



FLORISSANT CITY COUNCIL AGENDA
City Hall
955 rue St. Francois
Monday, August 8, 2022
7:00 PM
Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- City Council Meeting minutes of July 25, 2022

IV. COMMENDATIONS

- Officer Pagano, Officer Mayer, and Officer Arthur
- Officer Carlson

V. HEARING FROM CITIZENS

VI. COMMUNICATIONS

VII. PUBLIC HEARINGS

22-08-018 (Ward 7) Application Staff Report Plans	Request to authorize a Special Use Permit to Imo’s Pizza for the operation of a carry-out, drive-thru restaurant located at 1725 Washington. (Planning and Zoning Commission recommended approval on 7/18/2022)	Dave Glore
22-08-019 (Ward 5) Application Staff Report Plans	Request to authorize a Special Use Permit to Dalind J Enterprises to allow for a Car Sales business located at 1735 S New Florissant Rd in a ‘B-3’ Extensive Business District. (Planning and Zoning Commission recommended approval on 7/18/2022)	Dwandra Palmer

VIII. OLD BUSINESS

A. BILLS FOR SECOND READING

S9793 Application	Ordinance authorizing a transfer of Special Use Permit no. 8603 from Shade Partners, LLC to Shade Restaurant & Bar, LLC for the location of a restaurant and bar located at 1752-1756 N. New Florissant Road.	Siam
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IX. NEW BUSINESS

A. BOARD APPOINTMENTS

B. REQUESTS

Liquor License (Ward 3) Application	Request for a full package liquor license for Bhagat JI, LLC d/b/a A 1 Wind & Spirit # 11 located at 8471 N. Lindbergh.	Vipul Bhagat
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C. BILLS FOR FIRST READING

9804 Memo	Ordinance transferring the sum of \$1,500 from account no. 01-5-49-24070 “Software Purchase/Maintenance” to account no. 01-5-49-50045 “Professional Services/Computer Services” for the purpose of mid-year adjustments.	Eagan
9805 Memo	Ordinance transferring the sum of \$100,000 from Capital Improvement Fund to various accounts within the Capital Improvement Fund.	Eagan
9806 Memo	Ordinance authorizing an appropriation of Grant Revenue of \$7,500 and associated expenses from account no. 03-4-03549 “Grants – Police” to account no. 03-5-03-61490 “Capital Additions – Police” to purchase a radar trailer.	Eagan
9807 Memo	Ordinance authorizing appropriations of \$55,500 from the Park Improvement fund to various accounts.	Eagan
9808 Memo	Ordinance authorizing a transfer of \$100,000 from Escrow Fund account no. 13-20301 “Forfeiture Escrow” to “Police Forfeiture Revenue” and appropriating \$100,000 to account no. 01-5-49-61011 “Forfeiture Expenditure” and appropriating \$145,584 from a donations account to account no. 01-5-49-61500 “Capital Additions” for the locker room remodel.	Eagan

X. COUNCIL ANNOUNCEMENTS

XI. MESSAGE FROM THE MAYOR

XII. ADJOURNMENT

THIS AGENDA WAS POSTED ON THE BULLETIN BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON AUGUST 5, 2022 BY 12:00 PM.

ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, AUGUST 8, 2022.

CITY OF FLORISSANT



COUNCIL MINUTES

July 25, 2022

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, July 25, 2022 at 7:00 p.m. with Council President Eagan presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Harris, Manganelli, Eagan, Caputa, Schildroth, Mulcahy, Pagano, Parson, and Siam. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Manganelli moved to approve City Council Minutes of July 11, 2022, seconded by Siam. Motion carried.

The next item on the Agenda was *Resolutions*.

The Council as a whole introduce Resolution 1042 "A resolution of the City Council of the City of Florissant recognizing Robert Frischmann for his 25 years of officiating baseball for the Missouri State High School Activities Association". Councilman Schildroth made a motion for a second reading, seconded by Pagano. Motion carried, Resolution 1042 was read for a second time. Councilwoman Pagano made a motion for a third reading, seconded by Caputa.

On roll call the Council voted: Harris yes, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, and Siam yes. Motion carried, Resolution 1042 was read for a third time. Before the final vote all interested persons were given an opportunity to be heard.

Being no persons who wished to speak, on roll call the Council voted: Harris yes, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, and Siam yes. Motion carried, Resolution 1042 was passed. The City Clerk read the resolution in its entirety.

Mayor Lowery thanked Robert Frischmann for serving the community of Florissant. Councilman Schildroth echoed his thanks for Mr. Frischmann's work within the community and his dedication to the kids and young adults.

The Chair stated the next item on the agenda was *Hearing from Citizens*.

Walter O. Kaiser, 105 North St. Charles, reminded the council and residents it is time to nominate the Florissant Veteran of the Year. This nominee must be a Florissant resident, honorably discharged,

32 and have continually served fellow veterans and/or the community. He noted the information required is
33 the veteran's name, address, phone number, the phone number of the person nominating and a reason for
34 the nomination. Nominations are kept for three years if they are not selected in the first year. Mr. Kaiser
35 also reminded everyone this can be done by email and the nominations should be kept a secret. The
36 closing date is September 4, 2022. Mr. Kaiser mentioned the new Korean Memorial in Washington D.C.,
37 he noted his brother-in-law's name is listed on the memorial.

38 Mayor Lowery thanked Mr. Kaiser for his service to the country, the community, and his service
39 to the Veteran of the Year and Veteran's Commission.

40 Ben Gruender, 837 Townhouse Ln, updated the council and residents on how Senator Josh
41 Hawley's office can assist through case work services. He noted this is a way for residents to work with
42 the federal government. The requests include veterans' affairs and tax returns.

43 The Chair stated that the next item on the agenda was *Public Hearings* of which there were none.

44 The Chair stated that the next item on the agenda was *Second Readings*.

45 Councilman Siam moved to accept Substitute Bill No. 9793, seconded by Eagan.

46 Councilman Eagan made a motion to suspend the rules to speak with the petitioner. Seconded by
47 Pagano, motion carried.

48 Lisa West, petitioner, noted all the window tinting would be removed while construction is taking
49 place, the security cameras have been installed, and the rear barbeque grill would be removed from the
50 property. She noted a full kitchen would be installed instead of the barbeque grill. Councilman Eagan
51 asked Ms. West to clarify the event which took place in the weeks prior. Ms. West stated the previous
52 owners wanted to have a memorial for a family member at the restaurant, she noted detectives stopped
53 by to investigate the possible sale of alcohol on the premises. She said they were asked to keep the family
54 inside the building and received a call the following day regarding trash in the parking lot of the property.
55 The previous owner was notified and addressed both issues and was told it would be the final time he
56 would be allowed to have an event at the property. City Attorney Hessel noted Ms. West was not the
57 owner of the business when this event took place and the owner, Maurice Rankin, is the only one who
58 can conduct business on the property. Mr. Hessel stated the event in question did violate liquor laws
59 because no persons can allow others inside a business establishment and allow liquor without a
60 consumption of liquor license. Ms. West noted she believed Mr. Rankin had all the correct licensing to
61 still operate the business. She clarified that she is working on the renovations, but Mr. Rankin is still
62 paying rent until her paperwork is completed. Ms. West stated the restaurant name would be remaining
63 the same while she builds revenue, creates a new look, and completes processes through Planning and
64 Zoning and the Council to give the business an update. She noted the lease is still in Mr. Rankin's name

65 and she has a contingency contract to allow for basic changes until the approvals are completed by the
66 council. Mr. Hessel stated Mr. Rankin is still the business owner until the transfer of Special Use is
67 approved by the City Council. Ms. West stated she is working to create a menu that can be created without
68 an exhaust system. She noted they would be flatbreads, paninis, and other similar options. The hours of
69 operation would be 11am to 10pm, though to start the hours may be 3pm to 10pm or 11pm. Ms. West
70 noted she may have jazz music, but would not be charging for covers or tables at the location. Mr. Hessel
71 stated a transfer of the special use permit requires the petitioner to operate the business and special use
72 permit the same way as the original special use permit. This would require the business to operate under
73 the requirements and stipulations with the previous special use and new requests from the Substitute Bill.
74 Councilman Harris noted he would prefer the business be allowed to operate until 11pm. Ms. West stated
75 she would be using the smoker to comply with the Special Use being transferred.

76 Councilman Caputa made a motion to postpone Substitute Bill No. 9793 to the August 8, 2022
77 Council meeting. Seconded by Eagan, motion carried.

78 Councilman Siam moved that Bill No. 9802 an Ordinance to authorize a Special Use Permit to
79 Peach Cobbler Factory to allow for the operation of a sit-down, carry-out restaurant for the property
80 located at 12 Paddock Hills Shopping Center be read for a second time, seconded by Pagano. Motion
81 carried and Bill No. 9802 was read for a second time.

82 Councilman Siam moved that Bill No. 9802 be read for a third time, seconded by Harris.
83 Motion carried and Bill No. 9802 was read for a third time and placed upon its passage. Before the final
84 vote all interested persons were given an opportunity to be heard.

85 Being no persons who wished to speak, on roll call the Council voted: Harris yes, Manganelli yes,
86 Eagan yes, Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, Parson yes, and Siam yes.

87 Whereupon the Chair declared Bill No. 9802 to have passed and become Ordinance No. 8809.

88 The Chair stated that the next item on the agenda was *Board Appointments*.

89 Councilman Schildroth made a motion to accept the mayor's appointment of Erin Schwartz, 125
90 S. Lafayette St, to the Youth Advisory Commission as a member from Ward 5 with a term expiring on
91 7/25/2025. Seconded by Pagano, motion carried.

92 Councilman Mulcahy made a motion to accept the mayor's reappointment of Brendan Burns to
93 the Youth Advisory Commission as a member from Ward 5 with a term expiring on 7/8/2025. Seconded
94 by Pagano, motion carried.

95 Councilman Mulcahy made a motion to accept the mayor's reappointment of Mitchell Fite to the
96 Youth Advisory Commission as a member from Ward 6 with a term expiring on 7/8/2025. Seconded by
97 Pagano, motion carried.

98 Councilman Mulcahy made a motion to accept the mayor's reappointment of Michael Lay to the
99 Youth Advisory Commission as a member from Ward 5 with a term expiring on 7/8/2025. Seconded by
100 Pagano, motion carried.

101 The Chair stated that the next item on the agenda was *Bills for First Reading* of which there were
102 none.

103 The next item on the Agenda was *Council Announcements*.

104 Councilman Manganelli reminded residents to turn on porch lights to deter theft and light streets.
105 The Italian Festival will be held on October 1, 2022.

106 Councilman Parson announced that on August 20, Ward 8 and the Prince Hall Masons of Missouri
107 would be holding and adopt a school event and collecting supplies for Parker Road Elementary and
108 Commons Lane Elementary at each school. He stated it would take place from 11am to 1pm.

109 Councilman Eagan stated the St. Patrick's Day Committee would have a Halfway to St. Patrick's
110 Day Pub Crawl on September 17, 2022, more information can be found at
111 florissantstpatricksdayparade.com.

112 The next item was *Mayor Announcements*.

113 Mayor Lowery noted a plaque dedication and walk through history will be held on Wednesday,
114 July 27th at 5:30pm for Harold "Bud" and Bernice Foley across from Florissant City Hall prior to the
115 Wednesday Night Out. Mann Meats and BJ's Bar would be providing food and drinks with Patrick
116 Mulcahy and Paul Manganelli as sponsors. Mayor Lowery invited residents to an election open house
117 regarding Prop A on Thursday, July 28th, 2022 at 7pm at the JFK Community Center with information
118 on the City website and Facebook page. Members of the pool committee will be joining Mayor Lowery
119 to discuss more information regarding the aquatic center. Music Under the Stars will start at 7pm at St.
120 Ferdinand Park with Billy Peak and Butch Wax and the Hollywoods on Saturday, August 6th.

121 The Council President stated the next regular City Council Meeting will be Monday, August 8,
122 2022 at 7:00 pm.

123 Councilman Parson moved to adjourn the meeting, seconded by Schildroth. Motion carried. The
124 meeting was adjourned at 8:04 p.m.

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129 The following Bills were signed by the Mayor:

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Bill No. 9802 Ord. No. 8809

131

Res. 1042



Karen Godwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

Public Hearing



In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, August 8, 2022 at 7:00 p.m. on the following proposition:

To authorize a Special Use Permit to Imo's Pizza for the operation of a carry-out, drive-thru restaurant located at 1725 Washington in a 'B-3' Extensive Business District. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION

Receipt
18433



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward 7 Zoning B3

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN: [Signature] DATE: 7-18-2022

SPECIAL PERMIT FOR Ino's Pizza
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR _____
ordinance # Statement of what the amendment is for.

LOCATION 1725 WASHINGTON AVE.
Address of property.

1) Comes Now Parker Inc Real Estate LLC DBA Ino's Pizza
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) OWNER OF PROPERTY
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for VACANT and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation X

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners DOUG GLORE 7417 WARNER AVE 63117
- (2) Telephone numbers 314-623-6009
- (3) Business address 18110 CHESTERFIELD AIRPORT RD STE X CHESTERFIELD MO 63005
- (4) State of Incorporation & a photocopy of incorporation papers MO
- (5) Date of Incorporation 5-11-2021
- (6) Missouri Corporate Number SR 326339
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated Tom's Pizza
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

see attached

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

see attached

OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____

Building Commissioner or Staff Signature



State of Missouri
John R. Ashcroft Secretary of State
Corporations Division
PO Box 778 / 600 W.Main St., Rm. 322
Jefferson City, MO 65102

LC1786694
Date Filed: 05/11/2021
John R. Ashcroft
Missouri Secretary of State

Articles of Organization

Reference Number SR326339

Receipt Number TR1328324

1. The name of the limited liability company is: Parker IMG Real Estate, LLC

2. The purpose(s) for which the limited liability company is organized:

To hold real estate and conduct any lawful business

3. The name and address of the limited liability company's registered agent in Missouri is:

Name Kim Myers

Address 800 N. 17th Street, Saint Louis, Missouri, 63106, United States

4. The address of its principal place of business is:

800 N 17th St, Saint Louis, Missouri, 63106, United States

5. The management of the limited liability company is vested in:

Member

6. The effective date of this document is the date it is filed by the Secretary of State of Missouri unless a future date is otherwise indicated:

5/11/2021

7. The events, if any, on which the limited liability company is to dissolve or the number of years the limited liability company is to continue, which may be any number or perpetual:

Perpetual

8. The name(s) and street address(es) of each organizer:

Name John Imo

Address 1317 Topping Rd, Saint Louis, Missouri, 63131, United States

In Affirmation thereof, the facts stated above are true and correct:

The undersigned believes the statements presented in this filing are true and correct to the best of their knowledge and belief, they are subject to the penalties provided under section 575.040 RSMo. for making a false declaration under Section 575.060 RSMo

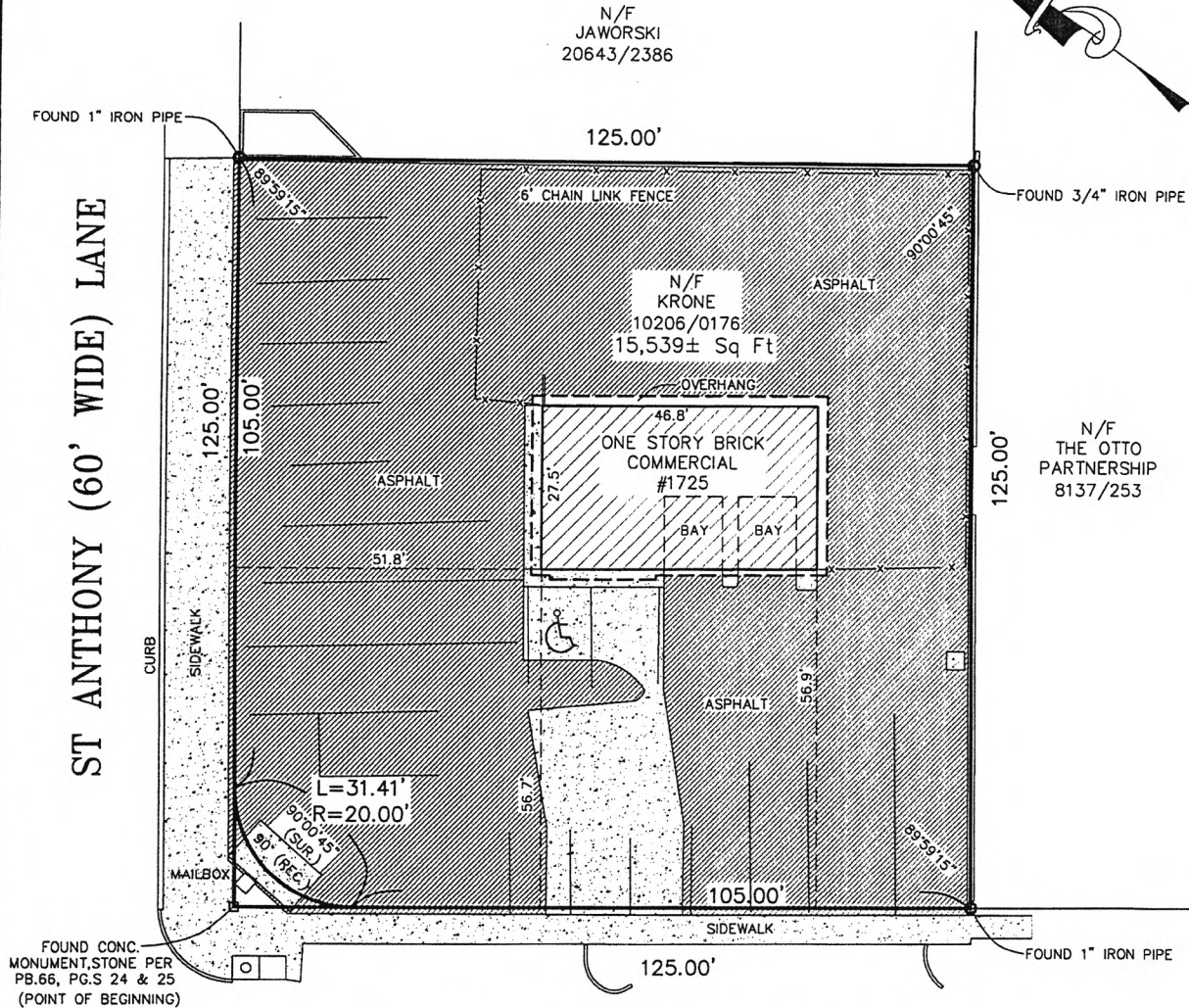
The undersigned agrees and represents that he/she is authorized to execute this document

Name John Imo

Title Organizer

Date 05/11/2021

"PROPERTY BOUNDARY SURVEY"



WASHINGTON (60' WIDE) STREET

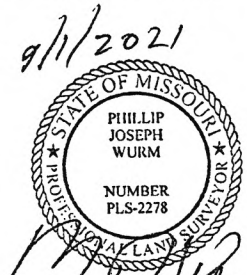
PROPERTY DESCRIPTION:

A part of Parcel "B" of DUCHESNE HILLS PLAT NO. 2, a subdivision in St. Louis County, Missouri, as per plat thereof recorded in Plat Book 66 on Page 24 and 25 of St. Louis County Records, and described as: Beginning at the intersection of the South line of St. Anthony Lane, 60 feet wide, and the East line of Washington Street, 60 feet wide; thence South along the East line of Washington Street, 125 feet to a point; thence East and parallel to the South line of St. Anthony Lane 125 feet to a point; thence North and parallel to the East line of Washington Street, 125 feet to the South line of St. Anthony Lane; thence West along the South line of St. Anthony Lane, 125 feet to the point of beginning, in the City of Florissant, St. Louis County, Missouri, EXCEPTING the Northwest corner of said parcel which is cut off by a radius of 20 feet for street purposes.

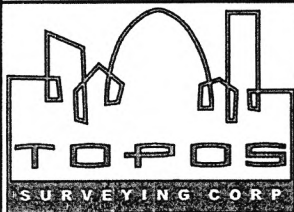
A current Title Commitment has not been made available for our use. It is possible there are easements and other instruments of record that affect the subject tract that would be exposed in the Title Commitment Report and are unknown to this office at the time the Survey was executed and therefore not plotted hereon. This Survey does not constitute a Title Search by the Surveyor.

This is to certify that we, Topos Surveying Corporation, at the request and for the exclusive use of David Gore have on the 25th day of August, 2021, executed a Property Boundary Survey in accordance with the current Missouri Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, and Professional Land Surveyors and Landscape Architects, on a Tract of Land being described above recorded in St. Louis County Records in St. Louis County, Missouri, and that the results of said survey are represented upon this plat. The subject property is an URBAN property as defined in said Standards. The bearing reference system and easements unless referenced are taken from the record plat. This plat may not show current zoning setbacks. **This Property Boundary Survey is Non-Transferable.**

EXPIRES: DECEMBER 31, 2021



PHILLIP J. WURM
MO. REGISTRATION NO. PLS - 2278



PROJECT NAME: PROPERTY BOUNDARY SURVEY	PROJECT ADDRESS: #1725 Washington Street Florissant, 63033	TOPOS SURVEYING CORP. ORIGINAL CERTIFICATE NUMBER 000105
790 RUE ST. FRANCOIS FLORISSANT, MISSOURI 63031 Phone (314) 838-5806 Fax (314) 838-8141	Revision: DATE: 09/01/2021	Sur. by: V.F. Drawn by: H.P.D. Scale: 1" = 20' Survey No. 0821-0043

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MEMORANDUM



CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: June 1, 2022

From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: **1725 Washington (Imo's) Request recommended approval** of a Special Use to allow for a carryout and drive-thru restaurant, in a 'B-3' Extensive Business District.

STAFF REPORT
CASE NUMBER PZ-060621-3

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** of a Special Use, to allow for a carryout and drive-thru restaurant, in an existing 'B-3' Planned Commercial District.

II. EXISTING SITE CONDITIONS:

The existing property at : **1725 Washington** is a vacant property which is a 0.36 acre site with a in a 'B-3' Extensive Business District, formerly operated as Krone's Auto Repair.

The subject property has one building of approximately 1269 s.f. There are undated preliminary plans submitted that include:

- Site Plan
- Elevations
- Floor Plan

The existing building was built in 1957 per County record.

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III. SURROUNDING PROPERTIES:

The property to the East is 408 St Anthony owned by John Jaworski Jr., zoned similarly in the 'B-3' Extensive Business District. The property to the South is 1775 Washington owned by The Otto Partnership in the 'B-3' Zoning District which houses a pizza restaurant.

The site is bounded by St Anthony and Washington and has no defined entrances. The entire frontages are accessible by vehicle over any sidewalk.

IV. STAFF ANALYSIS:

Plan received from the applicant include an engineer's report that indicates the building was originally was concrete block clad with thin brick of about 1/2" thickness.

Comments on Drawings:

Site plan shows undescribed shrub areas at the NW and SW corners. Staff suggested relocation of SW shrubs to align traffic with the entrance lanes. A dumpster enclosure is shown at the SE corner. Dumpster must be compatible with the new building design.

Plan and Elevation notes indicate the use of full wythe brick veneer on all 4 sides of the existing block building with the exception of the entrance area shown covered with fiber cement panels and thin stone veneer. A shed addition is shown with metal panel building skin for the walk-in cooler/freezer addition next to a fenced area.

Materials need further explanation by the petitioner/architect.

About 15 parking spaces currently exist, shown reduced to 10 proposed. Parking requirement is only 5 spaces for restaurants of less than 1500 s.f. Drive-thru shows adequate stacking of 6 minimum.

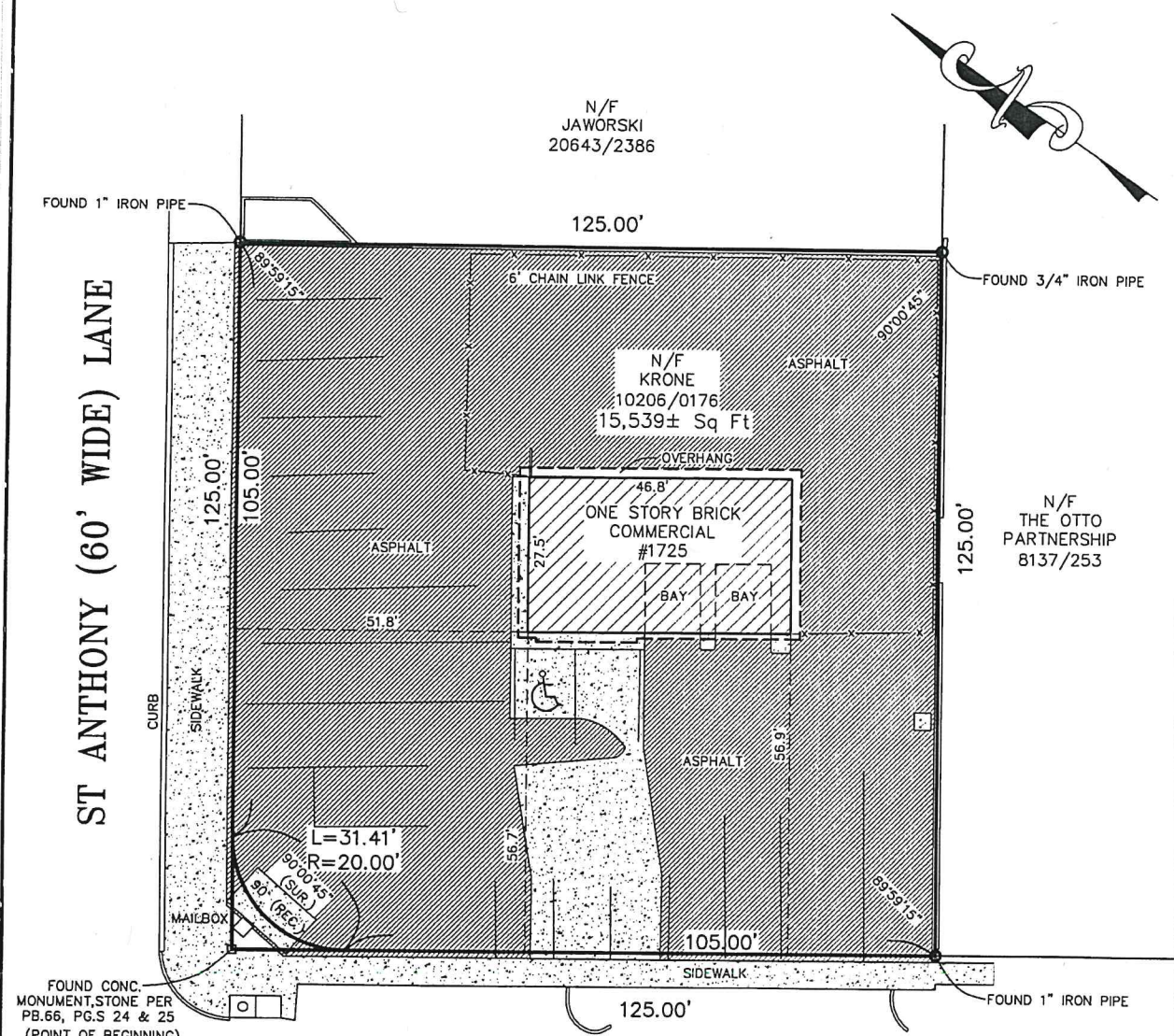
III. STAFF RECOMENDATIONS:

Suggested Motion:

I move for Recommended Approval of a Special Use to allow for a carryout and drive through restaurant establishment in a 'B-3' Extensive Business District as shown on plans attached, subject to the conditions set forth below with these conditions being part of the record:

(End of report and suggested motion)

"PROPERTY BOUNDARY SURVEY"



WASHINGTON (60' WIDE) STREET

PROPERTY DESCRIPTION:

A part of Parcel "B" of DUCHESNE HILLS PLAT NO. 2, a subdivision in St. Louis County, Missouri, as per plat thereof recorded in Plat Book 66 on Page 24 and 25 of St. Louis County Records, and described as: Beginning at the intersection of the South line of St. Anthony Lane, 60 feet wide, and the East line of Washington Street, 60 feet wide; thence South along the East line of Washington Street, 125 feet to a point; thence East and parallel to the South line of St. Anthony Lane 125 feet to a point; thence North and parallel to the East line of Washington Street, 125 feet to the South line of St. Anthony Lane; thence West along the South line of St. Anthony Lane, 125 feet to the point of beginning, in the City of Florissant, St. Louis County, Missouri, EXCEPTING the Northwest corner of said parcel which is cut off by a radius of 20 feet for street purposes.

A current Title Commitment has not been made available for our use. It is possible there are easements and other instruments of record that affect the subject tract that would be exposed in the Title Commitment Report and are unknown to this office at the time the Survey was executed and therefore not plotted hereon. This Survey does not constitute a Title Search by the Surveyor.

This is to certify that we, Topos Surveying Corporation, at the request and for the exclusive use of David Gore have on the 25th day of August, 2021, executed a Property Boundary Survey in accordance with the current Missouri Standards for Property Boundary Surveys as established by the Missouri Board for Architects, Professional Engineers, and Professional Land Surveyors and Landscape Architects, on a Tract of Land being described above recorded in St. Louis County Records in St. Louis County, Missouri, and that the results of said survey are represented upon this plat. The subject property is an URBAN property as defined in said Standards. The bearing reference system and easements unless referenced are taken from the record plat. This plat may not show current zoning setbacks. This Property Boundary Survey is Non-Transferable.

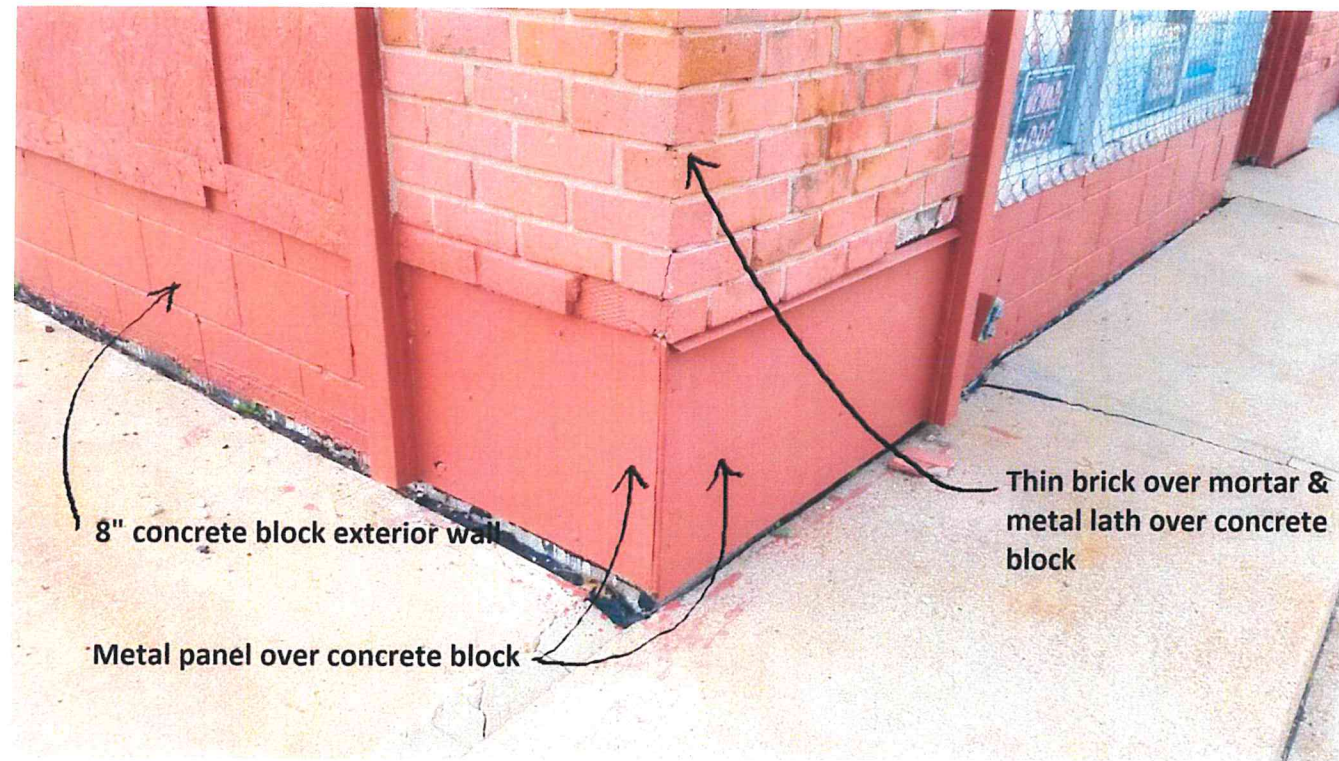
EXPIRES: DECEMBER 31, 2021

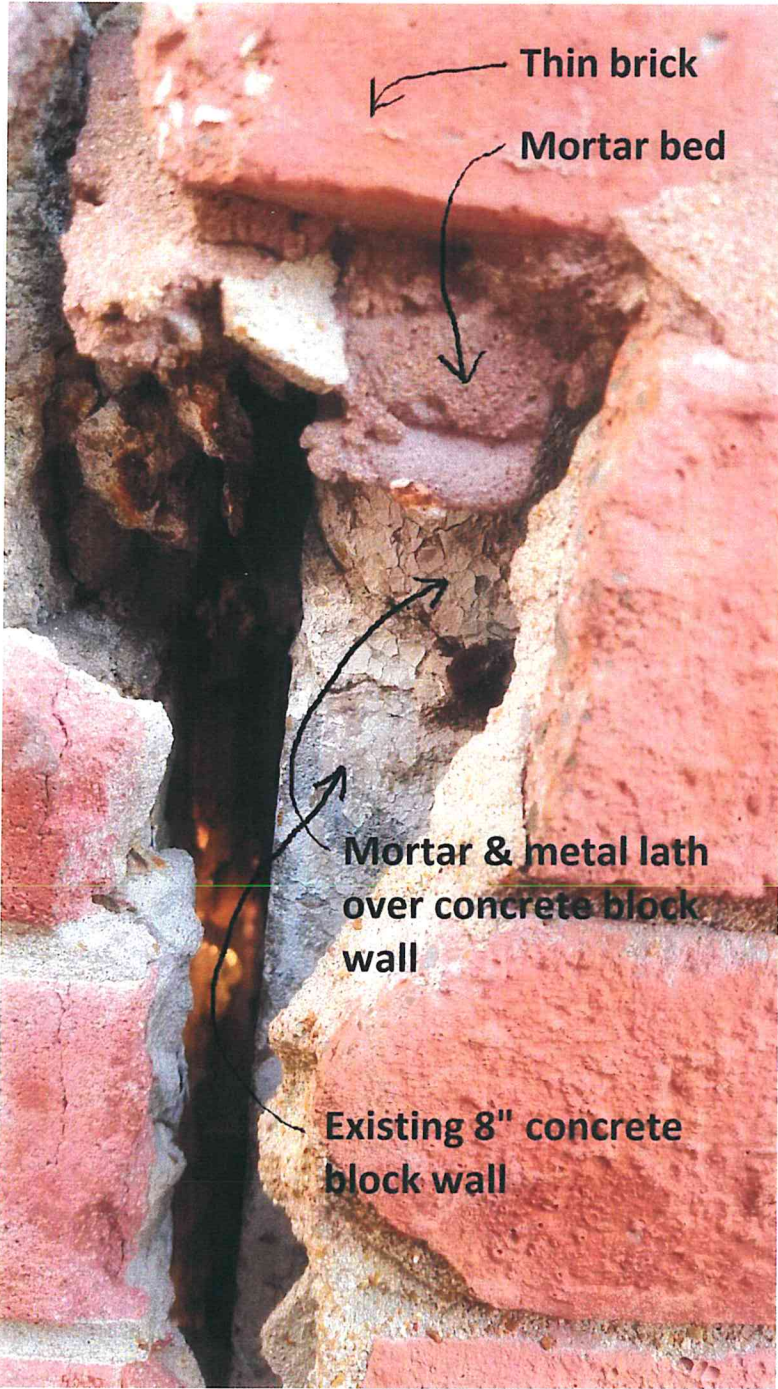
9/1/2021

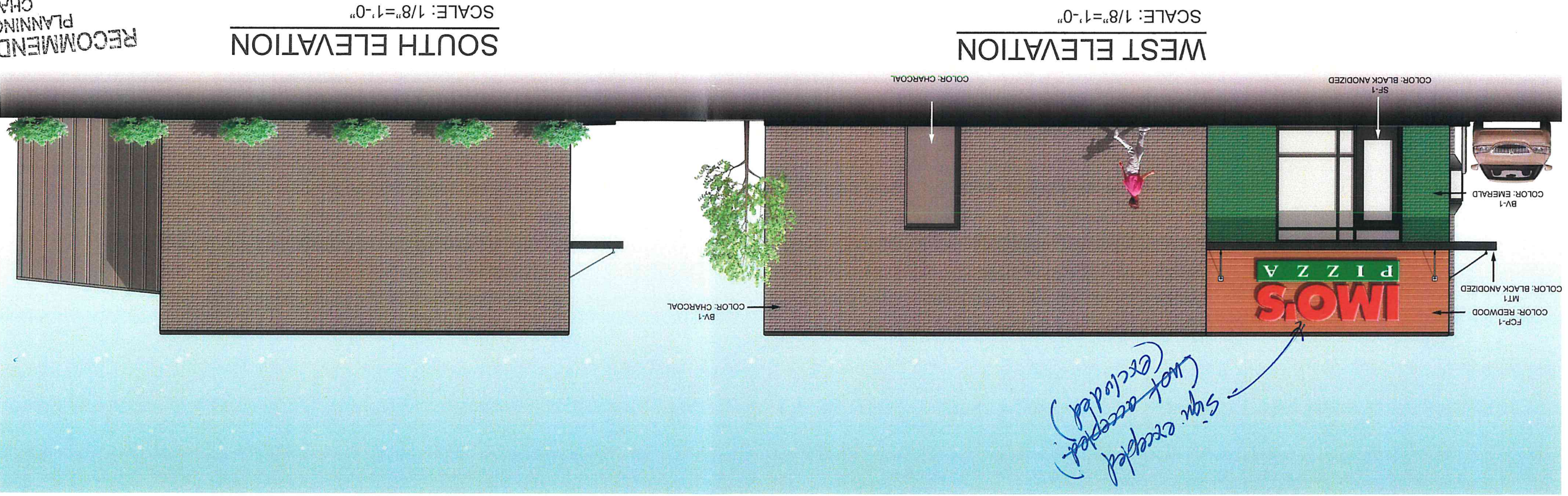
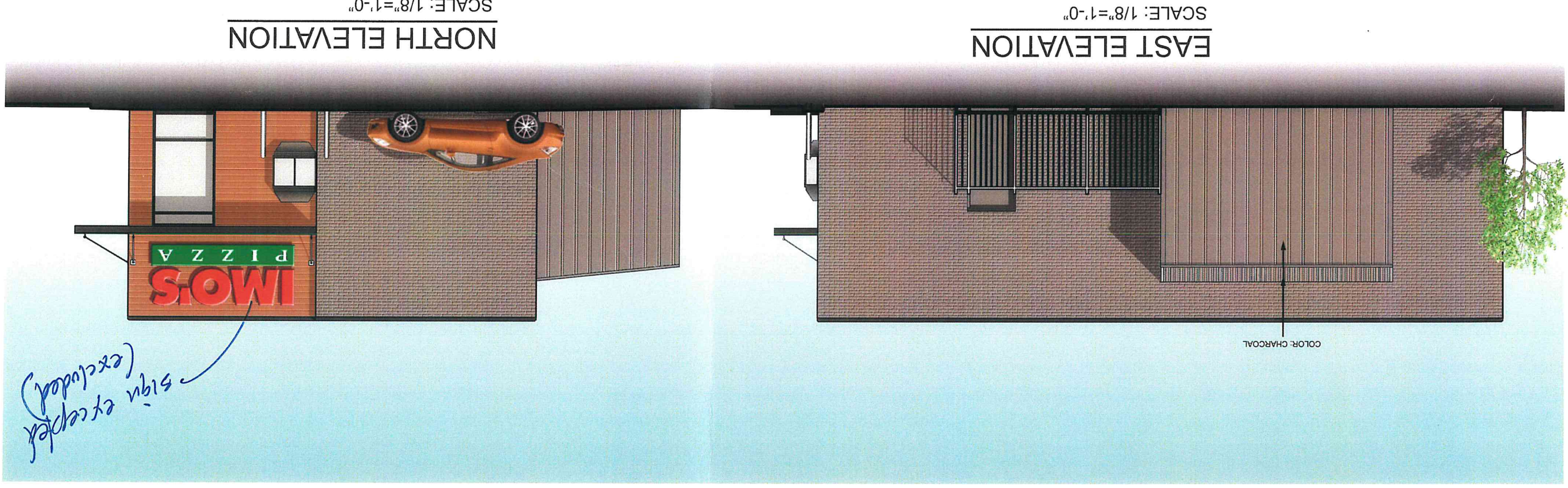
PHILLIP J. WURM
MO. REGISTRATION NO. PLS - 2278

TOPOS
SURVEYING CORP.

PROJECT NAME: PROPERTY BOUNDARY SURVEY	PROJECT ADDRESS: #1725 Washington Street Florissant, 63033	TOPOS SURVEYING CORP. ORIGINAL CERTIFICATE NUMBER 000105
Revision:		
DATE: 09/01/2021	Scale: 1" = 20'	Sur. by: V.F. Drawn by: H.P.D.
790 RUE ST. FRANCOIS FLORISSANT, MISSOURI 63031 Phone (314) 838-5806 Fax (314) 838-8141		Survey No. 0821-0043







NORTH ELEVATION
SCALE: 1/8"=1'-0"

EAST ELEVATION
SCALE: 1/8"=1'-0"

SOUTH ELEVATION
SCALE: 1/8"=1'-0"

WEST ELEVATION
SCALE: 1/8"=1'-0"

Sign excluded (excluded)

Sign excluded (not accepted) (excluded)

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN
SIGN. *[Signature]*
DATE: 7-15-2022

FoxArchitects

1 Memorial Dr, Suite 1800
St. Louis, MO 63102

Main: 314.621.4343
Fax: 314.621.0261
fox@fox-arch.com

Project: IMO'S PIZZA

Sheet: ELEVATIONS

Project #: M2260.01

Phase:

Missouri Certificate of Authority
Fox, Inc. dba Fox Architects #000511

Issue Date: 07-15-2022

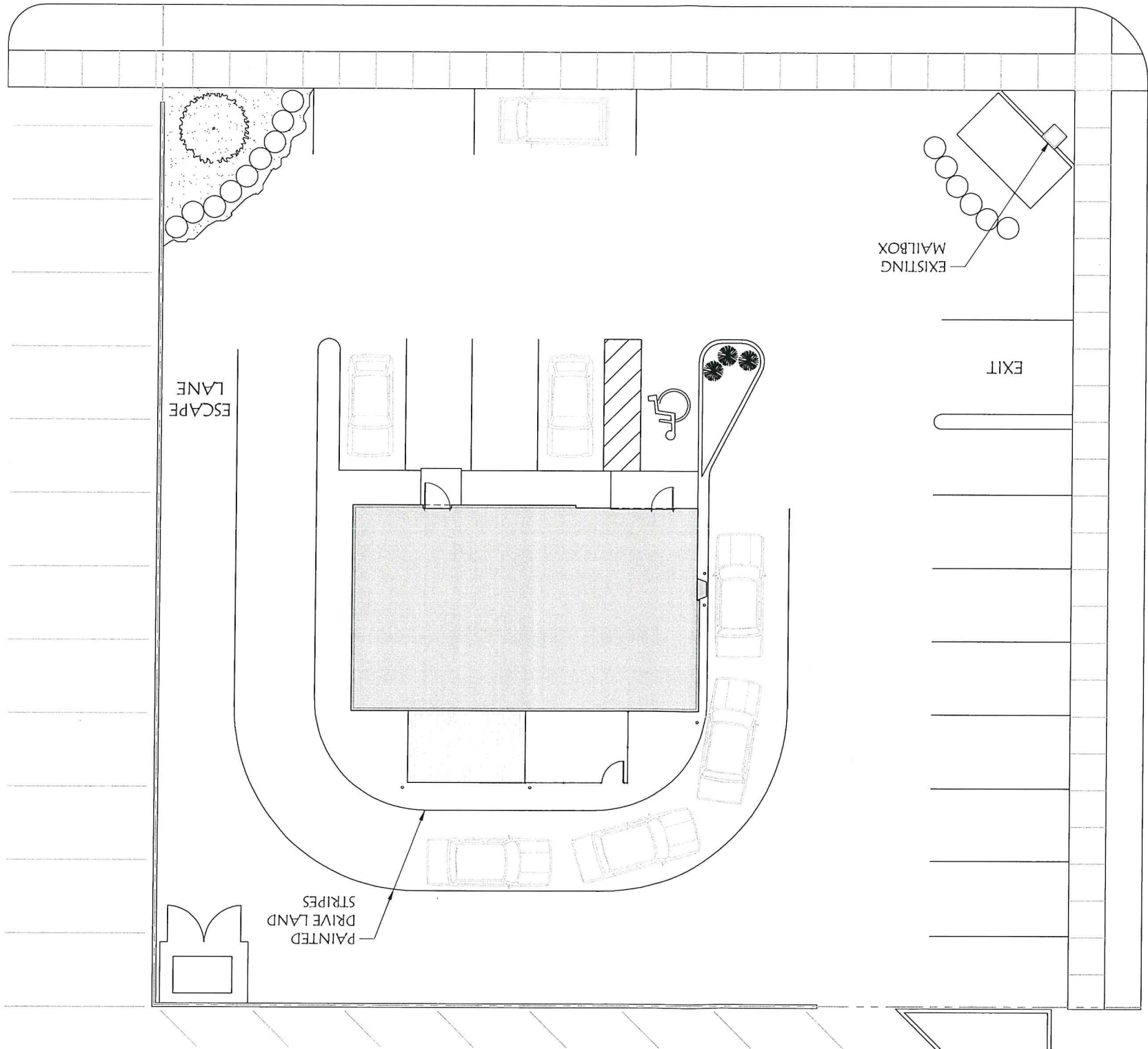
Drawing Excerpt:



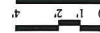
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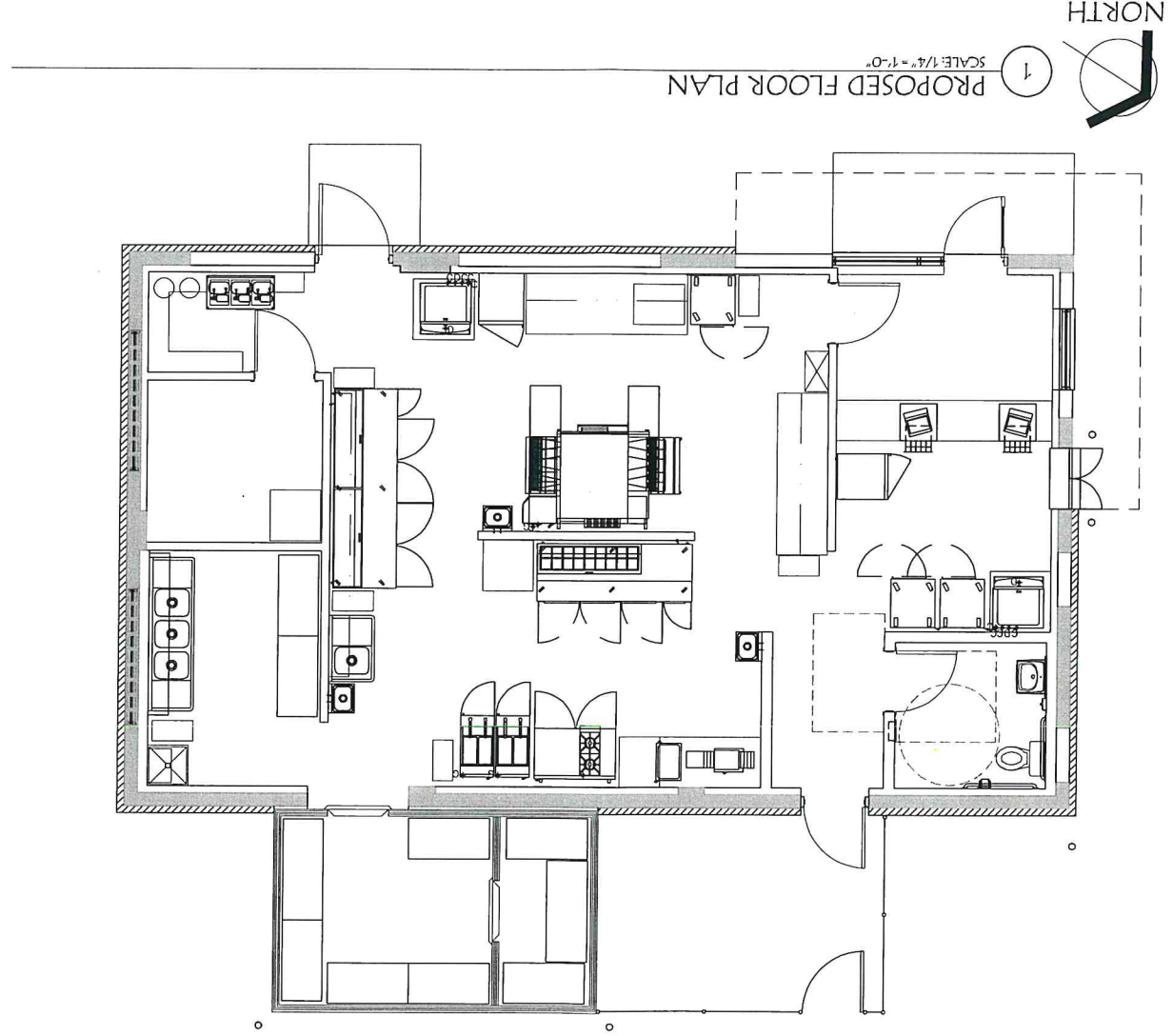
SITE PLAN
SCALE: 1/8" = 1'-0"

WASHINGTON AVE



SAINT ANTHONY LN





CITY OF FLORISSANT

Public Hearing



In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, August 8, 2022 at 7:00 p.m. on the following proposition:

To authorize a Special Use Permit to Dalind J Enterprises to allow for a Car Sales business located at 1735 S New Florissant Rd in a 'B-3' Extensive Business District. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



**City Of Florissant – Public Works
314-839-7648**

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

**PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

Council Ward 5 Zoning 'B-3'

Initial Date Petitioner Filed _____
**Building Commissioner to complete
ward, zone & date filed**

SIGN.

DATE: 7-18-2022

SPECIAL PERMIT FOR CAR DEALERSHIP

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR DEALERSHIP LICENSES
ordinance # _____ Statement of what the amendment is for.

LOCATION 1735 S. NEW FLORISSANT ROAD, FLORISSANT, MO 63031
Address of property.

1) Comes Now DAVID LINDSEY DBA DALIND J ENTERPRISES, LLC
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) LEASE
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for _____
OFFICE SPACES and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

DAVID LINDSEY David Lindsey / dalindenterprises@gmail.com 678-525-5719
PRINT NAME SIGNATURE email and phone

FOR DALIND J ENTERPRISES, LLC
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.

2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Dwandra Palmer

ADDRESS 1735 S. FLORISSANT ROAD FLORISSANT, MO 63031
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314-518-8049 / dking12683@gmail.com
BUSINESS

I (we) the petitioner (s) do hereby appoint DWANDRA PALMER as
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

David Lindsey
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual XXXX Partnership _____ Corporation _____

(a) If an individual:

- (1) Name and Address DAVID LINDSEY 7161 LONE OAK TRACE LITHONIA, GA 30058
- (2) Telephone Number 678-525-5719
- (3) Business Address 1735 S. NEW FLORISSANT ROAD, FLORISSANT, MO 63031
- (4) Date started in business 08/03/2020
- (5) Name in which business is operated if different from (1) DALIND ENTERPRISES, LLC
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name DAVID LINDSEY DBA DALIND ENTERPRISES, LLC

Address 7161 LONE OAK TRACE, LITHONIA, GA 30058

Property Owner BOBBY SIMON

Location of property 1735 S. NEW FLORISSANT

Dimensions of property 18731 IS TOTAL AND SPACE FOR LICENSE IS

Property is presently zoned OFFICE SPACES Requests Rezoning To DEALERSHIP

Proposed Use of Property DEALERSHIP

Type of Sign REGULAR BUSINESS SIGN Height 36" X 36

Type of Construction _____ Number Of Stories 1

Square Footage of Building 18,731 SQ FT Number of Curb Cuts 2

Number of Parking Spaces 10 Sidewalk Length _____

Landscaping: No. of Trees 0 Diameter _____

No. of Shrubs 0 Size _____

Fence: Type CHAIN LINK Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

Florissant Heights Lot PTS 1
Thru 3 Block 1

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

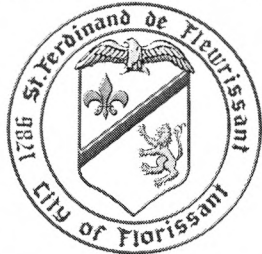
Date Application reviewed _____

STAFF REMARKS: _____

Building Commissioner or Staff Signature

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MEMORANDUM



CITY OF FLORISSANT

To: Planning and Zoning Commissioners Date: July 13, 2022

From: Philip E. Lum, AIA-Building Commissioner cc: Todd Hughes, P.E.
Director of Public Works
Applicant
Deputy City Clerk
File

Subject: Request **Recommended Approval** of a Special Use Permit to allow for Car Sales in a 'B-3' Extensive Business District at 1735 S New Florissant Rd for Dalind J Enterprises.

STAFF REPORT
CASE NUMBER PZ-071822-2

I. PROJECT DESCRIPTION:

This request for **Recommended Approval** of a Special Use Permit to allow for Car Sales (dealer) in a 'B-3' Extensive Business District at **1735 S New Florissant Rd for Dalind J Enterprises** as one of many businesses within one tenant space in the building.

Attached plans include existing conditions and proposed plans on sheets 1 dated 7/13/22 and 2 dated 7/01/22 by Metropolitan Works, Architects.

BUILDING: The owner of the building owns both lots known as 1723 and 1735 S New Florissant bounded by grass areas that appear to belong to MoDOT. There is an existing 1-1/2 story house-like structure built in 1945 per County records to the north on 1723 S New Florissant Rd. This site has a building listed as 3900 s.f. per County record. We were glad to have worked with a responsible architect for revisions to the plans that indicate 3 tenants in the building shown approximately 50'6" x 77'-6" results in 3913 s.f. shown on the plan. The exterior of the building is constructed of brick. Proposed Use is for Office for the car sales (dealer) and 4 designated parking spaces to collect cars purchased from car owners.

PARKING AND DRIVEWAYS:

There are 32 parking spaces shown on the site plan for both contiguously owned sites, including one accessible space for the property at 1735 S New Florissant. The adjacent

41 lot has 5 spaces along the North property line, but only 4 of these work, the 5th space is
42 inaccessible without traversing over the accessible spaces.

43
44 The parking ordinance requires 3 spaces per 1000 s.f. There is a cross access easement,
45 copy of which has been provided to staff that appears to be reciprocal for both properties.
46 Cross access, however, is not cross parking, so if one property is sold, the 4 spaces that
47 overlap the property line would need to be relocated.

48
49 **WALKWAYS:**

50 There are entrance ways from the parking on the West and East elevation into the
51 building.

52
53 **LANDSCAPING:**

54 Existing landscape plan is shown only as planted areas on the Site Plan. Landscape to
55 comply with the Zoning code would include:

- 56 1 landscaped island for every 15 parking spaces
- 57 Frontage trees on 3 sides every 50 lf and
- 58 51 shrubs for this building at 1735

59
60 **SITE LIGHTING:**

61 There appears to be no site lighting for the property.

62
63 **SIGNAGE:**

64 The proposal did not include a submission of a sign and therefore would need to conform
65 to the sign code of the City, chapter 520.

66
67 **II. EXISTING SITE CONDITIONS:**

68 The property was previously a vacant office. The entire parking and structure are
69 proposed to remain as the site is 100% paved.

70
71 **III. STAFF ANALYSIS:**

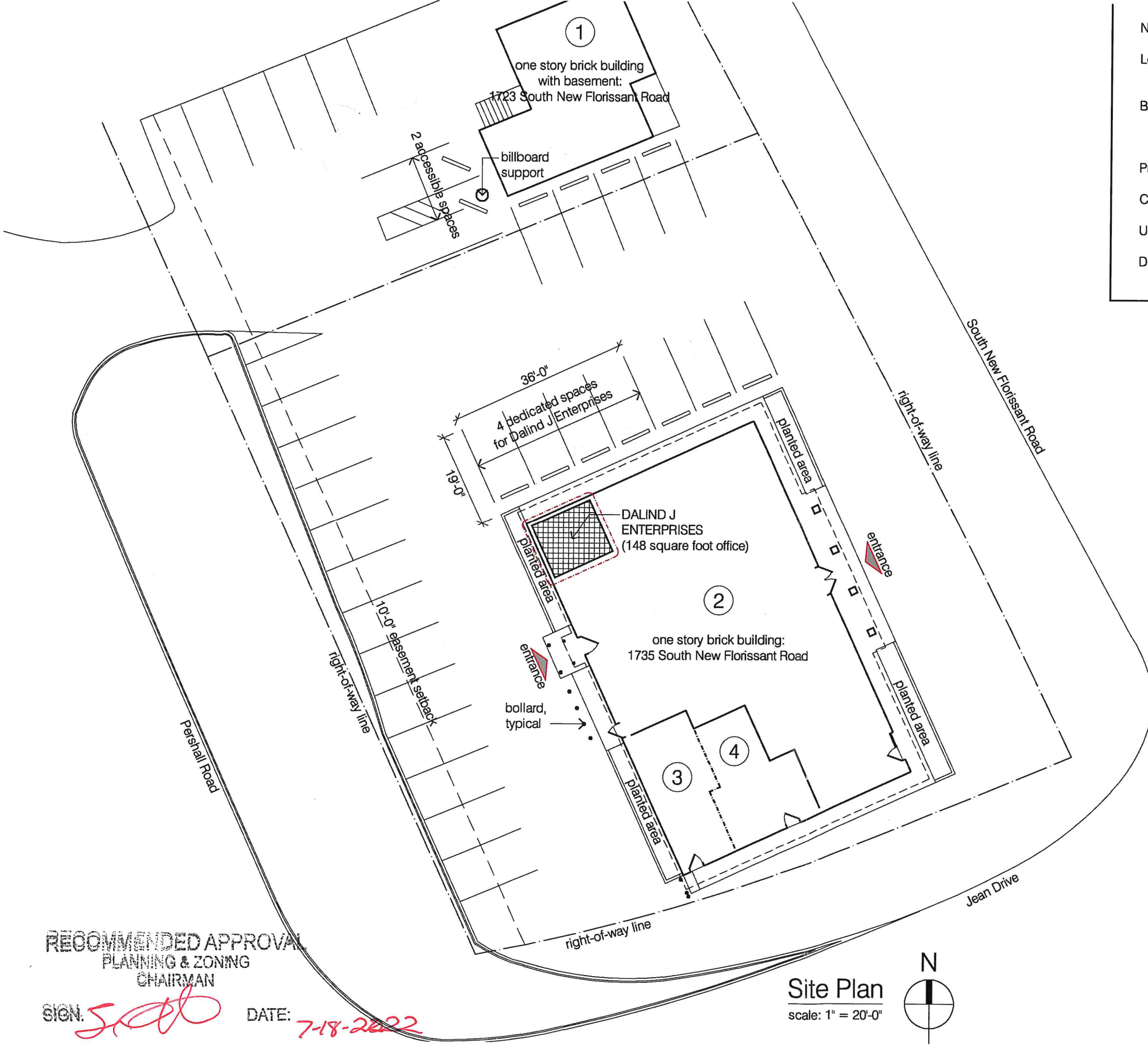
72 Some basic explanation for the proposal is that the petitioner has proposed an auto dealer
73 office with spaces for buying cars and up to 4 parked cars that are purchased by the
74 business on the site. Staff understands this to mean that no vehicles for sale and that this
75 auto dealer will only purchase cars, similar to a "We Buy Any Cars".

76
77 **SUGGESTED MOTION**

78 I move for Recommended Approval of a Special Use to allow for a car sales (dealer)
79 establishment in a 'B-3' Extensive Business District as shown on plans attached: 1 dated
80 7/13/22 and 2 dated 7/01/22 by Metropolitan Works, Architects, subject to the conditions set
81 forth below with these conditions being part of the record:

- 82 1. No more than 4 cars on the lot in their designated spaces
83 with signage.

84
85 (End of report and suggested motion)



Name	Dalind J Enterprises, LLC Office
Location	1735 South New Florissant Road Saint Louis, Missouri 63131
Business Owner	David Lindsey 2793 Highway 82 S Jefferson, GA 30549
Project Description	Special Use Permit Application
Construction Type	IIB
Use Group	B: Business Group
Design Codes	2015 IBC, 2015 IEBC

BUILDING DATA

TENANT ①: 1723 South New Florissant 927 gross square feet	DOGGIESTYLZ BOUTIQUE AND GROOMING 3 parking spaces required,
TENANT ②: 1735 South New Florissant 3,152 gross square feet	PLATINUM NU LIFE (see Drawing 2 enlarged floor plan for current individual sublease tenant names) 16 max parking spaces required, including 4 dedicated spaces for Dalind J Enterprises
TENANT ③: 395 gross square feet	9912 BOUTIQUE 3 parking spaces required
TENANT ④: 402 gross square feet	B. GLAMOROUZ SALON & BEAUTY BAR 3 parking spaces required
PARKING DIMENSIONS Typical Space 9'-0" x 18'-0"; Accessible Space 8'-0" x 18'-0" with 5'-0" aisle	TOTAL PARKING SPACES 25 spaces required, 32 spaces available

TENANT & PARKING DATA

note: Drawings 1 & 2 depict existing site and building conditions in support of the application by Ms. Yulanda Slaughter for a Special Use Permit for Dalind J Enterprises.

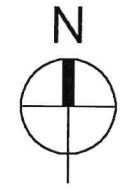
With the exception of the four spaces designated for Dalind Enterprises, parking spaces are shared by all tenants and authorized visitors and are not individually assigned

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

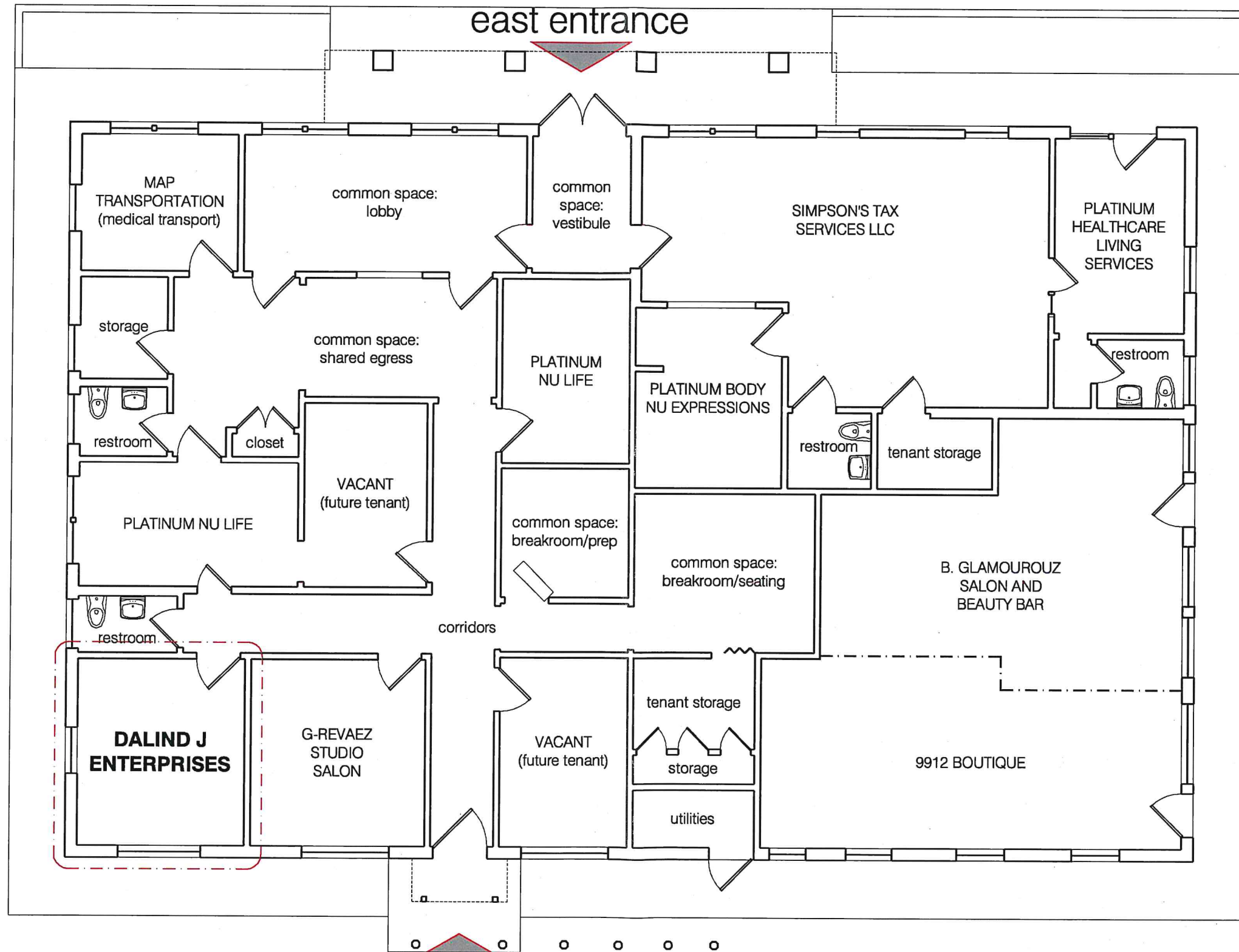
SIGN: *[Signature]*

DATE: 7-18-2022

Site Plan
scale: 1" = 20'-0"



METROPOLITAN WORKS architecture
 408 NORTH EUCLID AVENUE, SUITE 206
 SAINT LOUIS, MISSOURI 63108
 314.897.4527 VOICE/FAX
 WWW.METROPOLITANWORKS.COM
 Id. C. Slaughter
 Registered Architect
 License # A-6635
 dal@metropolworks.com
 Charter No. X01866394
 Special Use Permit Application
 DALIND J ENTERPRISES, LLC
 1735 South New Florissant Road
 Saint Louis, Missouri 63031
 Revisions:
 Garage Section - Existing
 Date: 7/13/2022
 Job No: 0622
1



Floor Plan
 scale: 1/8" = 1'-0"



west entrance

408 NORTH EUCLID AVENUE SUITE 206
 SAINT LOUIS MISSOURI 63108
 WWW.METROPOLITANWORKS.COM

METROPOLITAN WORKS
architecture

Ida C. Sheffler
 Registered Architect
 License # A-8358
 dba MetropolitanWorks
 architecture
 Charter No. X001966304

Special Use Permit Application
DALIND J ENTERPRISES, LLC
 1735 South New Florissant Road
 Saint Louis, Missouri 63031

Revisions:

Garage
 Section -
 Existing

Date: 7/01/2022
 Job No: 0622

1 INTRODUCED BY COUNCILMAN SIAM
2 JUNE 27, 2022

3
4 SUBSTITUTE BILL NO. 9793 ORDINANCE NO.

5

6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**
7 **PERMIT NO. 8603 FROM SHADE PARTNERS, LLC TO SHADE**
8 **RESTAURANT & BAR, LLC FOR THE LOCATION OF A**
9 **RESTAURANT AND BAR LOCATED AT 1752-1756 N. NEW**
10 **FLORISSANT ROAD.**

11

12 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a
14 restaurant; and

15 WHEREAS Five Aces Bar-v-que was issued Special Use Permit no. 8376 for the
16 operation of a restaurant located at 1752-1754 N. New Florissant Road; and

17 WHEREAS ordinance no. 8376 was subsequently transferred by ordinance no. 8407 to
18 CA44 LLC d/b/a Highway 67 BBQ for the operation of a restaurant; and

19 WHEREAS ordinance no. 8704 was transferred by ordinance no. 8603 to Shade Partners,
20 LLC d/b/a Shade Restaurant and Bar; and

21 WHEREAS Shade Restaurant & Bar LLC has filed an application to transfer Special use
22 Permit no. 8603 authorizing the location and operation of a restaurant located at 1752-1756 N.
23 New Florissant Road to its name; and

24 WHEREAS, the City Council of the City of Florissant determined at its meeting on June
25 27, 2022 that the business would be operated in substantially identical fashion as set out herein;
26 and

27 WHEREAS, Shade Restaurant and Bar, LLC has accepted the terms and conditions as
28 they apply to a special use permit for a restaurant.

29 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
30 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

31 Section 1: Special Use Permit no. 8603 is hereby transferred from Shade Partners, LLC
32 to Shade Restaurant & Bar, LLC for the location of a restaurant and bar located at 1752-1756
33 N. New Florissant Road subject to the following conditions:

- 34 a. Full compliance with any and all conditions set forth in Special Use Permit
- 35 8603; and
- 36 b. There shall be no tinting of the windows or obstruction preventing clear sight
- 37 into the business from the parking lot or sidewalk; and
- 38 c. A security camera shall be installed to record activities indoor and outdoor, and
- 39 the video footage shall be available to the police department within 24 hours of
- 40 the request and shall be retained for a minimum of 10 days; and
- 41 d. Screening and roof be provided for the smoker at the rear of the building; and
- 42 e. The business shall be closed no later than 10 pm.

43 Section 2: The Special Use Permit herein authorized shall terminate if the said business
 44 ceases operation for a period of more than one hundred and eighty (180) days.

45 Section 3. The Special Use Permit authorized herein will be revoked if the applicant fails
 46 to comply with the conditions set forth herein or violates any State Statutes or ordinances of the
 47 City of Florissant.

48 Section 4: This ordinance shall become in force and effect immediately upon its passage
 49 and approval.

50 .

51 Adopted this ____ day of _____, 2022.

52 _____
 53 Joseph Eagan
 54 Council President

56 Approved this ____ day of _____, 2022.

57 _____
 58 Timothy J. Lowery
 59 Mayor, City of Florissant

60 ATTEST:
 61 _____
 62 Karen Goodwin, MPPA/MMC/MRCC
 63 City Clerk



City of Florissant

Honorable Timothy J. Lowery, Mayor

TRANSFER OF SPECIAL USE PERMIT PROCEDURE

After receiving completed Transfer of Special Use Permit application, the City Clerk places the Transfer request on the next City Council Agenda for acceptance of the application and 1st reading of the new bill.

Applicant is encouraged to contact the Councilperson of the ward prior to the City Council Meeting.

At the following meeting the bill is read for a second and third time and voted upon. With a majority of affirmative votes the bill is assigned an Ordinance number.

The application for a Transfer of a Special Use requires the following for a complete application:

1. Completed application form
(with the signature from current owner to authorize the transfer of the ordinance in their name)
2. Complete acknowledgement form
(Acknowledging that the new owner has received a copy of the current ordinance and accepts responsibility for the Special Use Permit as it is written)
3. Copy of the LLC or Corporation papers.
4. Copy of a lease or bill of sale (to show an interest in the property)
5. Copy of the Fictitious name certificate (if applicable)

Return completed application and documentation to the City Clerk's office no later than 5 pm on Wednesday prior to a scheduled City Council meeting (2nd and 4th Mondays of each month)

Questions: Call the City Clerk at 314-839-7630 or 7631 or email kgoodwin@florissantmo.com

TRANSFER OF SPECIAL PERMIT

AUTHORIZED BY ORDINANCE NUMBER (S) 8603

FROM Shade Parteners, LLC

TO Shade Restaurant & Bar , LLC

FOR A restaurant & bar

ADDRESS 1752-1756 N. New Florissant, Florissant, MO 63033

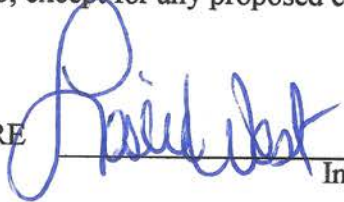
Ward 6 Zoning B3 Date Filed 6/8/2022 Accepted By _____

TRANSFER OF SPECIAL USE PERMIT PETITION

TO THE CITY COUNCIL OF THE CITY OF FLORISSANT:

1. Comes now Shade Restaurant & Bar, LLC and states to the City Council that he (she) (they) has (have) the following legal interest in the property located at 1752-1756 N. New Florissant, Florissant, MO 63034 in the City of Florissant, Missouri. Legal interest: Lease or Simple Title
(Attach signed copy of lease or deed)
2. The petitioner(s) further state that he (she) (they) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly to any official, employee, or appointee of the City of Florissant, with respect to this petition.
3. The applicant will operate the business in the same manner and under the same conditions as set out in the original ordinance granting the special permit or any amendments thereto, except for any proposed change in sign face of an authorized sign.

PETITIONER SIGNATURE



Individual's Name

FOR:

Shade Restaurant & Bar, LLC

Company, Corporation, Partnership

4. I (we) hereby certify that (indicate **one only**):



I (we) have a legal interest in the above described property.



I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE _____

ADDRESS

38 Jost Villa Dr. Florissant, MO 63034

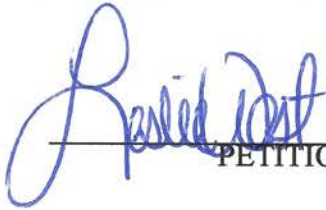
Telephone No.

314-780-4890

Email address

Info@Shaderesturant.com

I (we) the petitioner(s) do hereby appoint Lisa West as my (our) duly authorized agent to represent me (us) in regard to this petition.



PETITIONER SIGNATURE

Note: Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of (**current**) owner to Transfer the Special Use Permit.



SIGNATURE OF OWNER

Information sheet to be attached to all requests for Transfer of Special Permit

Type of Operation: (Select One)

Individual Partnership Corporation LLC

INDIVIDUAL:

Name & address _____

Telephone number & email address _____

Business name/address/phone _____

Copy of fictitious name registration, if applicable _____

PARTNERSHIP:

Name & address of partner (s) _____

Telephone number(s) and email address (s) _____

Business name/ address /phone _____

Copy of fictitious name registration, if applicable _____

CORPORATION OR LLC:

Name & address of all corporate officers Leslie West

Telephone numbers & email addresses 314-780-4890 Info@shaderesturant.com

Business name/address/phone Shade Resturant & Bar, LLC

Photocopy of Corporation/LLC Articles and Certificate _____

Date of incorporation/LLC 6/2/2022

Copy of fictitious name registration, if applicable

Copy of latest Missouri Anti-Trust affidavit (annual registration of corporate officers)

TRANSFER OF SPECIAL USE PERMIT

The undersigned hereby acknowledges receipt of a copy of Ordinance
Number 8603 which previously authorized a Special Use Permit:

TO: Shade Restuarant & Bar, LLC


FOR: A restaurant and bar

Located at: 1752-1756N.New Florissant, Florissant MO 63033

and agree to the terms and conditions listed in said ordinance and to any
additional term and conditions that the City Council shall deem appropriate.

Leslie West

PRINT - NAME OF APPLICANT



SIGNATURE OF APPLICANT



State of Missouri
John R. Ashcroft, Secretary of State
 Corporations Division
 PO Box 778 / 600 W. Main St., Rm. 322
 Jefferson City, MO 65102

LC014383013
Date Filed: 6/2/2022
John R. Ashcroft
Missouri Secretary of State

Articles of Organization
(Submit with filing fee of \$105.00)

1. The name of the limited liability company is
Shade Restaurant & Bar LLC
(Must include "Limited Liability Company," "Limited Company," "LC," "L.C.," "LLC.," or "LLC")

2. The purpose(s) for which the limited liability company is organized:
To operate a restaurant and bar as well as provide event space.

3. The name and address of the limited liability company's registered agent in Missouri is:
Aaron Lamont Reeves

<u>Jr</u>	<u>5920 Ridge Ave</u>	<u>Saint Louis, MO 63112-3510</u>
<i>Name</i>	<i>Street Address: May not use PO Box unless street address also provided</i>	<i>City/State/Zip</i>

4. The management of the limited liability company is vested in: managers members *(check one)*

5. The events, if any, on which the limited liability company is to dissolve or the number of years the limited liability company is to continue, which may be any number or perpetual: 6/2/2097
(The answer to this question could cause possible tax consequences, you may wish to consult with your attorney or accountant)

6. The name(s) and street address(es) of each organizer *(PO box may only be used in addition to a physical street address):*
(Organizer(s) are not required to be member(s), manager(s) or owner(s))

<i>Name</i>	<i>Address</i>	<i>City/State/Zip</i>
<u>WEST, LESLIE</u>	<u>38 Jost Villa Dr</u>	<u>Florissant MO 63034-2270</u>

7. Series LLC (OPTIONAL) Pursuant to Section 347.186, the limited liability company may establish a designated series in its operating agreement. The names of the series must include the full name of the limited liability company and are the following:

New Series:
 The limited liability company gives notice that the series has limited liability.

New Series:
 The limited liability company gives notice that the series has limited liability.

New Series:
 The limited liability company gives notice that the series has limited liability.

(Each separate series must also file an Attachment Form LLC 1A.)

Name and address to return filed document:	
Name:	<u>Aaron Lamont Reeves</u>
Address:	<u>Email: aaronr1672@sbcglobal.net</u>
City, State, and Zip Code:	_____

STATE OF MISSOURI



John R. Ashcroft
Secretary of State

CERTIFICATE OF ORGANIZATION

WHEREAS,

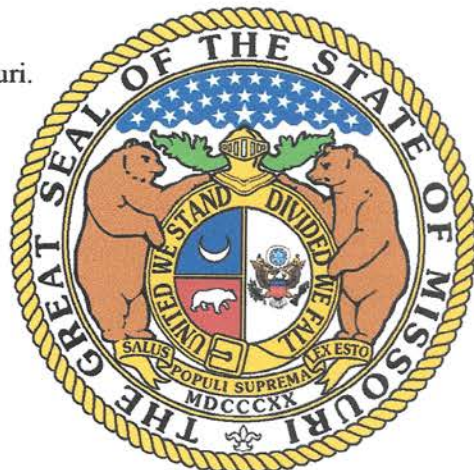
Shade Restaurant & Bar LLC
LC014383013

filed its Articles of Organization with this office on the 2nd day of June, 2022, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, John R. Ashcroft, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 2nd day of June, 2022, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri.
Done at the City of Jefferson, this 2nd day of June, 2022.


Secretary of State



ASSIGNMENT OF LEASE

This Assignment is entered on this _____ day of June, 2022 by and between Bella Marie Agency, L.L.C., a Missouri Limited Liability Company (referred to herein as "Assignor"), and Shade Restaurant & Bar, L.L.C., a Missouri Limited Liability Company (referred to herein as "Assignee") and LCRF, L.L.C., a Missouri Limited Liability Company, (hereinafter referred to as "Landlord").

WHEREAS:

Assignor is the tenant under a certain written lease agreement dated January 17, 2022, for certain premises located at 1752, 1754 & 1756 New Florissant Road, Florissant, Missouri 63033 (the "Leased Premises"), the term of which is currently ending on December 31, 2025, (the "Lease").

WHEREAS:

LCRF, L.L.C., a Missouri Limited Liability Company is the owner of the Leased premises and the Landlord of the Leased Premises under the said Lease, and

WHEREAS:

Assignor desires to sell and assign all of its right, title and interest in all of the lease described above with the written consent of the Landlord;

NOW THEREFORE:

In consideration of the premises, and of the assignments made, and of the mutual covenants and agreements set forth herein, the parties to this Assignment agree as follows:

1. Assignor assigns any and all of the right, title and interest of the Lease of the premises known as Flo-Lin I Shopping Center located at 1752, 1754 & 1756 New Florissant Road, Florissant, Missouri 63033 to Assignee effective on May 15, 2022, and Landlord expressly consents to the Assignment on the terms and conditions set forth herein.

2. In order to induce Landlord to consent to this Assignment, Assignor agrees to remain liable to said Landlord for the obligation to pay all rent through the date of this Assignment and for all other debts or obligations, including CAM, Tax and Insurance as well as 2022 year end reconciliation, through the effective date of this Assignment.

3. Except for those debts or obligations specifically noted in Paragraph 2 above, Assignor is released from all liability for the performance of all duties and obligations under the terms and conditions of the Lease described herein and/or under any oral or written modification to such Lease, which were not performed by Assignor prior to the effective date of this Assignment.

4. Assignee shall have no obligation or liability whatsoever for any debt or obligation which Assignor owes to the Landlord or to any predecessor at the time of this Assignment including, but not limited to, rent or other debts or obligations arising out of the Assignors' use and occupation of the premises prior to the effective date of this Assignment.

5. The laws of the State of Missouri shall govern this Assignment of Lease.

6. Assignor's forwarding address shall be 38 Jost Villa Drive, Florissant, MO 63033

7. Assignee's notice address shall be 38 Jost Villa Drive, Florissant, MO 63033

**EXHIBIT A
ASSIGNEE INFORMATION**

INDIVIDUAL

A. Name: [Signature]
 Home Phone: 314-980-4890
 Home Address: 3805+Village Dr.

 How long at this address? 12
 Mortgage Co: First Comm Credit
 Address: 8917 N. Lindbergh Blvd (6303)
 Phone #: 636-728-3333

Date of Birth: 1-27-81
 Social Security: _____
 Driver's License: DD2985029
 Own: _____ Rent: _____
 Landlord: Jenet Davis
 Address: 1274 Woodpark Dr. Alexandria MD 22304
 Phone #: 304-921-6714

B. Previous Address: _____
 (less than 2 yrs.): _____

How long at this address? _____
 Own: _____ Rent: _____

C. Employer Name: _____
 Address: _____

Phone #: _____
 How long? _____
 Contact? _____ Yes _____ No _____

D. Bus. Name: _____
 Bus. Type: _____
 Address: _____

Phone #: _____
 How long in business? _____
 How long at this address? _____
 Own: _____ Rent: _____

CORPORATION

(Attach copy of most recent audited financial statement)

A. Corp. Name: _____
 Bus. Type: _____
 Address: _____

 Mortgage Co: _____
 Address: _____
 Phone #: _____

Phone #: _____
 How long in business? _____
 How long at this address? _____
 Own: _____ Rent: _____
 Landlord: _____
 Address: _____
 Phone #: _____

B. Corporation Officers:
 Name: _____
 Address: _____

 Name: _____
 Address: _____

Social Security #: _____
 Title: _____
 Home Phone #: _____
 Social Security #: _____
 Title: _____
 Home Phone #: _____

REFERENCES

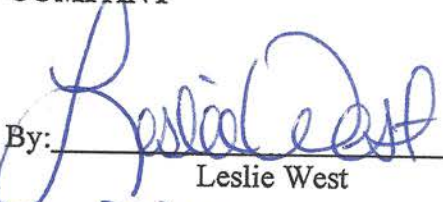
A. Credit References:
 Name of Reference _____ Address _____
 _____ _____
 _____ _____

Acct. # and Type

This Assignment consisting of three (3) pages including the page on which these signatures appear, and Exhibit A attached hereto, entered into the _____ day of June, 2022.

"ASSIGNOR"

**BELLA MARIE AGENCY, LLC
A MISSOURI LIMITED LIABILITY
COMPANY**

By: 
Leslie West

Title: owner

Date: 6-1-2022

"ASSIGNEE"

**SHADE RESTAURANT & BAR, LLC
A MISSOURI LIMITED LIABILITY
COMPANY**

By: 
Leslie West

Title: owner

Date: 6-1-2022

"LANDLORD"

**LCRF, L.L.C.,
A MISSOURI LIMITED LIABILITY COMPANY**

By: LCRF Holdings, Inc., its managing members

By: _____
Robert A. Walpert, President

Date: _____

1 INTRODUCED BY COUNCILMAN HENKE
2 NOVEMBER 27, 2017

3
4

5 BILL NO. 9334

ORDINANCE NO.

8376

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**ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO FIVE ACES
BAR-B-QUE, LLC D/B/A FIVE ACES BAR-B-QUE TO ALLOW FOR THE
OPERATION OF A RESTAURANT LOCATED AT 1752-1754 N. NEW
FLORISSANT RD.**

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WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a restaurant; and

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WHEREAS, an application has been filed by Five Aces Bar-B-Que for the property located at 1752-1754 N. New Florissant Rd for the location and operation of a restaurant; and

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WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting of November 6th, 2017 has recommended that the said Special Use Permit be granted; and

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WHEREAS, due notice of a public hearing no. 17-11-028 said application to be held on the 27th day of November, 2017 at 7:30 P.M. by the Council of the City of Florissant was duly published, held and concluded; and

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WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the granting of the Special Use Permit as hereinafter provided would be in the best interest of the City of Florissant.

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NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

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Section I: A Special Use Permit is hereby granted to Five Aces Bar-B-Que, LLC d/b/a Five Aces Bar-B-Que to allow for the operation of a restaurant located at 1752-1754 N. New Florissant Rd for the location and operation of a restaurant with carry-out service and the following additional requirements:

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1) Relocate smoker behind the south building.

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2) Provide roof cover protection and screening of new smoker, as approved by the Building Commissioner.

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3) Smoker enclosure colors to be complimentary in color to the existing structure, as approved by the Building Commissioner.

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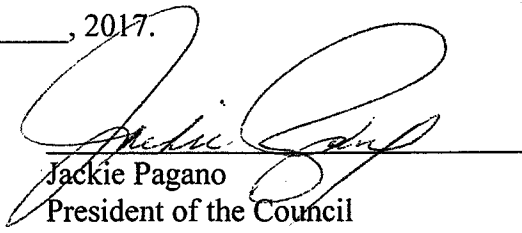
2. PROJECT COMPLETION.

Construction shall start within 30 days of the issuance of building permits and the structure shall be completed in accordance with the plans within 180 days of start of construction.


Section 2: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

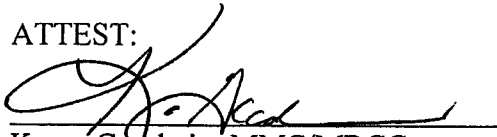
Adopted this 11 day of Dec, 2017.


Jackie Pagano
President of the Council
City of Florissant

Approved this 12 day of DEC, 2017.

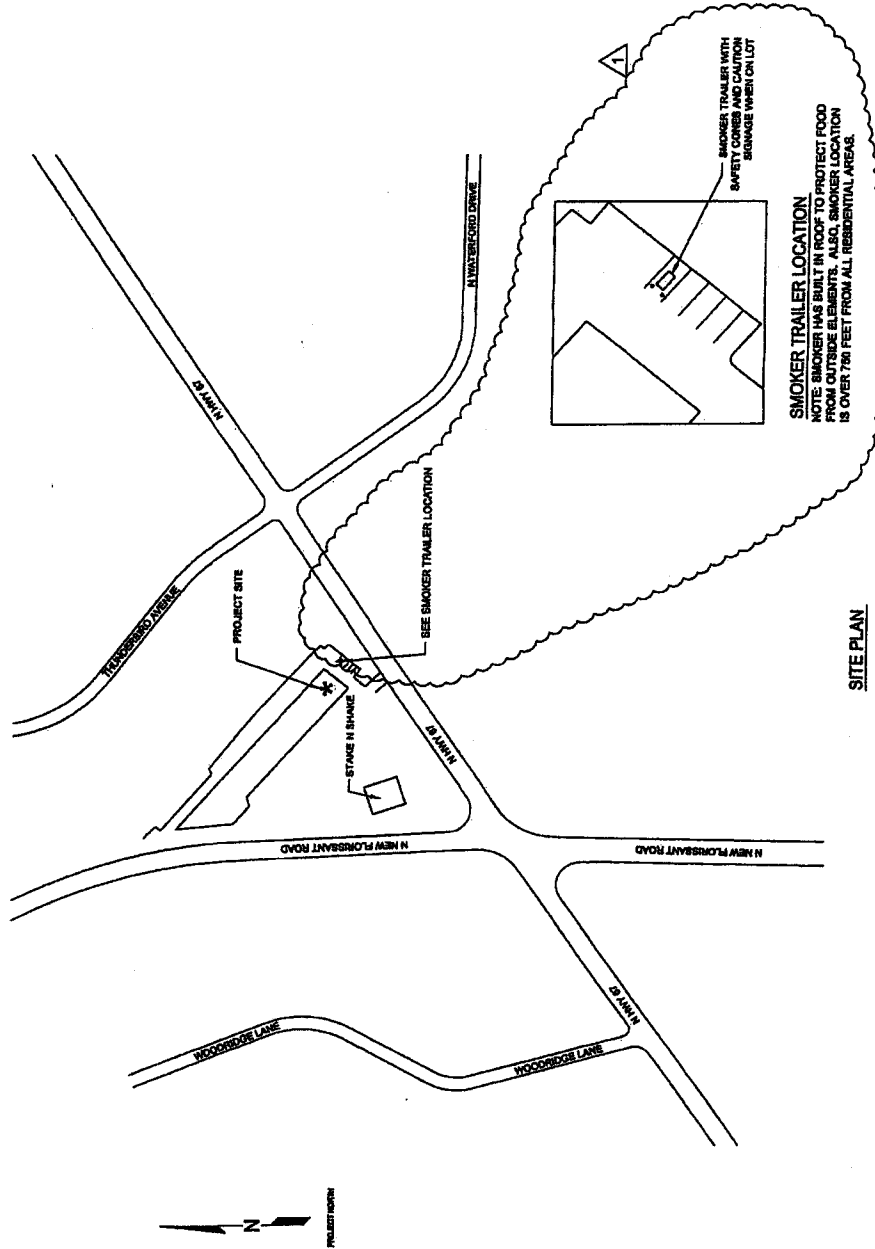

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:


Karen Godwin, MMC/MRCC
City Clerk

FACILITY UPDATES FOR RESTAURANT RENOVATION

1752-1754 NORTH NEW FLORISSANT ROAD
FLORISSANT, MISSOURI 63033



SHEET INDEX:

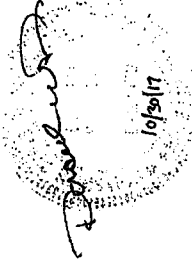
- A-0 SITE PLAN AND SCOPE
- A-1 EXISTING/DEMOLITION PLAN
- A-2 PROPOSED PLAN
- A-3 ENLARGED PROPOSED FLOOR PLAN
- A-4 SPECIAL DETAILS
- A-5 METAL STUD WALL DETAILS
- A-6 METAL STUD WALL DETAILS

SCOPE OF WORK:

1. PROJECT RENOVATION REQUIRE TO MODIFY AN EXISTING RESTROOM TO AN ADA RESTROOM, PROVIDE A KITCHEN (PREP AREA, HOT SINK AREA, COMMON WALL FIRE RATING INFORMATION, AND ADDITIONAL EMERGENCY RECOMMENDATION) AND FINISH. ALL DESIGN IS GOVERNED TO CURRENT CONSTRUCTION BUILDING CODES.

2. ALL PLUMBING AND ELECTRICAL WORK AND PERMITS, SHALL BE OBTAINED BY OWNER'S PLUMBING AND ELECTRICAL CONTRACTORS.

3. OWNER IS RESPONSIBLE FOR PROVIDING ALL SAFETY CONER SIGNS AND MATERIAL SAFETY PRECAUTION THAT WOULD ENSURE VISIBILITY AND SAFETY RELATES TO THEIR SMOKER TRAILER WHEN IT IS BROUGHT TO THE LOCATION FOR USE.



ALLEN DESIGNS, LLC
P.O. BOX 728, 85 N.W. 10th Ave, Ocala, FL 32107
TEL: 352-232-1827
WWW.ALLENDIGNS.COM

DONALD W. DEAL, P.E.
REG. NO. 63033
PHONE: 352-232-1827
LICENSE NO.: 22373

OWNER: CJA
DESIGNED BY: DW
SCALE: AS SHOWN
DATE: 10/9/17
SHEET: A-0

SITE PLAN AND SCOPE
RESTAURANT RENOVATION
1752-1754 N. NEW FLORISSANT RD
FLORISSANT, MISSOURI 63033

PROJECT NO. 2017-112
DRAWING NO. A-0

NO.	DATE	DESCRIPTION
1	10/9/2017	ISSUED FOR PERMIT
2	10/9/2017	ISSUED FOR PERMIT
3		
4		
5		

ALLEN DESIGNS, LLC

PROJECTS AT: 1752-1754 N. NEW FLORISSANT RD. FLOISSANT, MISSOURI 63033
 TEL: 314-823-9007
 WWW.ALLENDISIGNS.COM

PROJECT NO: 2017-112
 DRAWING NO: A-2

PROPOSED FLOOR PLAN
 RESTAURANT RENOVATION
 1752-1754 N. NEW FLORISSANT RD.
 FLOISSANT, MISSOURI 63033

DESIGNED BY: DONALD W. DEAL, P.E.
 CHECKED BY: JAS. BROWN
 SCALE: AS SHOWN
 DATE: 08/11/17

GENERAL NOTES:

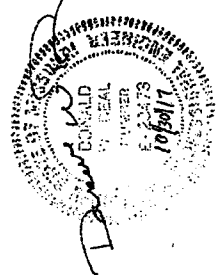
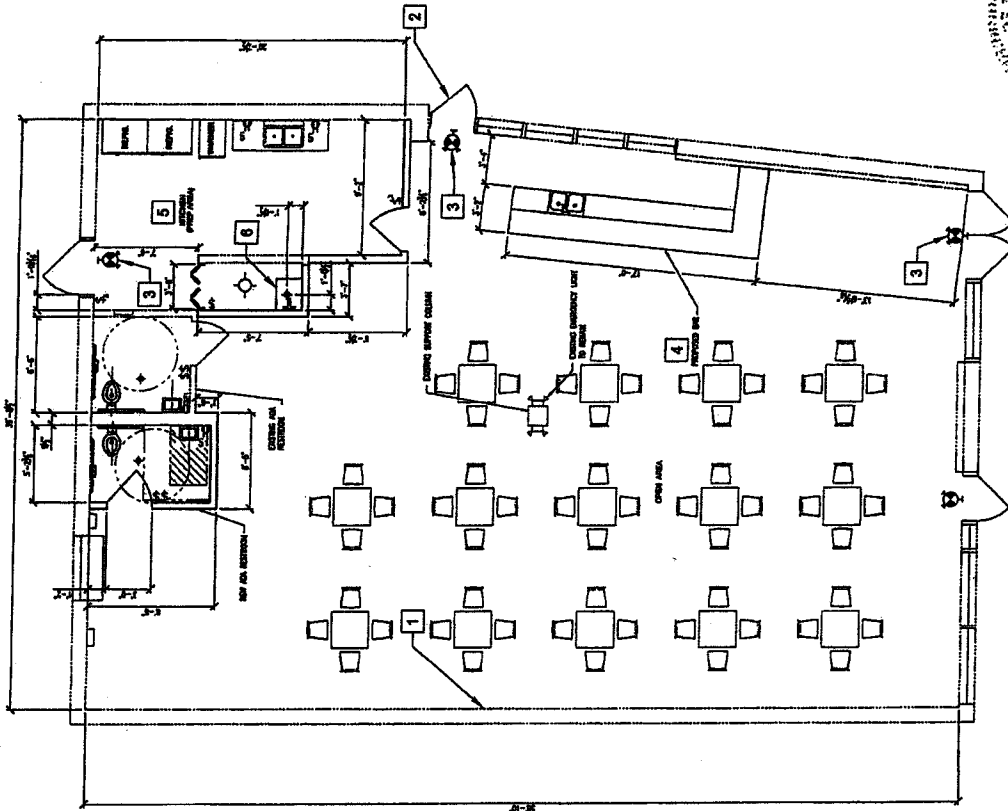
- CONSTRUCTION PER ALL GOVERNING CODES PER 2009 INTERNATIONAL BUILDING CODES.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL EXISTING REPAIR TO INTERIOR WALLS SHALL BE REPLACED WITH X-TYPE GYPSUM BOARD.
- ALL NEW PARTITION WALLS SHALL BE METAL STUD WALLS FOR TYPICAL METAL STUD DETAILS, SEE DRAWING A-2, UNLESS NOTED OTHERWISE.

KEYED NOTES:

- PROVIDING SEPARATION WALL IS VERIFIED TO BE DOUBLE LAYER 5/8" GYPSUM BOARD, AND A REPAIR IS NOTED CALLING ALONG THE TOP ALONG CEILING DESIGN, SEE DETAIL JOINING THE GYPSUM BOARD, SEE DRAWING A-1 FOR SPECIAL DETAIL.
- ADD PANIC BAR WITH ALARM TO SIDE DOOR. PANIC BAR ALARM SHALL READ "EMERGENCY EXIT ONLY - ALARM WILL SOUND".
- NEW EXIT SIGNS WITH EMERGENCY LIGHTS (TYP.).
- PROPOSED BAR. BAR SUPPLIED BY OWNER.
- FINAL ORIENTATION OF APPLIANCES AND SINK ARE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE. NECESSARY RECEPTACLES FOR EACH APPLIANCE SHALL BE SUPPLIED BY QUALIFIED ELECTRICAL CONTRACTOR.
- FLOOR-SET MOP SINK. SEE DRAWING A-4 FOR DETAIL.

LEGEND (ALL SYMBOLS MAY NOT BE USED):

- SMOKE DETECTOR - HARD WIRED WITH BATTERY BACKUP
- GROUND FAULT INDICATOR OUTLET
- RECEPTACLE OUTLET
- TRIPLE OUTLET
- PROPOSED LIGHT
- PROPOSED LIGHT/EXHAUST FAN
- NEW FLOOD LIGHT
- NEW WALL LIGHT
- NEW SWITCH
- NEW 3-WAY SWITCH
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHTS

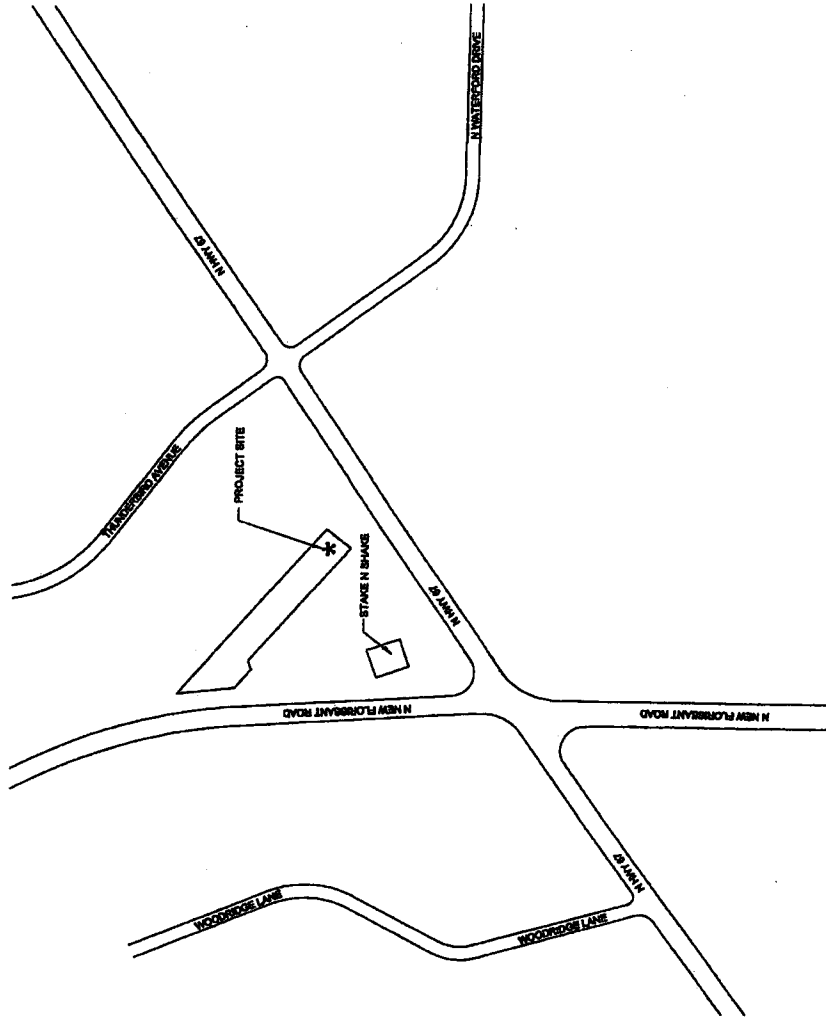


PROPOSED FLOOR PLAN
 SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION	BY	CHKD.
1	08/11/17	ISSUED FOR PERMIT-ADDED MECHANICAL		
0		ISSUED FOR PERMIT		

FACILITY UPDATES FOR RESTAURANT RENOVATION

1752-1754 NORTH NEW FLORISSANT ROAD
FLORISSANT, MISSOURI 63033



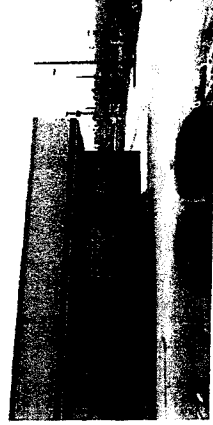
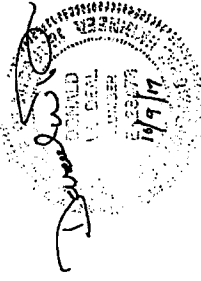
SITE PLAN

SHEET INDEX:

- A-0 SITE PLAN AND SCOPE
- A-1 EXISTING/DEMOLITION PLAN
- A-2 PROPOSED PLAN
- A-3 ENLARGED PROPOSED FLOOR PLAN
- A-4 SPECIAL DETAILS
- A-5 METAL STUD WALL DETAILS
- A-6 METAL STUD WALL DETAILS

SCOPE OF WORK:

1. PROJECT RENOVATION REQUIRE TO MODIFY AN EXISTING RESTROOM TO AN ADA RESTROOM, PROVIDE A KITCHEN (PREP AREA), AND PROVIDE A COMMON WALL FIRE RATING INFORMATION AND ALSO PROVIDE ALL DESIGN IS GOVERNED TO CURRENT CONSTRUCTION BUILDING CODES.
2. ALL PLUMBING AND ELECTRICAL WORK AND PERMITS SHALL BE OBTAINED BY OWNER'S PLUMBING AND ELECTRICAL CONTRACTORS.



NO.	REVISION	DATE	BY	CHKD	DATE
0	ISSUED FOR PERMIT				

ALLEN DESIGNS, LLC

P.O. BOX 722, EL. NW, MO 63021
TEL: 314-622-1892
WWW.ALLENDIGNS.COM

DONALD W. DEAL, P.E.

PROFESSIONAL ENGINEER
LICENSE NO. 623473
STATE OF MISSOURI
PHONE: 314-622-1892
FAX: 314-622-1893
1752-1754 N. NEW FLORISSANT RD.
FLORISSANT, MISSOURI 63033

SITE PLAN AND SCOPE

RESTAURANT RENOVATION

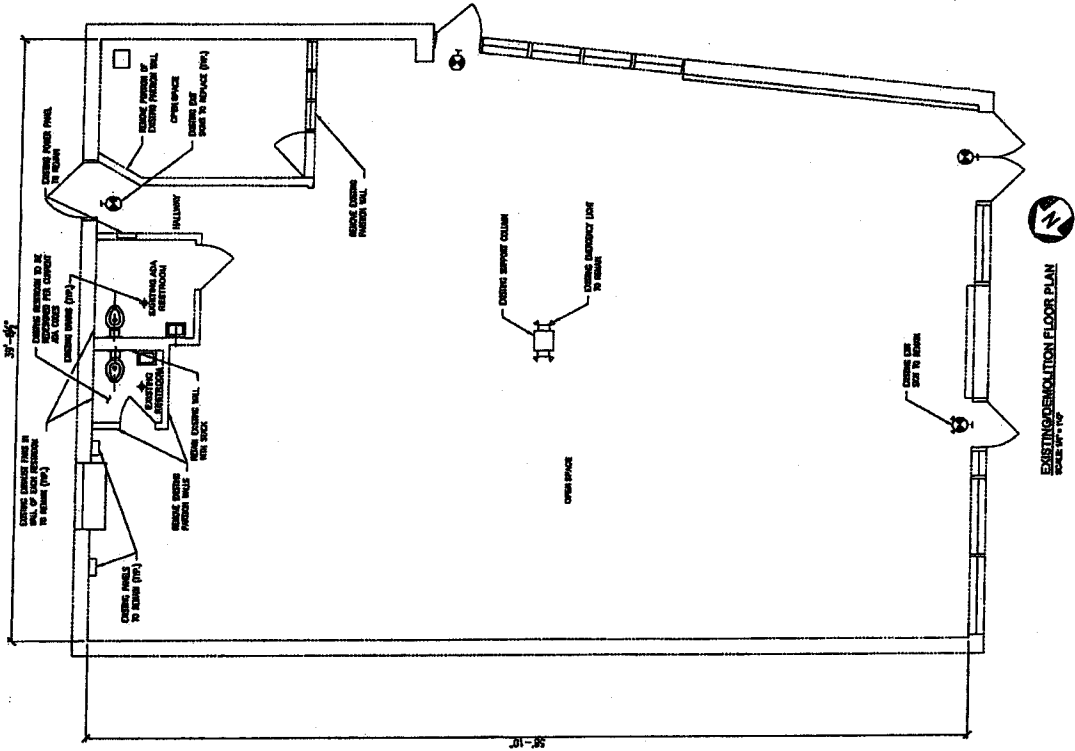
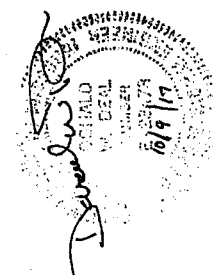
1752-1754 N. NEW FLORISSANT RD.
FLORISSANT, MISSOURI 63033

PROJECT NO.
2017-112

DRAWING NO.
A-0

- GENERAL NOTES:**
1. CONSTRUCTION PER ALL GOVERNING CODES PER 2009 INTERNATIONAL BUILDING CODES.
 2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.

- LEGEND (ALL SYMBOLS MAY NOT BE USED):**
- SMOKE DETECTOR - HARD WIRED WITH BATTERY BACKUP
 - GROUND FAULT INDICATOR OUTLET
 - RECEPTACLE OUTLET
 - TRIPLE OUTLET
 - PROPOSED LIGHT
 - PROPOSED LIGHT/EXHAUST FAN
 - NEW FLOOD LIGHT
 - NEW WALL LIGHT
 - NEW SWITCH
 - NEW 3-WAY SWITCH
 - EXIT SIGN
 - EXIT SIGN WITH EMERGENCY LIGHTS



NO.	REV.	DESCRIPTION	DATE
1	0	ISSUED FOR PERMIT	10/9/17

ALLEN DESIGNS, LLC

P.O. BOX 722 ST. LOUIS, MO 63101
TEL: 314-423-1057
WWW.ALLENDISIGN.COM

1000 W. DEAL, P.E.
PHONE: 314-423-1000
ST. LOUIS, MO 63101
LICENSE NO.: 02479

DRAWN BY: CJA
CHECKED BY: DWD
SCALE: AS SHOWN
DATE: 02/24/17

PROPOSED FLOOR PLAN
RESTAURANT RENOVATION
1752-1764 N. NEW FLORISSANT RD
FLORISSANT, MISSOURI 63033

PROJECT NO.: 2017-112
DRAWING NO.: A-2

GENERAL NOTES:

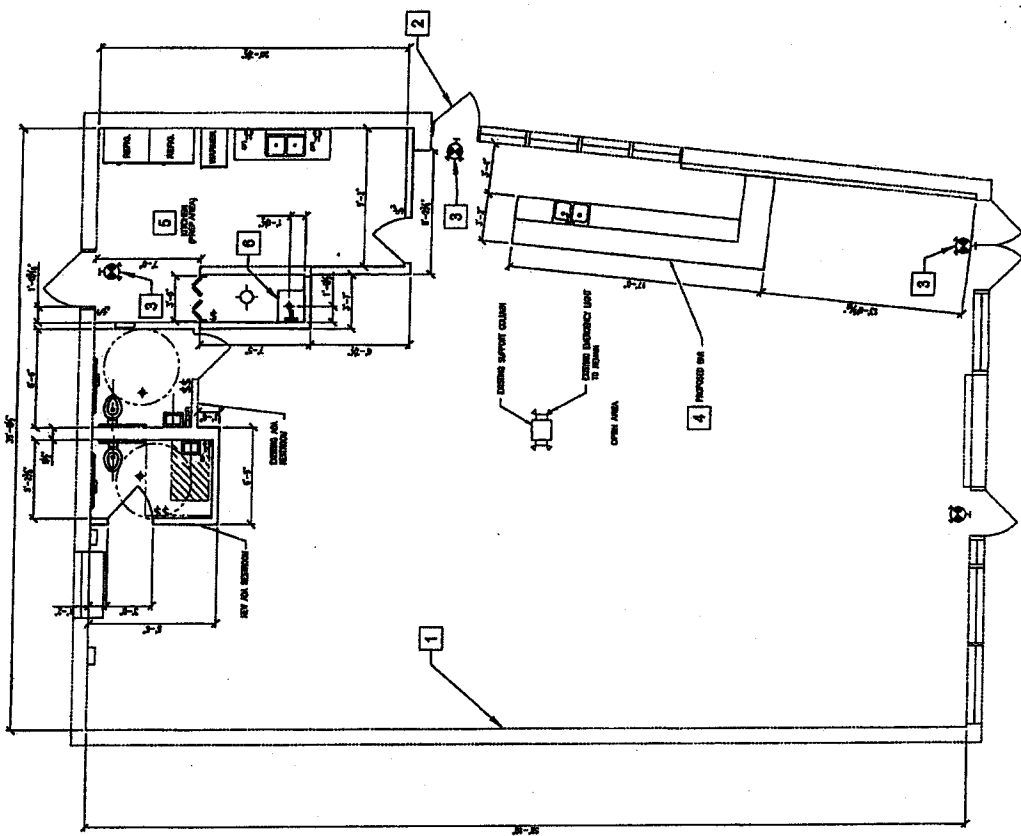
- CONSTRUCTION PER ALL GOVERNING CODES PER 2009 INTERNATIONAL BUILDING CODES.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL EXISTING REPAIR TO INTERIOR WALLS SHALL BE REPLACED WITH X-TYPE GYPSUM BOARD.
- ALL NEW PARTITION WALLS SHALL BE METAL STUD WALLS FOR TYPICAL METAL STUD DETAILS. SEE DRAWING A-4 UNLESS NOTED OTHERWISE.

KEYED NOTES:

- PROVIDING SEPARATION WALL IS VERIFIED TO BE DOUBLE LAYER 5/8" GYPSUM BOARD, ADD A BEAD OF FIRE RATED CAULKING ALONG THE TOP ALONG CEILING DECKING WHERE IT JOINS THE GYPSUM BOARD. SEE DRAWING A-4 FOR SPECIAL DETAILS.
- ADD PANIC BAR WITH ALARM TO SIDE DOOR. PANIC BAR ALARM SHALL READ "EMERGENCY EXIT ONLY - ALARM WILL SOUND".
- NEW EXIT SIGNS WITH EMERGENCY LIGHTS (TYP).
- PROPOSED BAR (BAR SUPPLIED BY OWNER).
- FINAL ORIENTATION OF APPLIANCES AND SINK ARE DETERMINED BY OWNER OR OWNER'S REPRESENTATIVE. NECESSARY RECEPTACLES FOR EACH APPLIANCE SHALL BE SUPPLIED BY QUALIFIED ELECTRICAL CONTRACTOR.
- FLOOR-SET MOP SINK. SEE DRAWING A-4 FOR DETAIL.

LEGEND (ALL SYMBOLS MAY NOT BE USED):

- SMOKE DETECTOR - HARD WIRED WITH BATTERY BACKUP
- GROUND FAULT INDICATOR OUTLET
- RECEPTACLE OUTLET
- TRIPLE OUTLET
- PROPOSED LIGHT
- PROPOSED LIGHT/EXHAUST FAN
- NEW FLOOD LIGHT
- NEW WALL LIGHT
- NEW SWITCH
- NEW 3-WAY SWITCH
- EXIT SIGN
- EXIT SIGN WITH EMERGENCY LIGHTS



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

Allen Designs
10/9/17

NO.	DATE	DESCRIPTION	DWG.	APP'D.
0	02/24/17	ISSUED FOR PERMIT		

ALLEN DESIGNS, LLC

P.O. BOX 724, ST. LOUIS, MO 63103
 TEL: 314-622-1827
 WWW.ALLENDISIGNS.COM

DONALD W. DEAL, P.E.
 PROFESSIONAL ENGINEER
 LICENSE NO. 62273
 PHONE: 314-622-1827
 27, LOUIS, MO 63103

DESIGNED BY: DONALD W. DEAL
 CHECKED BY: ASH BROWN
 DATE: 02/17/17

ENLARGED PROP. FLOOR PLAN
 RESTAURANT RENOVATION
 1752-1754 N. NEW FLOISSANT RD
 FLOISSANT, MISSOURI 63033

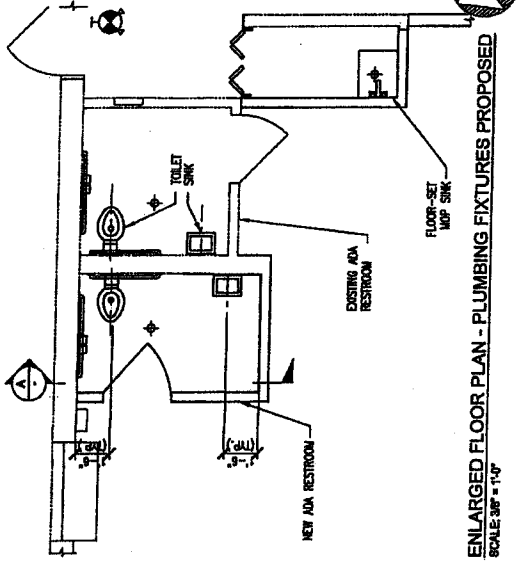
PROJECT NO. 2017-112
 DRAWING NO. A-3

GENERAL NOTES:

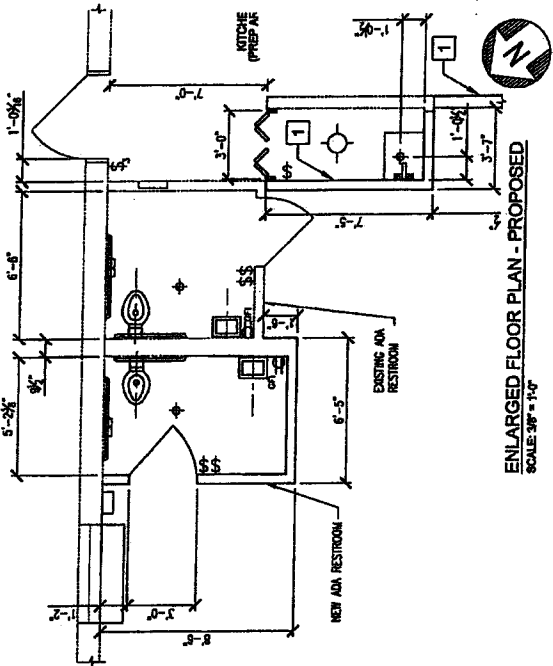
1. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
2. RESTROOMS SHALL COMPLY WITH 2010 ADA STANDARDS FOR STATE AND LOCAL GOVERNMENT FACILITIES.
3. TOILET AND WATER CLOSET SHALL COMPLY WITH 603 AND 604.
4. CONTRACTOR SHALL INSTALL PROPER DRAINAGE AND WATER SUPPLY FOR INCP SINK BASED UPON MANUFACTURER'S SPECIFICATIONS.
5. FLOOR DRAINS WITHIN RESTROOMS ARE EXISTING. ADDITIONAL FLOOR DRAINS FOR BAR SHOULD BE FIELD LOCATED BY PLUMBING CONTRACTOR.

KEYED NOTES:

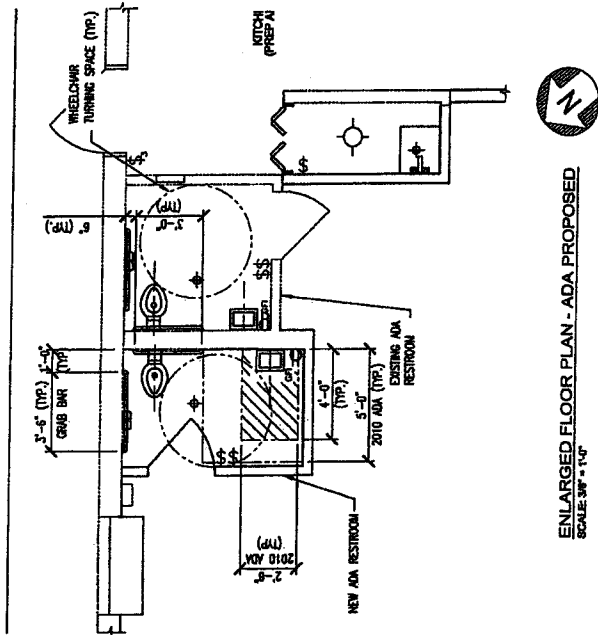
- 1 NEW WALL WIDTH TO MATCH EXISTING CONNECTED WALL.



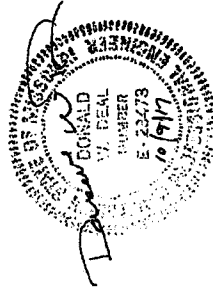
ENLARGED FLOOR PLAN - PLUMBING FIXTURES PROPOSED
 SCALE: 3/8" = 1'-0"



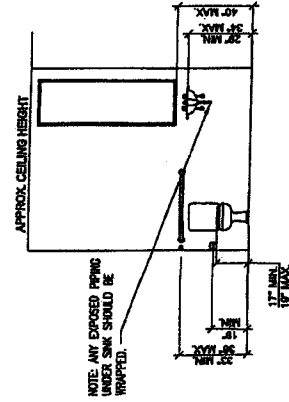
ENLARGED FLOOR PLAN - ADA PROPOSED
 SCALE: 3/8" = 1'-0"



ENLARGED FLOOR PLAN - ADA PROPOSED
 SCALE: 3/8" = 1'-0"



RESTROOM ELEVATION
 SCALE: 3/8" = 1'-0"
 NOTE: INDICATION ABOVE BROWN ONLY FOR PROPER FIXTURE ELEVATIONS.



NO.	DATE	DESCRIPTION	BY	CHKD.
0	02/20/17	ISSUED FOR PERMIT	DWD	AWB

ALLEN DESIGNS, LLC

P.O. BOX 172, ST. AVA, MO 65681
TEL 314-832-1857

DONALD W. DEAL, P.E.
REGISTERED PROFESSIONAL ENGINEER
ST. LOUIS, MO 63102
PHONE: 314-413-0000
LICENSE NO. 02973

DESIGNER
CHECKED BY
DATE
SCALE
PROJECT NO.

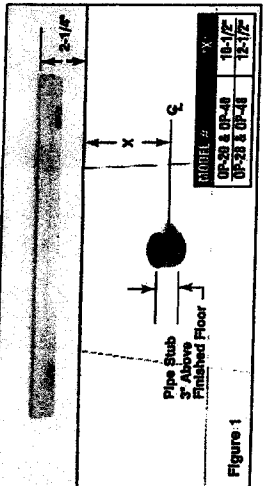
SPECIAL DETAILS
RESTAURANT RENOVATION
1752-1754 N. NEW FLORISSANT RD
FLORISSANT, MISSOURI 63033

PROJECT NO. 2017-112
DRAWING NO. A-4

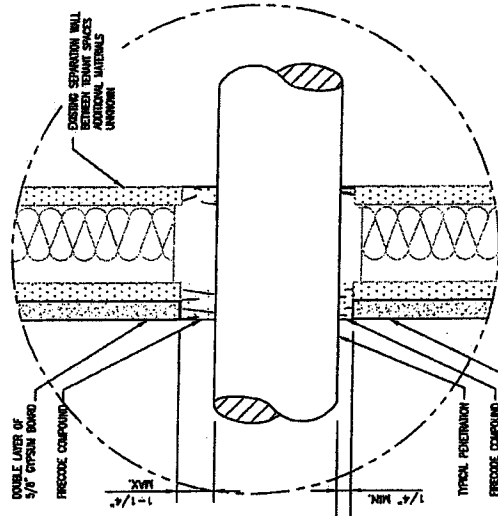
GENERAL NOTES:

- FLOOR SET MOP SINK BASED UPON REGENCY SINKS MODEL #003SM1G20S OR EQUIVALENT. INSTALLING CONTRACTOR SHALL FIELD VERIFY PROPER DRAIN LOCATION AND MANUFACTURER'S SPECIFICATIONS. IMAGE SHOWN IS ONLY FOR DESIGN SPECIFICATIONS AND BASED UPON OWNER AND CONTRACTOR AGREEMENT.
- CONTRACTOR SHALL INSTALL PROPER PLUMBING ABOVE MOP SINK THAT IS ADEQUATE FOR THE USE OF VARIOUS JANITORIAL SUPPLIES.

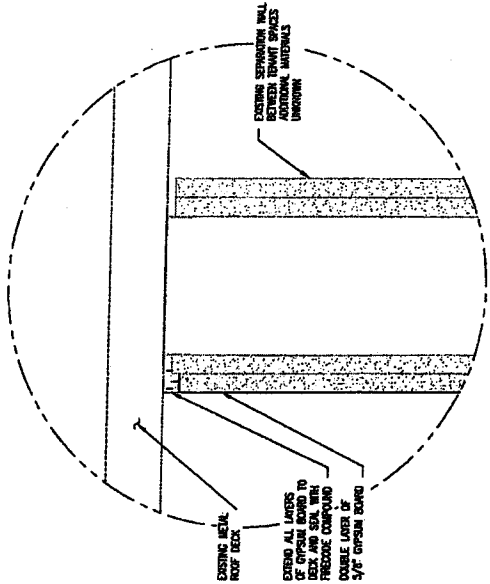
FLOOR SET MOP SINK
TYPICAL OVERALL SIZE: 25"21"X10"



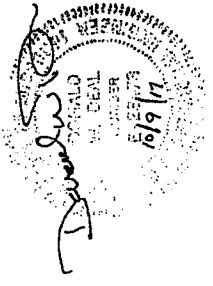
FLOOR MOUNTED MOP SINK DETAIL
SCALE: NONE



TYPICAL WALL PENETRATION DETAIL
SCALE: NONE



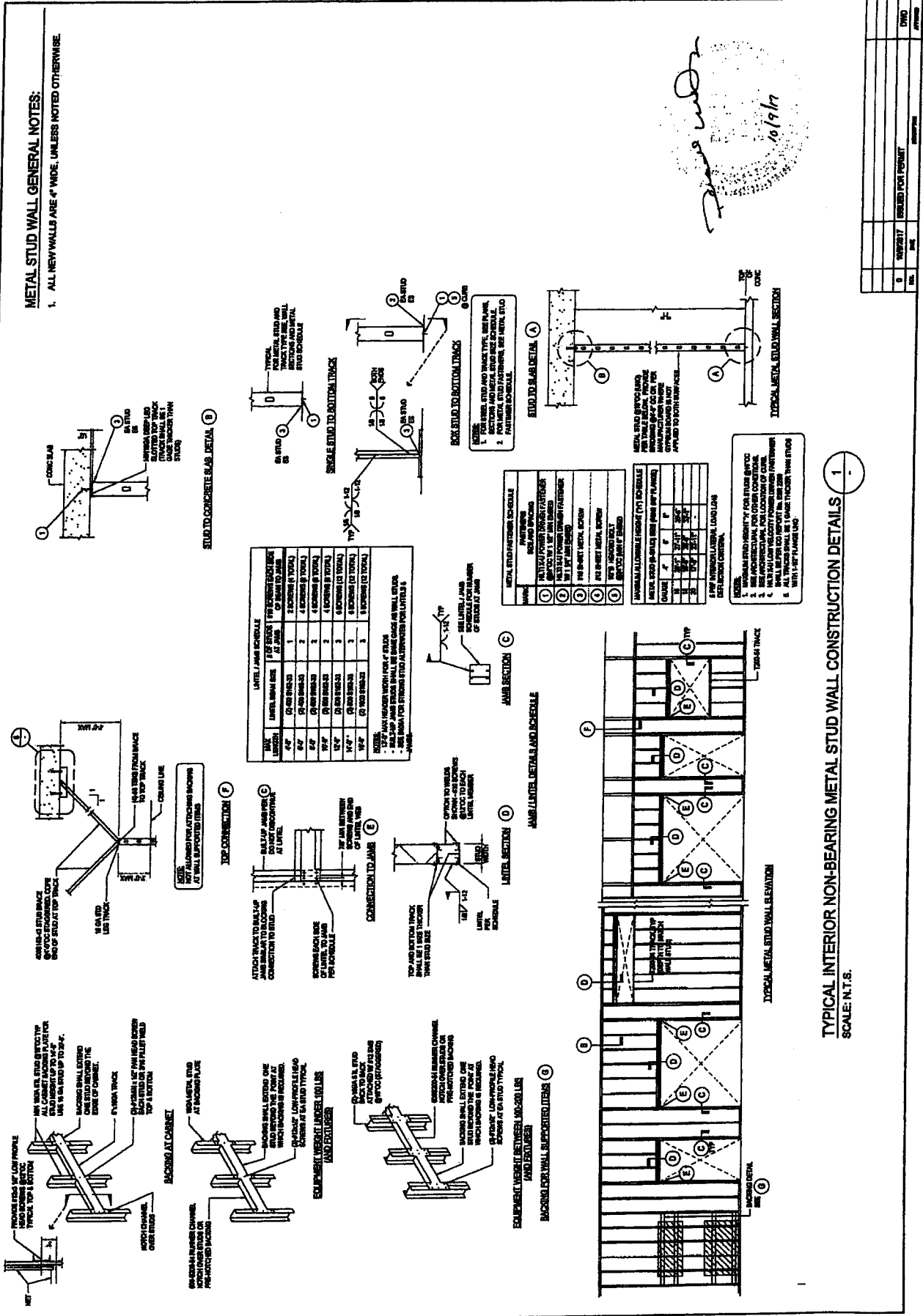
TYPICAL WALL TO ROOF DECK DETAIL
SCALE: NONE



NO.	DATE	REVISION	BY
0		ISSUED FOR PERMIT	

METAL STUD WALL GENERAL NOTES:

1. ALL NEW WALLS ARE 4" WIDE, UNLESS NOTED OTHERWISE.



TYPE	MIN. DIM. (IN)	MAX. DIM. (IN)	SPACING (IN)	SPACING (IN)	SPACING (IN)
1	2 1/2"	2 1/2"	16"	16"	16"
2	2 1/2"	2 1/2"	16"	16"	16"
3	2 1/2"	2 1/2"	16"	16"	16"
4	2 1/2"	2 1/2"	16"	16"	16"
5	2 1/2"	2 1/2"	16"	16"	16"
6	2 1/2"	2 1/2"	16"	16"	16"
7	2 1/2"	2 1/2"	16"	16"	16"
8	2 1/2"	2 1/2"	16"	16"	16"
9	2 1/2"	2 1/2"	16"	16"	16"
10	2 1/2"	2 1/2"	16"	16"	16"

ITEM	DESCRIPTION	QUANTITY	UNIT
1	2x4x8 LATEL JAMB	1	EA
2	2x4x8 LATEL JAMB	1	EA
3	2x4x8 LATEL JAMB	1	EA
4	2x4x8 LATEL JAMB	1	EA
5	2x4x8 LATEL JAMB	1	EA
6	2x4x8 LATEL JAMB	1	EA
7	2x4x8 LATEL JAMB	1	EA
8	2x4x8 LATEL JAMB	1	EA
9	2x4x8 LATEL JAMB	1	EA
10	2x4x8 LATEL JAMB	1	EA

TYPICAL INTERIOR NON-BEARING METAL STUD WALL CONSTRUCTION DETAILS

SCALE: N.T.S.

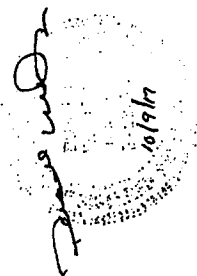
ALLEN DESIGNS, LLC
 P.O. BOX 721, ST. LOUIS, MO 63104
 TEL: 314-231-1087
 WWW.ALLENDIGNS.COM

DONALD W. DEAL, P.E.
 LICENSE NO. 000000
 PROJECT NO. 1752-1764-00000
 LICENSE NO. 000000

REVISIONS
 DATE
 BY
 DESCRIPTION

METAL STUD WALL DETAILS
 RESTAURANT RENOVATION
 1752-1764 N. NEW FLOIRISSANT RD.
 FLOIRISSANT, MISSOURI 63033

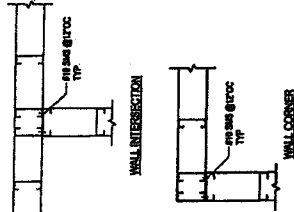
PROJECT NO. 2017-112
 SHEET NO. A-5
 SHEET FOR PERMIT



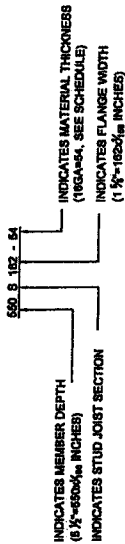
NO.	REV.	DESCRIPTION	DATE
0	ISSUED FOR PERMIT		
1			
2			
3			
4			
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METAL STUD WALL GENERAL NOTES:

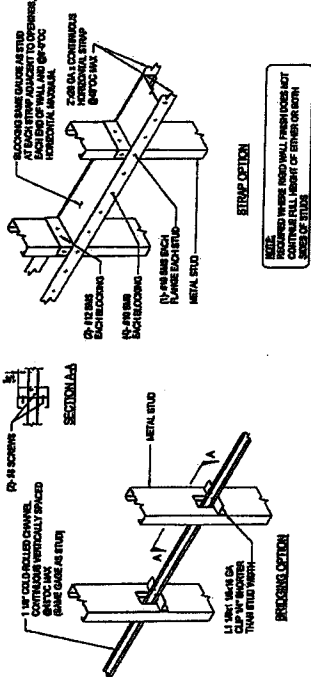
1. ALL NEW WALLS ARE 4" WIDE, UNLESS NOTED OTHERWISE.



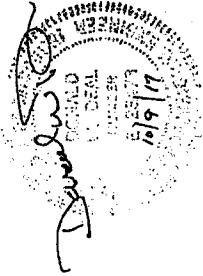
TYPICAL METAL STUD WALL DETAILS AT INTERSECTION DETAILS
SCALE: N.T.S.



METAL STUD IDENTIFICATION
SCALE: N.T.S.



TYPICAL LATERAL BRIDGING AT METAL STUDS
SCALE: N.T.S.



ALLEN DESIGNS, LLC
WWW.ALLENDISIGNS.COM
P.O. BOX 172, ST. LOUIS, MO 63101
TEL: 314-423-1057

DONALD W. DEAL, P.E.
1828 HANCOCK
ST. LOUIS, MO 63103
PHONE: 314-433-0887
LICENSE NO.: 62173

DESIGNED BY: DONALD W. DEAL
CHECKED BY: DONALD W. DEAL
DATE: 10/19/17
SCALE: AS SHOWN
PROJECT NO.: 17-112
SHEET NO.: 01

METAL STUD WALL DETAILS
RESTAURANT RENOVATION
1762-1764 N. NEW FLOISSANT RD
FLOISSANT, MISSOURI 63033

PROJECT NO.: **2017-112**
ISSUED FOR PERMIT: **A-6**

REV	DATE	DESCRIPTION	BY	APP'D
0		ISSUED FOR PERMIT		

1 INTRODUCED BY COUNCILMAN HENKE
2 APRIL 9, 2018

3
4 BILL NO. 9380 ORDINANCE NO. 8407

5
6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**
7 **PERMIT NO. 8376 FROM 5 ACES BBQ TO CA44 LLC D/B/A HWY 67**
8 **BBQ FOR THE OPERATION OF A RESTAURANT LOCATED AT**
9 **1752-1754 N. NEW FLORISSANT ROAD.**

10
11 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
13 operation of a restaurant; and

14 WHEREAS, pursuant to Ordinance No. 8376, 5 Aces BBQ was granted a Special Use
15 Permit for the location and operation of restaurant on the property known as 1752-1754 N. New
16 Florissant Road; and

17 WHEREAS, an application has been filed by CA44 LLC d/b/a Hwy 67 BBQ to transfer
18 the Special Use Permit authorized by Ordinance No. 8376 to its name; and

19 WHEREAS, the City Council of the City of Florissant determined at its meeting on
20 April 9, 2018 that the business operated under Ordinance Nos. 8376 would be operated in a
21 substantially identical fashion as set out herein; and

22 WHEREAS, CC44 LLC has accepted the terms and conditions set out in Ordinance No.
23 8376.

24 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
25 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

26
27 Section 1: The Special Use Permit authorized by Ordinance No. 8376 originally issued 5
28 Aces BBQ is hereby transferred to CC44 LLC d/b/a Hwy 67 BBQ for the location and operation
29 of a restaurant on the property known as 1752-1754 N. New Florissant Road.

30 Section 2: The terms and conditions of said Special Permit authorized by Ordinance No.
31 8376 shall remain in full force and effect.

32 Section 3: The Special Use Permit herein authorized shall terminate if the said business
33 ceases operation for a period of more than ninety (90) days.

34 Section 4: This ordinance shall become in force and effect immediately upon its passage
35 and approval.

36

37

Adopted this 23 day of April, 2018.

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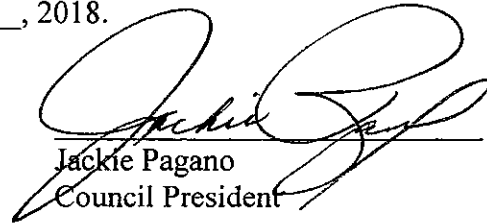
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Jackie Pagano
Council President

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Approved this 24 day of April, 2018.

47

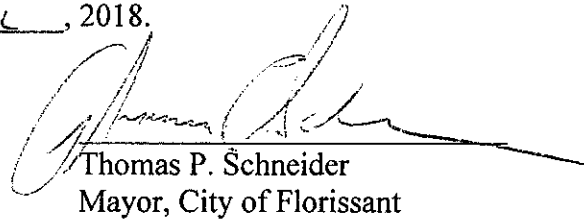
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Thomas P. Schneider
Mayor, City of Florissant

53

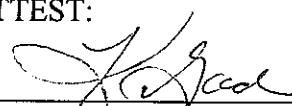
ATTEST:

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Karen Goodwin, MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN SIAM
2 FEBRUARY 24, 2020

3
4 BILL NO. 9587

ORDINANCE NO.

8603

5
6 **ORDINANCE AUTHORIZING A TRANSFER OF SPECIAL USE**
7 **PERMIT NO. 8407 FROM HWY 67 BBQ TO SHADE PARTNERS, LLC**
8 **D/B/A SHADE RESTAURANT AND BAR FOR THE PROPERTY**
9 **LOCATED AT 1752-1754 N. NEW FLORISSANT ROAD.**

10
11 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a
13 restaurant; and

14 WHEREAS, 5 Aces BBQ was granted Special Use Permit no. 8376 for the location of a
15 restaurant located at 1752-54 N. New Florissant Road, and

16 WHEREAS Special Use Permit no. 8376 was transferred to CA44 d/b/a Hwy 67 BBQ by
17 Ordinance no. 8407; and

18 WHEREAS, an application has been filed by Shade Partners LLC to transfer the Special
19 Use Permit authorized by Ordinance No. 8407 to its name; and

20 WHEREAS, the City Council of the City of Florissant determined at its meeting on
21 February 10, 2020 that the business would be operated in substantially identical fashion as set
22 out herein; and

23 WHEREAS, Shade Partners, LLC has accepted the terms and conditions set out in
24 Ordinance No. 8407 as transferred from Ordinance no. 8376.

25
26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
27 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

28
29
30 Section 1: The Special Use Permit authorized by Ordinance No. 8407 is hereby
31 transferred Hwy 67 BBQ to Shade Partners, LLC d/b/a Shade Restaurant and bar for the property
32 located at 1752-1754 N. New Florissant Road.

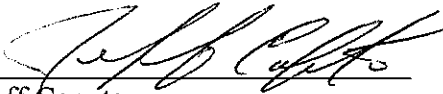
33 Section 2: The terms and conditions of said Special Permit authorized by Ordinance No.
34 8407 as transferred from Ordinance no. 8376 shall remain in full force and effect.

35 Section 3: The Special Use Permit herein authorized shall terminate if the said business
36 ceases operation for a period of more than ninety (90) days.


37 Section 4: This ordinance shall become in force and effect immediately upon its passage
38 and approval.

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Adopted this 9 day of March, 2020.


Jeff Caputa
Council President

Approved this 9 day of March, 2020.


Timothy J. Lowery
Mayor, City of Florissant

ATTEST:



Karen Goodwin, MPPA/MMC/MRCC
City Clerk

CITY OF FLORISSANT

955 rue St. Francois
314-921-5700

APPLICATION FOR LIQUOR LICENSE

TYPE OF LICENSE REQUESTED:

- Full Liquor by the Drink
- Full Package Liquor
- Consumption of Liquor
- Malt Liquor & Wine by the Drink
- Malt Liquor & Wine Package
- Tasting
- Full Liquor by Drink (Non-Profit)

To the City Clerk, City of Florissant, Saint Louis County Missouri:

The undersigned hereby makes application for a liquor license issued under Chapter 600 of the Florissant City Code

TYPE OF LICENSE REQUESTED:

- Individual
- Partnership (Attach list of Partners)
- Corporation (Attach list of officers, addresses)
- Limited Liability Corp

Name of Business A 1 WIND & SPIRIT #11

Business Address 8471 N LINDBERGH BLVD. MO 63031 Phone 314-546-9229

Names of Applicant, Corporation, or LLC BHAGATJI LLC

Address of Owner 6711 OLIVE BLVD ST LOUIS MO 63130 Phone 314-862-6849
Street City State Zip

Name of Managing Officer VIPUL BHAGAT 862 6849@gmail.com

Home Address 4733 BRIARCROFT DR ST CHARLES, MO 63304 314-546-9229 Years at address 14
Street City/State Zip Home Phone

Managing Officer Date & Place of Birth 04/08/1973 Cell Phone 314-546-9229

Managing Officer Driver's License No. [REDACTED] Social Security Number* [REDACTED]
(Provide a copy of driver's license) * Social Security Number used for purposes of identification in running record check.

Managing Officer Personal Property Taxes 20 22 Paid? Yes No (Attach most recent copy)

Managing Officer Register Voter of Missouri? Yes No (Attach a Voter Registration Certificate)

Have you ever been arrested? NO What Charge? _____
Where? _____ Disposition? _____

Citizen of U.S.A.? Yes No Naturalized? Yes Date 05/31/1996 No
If Naturalized, Give Number: [REDACTED] Dist. ESTERN MISSOURI
(Provide naturalization documentation)

Do you have an interest in any liquor license which is now in force? YES
If so, give details 2875 PATTERSON ROAD FLORISSANT, MO 63031
Have you previously held a liquor license of any type? PKG LIQUOR
If so, when and where 1197 BRYAN ROAD OFALLON, MO 63366

Have you ever had a liquor license suspended or revoked? NO
If so, give details _____

Have you ever been convicted of any violation of any federal or state law? NO
If so, give details _____

Have you ever been convicted of any municipal or county ordinance violation? NO
If so, give details _____

Have you ever been convicted of any violation of a federal law, state statute or local ordinance relating to intoxicating liquor? NO
If so, give details _____

Has the location previously been occupied as a liquor establishment, liquor store or tavern? LIQUOR STORE
If so, state name TAKE OVER EXITING LIQUOR STORE PARADISE MARKET

Is the location within 200 feet of property used for church, school or public playground? NO

If Individual Applicant, sign below:

If Partnership, corporation or LLC complete the following:

BHAGATJI LLC

Trade Name

[Signature]
Signature of Managing Officer

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

VIPUL BHAGAT, of lawful age, being first duly sworn upon _____ oath
(Individual or **Managing Officer**)

deposes and states that he/she is the (applicant) (the managing officer of the corporation or partnership seeking the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations and rules adopted by the City relating to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.



[Signature]
Signature of Individual or **Managing Officer**

Subscribed and sworn to before me this 26th day of July, 2022.

[Signature]
Notary Public

My Commission Expires: 6/27/2024

NOTE: APPLICATION MUST BE SWORN TO BEFORE A NOTARY PUBLIC

PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

EMERGENCY INFORMATION

OWNER OF PROPERTY BHAGATJI LLC PHONE 314-229-1733
ADDRESS 6711 OLIVE BLVD CITY ST LOUIS STATE MO ZIP 63130

NAME OF BUSINESS A 1 WINE & SPIRIT PHONE _____
ADDRESS 8471 N LINDBERGH BLVD CITY FLORISSANT STATE MO ZIP 63031

BUSINESS HOURS 10 AM TO 11 PM MON TO SAT 10 TO 8 PM SUNDAY
OWNER/MANAGER VIPUL BHAGAT PHONE 314-546-9229
HOME ADDRESS 4733 BRIARCROFT DR CITY ST CHARLES STATE MO ZIP 63304

**PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY
OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE**

CONTACT #1
NAME DEE SHARMA ADDRESS 3336 PERSHALL ROAD
CITY & STATE ST LOUIS MO ZIP 63135 PHONE 314-229-1733
HAS KEY: YES () NO ()

CONTACT #2
NAME VINNY BHAGAT ADDRESS 6711 OLIVE BLVD
CITY & STATE ST LOUIS, MO ZIP 63130 PHONE 314-255-5560
HAS KEY: YES () NO ()

ARE THERE LIGHTS LEFT ON AFTER BUSINESS HOURS: YES (X) NO ()

IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS: YES () NO (X)

IF YES, WHO: _____

ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS: YES () NO (X)

DESCRIBE: _____
(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? YES (X) NO ()

IF YES, WHERE IS IT LOCATED: UNDER THE COUNTER

CAN IT BE SEEN FROM THE OUTSIDE? YES () NO (X)

IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? YES (X) NO ()

IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.

CITY OF FLORISSANT



FLORISSANT, MISSOURI

WAIVER

Authorization to complete record check

I, VIPUL BHAGAT

RESIDING AT 4733 BRIARCROFT DR

IN THE CITY OF ST CHARLES

STATE MO 63304

I do hereby authorize the City Clerk of the City of Florissant, Missouri to make a full and complete check of my record in the Metropolitan St. Louis area, state of Missouri, all prior areas of residence, and through the National Criminal Information Center in Washington, D.C.

VINNY BHAGAT
Witness


Signature

07/22/2022
Date

04/08/1973
Date of Birth

[REDACTED]
** Social Security Number

[REDACTED]
**Driver's License Number & State

*** Social Security & Driver's License Numbers will be used for purposes of identification in completing record check.*

SUPPLEMENT TO APPLICATION FOR LIQUOR LICENSE

CORPORATION & LIMITED LIABILITY COMPANY:

Copy of Certificate of Incorporation/ Registration &
Articles of Organization papers must be attached

To the Florissant City Council,
Florissant, St. Louis County, Missouri _____ DATE _____

**TO BE COMPLETED BY ALL PARTNERS, OR IF CORPORATION OR LIMITED
LIABILITY CORPORATION BY ALL OFFICERS OR MEMBERS:**

1. FULL NAME VIPUL BHAGAT
 SOC. SEC. NO. [REDACTED] PLACE OF BIRTH INDIA
 DATE OF BIRTH 04/08/1973 SEX MALE
 PHONE NUMBER 314-546-9229
 ADDRESS 4734 BRIARCROFT DR ST CHARLES, MO 63304
 LAST PREVIOUS ADDRESS _____
 NO. OF YEARS 12 YEAR

2. FULL NAME _____
 SOC. SEC. NO. _____ PLACE OF BIRTH _____
 DATE OF BIRTH _____ SEX _____
 PHONE NUMBER _____
 ADDRESS _____
 LAST PREVIOUS ADDRESS _____
 NO. OF YEARS _____

3. FULL NAME _____
 SOC. SEC. NO. _____ PLACE OF BIRTH _____
 DATE OF BIRTH _____ SEX _____
 PHONE NUMBER _____
 ADDRESS _____
 LAST PREVIOUS ADDRESS _____
 NO. OF YEARS _____

4. FULL NAME _____
 SOC. SEC. NO. _____ PLACE OF BIRTH _____
 DATE OF BIRTH _____ SEX _____
 PHONE NUMBER _____
 ADDRESS _____
 LAST PREVIOUS ADDRESS _____
 NO. OF YEARS _____

APPLICATION FOR SUNDAY LIQUOR LICENSE

To the City Clerk, City of Florissant, Saint Louis County Missouri

Authorizing the sale of retail liquor by the drink or package in the city of Florissant on **Sunday** from 9:00 a.m. to midnight

TYPE OF OPERATION:

() Individual () Partnership () Corporation (X) Limited Liability Corp

Name of Business A 1 WINE & SPIRIT

Location 8471 N LINDBERGH BLVD ST LOUIS, MO 63031 **Phone** 314-229-1733

Exact Trade Name, LLC or Corporation BHAGATJI LLC

The undersigned (Individual, Partnership, Corporation, LLC), hereby makes application to the City Clerk, City of Florissant, St. Louis County, Missouri for a "By the Drink/Package Liquor License" authorizing the sale of retail liquor on Sundays from 9:00 a.m. to midnight for the period beginning on _____ and expiring on June 30, 2017, on the above described premises and agrees that if the license herein applied for is granted, and the licensee shall violate any provisions of the State Liquor Control Act or of the City of Florissant Code and particularly any provision of Chapter 600 of the Florissant City Code pertaining to alcoholic beverages or permit any other person to do so upon the licensed premises, the City Council, by a majority vote, may suspend or revoke such license.

1) I/WE presently hold Florissant License Number _____ authorizing the sale of retail liquor by the drink or package in Florissant for premises described in this application.

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

I VIPUL BHAGAT of lawful age, being first duly sworn upon my oath, depose and say that I
(Print Name of Managing Officer)

have read this application and that I fully understand the same; that I know the contents thereof and the statements contained therein and that the same are true of my own knowledge.

Signature of Individual or **Managing Officer**



Subscribed and sworn to before me this 26th day of July, 2022.

Notary Public

My Commission Expires: 6/27/2024

AGREEMENT FOR BILL OF SALE

THIS AGREEMENT is made and entered into as of this _____ day of June, 2022, by and between Paradise Market, LLC, a limited liability company, of the County of St. Louis, State of Missouri (hereinafter "Seller") and BhagatJi, LLC, a limited liability company, of the County of St. Louis, State of Missouri (hereinafter "Buyer");

WITNESSETH:

WHEREAS, Seller owns a liquor/convenience store, lease, personal property, equipment and fixtures located at 8471 B. N. Lindbergh, St. Louis, Missouri 63031; and

WHEREAS, Buyer desires to buy, and Seller desires to sell to Buyer, such lease, personal property, equipment and fixtures in place for a total purchase price of \$120,000.00,

NOW, THEREFORE, for and in consideration of the premises and of the terms, conditions and covenants hereinafter contained, it is mutually agreed by and between the parties hereto as follows:

1. At the time of the Closing, Seller agrees to convey, transfer, assign and deliver to Buyer, and Buyer agrees to acquire and accept as hereinafter provided, the lease, personal property, equipment and fixtures as set out on Exhibit "A", attached hereto and made part hereof.

2. Seller shall have the right to retain its books of account, check books, cancelled checks, bills and vouchers in support thereof, minute books, stock transfers, books and records, and all records relating to taxes, and shall be responsible for its own accounts payable and shall be entitled to receipts of its accounts receivable as of the Date of Closing.

3. The closing under this Agreement shall take place on July 6, 2022, at the offices of Robert E. Jones, Attorney at Law, 130 S. Bemiston, Suite 200, St. Louis, Missouri 63105 or at such other place as the parties shall agree.

4. At the closing, the conveyance, transfer, assignment and delivery of the assets and property of Seller to Buyer shall be effected by such bills of sale with covenants of warranty, endorsements, assignments and other good and sufficient instruments of transfer and conveyance as Buyer shall reasonably request. Appropriate forms of such instruments of transfer and conveyance in conformity with this Agreement shall be submitted to Seller by the counsel of Buyer for examination within a reasonable time in advance of the Closing Date.

5. Seller agrees that it will, at any time and from time to time after the Closing Date upon request of Buyer, execute, acknowledge and deliver, or cause to be done, executed, acknowledged and

delivered all such further acts, deeds, assignments, transfers, conveyances, powers of attorney and assurances as may be required in conformity with this Agreement for the better assigning, transferring, granting, conveying, assuring and conforming to Buyer, or their successors, heirs and assigns, or for aiding and assisting or property to be assigned to Buyer as provided herein, and any and all obligations of Seller hereunder.

6. Buyer is not assuming of the liabilities of Seller except those set forth in the lease or other document evidencing the relationship between Alberta Properties 1120, LLC and Seller. Seller guarantees the payment of its outstanding liabilities and indemnifies and will defend and hold Buyer, their successors, heirs and assigns harmless against all debts and liabilities of Seller and all obligations, contracts and commitments of Seller, accrued to or existing at the time of the Closing Date, of whatsoever nature or character, whether absolute, contingent or otherwise.

7. Each party hereto shall have free access to and the right to make exact copies of all books and records received or retained by the other party hereunder which bears upon the transactions herein.

8. Seller hereby represents and warrants to Buyer as follows:

(a) Seller has delivered to Buyer an accurate list of all the assets sold hereunder and their current location. These are the personal property, equipment and fixtures owned by Seller.

(b) Seller is not a party to any written or oral (1) contract with a labor union; (2) material continuing contract for the future purchase of materials, supplies or equipment which would affect Buyer.

(c) To the best of the knowledge, information and belief of the officers of Seller, Seller has complied with all laws, regulations and orders applicable to its business.

(d) No representation or warranty made herein by Seller nor any statement or certificate given or to be given to Buyer pursuant hereto, or with respect to the transactions contemplated hereto, contains or will contain any untrue statement of a material fact, or omits or will omit to state a material fact necessary to make the statements contained therein not misleading.

(e) Seller is hereby transferring all of the assets to Buyer free and clear of liens and encumbrances.

9. Buyer represents and warrants to Seller as follows:

Buyer has inspected the various properties of Seller.

10. The representations and warranties contained herein shall survive the closing hereunder.

11. For five (5) years from the date of this Agreement, neither Seller nor its principal Michael Meeks, will, within a two-mile radius of 8471 B. N. Lindbergh, own, manage, operate or control any business which competes with Buyer's operation of a liquor/convenience store.

12. Each party represents and warrants to the other party that no person, corporation or partnership brought about this sale and that only employees and agents of the parties hereto have brought about this sale and no commission is due any person because of the transactions contemplated herein.

13. Each party hereto shall pay its own expenses incident to preparation for carrying this Agreement into effect and consummating said transactions, whether or not the transactions contemplated hereby are consummated.

14. The purchase price to be paid by Buyer to Seller hereinafter is \$120,000.00 which shall be paid by Cashier's Check delivered to Seller at Closing.

15. This Agreement shall not be assignable by the Seller or Buyer except with express written consent of the other.

16. All the terms of this Agreement shall be binding upon, and inure to the benefit of, and be enforceable by, the successors, heirs and assigns of the parties hereto.

17. This Agreement is being delivered and is intended to be performed in the State of Missouri and shall be construed and enforced in accordance with the laws of said state.

18. Any notice, request, instruction or other document to be given hereunder by either party hereto to the other shall be in writing and delivered personally or sent by certified mail, postage prepaid, if to Buyer, addressed to:

Vipul Bhagat
3336 Pershall Road
St. Louis, MO 63135

and if to Seller, addressed to:

Michael Meeks
8471 NORTH LINDBERGH
ST. LOUIS MO 63130

19. This Agreement may be executed simultaneously in two or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.

20. This purchase and sale is contingent upon the following provisions, to-wit:

(a) Buyer shall acquire all necessary licenses and permits for normal operation from all governmental jurisdictions, including but not limited to, any conditional use permits from the City of Florissant and liquor licenses from the City of Florissant and the State of Missouri.

EXHIBIT A

1. All furniture, fixtures and equipment, including point of sale equipment and inventory located at 8471 B. N. Lindbergh, St. Louis, Missouri 63031.
2. Lease Agreement with Alberta Properties 1120, LLC for the premises at 8471 B. N. Lindbergh, St. Louis, Missouri 63031

(b) There shall be an equipment inspection twenty-four (24) hours before the Closing Date verifying all equipment to be in good working order.

(c) A building inspection shall be performed of the premises at 8471 B. N. Lindbergh, St. Louis, MO 63031 which shall determine said premises structurally sound and free of any pest infestation.

(d) Buyer shall be able to successfully negotiate an assignment of the existing lease or a new lease or other contract with Alberta Properties 1120, LLC.

(e) Seller shall produce sales tax and franchise tax clearance letters from the State of Missouri showing all matters to be paid in full as of the Date of Closing.

(f) Seller shall comply with the Bulk Sales Law of the State of Missouri.

(g) Buyer shall obtain suitable financing for the sum set forth in this Agreement for sale of assets and the acquisition of the liquor/convenience store.

Seller:

Buyer:

By:
Its:

Michael Meeks
Michael Meeks

By:
Its:

Bhargava
BHARGAVA, LLC



State of Missouri
Robin Carnahan, Secretary of State

File Number: 201227080333

LC1258759

Date Filed: 09/26/2012

Effective Date: 10/01/2012

Robin Carnahan

Secretary of State

Articles of Organization

1. The name of the limited liability company is:

BHAGATJI LLC

2. The purpose(s) for which the limited liability company is organized:

TO OWN AND OPERATE RETAIL BUISNESS

3. The name and address of the limited liability company's registered agent in Missouri is:

VIPUL BHAGAT

6711 OLIVE BLVD, ST LOUIS MO 63130

Name

Address

4. The management of the limited liability company is:

Manager

Member

5. The duration (period of existence) for this limited liability company is:

12/31/2099

6. The name(s) and street address(es) of each organizer:

VIPUL BHAGAT, 6711 OLIVE BLVD, ST LOUIS MO 63130

7. The effective date of this document is:

10/01/2012

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

VIPUL BHAGAT

(Organizer Name)

State of Missouri



Robin Carnahan
Secretary of State

CERTIFICATE OF ORGANIZATION

WHEREAS,

BHAGATJI LLC
LC1258759

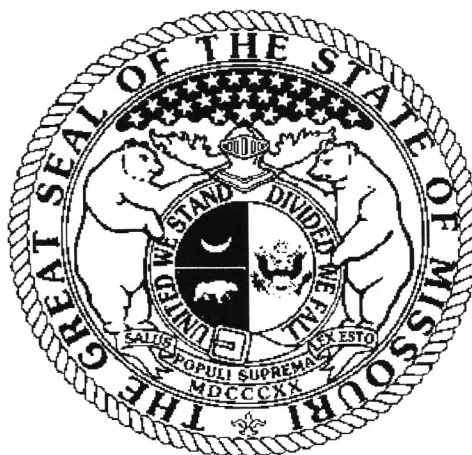
filed its Articles of Organization with this office on the September 26, 2012, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, ROBIN CARNAHAN, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the September 26, 2012, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, this September 26, 2012.

Robin Carnahan

Secretary of State





State of Missouri
 John R. Ashcroft, Secretary of State
 Corporations Division
 PO Box 778 / 600 W. Main St., Rm. 322
 Jefferson City, MO 65102

X001735865
Date Filed: 7/23/2022
Expiration Date: 7/23/2027
John R. Ashcroft
Missouri Secretary of State

Registration of Fictitious Name

(Submit with filing fee of \$7.00)
(Must be typed or printed)

This information is for the use of the public and gives no protection to the name being registered. There is no provision in this Chapter to keep another person or business entity from adopting and using the same name. The fictitious name registration expires 5 years from the filing date. (Chapter 417, RSMo)

Please check one box:

New Registration Renewal Amendment Correction

Charter number *Charter number* *Charter number*

The undersigned is doing business under the following name and at the following address:

Business name to be registered: A-1 Wine & Spirit #11
 Business Address: 8471 N Lindbergh Blvd
(PO Box may only be used in addition to a physical street address)
 City, State and Zip Code: st louis, MO 63031

Owner Information:

If a business entity is an owner, indicate business name and percentage owned. If all parties are jointly and severally liable, percentage of ownership need not be listed. Please attach a separate page for more than three owners. The parties having an interest in the business, and the percentage they own are:

Name of Owners, Individual or Business Entity	Charter # Required If Business Entity	Street and Number	City and State	Zip Code	If Listed, Percentage of Ownership Must Equal 100%
BHAGATJI LLC	LC1258759	6711 OLIVE BLVD	ST LOUIS, MO	63130	100.00

All owners must affirm by signing below

In Affirmation thereof, the facts stated above are true and correct:
 (The undersigned understands that false statements made in this filing are subject to the penalties of a false declaration under Section 575.060 RSMo)

BHAGATJI LLC - vipul bhagat BHAGATJI LLC - VIPUL BHAGAT 07/23/2022
Owner's Signature or Authorized Signature of Business Entity *Printed Name* *Date*

Name and address to return filed document:
 Name: vadilal bhagat
 Address: Email: 8626849@gmail.com
 City, State, and Zip Code: _____

Owner Information

BHAGAT VIPUL K
4733 BRIARCROFT DR
ST CHARLES, MO 63304-8773

Payment Information

Status	Paid
Last Payment Date	12/09/2021
Amount Paid	\$1,457.97
Payer Name	BHAGAT VIPUL K
Receipt Number	U21.30881

Property Information

Tax Year	2021
Account # / PIN	P1102417
Description	
Geo CD	I000
Situs Address	4733 BRIARCROFT DR

Bill Information

Bill Number	454753
Base Taxes	\$1,457.97
Penalty	\$0.00
Interest	\$0.00
Discount	\$0.00
Total Due	\$0.00

Classes

Personal Property

KURT BAHR

St. Charles County Director of Elections
397 Turner Boulevard
St. Peters, MO 63376-1080
(636) 949-7550

Presidential Primary
03/10/2020

YOUR POLLING PLACE FOR PRECINCT 228 IS:
228 NEW HOPE PRESBYTERIAN CHURCH
1580 KISKER RD ST CHARLES MO 63304

POLLS ARE OPEN FROM 6AM TO 7PM

46647417

Notice of Election
IDENTIFICATION CARD

Non-Profit
Organization
U.S. Postage
PAID
INPTECH



To vote, you may present a valid Missouri or United States government-issued ID such as a driver license, nondriver license, passport, or military ID. Or by showing one of the following: voter registration card, ID from a Missouri university, college, vocational or technical school, utility bill, bank statement, government check, paycheck, or another government issued document showing your name and address.

0196394



VIPUL P BHAGAT
4733 BRIARCROFT DR
ST CHARLES, MO 63304-8780



No Match Notification

A statewide search of the identifiers below has revealed no criminal conviction or sex offender information on file. Fingerprints were not provided and thus the result of the search cannot be guaranteed.

Date of Search: 07/26/2022

Name (1): VIPUL BHAGAT

Name (2):

Name (3):

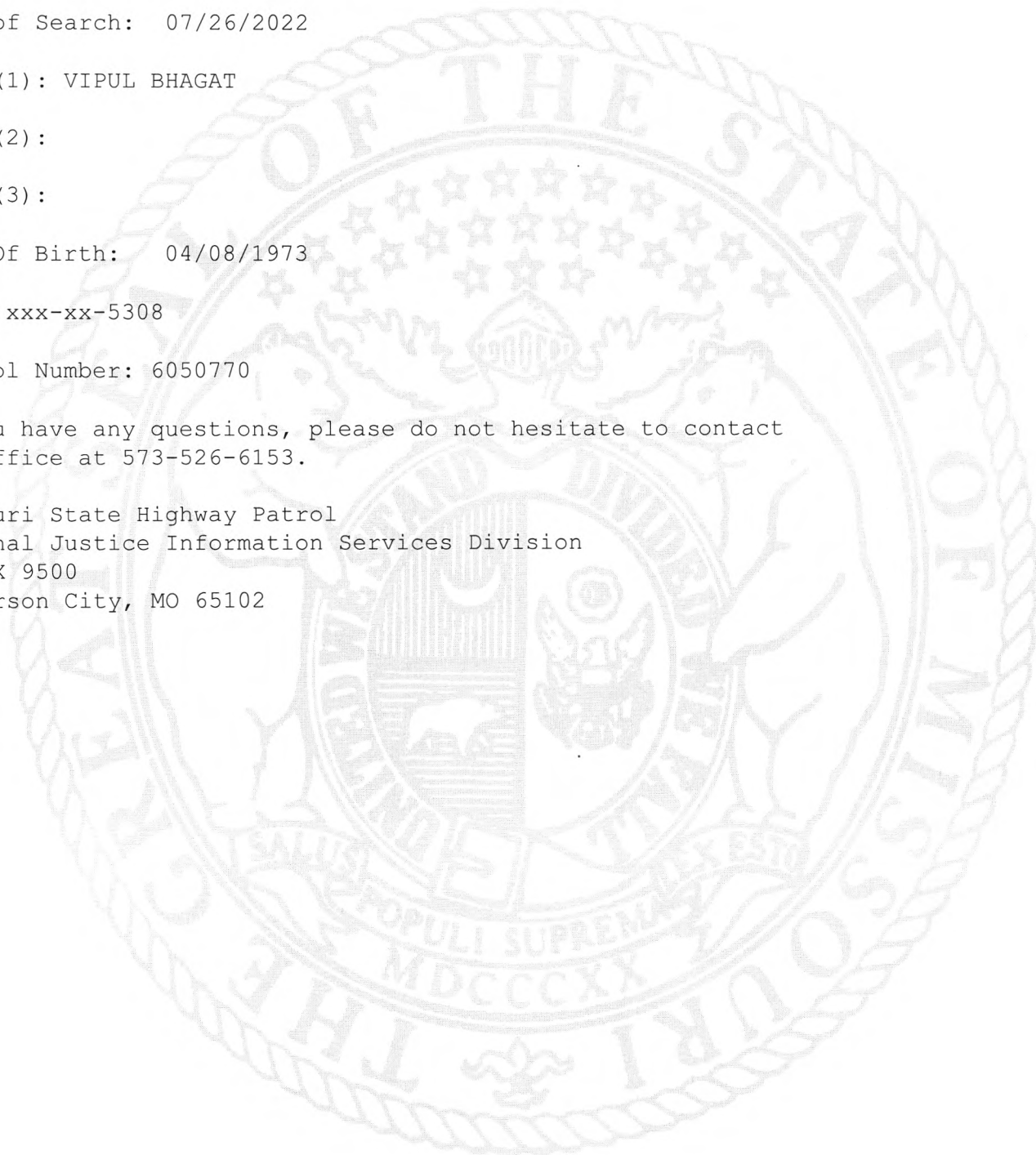
Date Of Birth: 04/08/1973

SSN: xxx-xx-5308

Control Number: 6050770

If you have any questions, please do not hesitate to contact our office at 573-526-6153.

Missouri State Highway Patrol
Criminal Justice Information Services Division
PO BOX 9500
Jefferson City, MO 65102



1 INTRODUCED BY COUNCILMAN EAGAN
2 AUGUST 8, 2022

3
4 BILL NO. 9804

ORDINANCE NO.

5
6
7 **AN ORDINANCE TRANSFERRING THE SUM OF \$1,500 FROM**
8 **ACCOUNT NO. 01-5-49-24070 “SOFTWARE PURCHASE/**
9 **MAINTENANCE” TO ACCOUNT NO. 01-5-49-50045 “PROFESSIONAL**
10 **SERVICES/COMPUTER SERVICES” FOR THE PURPOSE OF MID-**
11 **YEAR ADJUSTMENTS.**

12
13
14 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
15 COUNTY, MISSOURI, AS FOLLOWS:

16
17 Section 1: There is hereby authorized a transfer of \$1,500 from account number 01-5-
18 49-24070 “Software Purchase/Maintenance” to account number 01-5-49-50045 “Professional
19 Services/Computer Services”.

20 Section 3: This ordinance shall become in force and effect immediately upon its passage
21 and approval.

22
23
24 Adopted this _____ day of _____, 2022.

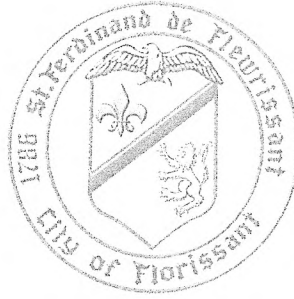
25
26
27
28 _____
29 Joseph Eagan
30 President of the Council
31 City of Florissant

32
33 Approved this _____ day of _____, 2022.

34
35
36
37 _____
38 Timothy J. Lowery
39 Mayor, City of Florissant

40 ATTEST:

41
42 _____
43 Karen Goodwin, MPPA/MMC/MRCC
City Clerk



Memo To: City Council

Date: August 3, 2022

Thru Mayor Lowery

From: Kimberlee Johnson

Handwritten initials: M J M

Subject: General Fund appropriation and/or transfer request per Mid-Year Review

Per a Mid-Year review with the Departments, the following appropriations and transfers are requested:

Appropriations:

01-5-06-27000	Gasoline	Golf Dept	\$ 5,000
01-5-48-27000	Gasoline	Public Works Dept	\$ 30,000
01-5-49-27000	Gasoline	Police Dept	\$100,000

Transfers:

From: 01-5-49-24070	Software Purchase/Main	\$1,500
To: 01-5-49-50045	Prof Serv/Computer Services	\$1,500

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM																																							
Date: 8/3/22	Mayor's Approval 																																						
Agenda Date Requested:	8/8/2022																																						
Description of request: General Fund Mid Year appropriations and Tranfers																																							
Appropriate the following:																																							
\$5,000	01-5-06-27000		Gasoline - Golf Dept																																				
\$30,000	01-5-48-27000		Gasoline - Public Works Dept																																				
\$100,000	01-5-49-27000		Gasoline - Police Dept																																				
Transfer the following:																																							
\$1,500	From 01-5-49-24070		Software Purchase/Maint																																				
\$1,500	To 01-5-49-50045		Prof Serv/Computer Service																																				
Department: Various																																							
Recommending Board or Commission:																																							
Type of request:	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 40%;">Ordinances</th> <th style="width: 10%; text-align: center;">X</th> <th style="width: 40%;">Other</th> <th style="width: 10%; text-align: center;">X</th> </tr> </thead> <tbody> <tr> <td>Appropriation</td> <td style="text-align: center;">x</td> <td>Liquor License</td> <td></td> </tr> <tr> <td>Transfer</td> <td></td> <td>Hotel License</td> <td></td> </tr> <tr> <td>Zoning Amendment</td> <td></td> <td>Special Presentations</td> <td></td> </tr> <tr> <td>Amendment</td> <td></td> <td>Resolution</td> <td></td> </tr> <tr> <td>Special Use Transfer</td> <td></td> <td>Proclamation</td> <td></td> </tr> <tr> <td>Special Use</td> <td></td> <td>Subdivision</td> <td></td> </tr> <tr> <td>Budget Amendment</td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td style="text-align: center;">Y/N</td> <td></td> <td style="text-align: center;">Y/N</td> </tr> </tbody> </table>			Ordinances	X	Other	X	Appropriation	x	Liquor License		Transfer		Hotel License		Zoning Amendment		Special Presentations		Amendment		Resolution		Special Use Transfer		Proclamation		Special Use		Subdivision		Budget Amendment					Y/N		Y/N
Ordinances	X	Other	X																																				
Appropriation	x	Liquor License																																					
Transfer		Hotel License																																					
Zoning Amendment		Special Presentations																																					
Amendment		Resolution																																					
Special Use Transfer		Proclamation																																					
Special Use		Subdivision																																					
Budget Amendment																																							
	Y/N		Y/N																																				
Public Hearing needed: Yes / No		3 readings? : Yes / No	Y																																				
Back up materials attached:		Back up materials needed:																																					
Minutes		Minutes																																					
Maps		Maps																																					
Memo	x	Memo																																					
Draft Ord.		Draft Ord.																																					
<p>Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.</p>		<p>For City Clerk Use Only:</p> <p>Introduced by: _____</p> <p>PH Speaker: _____</p>																																					

1 INTRODUCED BY COUNCILMAN EAGAN
2 AUGUST 8, 2022

3
4 BILL NO. 9805 ORDINANCE NO.

5
6 **ORDINANCE TRANSFERRING THE SUM OF \$100,000 FROM CAPITAL**
7 **IMPROVEMENT FUND TO VARIOUS ACCOUNTS WITHIN THE**
8 **CAPITAL IMPROVEMENT FUND.**
9

10 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
11 COUNTY, MISSOURI, AS FOLLOWS:
12

13 Section 1: The sum of \$40,000 is hereby transferred from account no. 03-5-03-52000
14 “Street Contracts” to budget account no. 03-5-03-30010 “Vehicle Repairs/Maintenance” for
15 repair of vehicles.
16

17 Section 2: The sum of \$60,000 is hereby transferred from account no. 03-5-03-52000 “Street
18 Contracts” to budget account no. 03-5-03-51000 “Street Lighting” for replacement materials.
19

20 Section 3: This ordinance shall become in force and effect immediately upon its passage
21 and approval.
22
23

24 Adopted this ____ day of _____, 2022.

25 _____
26 Joseph Eagan
27 President of the Council
28 City of Florissant
29

30 Approved this ____ day of _____, 2022.

31 _____
32 Timothy J. Lowery
33 Mayor, City of Florissant
34

35 ATTEST:

36 _____
37
38 Karen Goodwin, MPPA/MMC/MRCC,
39 City Clerk


City of Florissant
Public Works Department
Interoffice Memo

Memo To: City Council

Date: July 21, 2022

Thru: Mayor Timothy J. Lowery

T.M.H. 7.22

From: Todd M. Hughes, P.E.
Director of Public Works and Health

Copy: Kimberlee Johnson

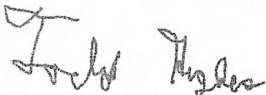
Subject: Budget Transfer for various funds – Capital Improvement Fund

Due to higher than forecasted expenditures the Street Lighting account and Vehicle Repair account, needs more money. The vehicle repair account shortage is due to several more expensive repairs that were necessary and higher prices on repair parts. The Street lighting account is due to an increase of rates and the replacement of decorative poles in a higher than usual amount due to materials availability last year.

Therefore, I respectfully request that \$100,000 be transferred from Capital Improvement – Street contracts Account 03-5-03-52000 with \$40,000 to be transferred to Account 03-5-03-30010 Vehicle Repairs and Maintenance and \$60,000 to be transferred to Account 03-5-03-51000 Street Lighting.

Thank you in advance.

Respectfully submitted,



Todd M Hughes, P.E.

FLORISSANT CITY COUNCIL

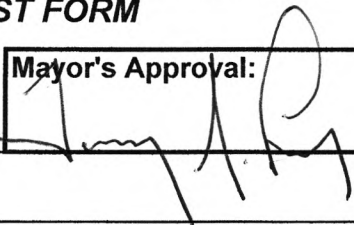
AGENDA REQUEST FORM

Date: August 3, 2022

Mayor's Approval:

Agenda Date Requested: ↑

8-Aug-22



Capital Improvement Fund - Mid Year Transfers

\$100,000 from 03-5-03-52000 Street Contracts

to the following accounts:

\$40,000 03-5-03-30010 Vehicle Repairs/Maint

\$60,000 03-5-03-51000 Street Lighting

Department: Public Works

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment	X		

Public Hearing needed: Yes / No

NO

3 readings? : Yes / No

YES

Back up materials attached:

Minutes

Maps

Memo

Draft Ord.

Back up materials needed:

Minutes

Maps

Memo

Draft Ord.

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

1 INTRODUCED BY COUNCILMAN EAGAN
2 AUGUST 8, 2022

3
4 BILL NO. 9806

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN APPROPRIATION OF GRANT**
7 **REVENUE OF \$7,500 AND ASSOCIATED EXPENSES FROM ACCOUNT**
8 **NO. 03-4-03549 “GRANTS – POLICE” TO ACCOUNT NO. 03-5-03-61490**
9 **“CAPITAL ADDITONS – POLICE” TO PURCHASE A RADAR TRAILER.**

10
11 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
12 COUNTY, MISSOURI, AS FOLLOWS:

13
14 Section 1: The sum of \$7,500 is hereby appropriated to revenue account no. 03-4-
15 03549 “Grants – Police” for the purchase of a radar trailer.

16
17 Section 2: The sum of \$7,500 is hereby appropriated to expense account no. 03-5-03-
18 61490 “Capital Additions – Police” for the purchase of a radar trailer.

19
20 Section 2: This ordinance shall become in force and effect immediately upon its passage
21 and approval.

22
23
24 Adopted this ____ day of _____, 2022.

25 _____
26 Joseph Eagan
27 President of the Council
28 City of Florissant

29
30 Approved this ____ day of _____, 2022.

31 _____
32 Timothy J. Lowery
33 Mayor, City of Florissant

34
35 ATTEST:

36
37 _____
38 Karen Goodwin, MPPA/MMC/MRCC,
39 City Clerk



Memo To: City Council

Date: August 3, 2022

Thru Mayor Lowery

From: Kimberlee Johnson

KL

Subject: Capital Improvement Fund – MODOT Grant for Police Radar Trailer

The Police Department received a Grant in the amount of \$7,500 to purchase a Radar Trailer.

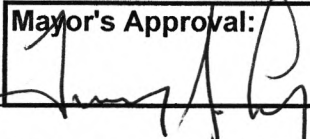
The appropriation request is as follows:

03-4-03549	Grants – Police	\$ 7,500
03-5-03-61490	Capital Improvements – Police	\$ 7,500

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: August 3, 2022

Mayor's Approval: 

Agenda Date Requested: 1

8-Aug-22

Capital Improvement Fund - Appropriate Revenue and Expense for MODOT Police Grant

\$7,500 03-4-03549

Grants- Police

\$7,500 03-5-03-61490

Capital Additions - Police

Department: Police

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment	X		

Public Hearing needed: Yes / No

NO

3 readings? : Yes / No

YES

Back up materials attached:

Back up materials needed:

Minutes

Minutes

Maps

Maps

Memo

Memo

Draft Ord.

Draft Ord.

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

1 INTRODUCED BY COUNCILMAN EAGAN
2 AUGUST 8, 2022

3
4 BILL NO. 9807

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING APPROPRIATIONS OF \$55,500 FROM**
7 **THE PARK IMPROVEMENT FUND TO VARIOUS ACCOUNTS.**

8
9 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
10 COUNTY, MISSOURI, AS FOLLOWS:

11
12 Section 1: The sum of \$1,500 is hereby appropriated from budget account no. 09-5-
13 09-24070 "Software Purchase/Maintenance" to budget account no. 09-5-09-27449 "Gasoline -
14 Centers".

15
16 Section 2: The sum of \$33,000 is hereby appropriated from budget account no. 09-5-09-
17 16000 to budget account nos. 09-5-09-27470 "Gasoline -Parks", 09-5-09-30440 "Equipment Repairs &
18 Maintenance – JJE", 09-5-09-30470 "Equipment Repairs & Maintenance – Parks, and 09-5-09-30020
19 "Small Tools Purchase/Repair".

20
21 Section 3: The sum of \$21,000 is hereby transferred from account no. 5-09-4-09300
22 "Miscellaneous Revenue" to budget account no. 5-09-61470 "Capital Additions – Park Improvement"
23 for fitness center improvements.

24
25 Section 3: This ordinance shall become in force and effect immediately upon its passage
26 and approval.

27
28
29 Adopted this ____ day of _____, 2022.

30 _____
31 Joseph Eagan
32 President of the Council
33 City of Florissant

34
35 Approved this ____ day of _____, 2022.

36 _____
37 Timothy J. Lowery
38 Mayor, City of Florissant

39
40 ATTEST:

41
42 _____
43 Karen Goodwin, MPPA/MMC/MRCC,
44 City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM					
Date: August 3, 2022		Mayor's Approval:			
Agenda Date Requested: 1		8-Aug-22			
Park Improvement Fund - Transfer funds per mid year review					
\$1,500 from 09-5-09-24070 Software Purch/Main to 09-5-09-27449 Gasoline-Ctrs					
\$33,000 from 09-5-09-16000 Contract Services to the following accounts					
\$25,000 09-5-09-27470 Gasoline-Parks					
\$5,000 09-5-09-30020 Small Tools Purch/Repair					
\$1,000 09-5-09-30440 Equip Repair/Maint - JJE					
\$2,000 09-5-09-30470 Equip Repair.Maint - Parks					
Department: Parks and Recreation					
Recommending Board or Commission:					
Type of request:	Ordinances	X	Other	X	
	Appropriation		Liquor License		
	Transfer		Hotel License		
	Zoning Amendment		Special Presentations		
	Amendment		Resolution		
	Special Use Transfer		Proclamation		
	Special Use		Subdivision		
	Budget Amendment	X			
Public Hearing needed: Yes / No		NO	3 readings? : Yes / No		YES
Back up materials attached:		Back up materials needed:			
Minutes		Minutes			
Maps		Maps			
Memo		Memo			
Draft Ord.		Draft Ord.			
<p>Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.</p>		<p>For City Clerk Use Only:</p> <p>Introduced by: _____</p> <p>PH Speaker: _____</p>			

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: August 3, 2022

Mayor's Approval:

Agenda Date Requested: |

8-Aug-22



Park Improvement Fund - Appropriate for Fitness Project

\$21,000 to acct 09-5-09-61470 Capital Additions - Park Improvement

Department: Parks and Recreation

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment	X		

Public Hearing needed: Yes / No

NO

3 readings? : Yes / No

YES

Back up materials attached:

Back up materials needed:

Minutes		Minutes	
Maps		Maps	
Memo		Memo	
Draft Ord.		Draft Ord.	

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For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

**CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum**

Date: August 3, 2022
To: Council
Thru: Mayor Lowery
Cc: Kimberlee Johnson
From: Cheryl A. Thompson-Stimage *Cheryl A. Thompson-Stimage*
Subject: Transfer Funds between categories for Park Improvement Fund

11 8-1-22
8/3/22

I am requesting the following transfers:

From: 09-5-09-24070 – Software Purchase & Maint.	\$1,500
To: 09-5-09-27440 – Gasoline – Centers	\$1,500
From: 09-5-09-16000 – Contract Services	\$33,000
To: 09-5-09-27470 – Gasoline - Parks	\$25,000
To: 09-5-09-30440 – Equip. Repairs & Maint. – JJE	\$1,000
To: 09-5-09-30470 – Equip. Repairs & Maint. – Parks	\$2,000
To: 09-5-09-30020 – Small Tools Purch/Repair	\$5,000

If you have any further questions please do not hesitate to give me a call. Thanks for your consideration of this request.

**CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum**

Date: August 3, 2022
To: City Council
Thru: Mayor Timothy J. Lowery
Cc: Kimberlee Johnson
From: Cheryl A. Thompson-Stimage
Subject: Additional Appropriations for Fitness Project

11 07-22
Cheryl A. Thompson-Stimage
8/4/22

I am requesting to appropriate \$21,000 to 09-5-09-61470 Capital Additions – Park Improvement Fund utilizing funds from the sale of the old fitness equipment that was sold through open-gov collecting over \$21,000.

There is equipment that was not replaced at JFK through this project along with additional items such as sound proofing and installing a sound system in the aerobics room. There might be other minor things that these funds will be used for but this will allow us to complete this project.

We have been getting very good feed back from those visiting the fitness center. Staff has done a tremendous job planning this project and getting it complete. Your support along with the council's support is greatly appreciated.

If you have any further questions please do not hesitate to give me a call. Thanks for your consideration of this request.

1 INTRODUCED BY COUNCILMAN EAGAN
2 AUGUST 8, 2022

3
4 BILL NO. 9808

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING A TRANSFER OF \$100,000 FROM**
7 **ESCROW FUND ACCOUNT NO. 13-20301 “FORFEITURE ESCROW” TO**
8 **“POLICE FORFEITURE REVENUE” AND APPROPRIATING \$100,000 TO**
9 **ACCOUNT NO. 01-5-49-61011 “FORFEITURE EXPENDITURE” AND**
10 **APPROPRIATING \$145,584 FROM A DONATIONS ACCOUNT TO**
11 **ACCOUNT NO. 01-5-49-61500 “CAPITAL ADDITIONS” FOR THE**
12 **LOCKER ROOM REMODEL**

13
14 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
15 COUNTY, MISSOURI, AS FOLLOWS:

16
17 Section 1: The sum of \$100,000 is hereby transfer from Escrow Fund account no. 13-
18 20301 “Forfeiture Escrow ” to General Fund account no. 01-5-49-61011 “Police Forfeiture
19 Expenditures”.

20
21 Section 2: The sum of \$100,000 is hereby appropriated from account no. 01-4-34511
22 “Police Forfeiture Revenue” to account no. 01-5-49-61011 “Forfeiture Expenditures” to
23 subsidize the locker room remodel.

24
25 Section 3: The sum of \$145,584 is hereby appropriated from a donations account to
26 account no. 01-5-49-61500 “Capital Additions” to subsidize the locker room remodel.

27
28 Section 4: This ordinance shall become in force and effect immediately upon its passage
29 and approval.

30
31 Adopted this ____ day of _____, 2022.

32
33
34
35 _____
36 Joseph Eagan
37 President of the Council
38 City of Florissant

39
40 Approved this ____ day of _____, 2022.

41
42
43
44 _____
45 Timothy J. Lowery
Mayor, City of Florissant

46 ATTEST:

47

48

49 _____
Karen Goodwin, MPPA/MMC/MRCC,

50 City Clerk

FLORISSANT POLICE DEPARTMENT

MEMORANDUM

Date: 07-15-2022

To: Chief Timothy Fagan

From: Major Randy Boden

Subject: Police Building Locker Rooms Project

8.4.22
RJ395

Sir,

In the FY 2022 budget \$120,000 was appropriated to update both locker rooms at the Police Headquarters Building. This project is a complete overhaul of both the male and female locker rooms. Jost Builders, was selected as the construction managers for this project and provided a bid of \$373,735.00 for the cost of this project. In the bid the cost of the lockers is \$128,151.00 plus \$4,669.00 for 84" Lockers the total was \$132,820.00

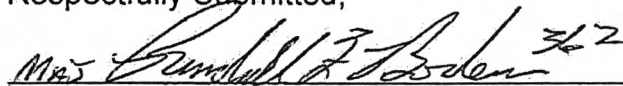
On 5-02-2022, the Lockers for this project were purchased for \$132,820.00. This will leave a balance due when the original cost of the lockers of \$128,151.00 is subtracted from the original bid of \$373,735.00. The balance due is \$245,584.00 to complete the construction of both locker rooms for further see bid recap provided by Jost Builders.

It is requested that \$100,000.00 be transferred from account 13-20301 Forfeiture Escrow into account 01-5-49-61000 Police Forfeiture Expenditures.

Further, it is requested that \$145,584.00 in funds be appropriated from an individual Private Trust that was left to the City of Florissant Police Department as a beneficiary.

These appropriations totaling \$245,584.00 will cover the remaining costs to complete this project.

Respectfully Submitted,


Major Randy Boden #362



BID RECAP

Jost Builders
Working for YOUR future.

PROJECT TITLE: Florissant Police Locker Rooms J054-21

Page #:	Bid Category	Contractor	Contract Amount	Notes
1	General Conditions	Jost Builders	\$40,142	
2	Permits	Jost Builders		
3	Insurance	Jost Builders	\$4,079	
4	Demolition	Marschel	\$19,900	
5	Doors, Frames & Hardware	Neqwer	\$815	
6	Drywall	Jasid	\$7,145	
7	Electrical	Reinhold	\$12,530	
8	Finished Carpentry	Jasid	\$1,630	
9	Flooring	Corporate	\$25,417	
10	HVAC	Ozark Mechanical	\$58,250	
11	Lockers	Bradford Systems	\$128,151	
12	Millwork	Kabinetmasters	\$2,975	
13	Painting	All American Painting	\$3,024	
14	Plumbing	Corrigan Co.	\$45,000	
15	Toilet Partitions and Accessories	Commercial Bathwears	\$6,880	
16			0	
17			0	
18			0	
19			0	
20			0	
	Contingency Dollars 0%		\$0	
	Construction Fee 5%		\$17,797	
TOTAL BID AMOUNT:			\$373,735	

41	Alternate 1	84" Tall Lockers	\$5,187	
42	Alternate 2	Floor Adhesive Removal	\$1,667	
43	Alternate 3		0	
44	Alternate 4	Black-core Phenolic Mat.	\$2,221	Bathroom Partitions
45	Alternate 5		0	

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: August 3, 2022 _____

Mayor's Approval:

Agenda Date Requested: | 8-Aug-22

General Fund - Appropriate funds for Locker Room Reconstruction

Transfer \$100,000 from Escrow Fund acct 13-20301 "Forfeiture Escrow" to General Fund "Police Forfeiture Revenue" .

Appropriate \$245,854 for Locker Room Remodel utilizing Forfeitures and Donations

	\$100,000 01-4-34511	Police Forfeiture Revenue
Appropriate the following expenses:		
	\$100,000 01-5-49-61011	Forfeiture Exp - Locker Room Remodel
	\$145,584 01-5-49-61500	Capital Add's-Locker Room Remodel

Department: Police

Recommending Board or Commission:

Type of request:	Ordinances	X	Other	X
	Appropriation		Liquor License	
	Transfer		Hotel License	
	Zoning Amendment		Special Presentations	
	Amendment		Resolution	
	Special Use Transfer		Proclamation	
	Special Use		Subdivision	
	Budget Amendment	X		

Public Hearing needed: **Yes / No** NO 3 readings? : **Yes / No** YES

Back up materials attached:	Back up materials needed:
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