnel-style car wash of brick, concrete
47 architectural block and metal canopy. The following are Staff comments on the plans:
48

- 49 • C-1: Development Notes highlights many requirements-
 - 50 ○ Area of Property is 2.45 acres.
 - 51 ○ Building area 23,263.74 s.f. of which application states
 - 52 ▪ Carwash 3867 s.f.
 - 53 ▪ Storage 19,396.74 s.f. footprint (x 3 stories)
 - 54 ○ Carwash Parking
 - 55 ▪ Stacking is 37 cars, 5 times the wash capacity and
 - 56 ▪ 6 staff parking including the accessible space.
 - 57 ▪ 30 total parking includes 24 vacuum stalls.
 - 58 ○ Storage building parking none proposed, 6 loading of which 1 is covered.
 - 59 ○ Sewer and Storm concepts adequately shown, bio retention in the rear
 - 60 ○ Greenspace 33.4%
 - 61 ○ Ground sign is located behind the 40' setback in a thin island that divides
62 stacking from drying area.
 - 63 ○ Flagpole with lights near rubber mat cleaner island.
- 64 • C-2: Grading Plan: contours adequately shown.
- 65 • C-3: Photo of Existing Conditions on the site.
- 66 • C-4: Site Details include block retaining walls with guard rails and decorative
67 fencing for fall protection, 6' vinyl privacy fence, 20 foot tall light poles on 3 foot
68 base.
- 69 • C-5: Landscape Plan summary
 - 70 ○ Carwash Lot
 - 71 ▪ 2 trees, 60 perimeter shrubs required
 - 72 ▪ 210.26 feet of 6' vinyl fence north line provided
 - 73 ○ Storage Lot
 - 74 ▪ 1 trees, 120 perimeter shrubs required
 - 75 ▪ 174.56 feet 35 evergreens along north line provided
 - 76 ▪ 275 feet of 6' vinyl fence west line provided
 - 77 ○ 210 Shrubs provided total meets those required
 - 78 ○ Plantings along North line to help mitigate sound added.
- 79 • C-6: Site sections- A-A indicates sloping site from elevation of storage building
80 relative to the smaller car wash. B-B shows neighboring apartment in relation to
81 the car wash, whereas the much taller storage building not shown on B-B.
- 82 • 1 of 1: Photometric Plan indicates light levels down to 0.1 fc at perimeter.
- 83 • A-3 Comments:
 - 84 ○ Carwash colors provided include

- 85 ▪ Bronze canopy, trash enclosure gates, vacuum screen roofing,
- 86 gutters and trim.
- 87 ▪ Split Face Block color: wainscot
- 88 ▪ Field brick color
- 89 • AD100.0: First Floor color storage plan, total 427 storage units.
- 90 • AD100.1: Second Floor color storage plan
- 91 • AD100.2: Third Floor color storage plan
- 92 • AD100.3: Roof plan shows elevator through the roof.
- 93 • AD200.0 Comments: CMU1 and BRK1 are the same colors proposed for the
- 94 carwash, CMU-2 is a new block color and BRK-2 and BRK-3 are new brick
- 95 colors introduced into the design for the larger, 3 story building. MTL-2 slate
- 96 gray if for roof trim and doors, and MTL-3 if for clear anodized alum doors, SF-1
- 97 white is for downspouts and canopy.
- 98 • AD200.0.1: South and East elevations
- 99 • AD200.1: Axonometric views of 4 different angles.
- 100 • AD200.2: rear right and rear left views from the ground
- 101 • AD200.2.1 front right and rear left views from the ground

102

103 **VI. STAFF RECOMMENDATIONS:**

- 104
- 105 1. If recommended approval is granted, the attached suggested motion shall establish
- 106 regulations within this district.
- 107

108 **Suggested Motion for 495 Howdershell (Scrubbles Car Wash)**

109

110 I move to recommend approval of a ‘B-5’ Planned Commercial District, as

111 depicted by the attached drawings C-1, C-2, C-3, C-4, C-5 all dated 2/20/23 by

112 Bax Engineering, Planning, Surveying, A-3 Color Elevations (carwash) dated

113 2/17/23 by Levine and Associates and AD100.0, AD100.1, AD100.2 AD200.0

114 AD200.0.1, AD200.1, AD200.2, AD200.2.1 (storage building) dated 2/16/23 by

115 MSSI Design, LLC., Photometric plan 1 of 1 dated 3/15/23 by St Louis Lighting

116 Group, with permitted uses allowed being a car wash and storage building and the

117 following additional requirements:

118

119 1. **PERMITTED USES**

120 The uses permitted for this property shall be limited to car wash and storage

121 building as shown in detail on the attached drawings. Other uses than those

122 permitted shall require approval by amendment to this ‘B-5’ Ordinance.

123

124 2. **FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

125 The building space shall be limited to a single story 3867 SF car wash and 3

126 story 19,396.74 s.f. (footprint) storage building.

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128 3. **PERFORMANCE STANDARDS**

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In addition to all other requirements, uses within the "B-5" Planned Commercial District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. Screening.
 - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
 - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Trash container shall be kept within a gated sight-proof area as shown.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawings attached, including entire property, trash enclosures, landscape, lighting and legal description.

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3. SITE DEVELOPMENT PLAN CRITERIA:

a. Height, Area And Bulk Restrictions:

1. Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District apply.

b. Internal Drives:

(1) There shall be parking as shown on plans attached.

c. Minimum Parking/Loading Space Requirements.

(1) Parking spaces provided on the property shall be **as depicted on drawing C-1 attached.**

d. Road Improvements, Access and Sidewalks (not applicable)

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) All site lighting and exterior building lighting shall be directed down and inward

f. Sign Requirements.

(1) **Ground sign shall be as located on C-1.**

(2) All signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

(1) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

(2) An automatic permanent irrigation system shall be designed and installed to cover all landscaped areas.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

(1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.

(2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

(1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.

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- (2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.
- (3) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.
- (4) All mechanical equipment, electrical equipment, and communication equipment shall be screened in accordance with the Florissant Zoning Code.
- (5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.
- (6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.

7. FINAL SITE DEVELOPMENT PLAN

A final site development plan shall be submitted to the Building Commissioner to review for compliance with the applicable "B-5" Planned Commercial Development ordinance prior to recording. Any variations from the ordinance approved by the City Council and/or the conceptual plans attached to such ordinance shall be processed in accordance with the procedure established in the Florissant Zoning Code.

8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner shall make a determination as to the extent of the changes per the following procedure:

- 1. The property owner or designate representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.
- 2. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City

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Council.

3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
5. Determination of major changes: If the Building Commissioner determines that an amendment to the B-5 is not required but the changes are major in nature, then the owner shall submit an application for review and approval by the Planning and Zoning commission.

9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

10. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

9. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

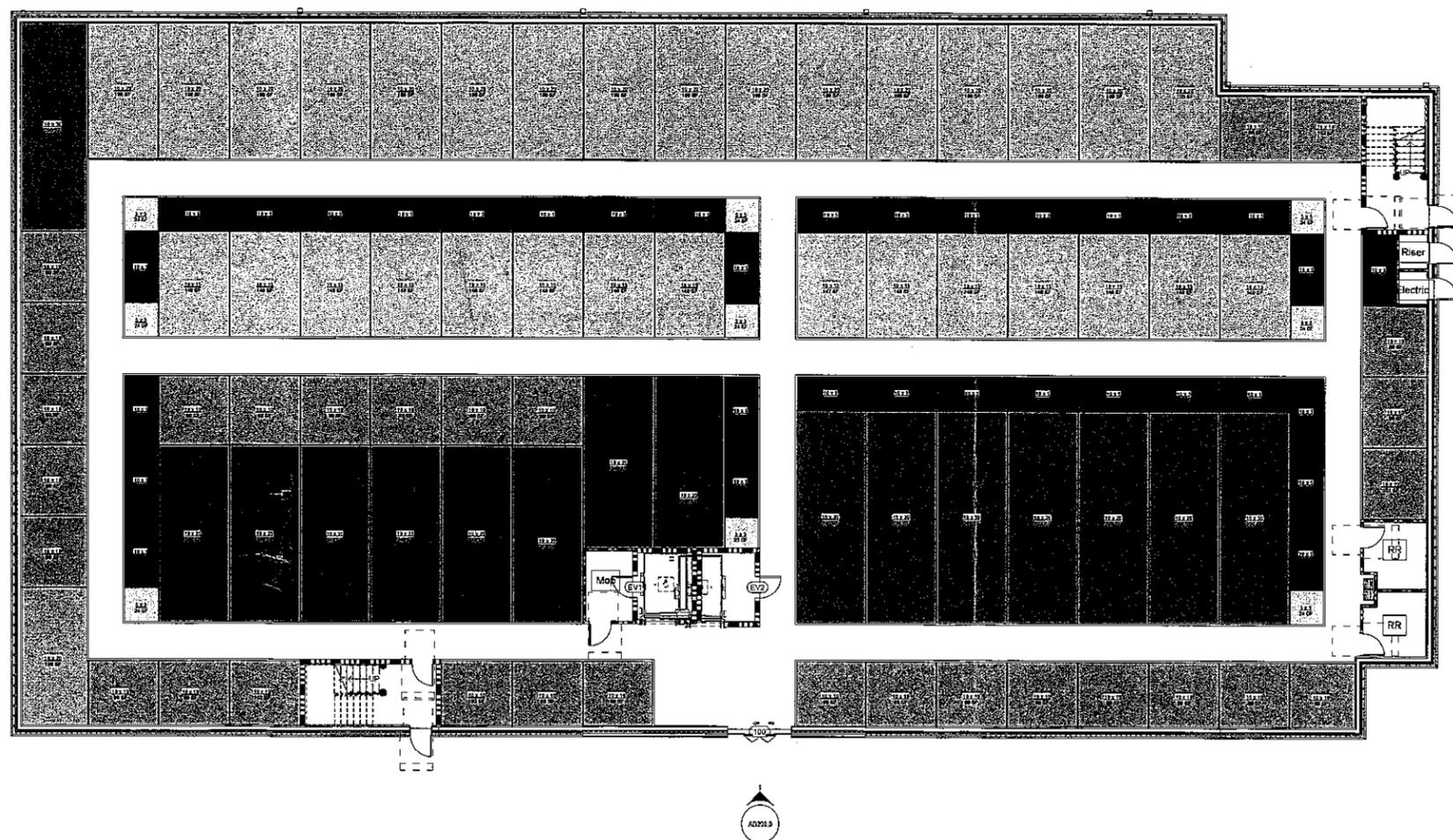
(end report and suggested motion)



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kernersville, nc 27285
336.413.0601
www.tatearchitecture.com

Owner Review Submission
Not for Permit or Construction

Total Unit Mix Schedule				
Count	Name	Rent As	%	Yield
46	5 x 5	1150	11%	1.98%
32	5 x 10	1600	7%	2.75%
51	10 x 5	2550	12%	4.38%
32	10 x 7.5	2400	7%	4.12%
142	10 x 10	14200	33%	24.40%
1	10 x 12.5	125	0%	0.21%
73	10 x 15	10950	17%	18.82%
1	10 x 17.5	175	0%	0.30%
32	10 x 20	6400	7%	11.00%
9	10 x 25	2250	2%	3.87%
8	10 x 30	2400	2%	4.12%
427		44200	100%	75.96%



AD100.0

AD100.1

AD100.3

AD100.0.0 - First Floor Plan
1/8" = 1'-0"

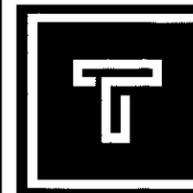
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Commission:
SCARLETT GARVIN
FLORENCE, NC

Commission Number:
XXXXXXXX
Issue Date:
12/19/23
Revisions:

Architectural-
First Floor Plan

AD100.0
Sheet No.



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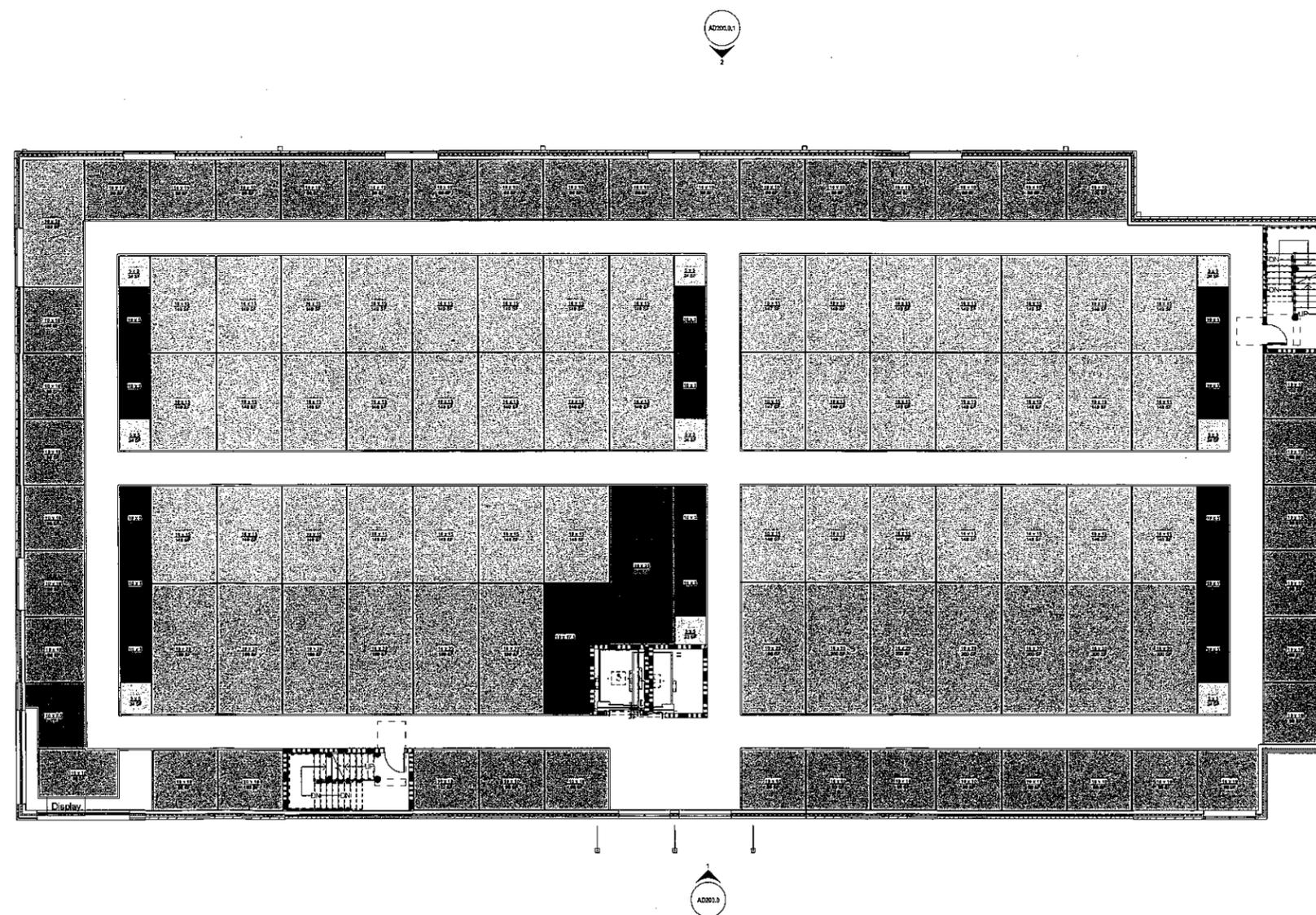
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Commission Number: _____
Issue Date: _____
Revisions: _____

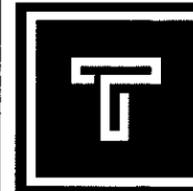
Commission Number: _____
Issue Date: _____
Revisions: _____

Architectural-
Second Floor Plan

AD100.1
Sheet No.

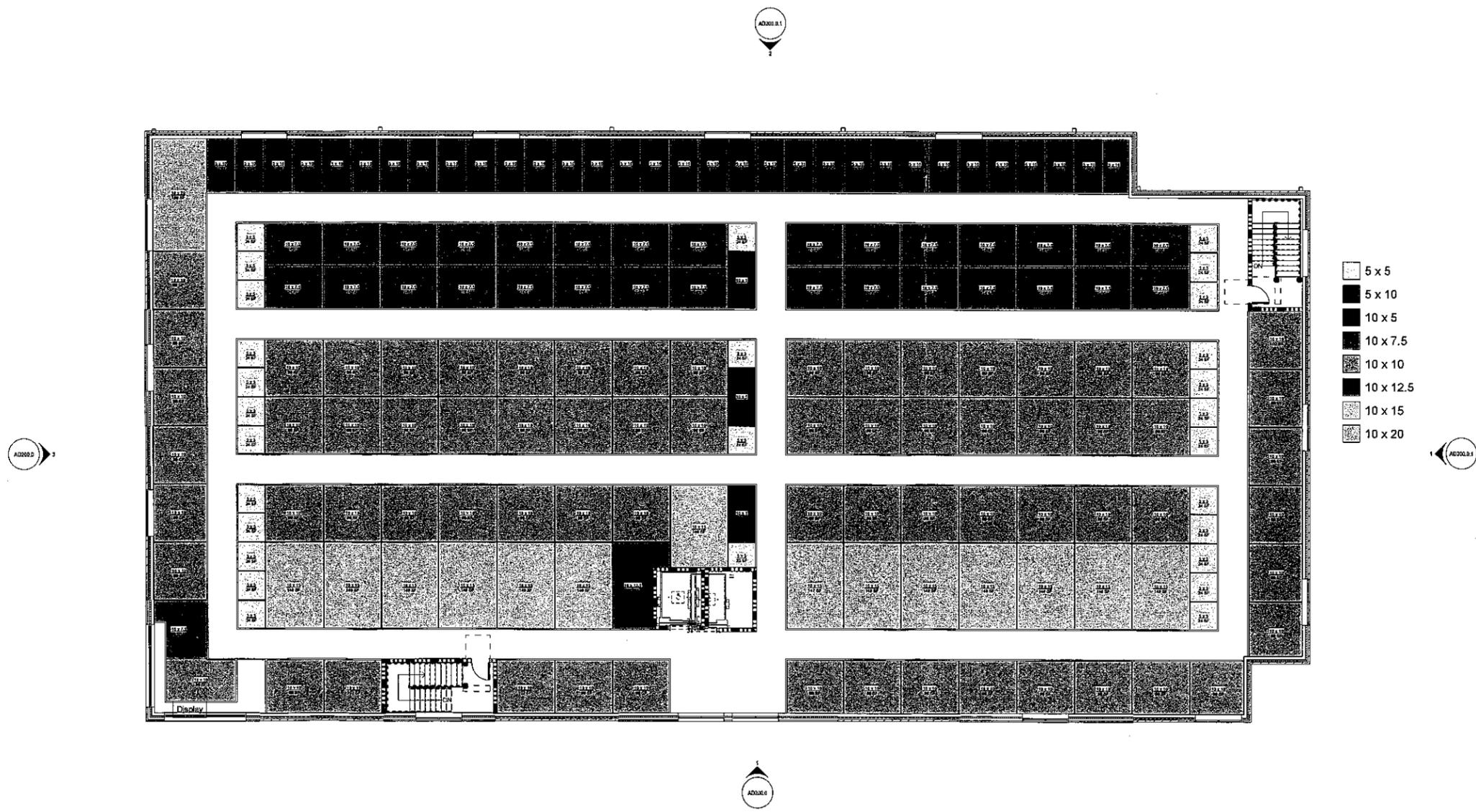


AD100.1.1 - Second Floor Plan
1/8" = 1'-0"



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AD100.2

AD100.1

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Commission:
SHERIDAN CARWASH
FLORENCE, MO

Commission Number:
XXXXXX
Issue Date:
XXXXXX
Revisions:

Architectural-
Third Floor Plan

AD100.2
Sheet No.

AD100.2.1 - Third Floor Plan
1/8" = 1'-0"

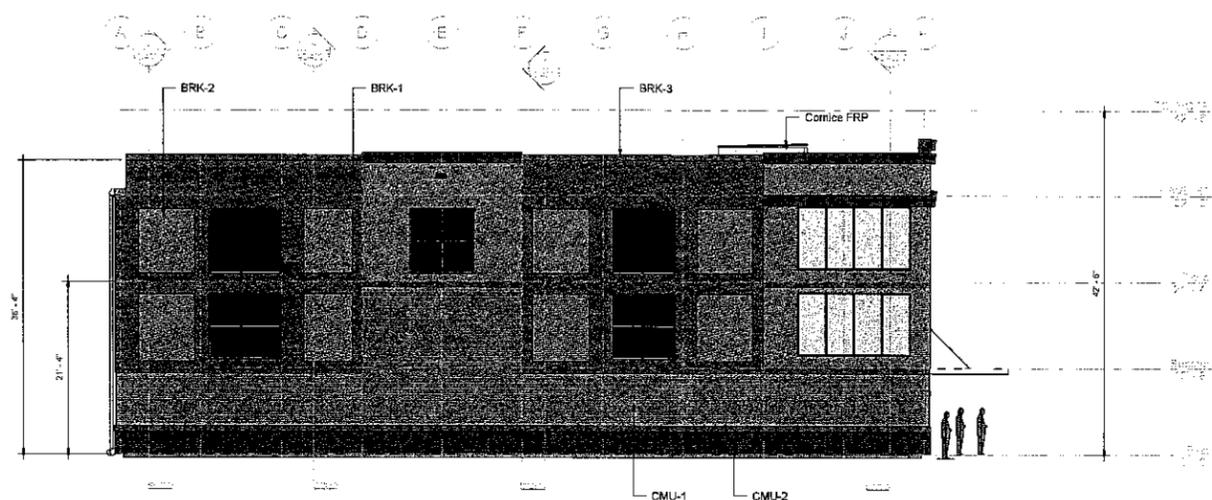


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Owner Review Submission
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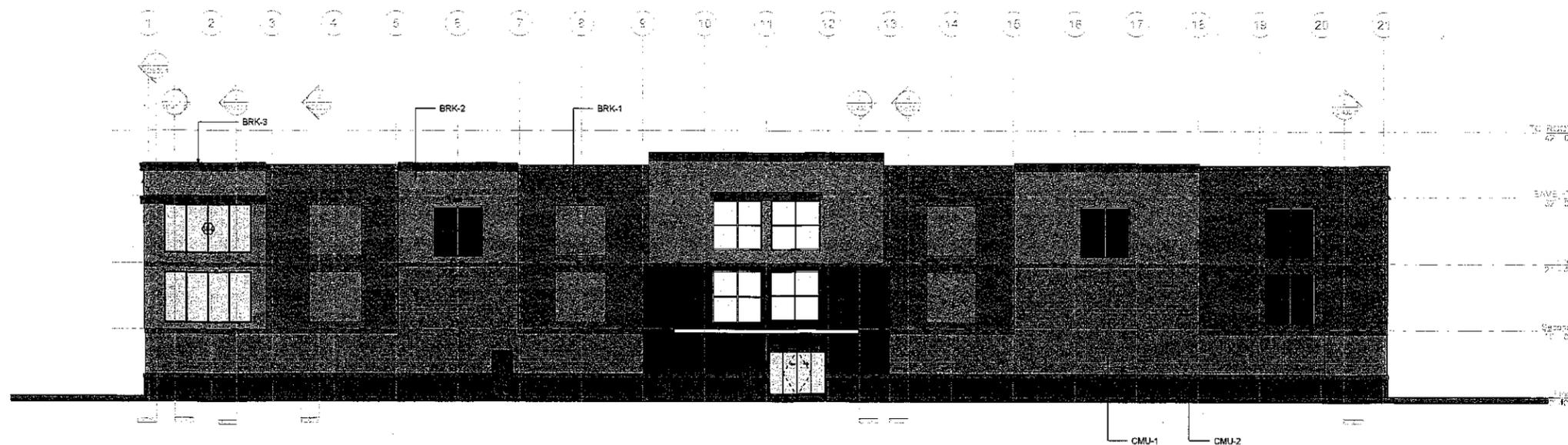
MATERIALS LEGEND			
	CMU-1 ARCHITECTURAL SPLIT FACE BLOCK MFR: MIDWEST BLOCK AN BRICK COLOR: SOFT GOLD		BRK-1 ARCHITECTURAL BRICK VENEER MFR: COUNTY MATERIALS COLOR: HERITAGE_SAVANNAH BLEND
	CMU-2 ARCHITECTURAL SPLIT FACE BLOCK MFR: MIDWEST BLOCK AN BRICK COLOR: EARL GREY		BRK-2 ARCHITECTURAL BRICK VENEER MFR: COUNTY MATERIALS COLOR: HERITAGE_GREY STONE
			BRK-3 ARCHITECTURAL BRICK VENEER ROWLOCK MFR: COUNTY MATERIALS COLOR: HERITAGE_AMBER ROSE
			MTL-2 MISCELLANEOUS METALS (PARAPET COPING, GUTTER / D.S. HM EXT. DOORS, ETC) COLOR: SLATE GRAY
			MTL-3 WINDOW/DOOR FRAMES, GLASS MFR: YKK COLOR: CLEAR
			SF-1 STORE-FRONT MFR: YKK GLASS: CLEAR

MATERIALS LEGEND Copy 1
1/8" = 1'-0"



AD200.0.3 - NORTH ELEVATION

1/8" = 1'-0"



AD200.0.1 - WEST ELEVATION(FACING HWY 321)

1/8" = 1'-0"

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Commission:
SCHUBBLES CARWASH
FLORISSANT, MO

Commission Number:
3360004
Issue Date:
10/20/23
Revisions:

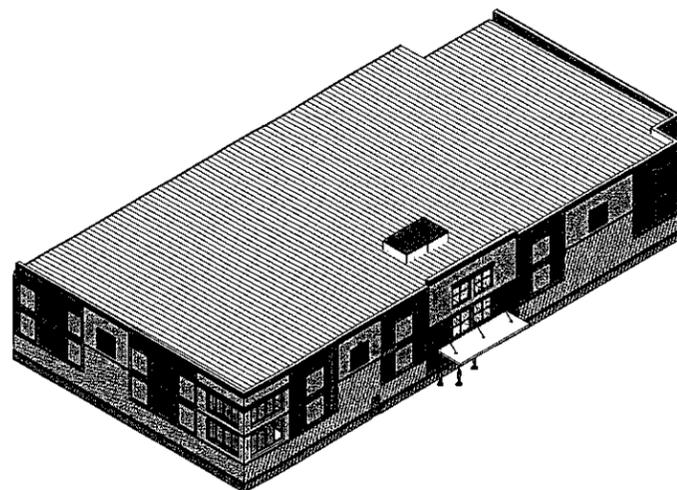
Architectural-
Exterior Elevations

AD200.0
Sheet No.

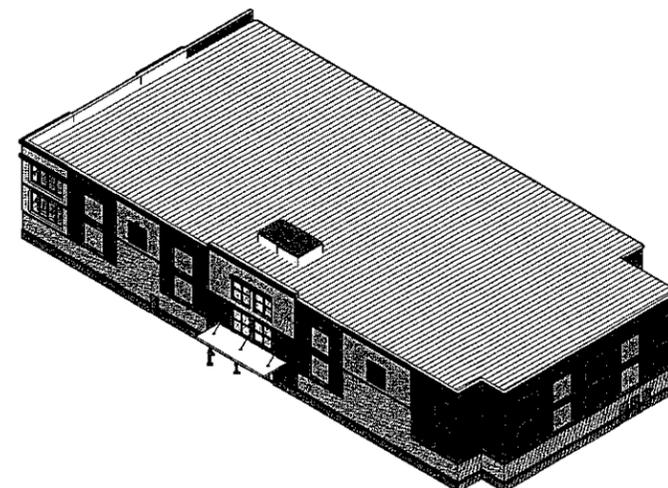


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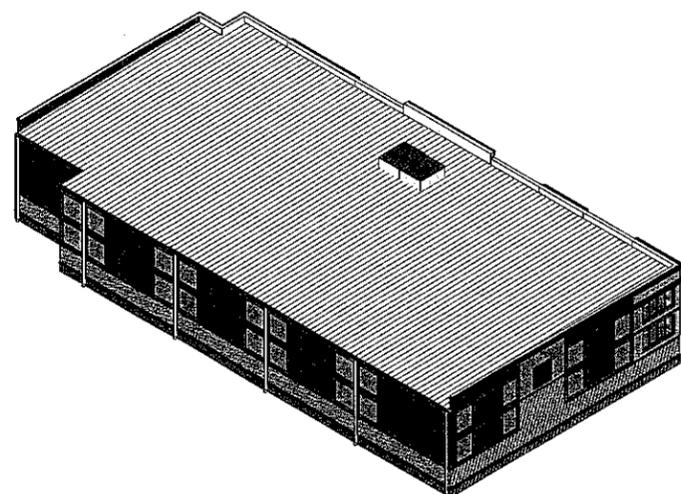
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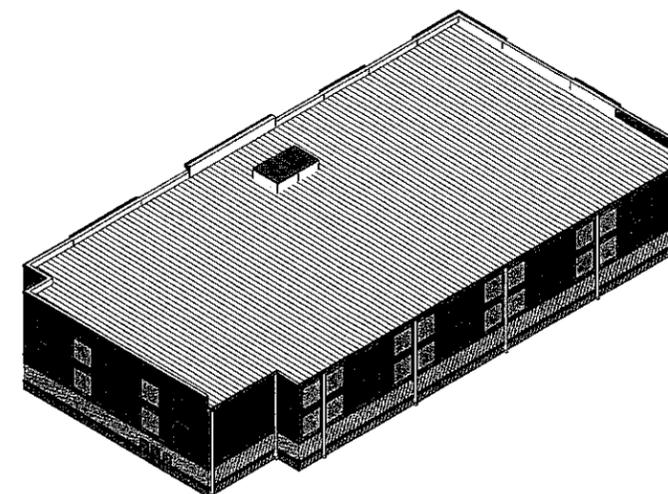
AD200.1.3 - Axon View



AD200.1.2 - Axon View



AD200.1.1 - Axon View



AD200.1.0 - Axon View

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FLORENCE, NC

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Issue Date:
XXXXXX
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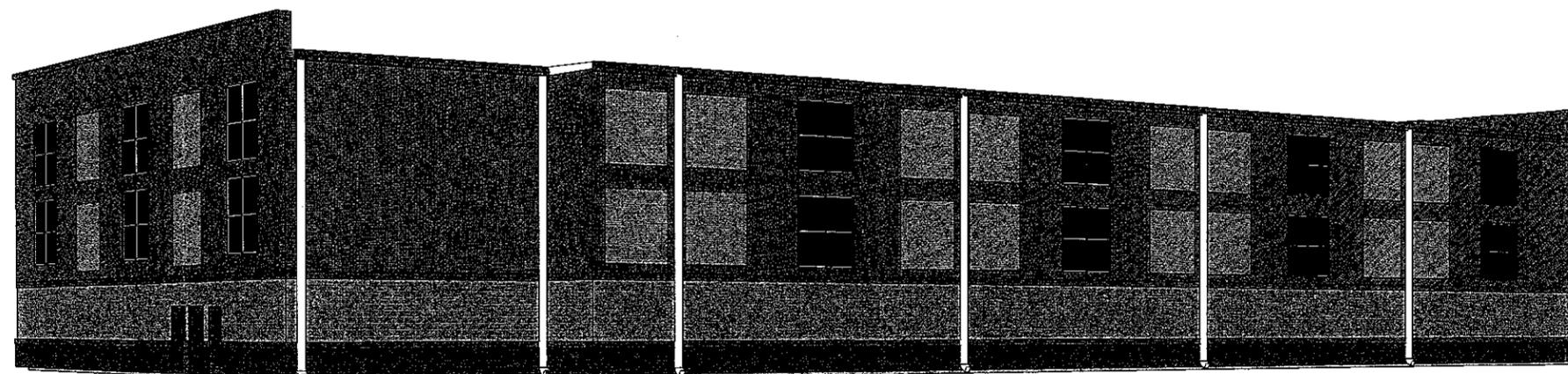
Architectural-
Axon Views

AD200.1
Sheet No.



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AD200.2.1 - 04 Rear Left

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Commission:
SCROLLERS GARAGE
FLORISSANT, MO

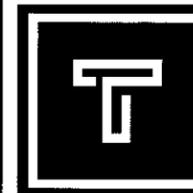
Commission Number:
XXXXXX
Issue Date:
02/15/23
Revisions:



AD200.2.0 - 03 Rear Right

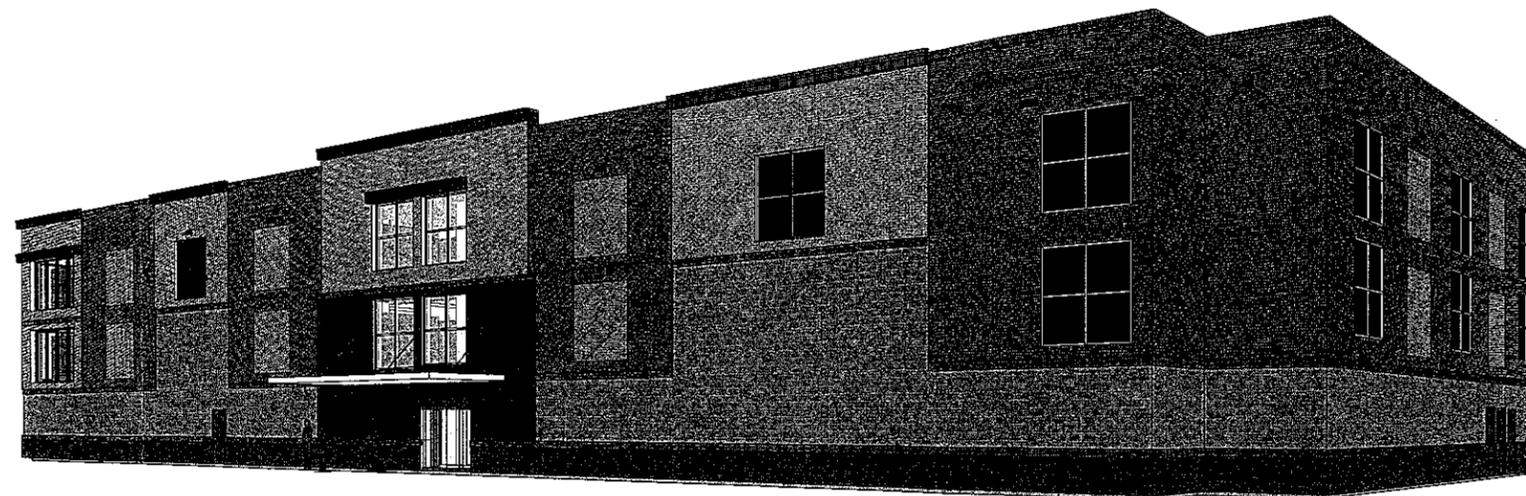
Architectural-
3D Perspective Views

AD200.2
Sheet No.

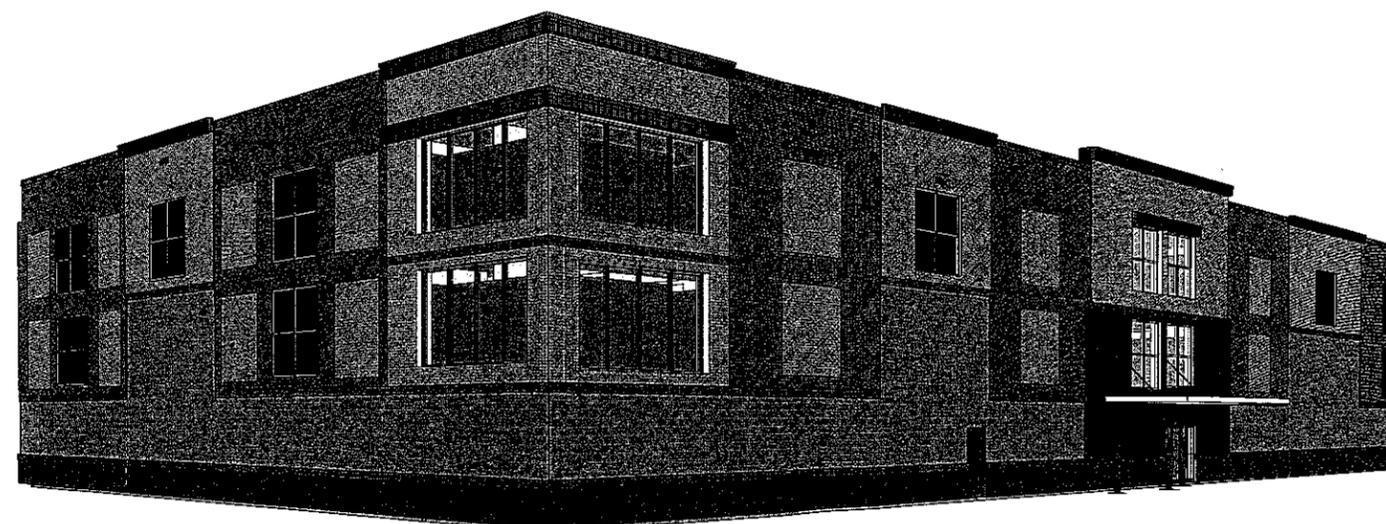


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AD200.2.1.1 - 01 Front Right



AD200.2.1.2 - 02 Front Left

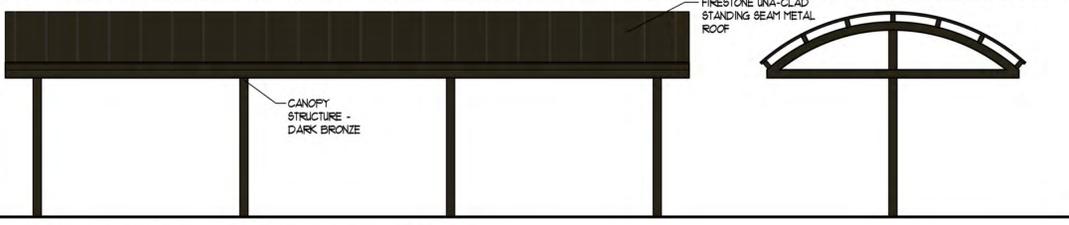
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Commission
SCHAUBLES CARRIAGE
FLORRISSANT, MO

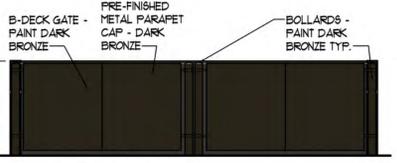
Commission Number
XXXXXX
Issue Date
XXXXXX
Revisions

Architectural-
3D Perspective Views

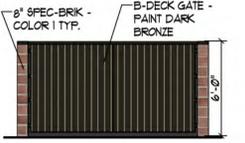
AD200.2.1
Sheet No.



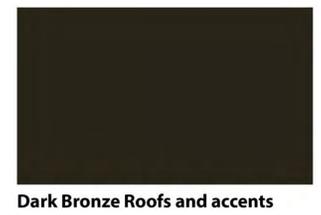
PAY STATION CANOPY ELEVATIONS
SCALE: 3/16" = 1'-0"



TRASH ENCLOSURE ELEVATIONS
SCALE: 3/16" = 1'-0" (23'-4" X 11'-4" ENCLOSURE)



VACUUM SCREENING
SCALE: 3/16" = 1'-0" (12'-0" X 6'-4" ENCLOSURE)



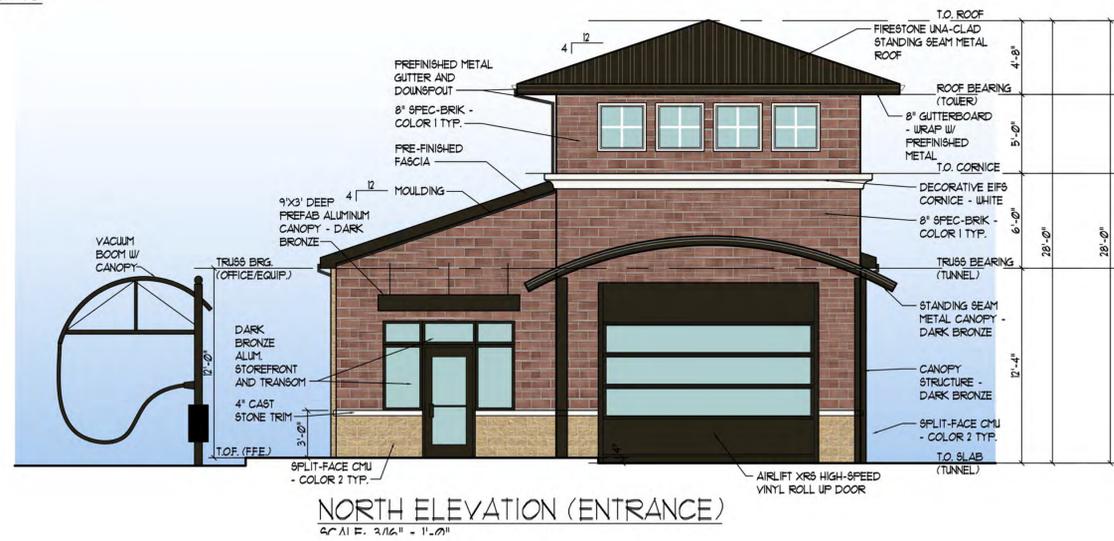
Dark Bronze Roofs and accents



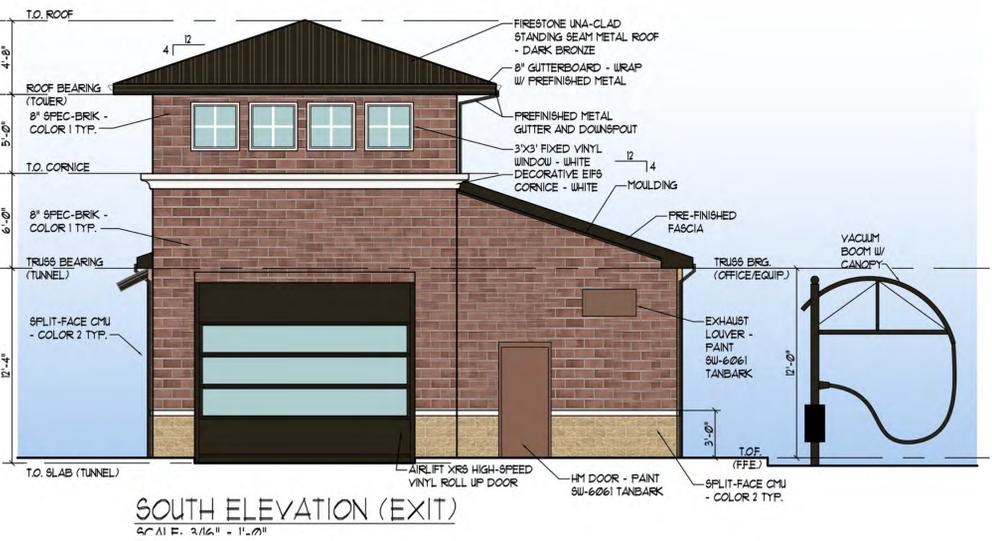
Best Brick Savannah Blend Field Brick



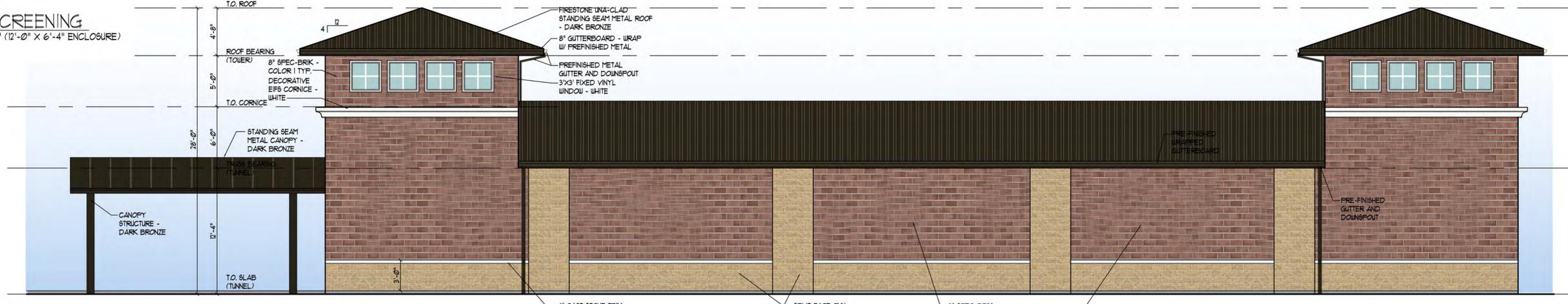
Midwest Block Soft Gold Split-face CMU Piers and Wainscott



NORTH ELEVATION (ENTRANCE)
SCALE: 3/16" = 1'-0"



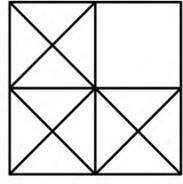
SOUTH ELEVATION (EXIT)
SCALE: 3/16" = 1'-0"



WEST ELEVATION (STORAGE SIDE)
SCALE: 3/16" = 1'-0"



EAST ELEVATION (VACUUM SIDE)
SCALE: 3/16" = 1'-0"



LEVINE
associates
architecture · interiors · planning
2025 South Brentwood Boulevard, Suite 101
Saint Louis, Missouri 63144
Phone: 314-991-9500

ARCHITECT: ALVАН M. LEVINE
MO LICENSE A-4246
ALVАН M. LEVINE, INC.
DBA LEVINE ASSOCIATES
CERTIFICATE OF AUTHORITY
LICENSE NUMBER A-209040325

elevations
NEW BUILDING FOR SCRUBBLES CAR WASH
495 HOWDERSHELL ROAD
FLORISSANT, MISSOURI 63031
CISSELL MUELLER CONSTRUCTION, INC., GENERAL CONTRACTOR

REVISIONS		
NO.	DATE	ITEM

SHEET NO.
A-3

ISSUE DATE: 2-17-23
PROJECT #: 229305
DRN. CMC CHK. AM

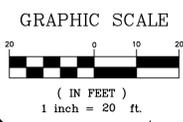
A SITE PLAN/PRELIMINARY PLAT FOR HOWDERSHELL CAR WASH AND STORAGE BUILDING

A TRACT OF LAND BEING
PART OF U.S. SURVEY 163 OF
ST. FERDINAND COMMON FIELDS
TOWNSHIP 47 NORTH, RANGE 6 EAST
CITY OF FLORISSANT,
ST. LOUIS COUNTY, MISSOURI



LEGEND

<ul style="list-style-type: none"> FLARED END SECTION CURB/AREA INLET STORM SEWER MANHOLE SANITARY SEWER MANHOLE PIPELINE MARKER AC UNIT ELECTRIC BOX ELECTRIC TRANSFORMER TRAFFIC CONTROL BOX TELEPHONE BOX ELECTRIC METER GAS METER 	<ul style="list-style-type: none"> BOLLARD UTILITY BOX TRAFFIC SYMBOL TREE BUSH TREE STUMP CONCRETE WALKS/ENTRANCES CONCRETE DRIVES GRAVEL L.A. LANDSCAPED AREA 	<ul style="list-style-type: none"> WATER METER GAS VALVE WATER VALVE FIRE HYDRANT CLEANOUT SIGN HANDICAP PARKING POWER POLE GUY WIRE LIGHT STANDARD BURIED ELECTRIC OVERHEAD UTILITIES BURIED GAS BURIED WATER BURIED TELEPHONE SANITARY SEWER FENCE LINE BENCHMARK FOUND MONUMENT SET MONUMENT
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SHEET INDEX

C-1 SITE PLAN	C-2 EXISTING PLAN	C-3 EXISTING SITE CONDITIONS/DEMO PLAN	C-4 DETAILS	C-5 LANDSCAPING PLAN	C-6 SITE CROSS SECTIONS
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DEVELOPMENT NOTES:

1. AREA OF TRACT: 2.475 ACRES (PROPOSED LOT 1 CAR WASH 1.302 ACRES) (PROPOSED LOT 2 STORAGE 1.173 ACRES)
2. EXISTING ZONING: "B-3" EXTENSIVE COMMERCIAL DISTRICT (CITY OF FLORISSANT)
3. PROPOSED ZONING: "B-5" PLANNED COMMERCIAL DISTRICT (CITY OF FLORISSANT)
4. SITE ADDRESS: 495 HOWDERSHELL RD FLORISSANT, MO 63031
5. PROPOSED USE: CAR WASH AND CLIMATE CONTROLLED MULTI-STORY SELF STORAGE
6. OWNER: SCRUBBLES EXPRESS WASH HOWDERSHELL, LLC P.O. BOX 7726 TIFTON, GA 31794
7. SITE IS SERVED BY: ST. LOUIS METROPOLITAN SEWER DISTRICT (314) 768-6200 MISSOURI AMERICAN WATER (866) 430-0820 AMEREN UE ELECTRIC COMPANY (866) 992-6619 SPIRE GAS COMPANY (314) 658-5417 AT&T DISTRIBUTION (636) 949-4230 CHARTER COMMUNICATIONS (636) 387-6632 FLORISSANT VALLEY FIRE PD (314) 837-4894
8. THE REQUIRED HEIGHT AND BUILDING SETBACKS ARE AS FOLLOWS:
MINIMUM FRONT YARD: 40 FEET
MINIMUM SIDE YARD: 35 FEET, WHEN ADJACENT TO "R" RESIDENTIAL
MINIMUM REAR YARD: 35 FEET, WHEN ADJACENT TO "R" RESIDENTIAL
BUILDING HEIGHT: 3-STORY OR 45 FEET
9. PARKING REQUIREMENTS:
CAR WASH: STACKING EQUAL TO 5 TIMES THE CAPACITY OF THE CAR WASH, BEYOND CARS IN CAR WASH 3 CARS CAN BE INSIDE WASH AT ANY GIVEN TIME
TOTAL STACKING REQUIRED = 5 x 3 = 15 SPACES
TOTAL STACKING PROVIDED = 37 SPACES EXTERIOR TO WASH BAY
TOTAL EMPLOYEE PARKING = 6 (INCLUDING 1 ACCESSIBLE SPACE)
10. STORAGE BUILDING: 3.33 SPACES PER 1,000 GROSS FLOOR AREA OF OFFICE PLUS 1 PER CARETAKER NO OFFICE IS BEING PROVIDED AND NO CARETAKER WILL BE ONSITE.
5 UNCOVERED LOADING/UNLOADING SPACES PROVIDED
1 COVERED LOADING/UNLOADING SPACE PROVIDED
11. LANDSCAPE REQUIREMENTS: TREE PER EVERY 15 PARKING SPACES
1 PLANT PER 5 LINEAL FEET OF EXTERIOR BUILDING WALL AROUND PERIMETER
15 FOOT BUFFER ALONG RESIDENTIAL ZONED DISTRICTS TO INCLUDE EITHER/AND OR 6-FOOT TALL EVERGREENS AT 10 FOOT INTERVALS OR A 6-FOOT TALL SIGHT PROOF FENCE.
CAR WASH LOT: 30 CAR PARKING (6+24 VAC STALLS) = 2 TREES REQUIRED FOR PARKED AREAS
BLDG PERIMETER 301 FEET = 60 PLANTS REQUIRED
ADJACENT NORTH LOT RESIDENTIAL 210.26 FEET = 21 EVERGREEN TREES FOR BUFFERYARD OR 6-FOOT TALL SIGHT PROOF FENCE. A SIGHT PROOF FENCE WILL BE INSTALLED DUE TO LACK OF AREA FOR TREE PLANTINGS WITH UTILITY AND RETAINING WALL IN THE AREA.
STORAGE LOT: 6 CAR PARKING/LOADING ZONES = 1 TREE REQUIRED
BLDG PERIMETER 196 FEET = 120 PLANTS REQUIRED
ADJACENT NORTH LOT RESIDENTIAL 174.56 FEET = 17 EVERGREEN TREES FOR BUFFERYARD
ADJACENT WEST LOT RESIDENTIAL 275 FEET = 28 EVERGREEN TREES FOR BUFFERYARD OR 6-FOOT TALL SIGHT PROOF FENCE. A SIGHT PROOF FENCE WILL BE INSTALLED DUE TO LACK OF AREA FOR TREE PLANTINGS WITH UTILITY AND RETAINING WALL IN THE AREA.
*SITE IRRIGATION IS REQUIRED AS LOTS ARE OVER 1 ACRE EACH
12. TO DETERMINE THE LOCATION OF FLOOD DESIGNATIONS AND BOUNDARIES, WE DETERMINED THE HORIZONTAL LOCATION OF THIS TRACT OF LAND BY SCALING THE FOLLOWING FLOOD INSURANCE RATE MAP (FIRM): ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS, MAP NUMBER 29189C0061K, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2015.
COMMUNITY: CITY OF FLORISSANT
NUMBER: 290352
PANEL: 0061
SUFFIX: K
BY EXPRESS REFERENCE TO THIS MAP AND ITS LEGEND, THIS TRACT OF LAND IS INDICATED TO BE WITHIN ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
THE EVALUATION PROVIDED IN THIS NOTE IS RESTRICTED TO SIMPLY INDICATING THE APPARENT HORIZONTAL LOCATION OF THE PROPERTY WITH RESPECT TO THE FEATURES DISPLAYED ON THE MAP. NO FIELD STUDY OF THE DRAINAGE CHARACTERISTICS TO WHICH THIS PROPERTY MAY BE SUBJECT TO HAS BEEN CONDUCTED AND NO REPRESENTATION CONCERNING THE INSURABILITY OF THIS PROPERTY OR THE POTENTIAL SUSCEPTIBILITY OF THIS PROPERTY TO FLOODING HAS BEEN MADE. BAX ENGINEERING MAKES NO REPRESENTATION CONCERNING THE ACCURACY OF THE ABOVE REFERENCED FIRM MAP WHICH INCLUDES A NOTE THAT "THIS MAP IS FOR USE IN ADMINISTERING THE NATIONAL FLOOD INSURANCE PROGRAM. IT DOES NOT NECESSARILY IDENTIFY ALL SUBJECT TO FLOODING, PARTICULARLY FROM LOCAL DRAINAGE SOURCES OF SMALL SIZE."
13. DIFFERENTIAL RUN-OFF CALCULATIONS:
0.66 ACRES INCREASED IMPERVIOUS AREA
0.66 ACRE (3.54-1.70) = 1.21 C.F.S. (INCREASE IN RUN-OFF)
14. ALL UTILITIES SHOWN ARE EXISTING UNLESS OTHERWISE NOTED. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND PER ORDINANCE.
15. ALL CONSTRUCTION METHODS AND PRACTICES SHALL CONFORM WITH OSHA STANDARDS.
16. ALL CONSTRUCTION AND MATERIALS USED SHALL CONFORM TO CURRENT CITY OF FLORISSANT STANDARDS.
17. THIS PLAN IS PRELIMINARY AND NOT FOR CONSTRUCTION.

A SITE PLAN FOR
HOWDERSHELL CAR WASH AND STORAGE BUILDING
495 HOWDERSHELL ROAD
FLORISSANT, MO 63031

PREPARED FOR:
TIFTON CAR WASH, LLC
TIFTON, GEORGIA 31794
229-520-2244

**ENGINEERING
PLANNING
SURVEYING**

221 Point West Blvd.
St. Charles, MO 63031
636-928-5552
FAX 928-1718

REVISIONS
03-15-23 CITY COMMENTS
03-15-23 ADD ADA STALL

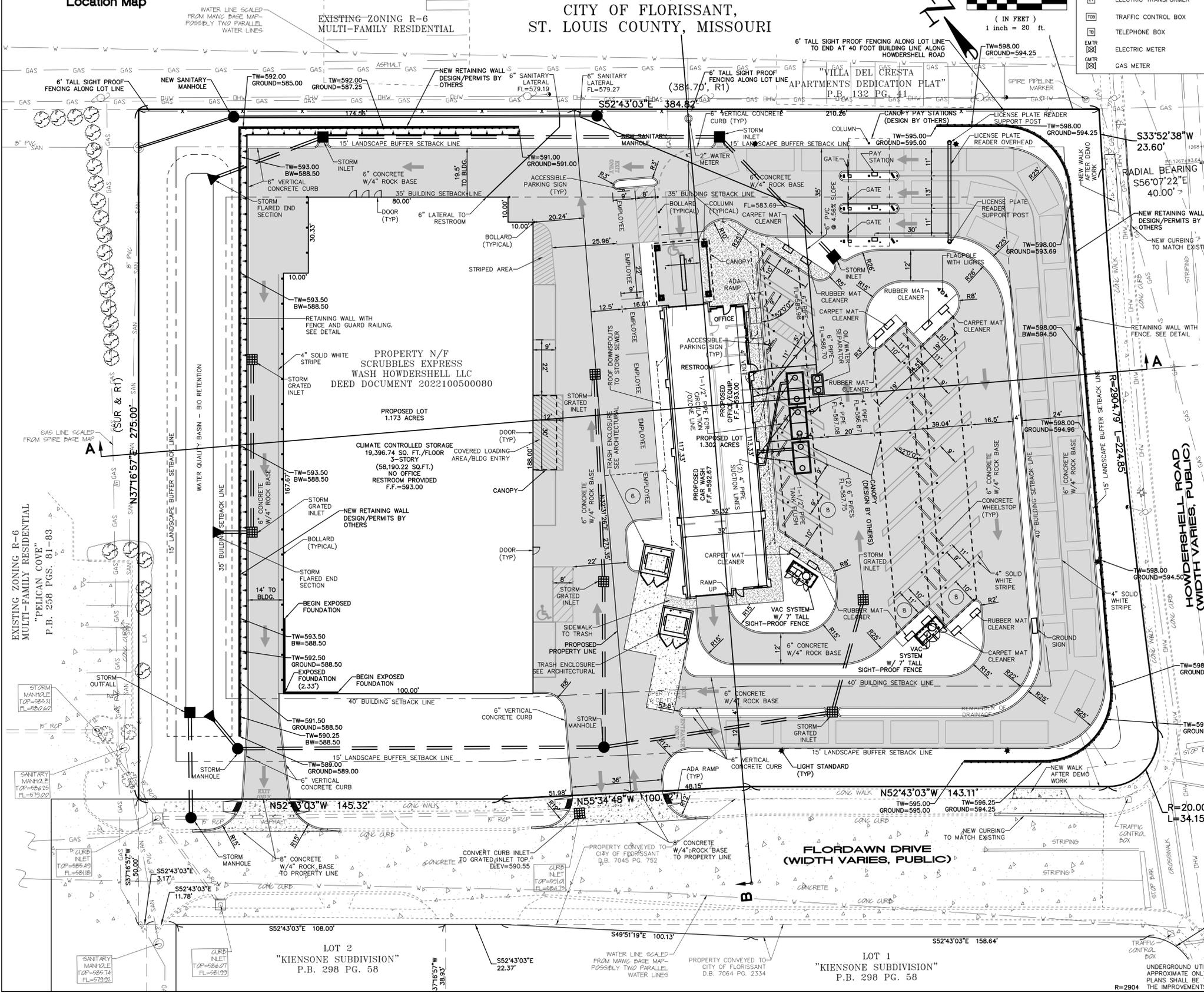
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Lyle D. Walker
Civil Engineer
Engineers License 2007020343

DATE: 02-20-23
PROJECT NUMBER: 22-18717
FILE NAME: 18717PRE.DWG
SWR DRAWN: SWR
SWR LDW DESIGNED: LDW CHECKED: LDW

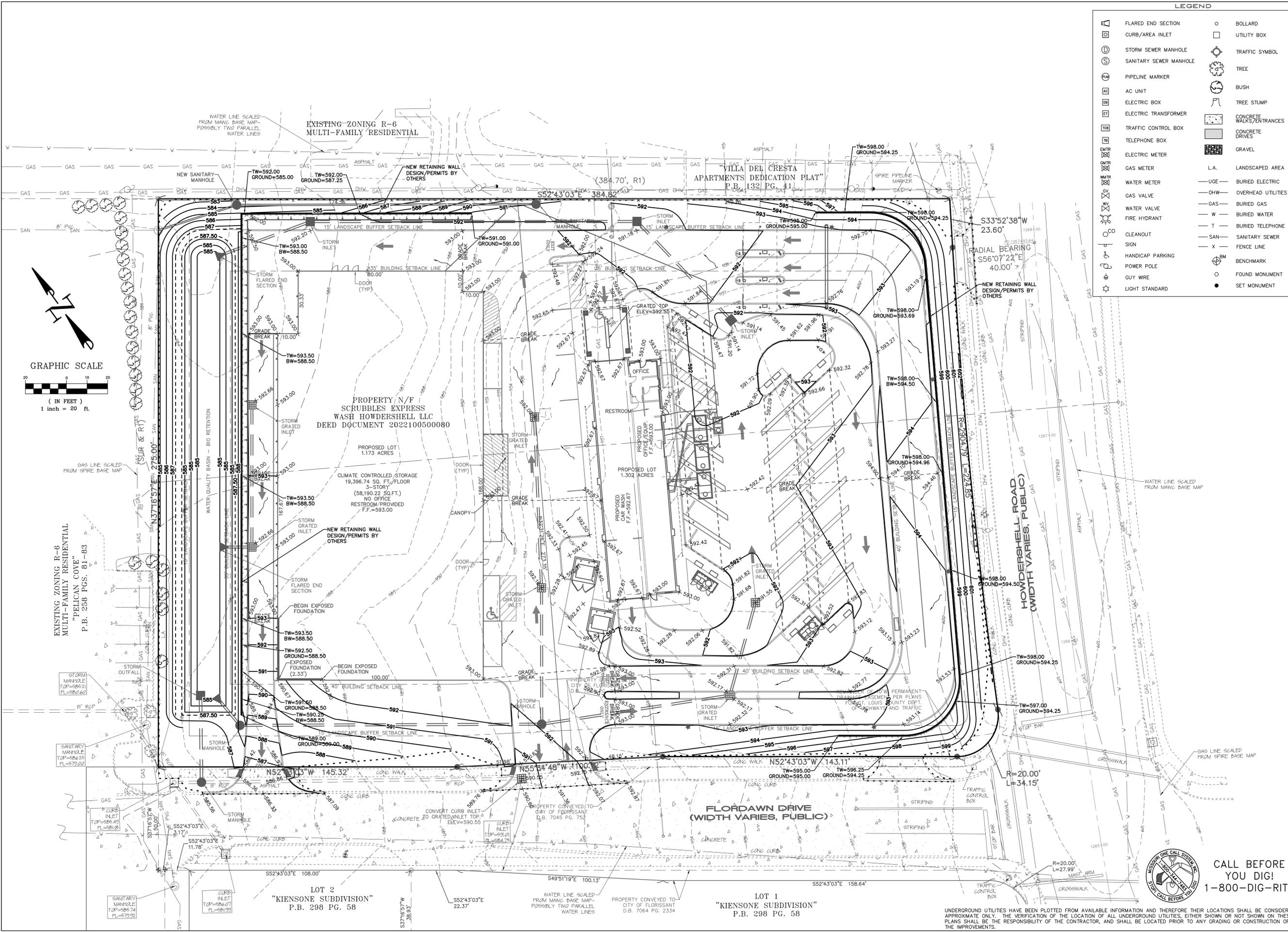
COVER SHEET

C-1



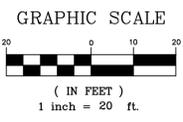
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UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF THE UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.



LEGEND

FLARED END SECTION	BOLLARD
CURB/AREA INLET	UTILITY BOX
STORM SEWER MANHOLE	TRAFFIC SYMBOL
SANITARY SEWER MANHOLE	TREE
PIPELINE MARKER	BUSH
AC UNIT	TREE STUMP
ELECTRIC BOX	CONCRETE WALKS/ENTRANCES
ELECTRIC TRANSFORMER	CONCRETE DRIVES
TRAFFIC CONTROL BOX	GRAVEL
TELEPHONE BOX	L.A. LANDSCAPED AREA
ELECTRIC METER	UG- BURIED ELECTRIC
GAS METER	OHW- OVERHEAD UTILITIES
WATER METER	GAS- BURIED GAS
GAS VALVE	W- BURIED WATER
WATER VALVE	T- BURIED TELEPHONE
FIRE HYDRANT	SAN- SANITARY SEWER
CLEANOUT	X- FENCE LINE
SIGN	BM- BENCHMARK
HANDICAP PARKING	○- FOUND MONUMENT
POWER POLE	●- SET MONUMENT
GUY WIRE	
LIGHT STANDARD	



A SITE PLAN FOR
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Engineering Planning Surveying

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 St. Charles, MO 63301
 636-928-5552
 FAX 928-1718

Box Engineering Company, Inc.
 Missouri State Certificate of Authority
 Engineering #000655
 Missouri State Certificate of Authority
 Surveying #000144

REVISIONS

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03-15-23	ADD ADA STALL

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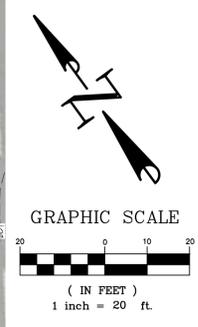
STATE OF MISSOURI
 PROFESSIONAL ENGINEER
 LARRY D. WALKER
 LICENSE NO. 2007020343
 03/15/23

02-20-23
 DATE
 22-18717
 PROJECT NUMBER
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 FILE NAME
 SWR
 DRAWN
 SWR LDW
 DESIGNED CHECKED

GRADING PLAN
C-2

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LEGEND

	FLARED END SECTION		UTILITY BOX
	CURB/AREA INLET		TRAFFIC SYMBOL
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	SANITARY SEWER MANHOLE		BUSH
	PIPELINE MARKER		TREE STUMP
	AC UNIT		CONCRETE WALKS/ENTRANCES
	ELECTRIC BOX		CONCRETE DRIVES
	ELECTRIC TRANSFORMER		GRAVEL
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	GAS VALVE		— T — BURIED TELEPHONE
	WATER VALVE		— SAN — SANITARY SEWER
	FIRE HYDRANT		— X — FENCE LINE
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 Engineers License 2007020343

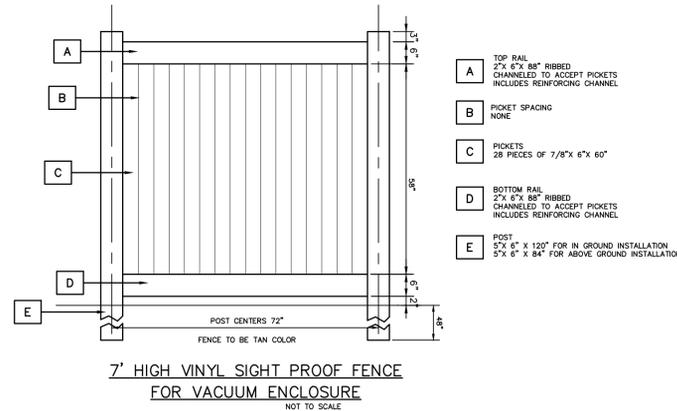
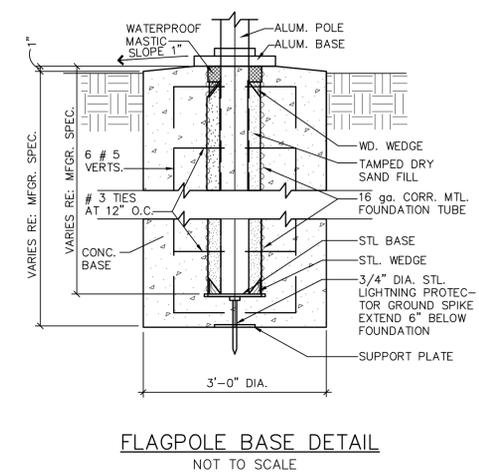
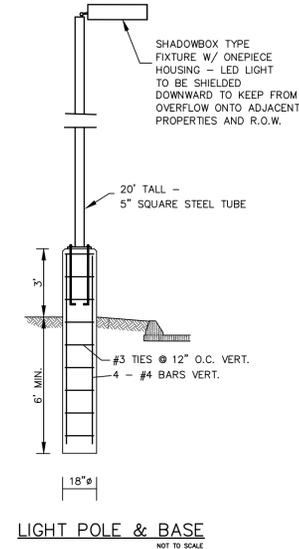
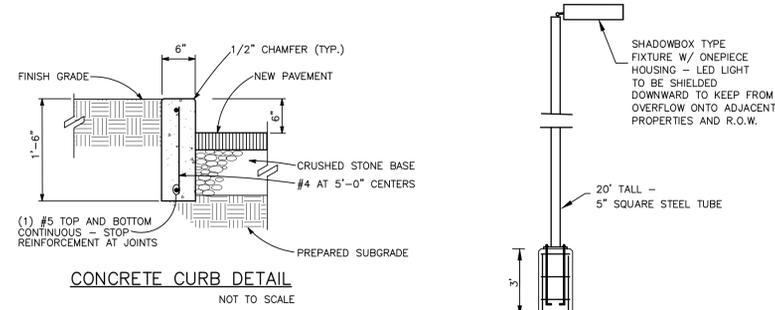
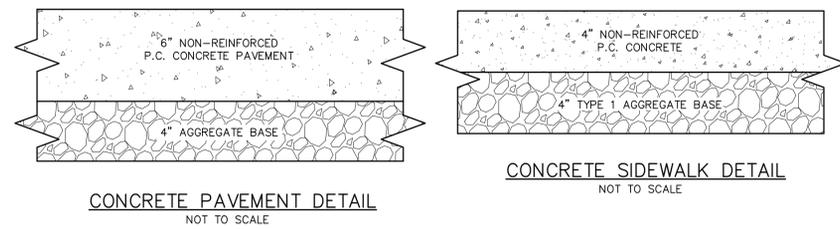
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SWR	DRAWN
SWR LDW	DESIGNED CHECKED

EXISTING CONDITIONS

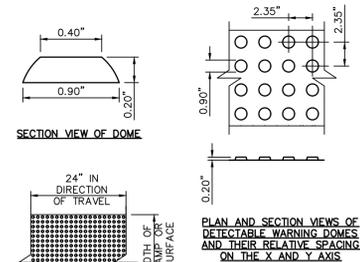
C-3

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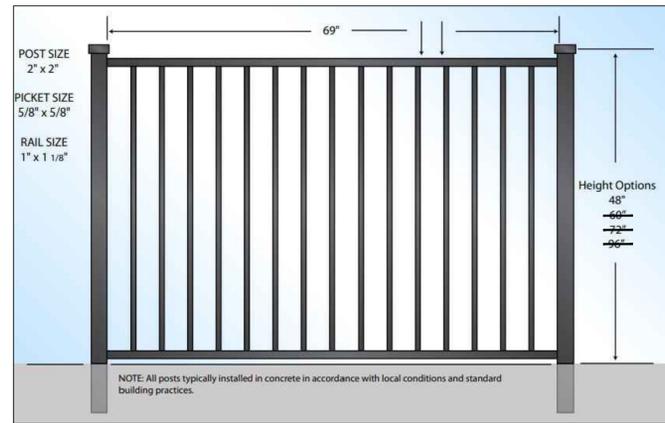


- A TOP RAIL 2" x 6" x 88" RIBBED CHANNELLED TO ACCEPT PICKETS INCLUDES REINFORCING CHANNEL
- B PICKET SPACING NONE
- C PICKETS 28 PIECES OF 7/8" x 6" x 60"
- D BOTTOM RAIL 2" x 6" x 88" RIBBED CHANNELLED TO ACCEPT PICKETS INCLUDES REINFORCING CHANNEL
- E POST 5" x 6" x 120" FOR IN GROUND INSTALLATION 5" x 6" x 84" FOR ABOVE GROUND INSTALLATION

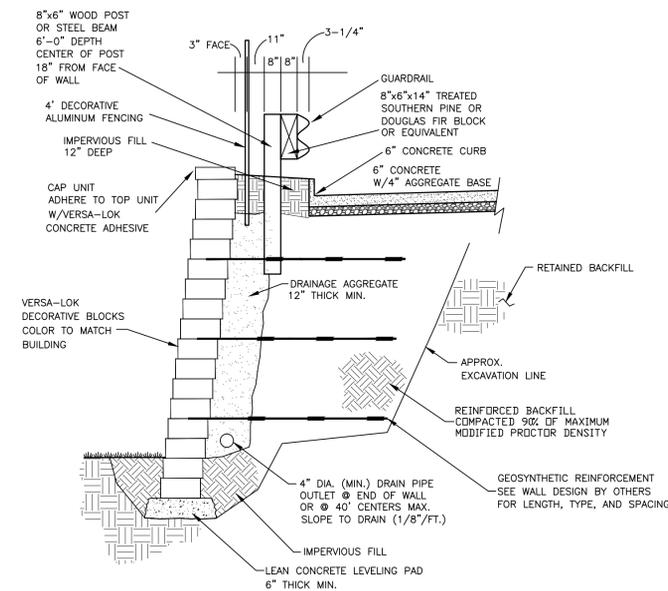


PLAN VIEW OF A DETECTABLE WARNING SURFACE SHOWING DOMES ALIGNED IN ROWS, NOT SKEWED DIAGONALLY.

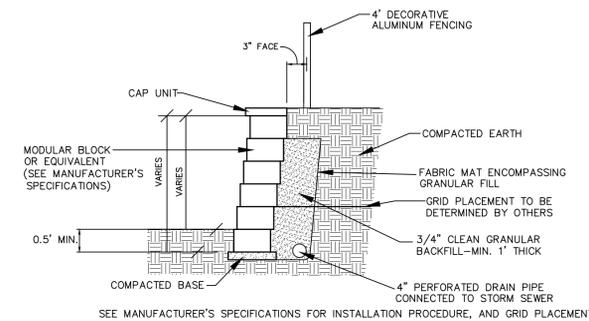
TYPICAL DETAIL OF DETECTABLE WARNING SURFACE
NOT TO SCALE



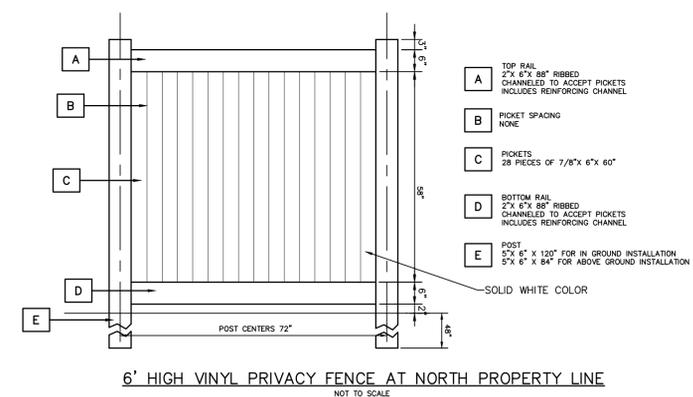
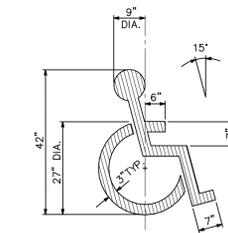
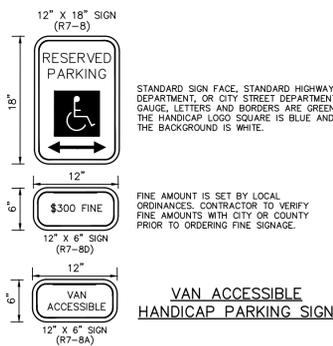
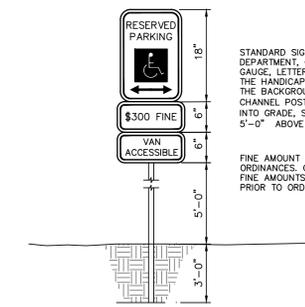
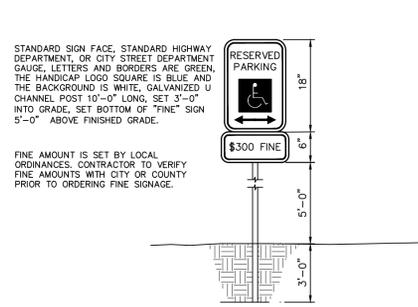
ALUMINUM BLACK FENCE
NOT TO SCALE
TO BE USED ON ALL RETAINING WALLS WHERE SHOWN



MODULAR BLOCK CONCRETE RETAINING WALL ON STORAGE LOT BY WATER QUALITY BASIN
(RETAINING WALL DESIGN/PERMIT BY OTHERS)
NOT TO SCALE



MODULAR BLOCK CONCRETE RETAINING WALL ON CAR WASH LOT
(RETAINING WALL DESIGN BY OTHERS)
NOT TO SCALE



- A TOP RAIL 2" x 6" x 88" RIBBED CHANNELLED TO ACCEPT PICKETS INCLUDES REINFORCING CHANNEL
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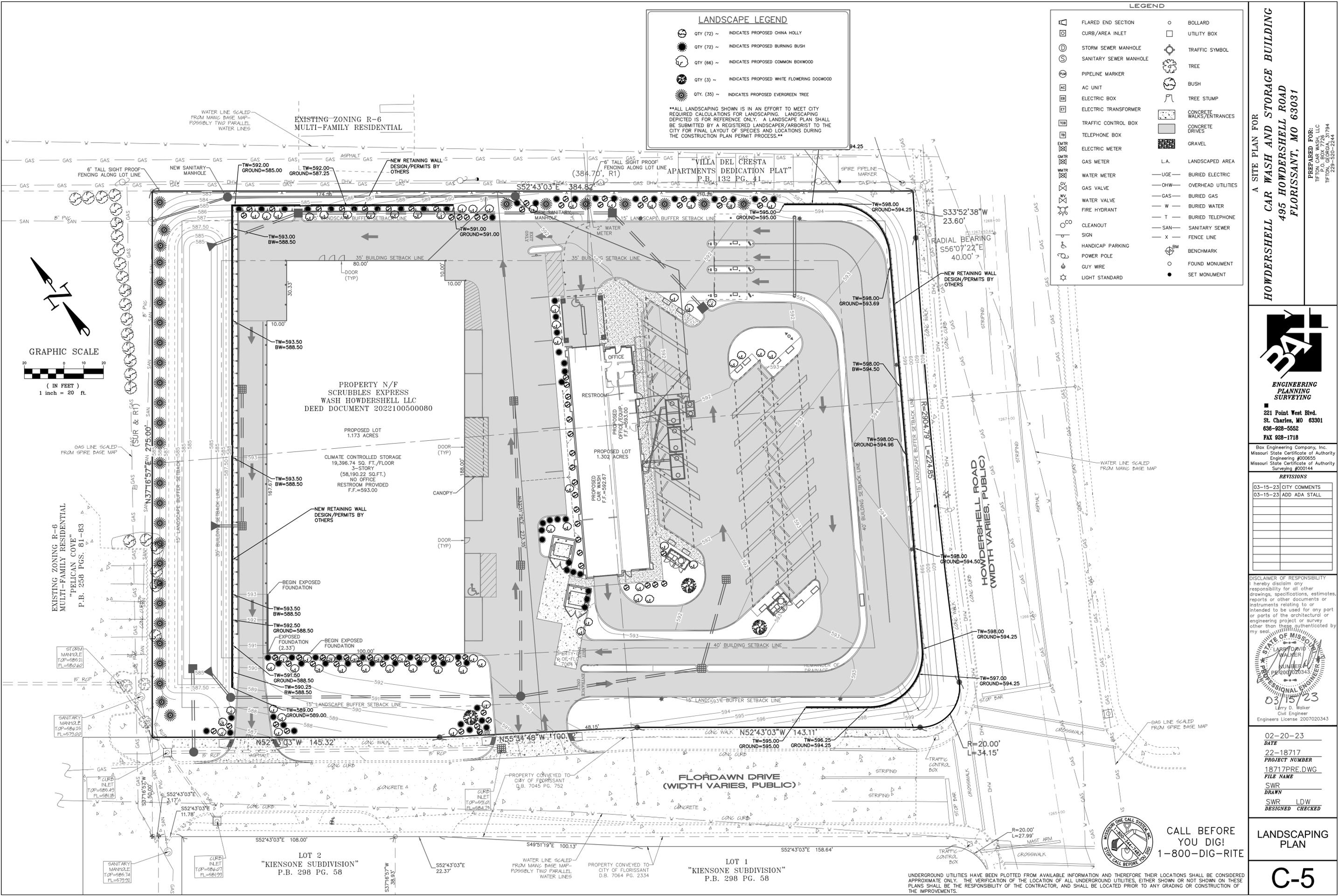
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STATE OF MISSOURI
LARRY D. WALKER
REGISTERED PROFESSIONAL ENGINEER
NO. 03110
03/15/23
Larry D. Walker
Civil Engineer
Engineers License 2007020343

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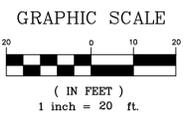
LANDSCAPE LEGEND

- QTY (72) ~ INDICATES PROPOSED CHINA HOLLY
- QTY (72) ~ INDICATES PROPOSED BURNING BUSH
- QTY (66) ~ INDICATES PROPOSED COMMON BOXWOOD
- QTY (3) ~ INDICATES PROPOSED WHITE FLOWERING DOGWOOD
- QTY. (35) ~ INDICATES PROPOSED EVERGREEN TREE

****ALL LANDSCAPING SHOWN IS IN AN EFFORT TO MEET CITY REQUIRED CALCULATIONS FOR LANDSCAPING. LANDSCAPING DEPICTED IS FOR REFERENCE ONLY. A LANDSCAPE PLAN SHALL BE SUBMITTED BY A REGISTERED LANDSCAPER/ARBORIST TO THE CITY FOR FINAL LAYOUT OF SPECIES AND LOCATIONS DURING THE CONSTRUCTION PLAN PERMIT PROCESS.****

LEGEND

- FLARED END SECTION
- CURB/AREA INLET
- STORM SEWER MANHOLE
- SANITARY SEWER MANHOLE
- PIPELINE MARKER
- AC UNIT
- ELECTRIC BOX
- ELECTRIC TRANSFORMER
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- CLEANOUT
- SIGN
- HANDICAP PARKING
- POWER POLE
- GUY WIRE
- LIGHT STANDARD
- BOLLARD
- UTILITY BOX
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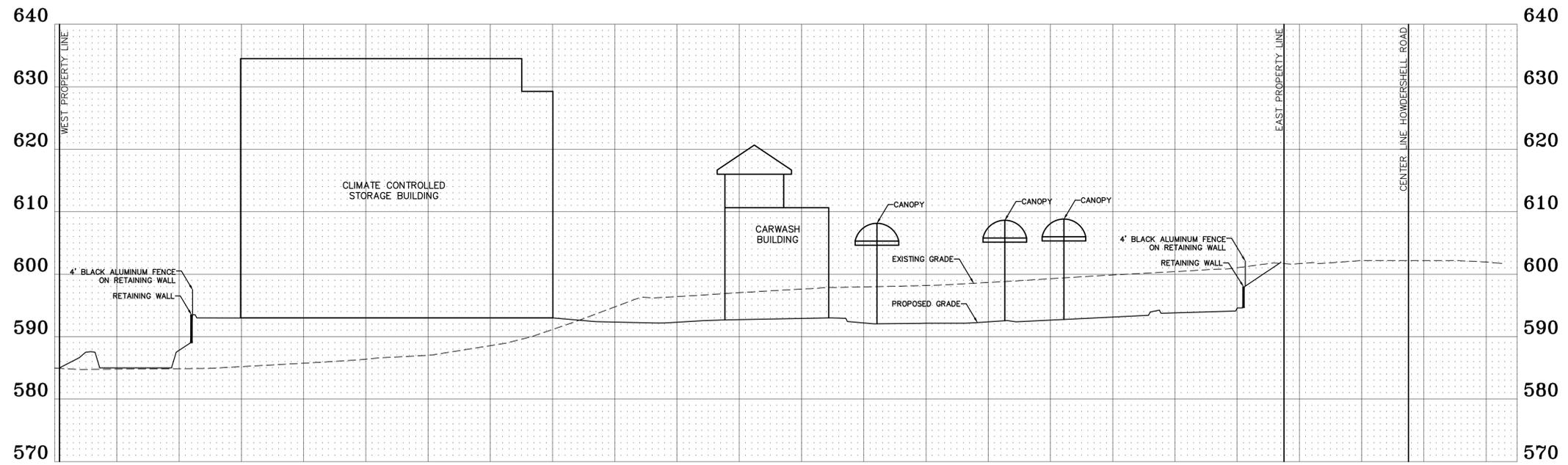
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DESIGNED CHECKED

LANDSCAPING PLAN

C-5

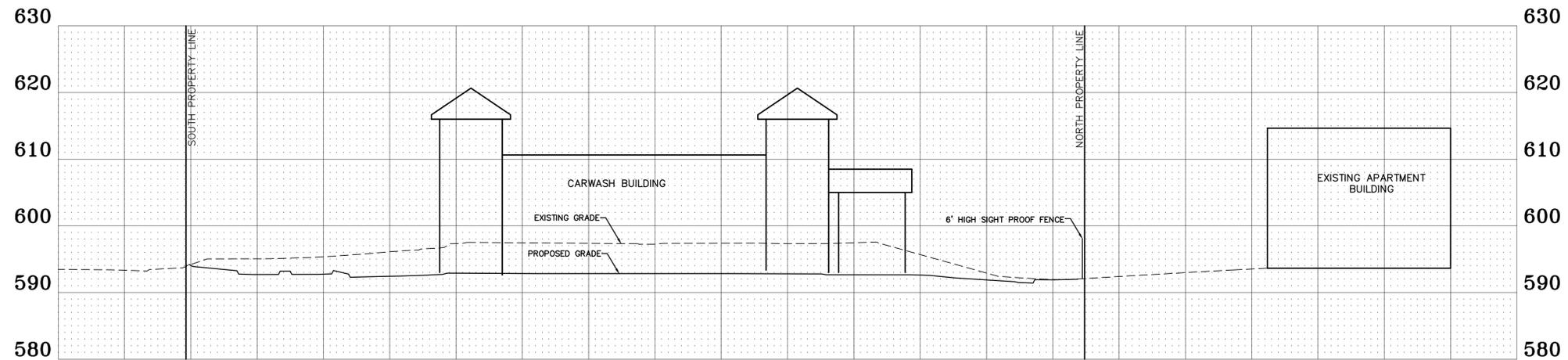
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Section A-A

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 10'



Section B-B

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 10'

A SITE PLAN FOR
HOWERSHELL CAR WASH AND STORAGE BUILDING
495 HOWERSHELL ROAD
FLORISSANT, MO 63031

PREPARED FOR:
TIFTON CAR WASH, LLC
TIFTON, GEORGIA 31794
229-520-2244



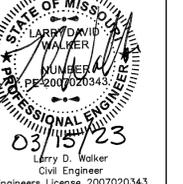
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FAX 928-1718

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Engineering #000655
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REVISIONS

NO.	DATE	DESCRIPTION
03-15-23	03-15-23	CITY COMMENTS
03-15-23	03-15-23	ADD ADA STALL

DISCLAIMER OF RESPONSIBILITY
I hereby disclaim any responsibility for all other drawings, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural or engineering project or survey other than those authenticated by my seal.



02-20-23
DATE
22-18717
PROJECT NUMBER
18717PRE.DWG
FILE NAME
SWR
DRAWN
SWR LDW
DESIGNED CHECKED

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**SITE CROSS
SECTIONS**

C-6

UNDERGROUND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION AND THEREFORE THEIR LOCATIONS SHALL BE CONSIDERED APPROXIMATE ONLY. THE VERIFICATION OF THE LOCATION OF ALL UNDERGROUND UTILITIES, EITHER SHOWN OR NOT SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND SHALL BE LOCATED PRIOR TO ANY GRADING OR CONSTRUCTION OF THE IMPROVEMENTS.

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

5/11/2023

Mayor's Approval:

Agenda Date Requested: 5/22/23

Description of request: Request to add No Parking Sign 50 Feet from the Intersection on the South Side of St. Patrick to Lafayette

Department: Street

Recommending Board or Commission: Traffic Commission

Type of request:

Ordinances	X	Other	
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			

Public Hearing needed: Yes / No

Y/N

No

3 readings? : Yes / No

Y/N

Yes

Back up materials attached:

Back up materials needed:

Minutes	X	Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

CITY OF FLORISSANT

MEMO

TO: Councilman Schildroth

DATE: May 11, 2023

THRU: Mayor Timothy Lowery

THRU: Todd Hughes
Director of Public Works

FROM: Jason Timme
Street Superintendent



SUBJECT: Request to Find a Solution to Congestion at Lafayette and St. Patrick

The Traffic Commission has reviewed the request to find a solution to the congestion at Lafayette and St. Patrick at the May 9, 2023 meeting. The Traffic Commission has come up with a solution and made a recommendation to add a no parking sign 50 feet from the intersection on the south side of St. Patrick to Lafayette. It was also suggested that the Street Department put up a no parking sign on the stop sign stating that there is no parking within 30 feet of the stop sign on St. Patrick at Lafayette (see attached Minutes, Item 03/23).

UNDER OLD BUSINESS:

All old business was addressed and dropped from the Agenda at the April 11, 2023 meeting.

UNDER NEW BUSINESS:

**03/23 REQUEST TO FIND A SOLUTION TO CONGESTION AT LAFAYETTE
AND ST. PATRICK
Suggestion was made and Approved
Ward 5**

Request was made to find a solution to the occasional congestion at the corner of Lafayette and St. Patrick. Teri Reiter said this was in her ward so she went over there and asked what congestion. She said she lives a stone's throw away from there and could not figure out exactly what we were looking for a solution for. She said she finally figured it out today. She said she thought it was funny that the lady was looking for a solution to something. She wasn't asking for anything. She said the bottom line is that everybody on Lafayette parks on St. Patrick to keep off of Lafayette, and they don't really go that far in. So, if you have people parked on both sides of the street you are going to have a problem. She said there is a lot of Amazon shoppers over there so there is always an Amazon truck going down the street, trash trucks, and whatever. She said it gets really crowded as you are trying to pull out onto Lafayette from St. Patrick. She said there is one "No Parking Here to Corner" sign but it doesn't seem like it is very far in. It can't be more than 12 feet in. Jason Timme said the ordinance says 30 feet from the stop sign. Al Schneider said that sign is underneath the tree so it can't be seen. Teri Reiter said that sign is definitely not 30 feet away from the stop sign. And that sign is only on the one side. She said she thinks the solution would be to pull those signs further back. She said the funny thing is that

one guy has a double garage and a double driveway and he parks over there. Kim Redden said her son lives right there on St. Patrick. He lives two houses up. He said usually after 5:00, when everyone is coming home, that's when there's a problem. Teri Reiter said it is. And the Lafayette people don't want to park on Lafayette so they park on St. Patrick. Kim Redden said normally it is not an issue, but when they are parked right there at the end of the street it is an issue because you can't see beyond that. Teri Reiter said she can see that. She said when she first went over there she was thinking what congestion? She said she has never seen any issues as far as that goes. But lately she has noticed that there are a lot of Lafayette people parking on that side. Kim Redden said there is a house across the street from her son and they do get a lot of visitors later in the evening and that does cause some congestion. Jason Timme said as far as he can see there are no no parking ordinances for St. Patrick. So whatever signs are there were put there without an ordinance. He said there is an ordinance that says you can't park within so many feet of a stop sign. Zach Schneider asked if that is for both sides of the street. Jason Timme said it is only on the stop sign side of the street. Zach Schneider said on the other side of the street there is a no parking sign, but it can't be more than 10 or 15 feet from that corner. He said the sign just says "From Here to Corner". He said he can see what they are saying, but we have this problem with every intersection. He said he can tell you right now that entering Duchesne is a pain when you are coming in off of New Florissant Road. He said when you pull into Duchesne there is always cars parked right there on both sides and is a bottleneck there. So this is a problem at every intersection. Kim Redden said this is not like what we did on Estates. If you remember we did 50 feet on both sides of the street. Jason Timme said it was 100 feet on one

side and 50 feet on the other side. Kim Redden said but there is more traffic over there than there is on St. Patrick. It is not really a cut-through street. Pete Fischer said there are a lot of cars parked there so you really can't go fast through there. Don Adams said when he was sitting over there the other day, he could see if someone was parked right past the no parking sign, it would be tight coming around the curve. He said he was parked facing Lafayette, and depending on what type of vehicle it is, the sight was kind of obstructed. He thinks that is one of the issues here too. He said you can't really see too good and you have to really pull out there to be able to see because of that short distance of that no parking sign. Kim Redden said maybe that is why they hit the stop sign. Teri Reiter said she would not use the word congestion, but maybe obstruction would be a better fit. Zach Schneider said it clogs up. If you have cars parked on both sides of the street, right at the entrance to that street, or any street for that matter coming off of a main artery, it's tight. It's just what it is. Zach Schneider asked if there is a possibility of putting a no parking sign further back than the 15 feet on the entrance side of the street. Jason Timme said if you want to make an ordinance, you can do anything. Kim Redden said there is already an ordinance in place for 30 feet from the stop sign. She was told that was only for the stop sign side. She said they want the ordinance for the other side of the street because when you are coming up you could not see. Don Adams said the no parking sign is actually on the opposite side of the street from where the stop sign is. Teri Reiter said her question is that the 30 feet from the stop sign, is there really a sign there or is everybody supposed to know that it is 30 feet. Jason Timme said we won't put no parking signs at every stop sign, no. He said at some chronic issue places like the new stop signs we put at Jefferson and St. Antoine, we did put no parking within 30 feet under the stop signs because people were parking right up against the stop sign.

Jason Time said on the stop sign side of the street, you can't park within 30 feet of the stop sign. On the other side of the street you can park right up to the intersection. He said you would have to make an ordinance. He said that other sign was put up without an ordinance. He said maybe it was put up as an Emergency Order by the Police Department and was just never taken down or maybe a Mayor or someone said put it up and then didn't follow through with an ordinance. Teri Reiter said it is just at a weird distance. Pete Fischer said it is a hard intersection to get in or get out without being obstructed. Don Adams asked what we have to do to get an ordinance. Jason Timme said if you want that no parking sign, just ignore the sign that is already there because it shouldn't be there. There is no ordinance for that sign. He said you would make an ordinance for whatever it is you want at this point, and submit that to the Council and say we want no parking so many feet from the intersection with Lafayette on St. Patrick. Kim Redden said she has pictures of people who are parked in front of the stop sign. Teri Reiter said that is a problem. Jason Timme said we can, if you feel like that's really a chronic problem, the whole group needs to make a suggestion that we put up a sign saying no parking within 30 feet of the intersection. He said we can do that out of the blue because it's a standing ordinance for every stop sign. He said he does not need an ordinance to put that sign up. But if you want no parking on the opposite side, you would have to put something before the Council. Don Adams said he would suggest putting signs up on both sides of the street, 30 feet from the stop sign. Pete Fischer said the north side is 30 feet already. We can just put a sign on the stop sign saying no parking here to corner. Jason Timme said the Police Department technically enforces the stop signs. He said on the other side of the street they can't enforce it because there are no signs there. There was some

discussion as to how far back from the intersection would be a good distance to place no parking signs without disrupting the residents on St. Patrick.

Motion was made by Don Adams to make a recommendation to add a no parking sign 50 feet from the intersection on the south side of St. Patrick to Lafayette. It was also suggested that the Street Department put up a no parking sign on the stop sign stating that there is no parking within 30 feet of the stop sign on St. Patrick at Lafayette. Motion was second by Al Schneider. On the roll call the commission voted: Don Adams – yes, Al Schneider – yes, Greg Keil – yes, Teri Reiter – yes, Pete Fischer – yes, Zach Schneider – yes, and Kim Redden - yes. Motion carried. Item 03/23 was dropped from the Agenda.

MISCELLANEOUS:

There were no miscellaneous items sent to the Traffic Commission for review.

Next Traffic Commission meeting is scheduled for June 13, 2023.

ADJOURNMENT

No other items were brought before the Commission this evening. The meeting was adjourned.

For the Chairman
Mayor's Advisory Traffic Commission



MaryAnn Fitzpatrick
Recording Clerk

MaryAnn

Item 03/23

From: Karen Goodwin <kgoodwin@florissantmo.com>
Sent: Thursday, April 6, 2023 10:57 AM
To: MaryAnn Fitzpatrick <mfitzpatrick@florissantmo.com>
Subject: FW: Traffic commission item ward 5

Hi MaryAnn,

Councilman Schildroth was asking about this item. I forwarded it a while back.

Let me know when you think it will go on an agenda if you would.

Thank you,
Karen

From: Ward 5 Keith Schildroth <ward5@florissantmo.com>
Sent: Friday, January 06, 2023 9:35 AM
To: Karen Goodwin <kgoodwin@florissantmo.com>
Subject: Traffic commission item ward 5

Hello Karen.

Here's the item for the next Traffic Commission meeting. Thank you.

Resident on St Patrick is asking for a solution to the occasional congestion at the corner of Lafayette and St Patrick. There are currently no parking signs on St Patrick for a already designated area. However, resident is saying folks who live on Lafayette park on St Patrick, which resident admits is fine. But, the space is tough for trash trucks and other large vehicles to maneuver with parking on both sides of this corner. And add a sight issue with vehicles here trying to exit on to Lafayette. Thank you for looking at this.

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From: Todd Hughes
Sent: Thursday, April 13, 2023 3:32 PM
To: MaryAnn Fitzpatrick
Cc: Jason Timme
Subject: FW: Traffic commission item ward 5

Add to traffic commission

From: Karen Goodwin <kgoodwin@florissantmo.com>
Sent: Thursday, April 13, 2023 3:01 PM
To: Todd Hughes <THughes@florissantmo.com>
Subject: FW: Traffic commission item ward 5

From: MaryAnn Fitzpatrick <mfitzpatrick@florissantmo.com>
Sent: Monday, April 10, 2023 1:39 PM
To: Karen Goodwin <kgoodwin@florissantmo.com>
Subject: FW: Traffic commission item ward 5

Hi Karen –

Please send this and all Traffic Commission requests through Todd.

Thanks –

MaryAnn

From: Karen Goodwin <kgoodwin@florissantmo.com>
Sent: Thursday, April 6, 2023 11:16 AM
To: MaryAnn Fitzpatrick <mfitzpatrick@florissantmo.com>
Subject: RE: Traffic commission item ward 5

Ok, not sure what happened.

Thank you,
Karen

From: MaryAnn Fitzpatrick <mfitzpatrick@florissantmo.com>
Sent: Thursday, April 06, 2023 11:14 AM
To: Karen Goodwin <kgoodwin@florissantmo.com>
Subject: RE: Traffic commission item ward 5

Karen –

I will put this on the May Agenda, but I don't recall ever seeing this one and I don't have any record in my emails.