



FLORISSANT CITY COUNCIL AGENDA

City Hall

955 rue St. Francois

Monday, October 11, 2021

7:00 PM

Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- City Council Meeting minutes of September 13, 2021

IV. SPECIAL PRESENTATION

- Metropolitan Sewer District – Stormwater Services

V. HEARING FROM CITIZENS

VI. COMMUNICATIONS

VII. PUBLIC HEARINGS

21-09-025 Staff Rept	Request to amend section 405.245, Subsection B “Screening and Berming” Paragraph 2 of the Florissant Zoning Code to require a personnel accessway through new outside trash container enclosures. (Planning and Zoning recommended denial on 8/16/2021) (Continued to this day on September 13 th , 2021)	Staff
21-10-026 (Ward 9) Application Staff Rpt Plans	Request to rezone the property at 2925 N. Hwy 67 from B-3 “Extensive Business District” to B-5 “Planned Commercial District” for the location of a car wash. (Planning and Zoning recommended approval on 9/7/2021)	Kyle Flaming
21-10-027 (Ward 6) Application Staff Rpt Plans	Request to rezone the properties located at 1760, 1780, 1790 N. Hwy and 1615, 1645, 1675 N. New Florissant Rd. from B-3 “Extensive Business District” to B-5 “Planned Commercial District” to allow for site and building expansion. (Planning and Zoning recommended approval on 9/7/2021)	Richard Hill
21-10-028 (Ward 6) Application	Request to authorize a Special Use Permit to Simply Thai to allow for the operation of a sit-down, carry-out restaurant for the property located at 5 Paddock Hills Shopping Center in a B-3 “Extensive	Koson Tuankrua

Staff Rpt Plans	Business District”. (Planning and Zoning recommended approval on 9/7/2021)	
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A. *BILLS FOR SECOND READING*

9713	Ordinance authorizing the rezoning of the property located at 600 Florland Drive from R-4 “Single Family Dwelling District” to B-3 “Extensive Business District” for the location of a child day care center.	2 nd reading Eagan
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VIII. NEW BUSINESS

A. *BOARD APPOINTMENTS*

B. *RESOLUTIONS*

1032	Resolution of the Florissant City Council endorsing St. Louis County’s grant program for the City’s waste reduction efforts.	Council as a whole
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C. *REQUESTS*

Special Use Transfer Application	Request to transfer ordinance no. 7262 from Cathedral Rock of Florissant d/b/a Haven Meadows Care to Rancho Operator LLC d/b/a Rancho Rehab & Healthcare Center for the operation of a Nursing Home located at 615 Rancho Manor Lane.	Mark Rubin
Liquor (Ward 8) Application	Request for a Full Liquor by the Drink license for Dream Closet Boutique LLC located at 12767 New Halls Ferry Road.	Lacha Hughes

D. *BILLS FOR FIRST READING*

9715	Ordinance to rezone the property at 2925 N. Hwy 67 from B-3 “Extensive Business District” to B-5 “Planned Commercial District” for the location of a car wash.	Siam
9716	Ordinance to rezone the properties located at 1760, 1780, 1790 N. Hwy and 1615, 1645, 1675 N. New Florissant Rd. from B-3 “Extensive Business District” to B-5 “Planned Commercial District” to allow for site and building expansion.	Mulchay

9717	Ordinance to authorize a Special Use Permit to Simply Thai to allow for the operation of a sit-down, carry-out restaurant for the property located at 5 Paddock Hills Shopping Center in a B-3 “Extensive Business District”.	Mulcahy
9718	Ordinance authorizing a transfer ordinance of no. 7262 from Cathedral Rock of Florissant d/b/a Haven Meadows Care to Rancho Operator LLC d/b/a Rancho Rehab & Healthcare Center for the operation of a Nursing Home located at 615 Rancho Manor Lane.	Caputa
9719	Ordinance to authorize the Mayor of the City of Florissant to enter into an agreement with the St Louis County Board of Police Commissioners to allow officer Dan Biermann to serve as an instructor at the St. Louis County Police Academy.	Council as a whole
9720 Memo	Ordinance authorizing a transfer of total of \$45,000 from 03-5-03-50000 “Professional Services”, \$40,000 to 03-05-03-30010 “Vehicle Repair and Maintenance” and \$5,000 to 03-05-03-30011 “Vehicle Repair and Maintenance – Parks” to cover rising cost of repairs of city vehicles.	Schildroth
9721 Memo	Ordinance authorizing various transfers within the Park Improvement Fund for the parks department to cover end of year expenses.	Schildroth
9722 Memo	Ordinance authorizing various transfers within the General Revenue Fund for the parks department to cover end of year expenses	Schildroth
9723	Ordinance authorizing an amendment to Chapter 340 “Miscellaneous Driving Rules” Subsection 340.175 “Unauthorized Use of Motor Vehicles” to add a new subsection for the purpose of making it unlawful to lift door handles of vehicles without the owner’s permission.	Manganelli

IX. COUNCIL ANNOUNCEMENTS

X. MESSAGE FROM THE MAYOR

XI. ADJOURNMENT

THIS AGENDA WAS POSTED ON THE BULLETIN BOARD IN THE LOBBY AT CITY HALL AND ON THE CITY WEBSITE AT FLORISSANTMO.COM ON OCTOBER 8TH, 2021 BY 12:00 PM.

ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK BY NOON ON MONDAY, OCTOBER 11, 2021.

CITY OF FLORISSANT



COUNCIL MINUTES

September 13, 2021

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, September 13, 2021 at 7:00 p.m. with Council President Schildroth presiding. The Chair asked everyone in attendance to stand and join in reciting the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Siam, Harris, Manganelli, Caputa, Schildroth, Mulcahy, Pagano, and Parson. Also present was Mayor Timothy Lowery, City Clerk Karen Goodwin, and City Attorney John Hessel. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Parson moved to approve the City Council Minutes of August 23rd, 2021, seconded by Pagano. Motion carried.

The next item on the Agenda was *Hearing from Citizens* of which there were none.

The next item on the Agenda was *Proclamations*.

- Childhood Cancer Awareness Month

A proclamation was presented to Emily Dial by Mayor Lowery and Council President Schildroth for Childhood Cancer Awareness Month. Mayor Lowery and Councilman Schildroth thanked Ms. Dial for her work for the Florissant Community. Ms. Dial stated the Bennett Project is a non-profit which started in memory of her brother, Bennett, who passed from colon cancer at the age of 10. She noted the multiple events which take place around the community and encouraged each person to get involved to fight for the children with cancer.

The next item on the Agenda was *Communications* of which there were none.

The next item on the Agenda was *Public Hearings*.

The City Clerk reported that Public Hearing 21-08-024 for the request to rezone the property located at 600 Florland Drive from R-4 "Single Family Dwelling District" to B-3 "Extensive Business District" for the location of a child day care center. The Chair declared the Public Hearing to be open.

Tanisha Patterson, 9648 Olive Blvd Suite 446, stated she is wanting to keep the old Snow White Daycare in the same building and wants the property to be rezoned as a commercial property without a

31 need for a special use permit in the chance the property becomes damaged in any way. Councilman Eagan
32 stated the property is not conducive for a residential dwelling but does fit the need for a daycare and he
33 does not see any issues with changing the zoning. Ms. Patterson stated there would be a few updates to
34 the property since much of the property was grandfathered in and many things need to be brought up to
35 code as well as updated. She noted the castle would not be removed but updated to add to the property.

36 Being no further comments, Councilman Eagan made a motion to close the Public Hearing,
37 seconded by Siam. Motion carried.

38 The City Clerk reported that Public Hearing 21-08-025 for the request to amend section 405.245,
39 Subsection B “Screening and Berming” Paragraph 2 of the Florissant Zoning Code to require a personnel
40 accessway through new outside trash container enclosures. The Chair declared the Public Hearing to be
41 open.

42 Councilman Schildroth made a motion to continue the Public Hearing to the October 11, 2021
43 meeting, seconded by Pagano. Motion carried.

44 The Chair stated that the next item on the agenda was *Second Readings*.

45 Councilman Mulcahy moved Bill No. 9707 an Ordinance authorizing an amendment to Special
46 Use Ordinance no. 8693 to allow for changes to the Development Plan in a B-3 “Extensive Business
47 District” located at 1790 N. Hwy 67 and 1645 N. Florissant Rd be read for a second time, seconded by
48 Harris.

49 Councilman Mulcahy moved that Bill no. 9707 be read for a third time, seconded by Caputa.
50 Motion carried and Bill No. 9707 was read for a third time and placed upon its passage.

51 On roll call the Council voted: Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes,
52 Schildroth yes, Mulcahy yes, Pagano yes, and Parson yes.

53 Whereupon the Chair declared Bill No. 9707 to have passed and become Ordinance No. 8719.

54 Councilman Siam moved Bill No. 9708 an Ordinance authorizing an amendment to B-5
55 Ordinance no. 5733 to allow for changes to the Development Plan to allow for a customer pick-up area
56 located at 2341 N. Highway 67 be read for a second time, seconded by Pagano.

57 Councilman Eagan moved that Bill no. 9708 be read for a third time, seconded by Parson.
58 Motion carried and Bill No. 9708 was read for a third time and placed upon its passage.

59 On roll call the Council voted: Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes,
60 Schildroth yes, Mulcahy yes, Pagano yes, and Parson yes.

61 Whereupon the Chair declared Bill No. 9708 to have passed and become Ordinance No. 8720.

Councilman Schildroth moved Bill No. 9709 an Ordinance authorizing an amendment to Section 405.125 “B-3 Extensive Business District” to remove “Assembly Halls not associated with a church or school” as a Special Use be read for a second time, seconded by Eagan.

Councilman Schildroth moved that Bill No. 9709 be read for a third time, seconded by Caputa. Motion carried and Bill No. 9709 was read for a third time and placed upon its passage.

On roll call the Council voted: Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, and Parson yes.

Whereupon the Chair declared Bill No. 9709 to have passed and become Ordinance No. 8721.

The Chair stated the next item on the agenda was *Board Appointments* of which there were none.

Councilman Parson moved to accept the Mayor’s reappointment of Jerry Chancey, 445 Myrtle, to the Senior Commission with a term expiring on 8/27/2024. Seconded by Councilwoman Caputa, motion carried and the appointment was made.

Councilman Pagano moved to accept the Mayor’s appointment of Cortney Mitchell, 1435 Wadsworth, to the Youth Advisory Commission with a term expiring on 9/13/2024. Seconded by Councilwoman Mulcahy, motion carried and the appointment was made.

The Chair stated that the next item on the agenda was *Bills for First Reading*.

Councilman Eagan introduced Bill No. 9713 an Ordinance authorizing the rezoning of the property located at 600 Florland Drive from R-4 “Single Family Dwelling District” to B-3 “Extensive Business District” for the location of a child day care center was read for the first time.

Councilman Schildroth introduced Bill No. 9714 an Ordinance amending Chapter 125 “Personnel”, Article V “Complaints and Grievances” by deleting it in its entirety and replacing it with a new section was read for the first time.

Councilman Caputa moved that Bill No. 9714 be read for a second time, seconded by Eagan. Motion carried and Bill No. 9714 was read for a second time.

Councilman Parson stated his support of the police department and their work for the city, however he believes the Law Enforcement Bill of Rights from the State of Missouri is problematic and it undermines the purpose of the Citizen’s Police Review Board. He noted the purpose is to receive and investigate complaints of the public against police officers. Mr. Parson stated his concern of having personal information of the complainant filed with the report and potentially reduce the number of people who will feel comfortable making a complaint.

Councilman Schildroth moved that Bill No. 9714 be read for a third time, seconded by Eagan. On roll call the Council voted: Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, and Parson yes. Having received a unanimous vote of all members present Bill No. 9714 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

Robert Smith, 2823 Chapelview Dr, confirmed the new section to be used as a replacement was the section included in the packet.

Being no persons who wished to speak, on roll call the Council voted: Siam yes, Harris yes, Manganelli yes, Eagan yes, Caputa yes, Schildroth yes, Mulcahy yes, Pagano yes, and Parson yes.

Whereupon the Chair declared Bill No. 9714 was passed and became Ordinance No. 8722.

The next item on the Agenda was *Council Announcements*.

Councilman Manganelli reminded residents on September 23 of a Ward 2 gathering with a food truck and a chance for people to sign up for Neighborhood Watch. Mr. Manganelli noted the Florissant Food Truck nights would be taking place at the Knights of Columbus grounds on October 8th from 5pm to 8pm.

Councilman Eagan thanked the laborers on the council and in the city to maintain the country. Mr. Eagan noted Patriot's Day took place and thanked all the first responders especially the families who lost someone in the attack on 9/11. He also welcomed his newest grandson Elijah Harold and congratulated his daughter and son in law.

Councilman Harris thanked first responders for their sacrifice. Mr. Harris stated the Fiesta Florissant will be taking place on October 2 - 3 at the Knights of Columbus grounds and is a great family experience. He wished his daughter a Happy 12th Birthday.

Councilman Parson announced the Light the Darkness Glow Run would be taking place on September 18th at 7:15pm. He stated there would be a 5k and 1-mile walk and the run would benefit Suicide Awareness.

Councilman Caputa wished the United States Air Force a happy birthday on September 14th noting the USAF is 74 years old. He reminded residents to secure firearms in their home and trash dumpsters have been left out on other days which are not trash days.

Councilman Schildroth thanked the VFW for the well-attended 9/11 remembrance ceremony. He noted the Fall Festival would take place on October 10th, but the chili cook-off would not be taking place. Mr. Schildroth offered his condolences to the family of Larry Hassenfrantz, who passed away last week

123 and would be greatly missed. He noted Larry and his family became friends during his campaigning in
124 2005.

125 The next item was *Mayor Announcements*.

126 Mayor Lowery acknowledged Matt Sanders, St. Baldrick's Association, and thanked him for
127 everything he does for childhood cancer. He reminded residents of the Senior Town Hall meeting at the
128 Eagan Center on September 16th from 9am to 11am. Mayor Lowery stated the next Wednesday night out
129 would be September 22nd and a plaque dedication would take place prior to for the late Albert "Bud"
130 Gettemeier at the 800 block of St. Francois Street.

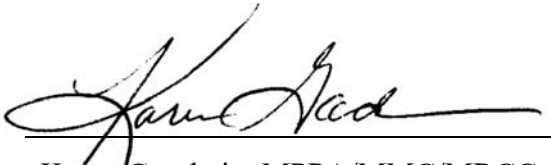
131 The Council President reminded everyone the second September meeting for September 27th was
132 cancelled.

133 The Council President stated that the next regular City Council Meeting will be Monday, October
134 11, 2021 at 7:00 pm.

135 Councilman Parson moved to adjourn the meeting, seconded by Siam. Motion carried. The
136 meeting was adjourned at 7:33 p.m.

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Karen Goodwin, MPPA/MMC/MRCC
City Clerk

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141 The following Bills were signed by the Mayor:

142 Bill No. 9707 Ord. No. 8719

143 Bill No. 9708 Ord. No. 8720

144 Bill No. 9709 Ord. No. 8721

145 Bill No. 9714 Ord. No. 8722

CITY OF FLORISSANT

Public Hearing



In accordance with Article 11, Section 11.3 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, September 13, 2021 at 7:00 p.m. on the following proposition:

To amend Section 405.245, Subsection B “Screening and Berming”, paragraph 2 of the Florissant Zoning Code to require a personnel accessway through new outside trash container enclosures. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

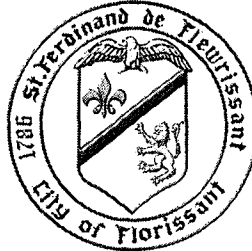
RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

SIGN.

DATE:

8-16-21

MEMORANDUM



CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners

Date: August 11, 2021

From: Philip E. Lum, AIA-Building Commissioner c:

Todd Hughes, P.E.,
Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request **Recommended Approval** to change the Zoning Code to amend Section 405.245, Subsection B "Screen and Berming", subparagraph 2, to require a personnel accessway through new outside trash container screens.

STAFF REPORT
CASE NUMBER PZ-081621-3

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** to change the Zoning Code to amend Section 405.245, Subsection B "Screen and Berming", subparagraph 2, to require a personnel accessway through new outside trash container screens.

II. EXISTING SITE CONDITIONS:

All new.

III. SURROUNDING PROPERTIES:

n/a

IV. STAFF ANALYSIS:

The proposed addition to the screening code is suggested by staff. The current screening requirement in the Zoning Code is as follows:

"B. Screen And Berming.

1. In "B-1," "B-2," "B-3," "B-4," "B-5," "R-5," and "R-6" zoning districts, all outside trash and grease containers, HVAC units, electric equipment, telephone equipment, gas meters and rooftop mechanical apparatus shall be adequately screened with appropriate materials or landscaping to conceal the visibility of the object from the right-of-way and from neighboring residentially zoned property. The Planning and Zoning Commission may waive the screening requirements for electric equipment, telephone equipment and gas meters if such screening due to configuration and layout of the building would violate the utility clearance requirements for these items. For the purpose of this Section a "trash container" is any container that is over ninety-five (95) gallons in size and which is not used for public use. However, property that has existing grease containers or trash containers that are over ninety-five (95) gallons in size and is not used for public use on the exterior of the building shall meet the screening requirements set forth herein by September 1, 2009.

Ord. No. 8323 § 2, 6-12-2017

2. Screening for outside trash containers shall be of a material that matches or is compatible with the building.

3. Rooftop screening shall be made of a material and color that will blend with the building architecture."

Staff struggles to enforce the closing of trash enclosure gates when installed and recommends that such gates in future are self-closing.

The provision of a man-doors or accessways in addition to gates for the trash truck will help keep trash and containers out of sight.

Staff supports the addition of the following changes:

Screening for outside trash containers shall be of a material that matches or is compatible with the building:

- Screening components shall have an opacity of 90% minimum.
- Gates for trash screens shall be self closing and lockable.
- Provision of a personnel accessway in addition to vehicle gates that allows staff to enter a trash enclosure without operating vehicle gates for the purpose of using the dumpster. Man doors or gates shall be self closing. Locked trash enclosures inhibit unauthorized use of dumpsters.

VI. STAFF RECOMMENDATIONS:

Suggested Motion:

I move to **Recommended Approval** to change the Zoning Code to amend Section 405.245, Subsection B "Screen and Berming", subparagraph 2, to require a personnel accessway through new outside trash container screens, replacing subparagraph 2 with the following:

- All
2. Screening for outside trash containers shall be of a material that matches or is compatible with the building. Screening components shall have an opacity of 90% minimum. ~~and an accessway~~
- a. ~~Gates for~~ trash screens shall be self closing and lockable.
- b. For screened enclosures: Provide an accessway ~~in addition to vehicle gates~~ that allows personnel to enter a trash enclosure without operating vehicle gates. ~~Man doors or gates shall be self closing.~~
- Access way

(End of report and suggested motion)

CITY OF FLORISSANT

Public Hearing

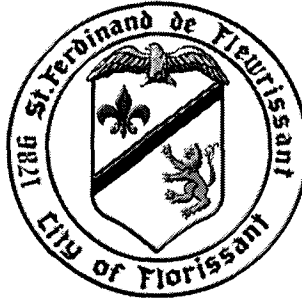


In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, October 11, 2021 at 7:00 p.m. on the following proposition:

To rezone the property located at 2925 N Highway 67 (formerly Denny's) from 'B-3' Extensive Business District to a 'B-5' Planned Commercial District for the location of a new car wash. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DISTRICT



PLANNING & ZONING ACTION:

Address of Property:

2925 N. Highway 67 (Lindbergh Blvd.)

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward _____ Zoning _____

SIGN.

DATE:

9-7-2021

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zoning & date filed

PETITION FOR A B-5 RE-ZONING:

1) Comes Now Boing US Holdco, Inc. a Delaware corporation

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Lessee (copy of lease submitted with application)

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 1.09

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B3 District and is presently being used for: Vacant building, previously used for restaurant

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following purpose to justify the re-zoning to a B-5:

Construction of an automated express car wash facility

List purpose for this request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Boing US Holdco, Inc.
 PETITIONER(S) SIGNATURE (S) Print Name By: Scott O'Melia
 FOR Boing US Holdco, Inc.
 (company, corporation, partnership)
 8D7C02EDB40D48C...
 Scott O'Melia, Executive VP

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or LLC Managing PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
 () I (we) have a legal interest in the herein above described property.
 (X) I am (we are) the duly appointed agent(s) of the petitioner (s), and
 that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE [Signature]
 ADDRESS 1101 Central Expressway S., Suite 215 Allen Texas 75013
 STREET CITY STATE ZIP CODE
 TELEPHONE NUMBER (469) 270-3758

BUSINESS Kyle Flaming
 I (we) the petitioner (s) do hereby appoint Boing US Holdco, Inc. as
 my (our) duly authorized agent to represent me (us) in regard to this petition.

Print name of agent.
 By: Scott O'Melia
 8D7C02EDB40D48C...
 Signature of Petitioner(s) or Authorized Agent
 Scott O'Melia, Executive VP

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐ Partnership: ☐ Corporation/LLC: ☒

(a) If an Individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a Partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a Corporation or LLC:

- (1) Names & addresses of all partners Jonathan Fitzpatrick, CEO
- (2) Telephone numbers (704) 377-8855
- (3) Business address 440 South Church St., Ste. 700, Charlotte, NC 28202
- (4) State of corporation & a photocopy of incorporation papers DE - Corporate documents submitted with application
- (5) Date of corporation Incorporated 07/28/2015 in Delaware
- (6) Missouri Corporate Number Qualification in Missouri pending with Missouri Sec. of State's Office
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. Pending application with the Missouri Secretary of State's Office
- (8) Name in which business is operated Take 5 Car Wash Express
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Boing US Holdco, Inc.

Address 440 S. Church St., Ste. 700, Charlotte NC 28202

Property Owner National Retail Properties, LP

Location of property 2925 N. Highway 67 (Lindbergh Blvd.)

Dimensions of property 311' x 162' (1.08 acres)

Current Use of Property Vacant building

Proposed Use of Property Automated Express Car Wash

Type of Sign _____ Height _____

Type of Construction Type III-B Number Of Stories 1

Square Footage of Building 4219 sf Number of Curb Cuts 1. using existing curb cut

Number of Parking Spaces 21 Sidewalk Length _____

Landscaping: No. of Trees 5 Diameter 2.5

No. of Shrubs 67 Size 3 gals and 5 gals

Fence: Type none Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

1) a. Uses - Are uses stipulated _____ Yes / No

b. What current District would this proposal be a permitted use: _____

c. Proposed uses for out lots: _____

2) Performance Standards:

a) Vibration: Is there any foreseen vibration problems at the property line? _____ Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? _____ Yes / No

c) Odor is there any foreseen problem with odor? _____ Yes / No

d) Smoke: Will the operation emit any smoke which could
exceed a density described as No. 1 on the Ringleman Chart? _____ Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? _____ Yes / No

f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? _____ Yes / No

g) Is there any dangerous amount of radiation produced from the operation? _____ Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? _____ Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? _____ Yes / No

j) Is buildings screened from adjoining residential? _____ Yes / No

3) Are height of structures shown? _____ Yes / No

4) Are all setbacks shown? _____ Yes / No

5) Are building square footages shown? _____ Yes / No

6) What is the exterior construction of the buildings? _____

7) Is off street loading shown? _____ Yes / No

8) Parking:

a) Does parking shown meet the ordinance? _____ Yes / No

b) Is a variance required in accordance with the ordinance? _____ Yes / No

c) Ratio shown _____ to _____

d) Total Number _____

e) Will cross access and cross parking agreements be required? _____ Yes / No

f) Is the parking lot adequately landscaped? _____ Yes / No

9) Are there any signs? _____ Yes / No

Number of signs shown _____

Type of Signs _____

Are sizes, heights, details, and setbacks shown? _____ Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? _____ Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or
all tree masses and proposed landscaping shown? _____ Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient handicapped access? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

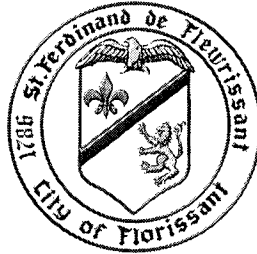
- 25) Staff Comments: _____

Date Application reviewed

Building Commissioner or Staff Signature

1

MEMORANDUM



2
3
4
5
6
7

CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

8 To: Planning and Zoning Commissioners Date: September 1, 2021

9
10 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.
11 Director Public Works
12 Deputy City Clerk
13 Applicant
14 File

15
16 Subject: Request **Recommended Approval** of a 'B-5' Rezoning at 2925 N
17 Highway 67 (Take 5 Carwash) in an existing 'B-3' Zoning District.
18

19
20
21

STAFF REPORT

CASE NUMBER PZ-090721-3

22 I. **PROJECT DESCRIPTION:**

23 This is a request recommended approval to Re-zone to a B-5 Zoning district to allow for
24 a new car wash in existing B-3 District.
25

26 II. **EXISTING SITE CONDITIONS:**

27 The existing property at **2925 N. Highway 67** is a vacant restaurant (and was formerly
28 Denny's).
29

30 The existing building on the property is proposed to be removed. The property consists
31 of existing parking areas to be removed. There is an existing parking area in the front of
32 the existing Building which wraps around the east side of the building to the rear.
33

34 III. **SURROUNDING PROPERTIES:**

35 The adjacent property to the West is an access drive to 14249 New Halls Ferry, a Self-
36 Storage Facility in a B-5 District. There is one property to the North and East at 3025 N.
37 Highway 67 in a B-5 District.
38
39

40 **IV. STAFF ANALYSIS:**

41 The application is accompanied by professionally prepared plans: Survey Sheet 1 of 1
42 dated 5/20/21, Site Plan C-100, C-300, C-310, C-600, Landscape Plan LP-1 , LP-2 all
43 dated 08/06/21 by JM Civil, Floor Plan and Elevations dated 8/12/21 and lighting Plan
44 dated 8/16/21. The Petitioner has proposed a conveyor-style car wash of concrete
45 architectural block, metal panels with lighting accents. The following are Staff
46 comments on the plans:

- 47
- 48 • Survey Sheet 1 of 1: shows existing facility, parking, lighting and sign.
 - 49 • Site Plan C-100: Building area 4164 s.f., double queue and double dumpster area,
50 vacuum locations and counterclockwise vehicle circulation. Building height
51 listed as 27'-3". Parking required is only for 5x capacity of wash for stacking.
52 Parking provided 22 shown on plan.
 - 53 • C-300: partial grading
 - 54 • C-310: partial grading
 - 55 • C-600: utility and drainage concept plan shown.
 - 56 • Landscape Plan LP-1 & 2 appear to meet 405.245 requirements Building
57 perimeter +/- 340 LF/5= about 68 shrubs, 67 shown. Frontage trees 3 and large
58 planted islands provided.
 - 59 • Floor Plan: shows wash bay, equipment and one small office, exterior restroom.
 - 60 • Elevations: Zero masonry as defined in 500.040, 2 color block 2 colors metal and
61 noted paint on precast concrete.
 - 62 • Photometric Plan indicates range from about 1.5 to 3 footcandles.
- 63

64 **VI. STAFF RECOMMENDATIONS:**

- 65
- 66 1. If recommended approval is granted, the attached suggested motion shall establish
67 regulations within this district.
- 68

69 **Suggested Motion for 2925 N Highway 67 (Take 5 Car Wash):**

70

71 I move to recommend approval to amend the B-5, as depicted by the attached
72 drawings plans Site Plan C-100, C-300, C-310, C-600, Landscape Plan LP-1 , LP-
73 2 all dated 08/06/21 by JM Civil, Floor Plan and Elevations dated 8/12/21 and
74 lighting Plan dated 8/16/21, subject to the regulations of a 'B-5' Planned
75 Commercial District, with permitted uses allowed being a car wash, those within
76 the B-3 "Extensive Business District" without a Special Permit, and the following
77 additional requirements:

78

79 **1. PERMITTED USES**

80 The uses permitted for this property shall be limited to car wash, those within
81 the B-3 "Extensive Business District" without a Special Permit. Other uses
82 than those permitted shall require approval by amendment to this 'B-5'
83 Ordinance.

84

85 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

86 The building space shall be limited to a single story 4164 SF car wash, with
87 uses permitted within the B-3 "Extensive Business District" without a Special
88 Permit.
89

90 3. PERFORMANCE STANDARDS

91 In addition to all other requirements, uses within the "B-5" Planned
92 Commercial District shall conform to the most restrictive performance
93 standards as follows:

- 94 1. Vibration. Every use shall be so operated that the maximum
95 ground vibration generated is not perceptible without instruments
96 at any point on the lot line of the lot on which the use is located.
- 97 2. Odor. Every use shall be so operated that no offensive or
98 objectionable odor is perceptible at any point on the lot line on
99 which the use is located.
- 100 3. Smoke. Every use shall be so operated that no smoke from any
101 source shall be emitted of a greater density than the density
102 described as No. 1 on the Ringelmann Chart as published by the
103 United States Bureau of Mines.
- 104 4. Toxic gases. Every use shall be so operated that there is no
105 emission of toxic, noxious or corrosive fumes or gases.
- 106 5. Emission of dirt, dust, fly ash and other forms of particulate matter.
107 Emission of dirt, dust, fly ash and other forms of particulate matter
108 shall not exceed eighty-five one-hundredths (0.85) pounds per one
109 thousand (1,000) pounds of gases of which amount not to exceed
110 five-tenths (0.5) pound per one thousand (1,000) pounds of gases
111 shall be of such size as to be retained on a 325-mesh U.S. standard
112 sieve. In the case of emission of fly ash or dust from a stationary
113 furnace or a combustion device, these standards shall apply to a
114 condition of fifty percent (50%) excess air in the stack at full load,
115 which standards shall be varied in proportion to the deviation of
116 the percentage of excess air from fifty percent (50%).
- 117 6. Radiation. Every use shall be so operated that there is no
118 dangerous amount of radioactive emissions.
- 119 7. Glare and heat. Any operation producing intense glare or heat
120 shall be performed in an enclosure in such a manner as to be
121 imperceptible along any lot line.
- 122 8. Screening.
 - 123 a. All mechanical equipment, air-handling units, cooling towers,
124 condensers, etc., on roof or grade shall be screened architecturally
125 in such a manner as to be a part of the design of the building.
 - 126 b. Incinerators and stacks shall be enclosed in the same material as
127 the main exterior building material.

128 4. TRASH ENCLOSURES

129 Trash container shall be kept within a gated sight-proof area and both shall
130 incorporate a man-door or accessway, self closing protective and lockable.
131

132
133
134 **5. PLAN SUBMITTAL REQUIREMENTS**

135 Final Development Plan shall include improvements as shown on
136 drawings attached, including entire property, trash enclosures, landscape,
137 lighting and legal description.
138
139

140 **3. SITE DEVELOPMENT PLAN CRITERIA:**

141 a. Height, Area And Bulk Restrictions:

142 1. Height, Area And Bulk Regulations. The height, area and bulk
143 regulations for uses in the "B-3" Extensive Commercial District
144

145 b. Internal Drives:

146 (1) There shall be parking as shown on plans attached.
147

148 c. Minimum Parking/Loading Space Requirements.

149 (1) There shall be a minimum of **22** parking spaces provided on the
150 property.
151

152 d. Road Improvements, Access and Sidewalks (not applicable)
153

154 e. Lighting Requirements.

155 Lighting of the property shall comply with the following standards and
156 requirements:

157 (1) The light level for parking lot lighting shall be as shown on attached
158 photometric plan.

159 (2) All site lighting and exterior building lighting shall be directed down
160 and inward
161

162 f. Sign Requirements.

163 (1) All signage shall comply with the City of Florissant sign ordinance for
164 commercial districts.
165

166 g. Landscaping and Fencing.

167 (1) Any modifications to the landscaping plan shall be reviewed and
168 approved by the Planning and Zoning Commission.

169 (2) An automatic permanent irrigation system shall be designed and
170 installed to cover all landscaped areas.
171

172 h. Storm Water.

173
174 Storm Water and drainage facilities shall comply with the following
175 standards and requirements:

176 (1) The Director of Public Works shall review the storm water plans to
177 assure that storm water flow will have no adverse affect the
178 neighboring properties.

179 (2) No building permits shall be issued until the storm water plan has been
180 approved by the St. Louis Metropolitan Sewer District.

181
182 i. Miscellaneous Design Criteria.

183 (1) All applicable parking, circulation, sidewalks, and all other site design
184 features shall comply with the Florissant City Code.

185
186 (2) All dumpsters and grease containers shall be contained within a trash
187 enclosure with gates compatible with existing building.

188
189 (3) All storm water and drainage facilities shall be constructed, and all
190 landscaping shall be installed, prior to occupancy of the building,
191 unless remitted by the Director of Public Works due to weather related
192 factors.

193
194 (4) All mechanical equipment, electrical equipment, and communication
195 equipment shall be screened in accordance with the Florissant Zoning
196 Code.

197
198 (5) The exterior design of the buildings shall be constructed in accordance
199 with the renderings as approved by the Florissant Planning and Zoning
200 Commission and attached hereto.

201
202 (6) All other requirements of the Florissant Municipal Code and other
203 ordinances of the city shall be complied with unless otherwise allowed
204 by this ordinance.

205
206
207 **7. FINAL SITE DEVELOPMENT PLAN**

208 A final site development plan shall be submitted to the Building
209 Commissioner to review for compliance with the applicable "B-5"
210 Planned Commercial Development ordinance prior to recording. Any
211 variations from the ordinance approved by the City Council and/or the
212 conceptual plans attached to such ordinance shall be processed in
213 accordance with the procedure established in the Florissant Zoning Code.

214
215 **8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

216 Any changes to the approved plans attached hereto must be reviewed by the
217 Building Commissioner. The Building Commissioner shall make a determination
218 as to the extent of the changes per the following procedure:

- 219
220 1. The property owner or designate representative shall submit in writing a
221 request for an amendment to the approved plans. The building

commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.

2. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City Council.
3. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
4. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
5. Determination of major changes: If the Building Commissioner determines that an amendment to the B-5 is not required but the changes are major in nature, then the owner shall submit an application for review and approval by the Planning and Zoning commission.

9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

10. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

9. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

(end report and suggested motion)

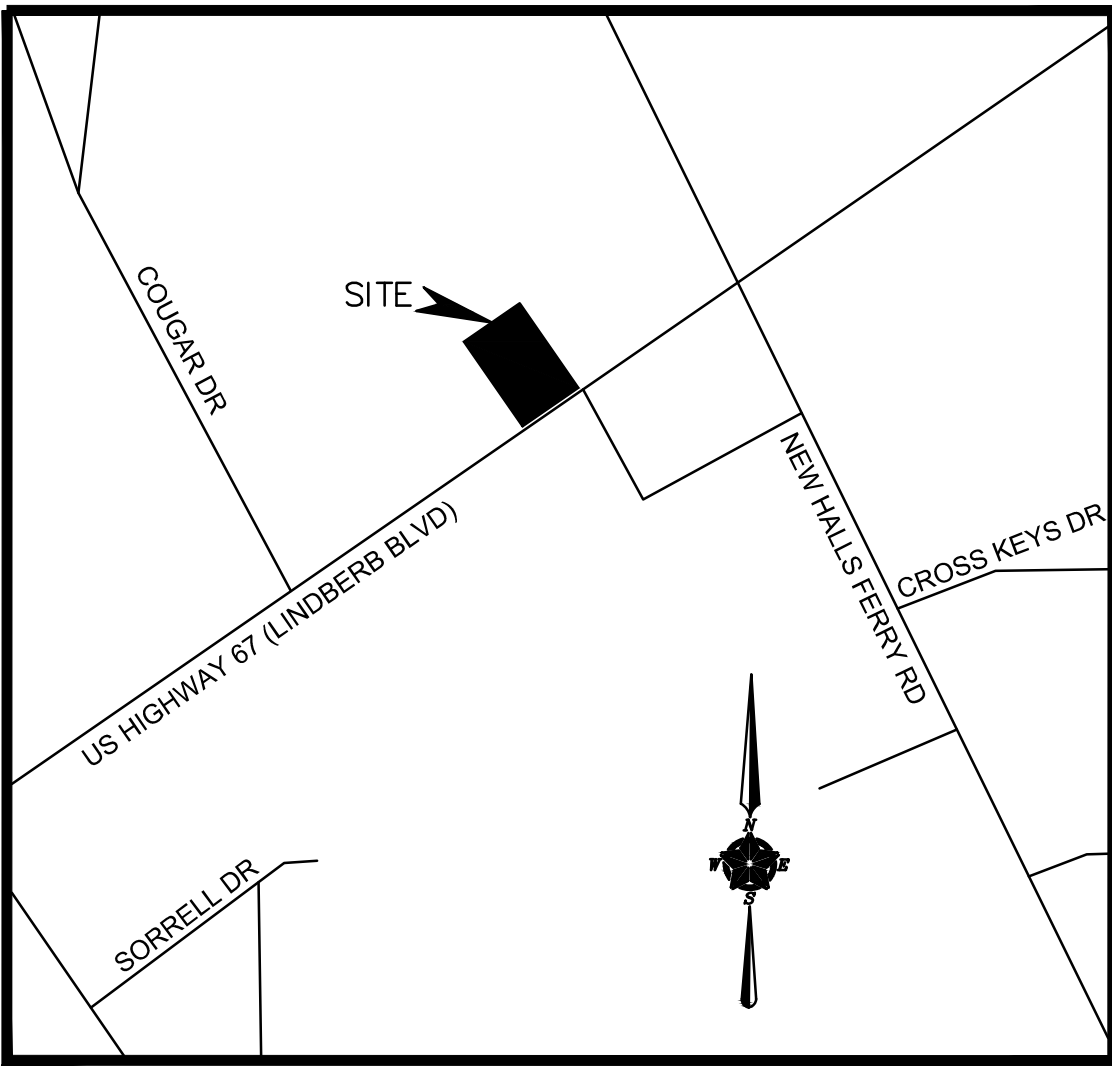
CAUTION NOTICE TO CONTRACTOR
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 7 DAYS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES HORIZONTALLY AND VERTICALLY WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

BENCHMARKS
P.K. NAIL SET
N=1,083,407.84 E= 877,130.22
ELEVATION=537.51'

CONTOURS WERE DERIVED FROM RANDOM SHOTS AND CROSS SECTIONS AND ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS TOGETHER WITH AN OPUS SOLUTION, DATED 5/20/2021 (NAVD88,GEIOD18).

FLOODNOTE
ACCORDING TO THE F.I.R.M. NO. 29189C0066K, THE SUBJECT PROPERTY LIES IN ZONE X AND DOES NOT LIE WITHIN A FLOOD PRONE HAZARD AREA, PER MAP REVISION DATED FEBRUARY 4, 2015.

SITE DATA TABLE		
LOCATION:	2925 N HIGHWAY 67 FLORISSANT, MO 63033	
LOT AREA:	1.086 AC. (47,286 S.F.)	
ZONING:	ZONING – B3 -> B5	
CURRENT USE:	RESTAURANT	
PROPOSED USE:	CAR WASH	
BUILDING DATA:		
BUILDING AREA	4,164 S.F.	
BUILDING HEIGHT	27'–3" (1 STORY)	
BUILDING COVERAGE	8.81%	
F.A.R.	0.09:1	
PARKING SUMMARY:		
NO MINIMUM PARKING REQMNTS	REQUIRED	PROVIDED
VACUUM SPACES (15'x19')	N/A	14
PARKING SPACES (9'x19')		5
ACCESSIBLE SPACES	1	2
TOTAL SPACES	1	21
LANDSCAPE:		
PERVIOUS:	14,713 S.F.	
IMPERVIOUS:	32,573 S.F.	

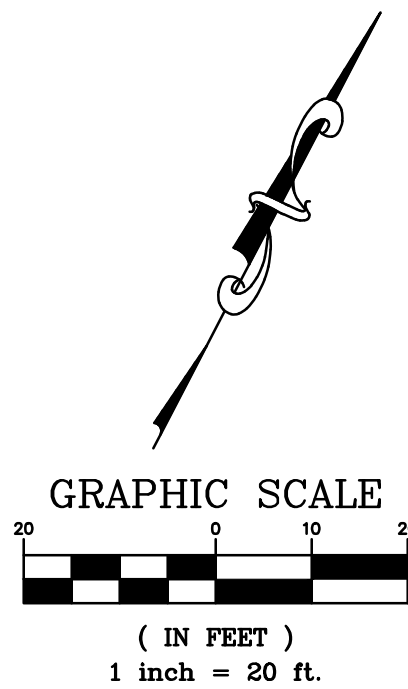


LOCATION MAP

NOT TO SCALE

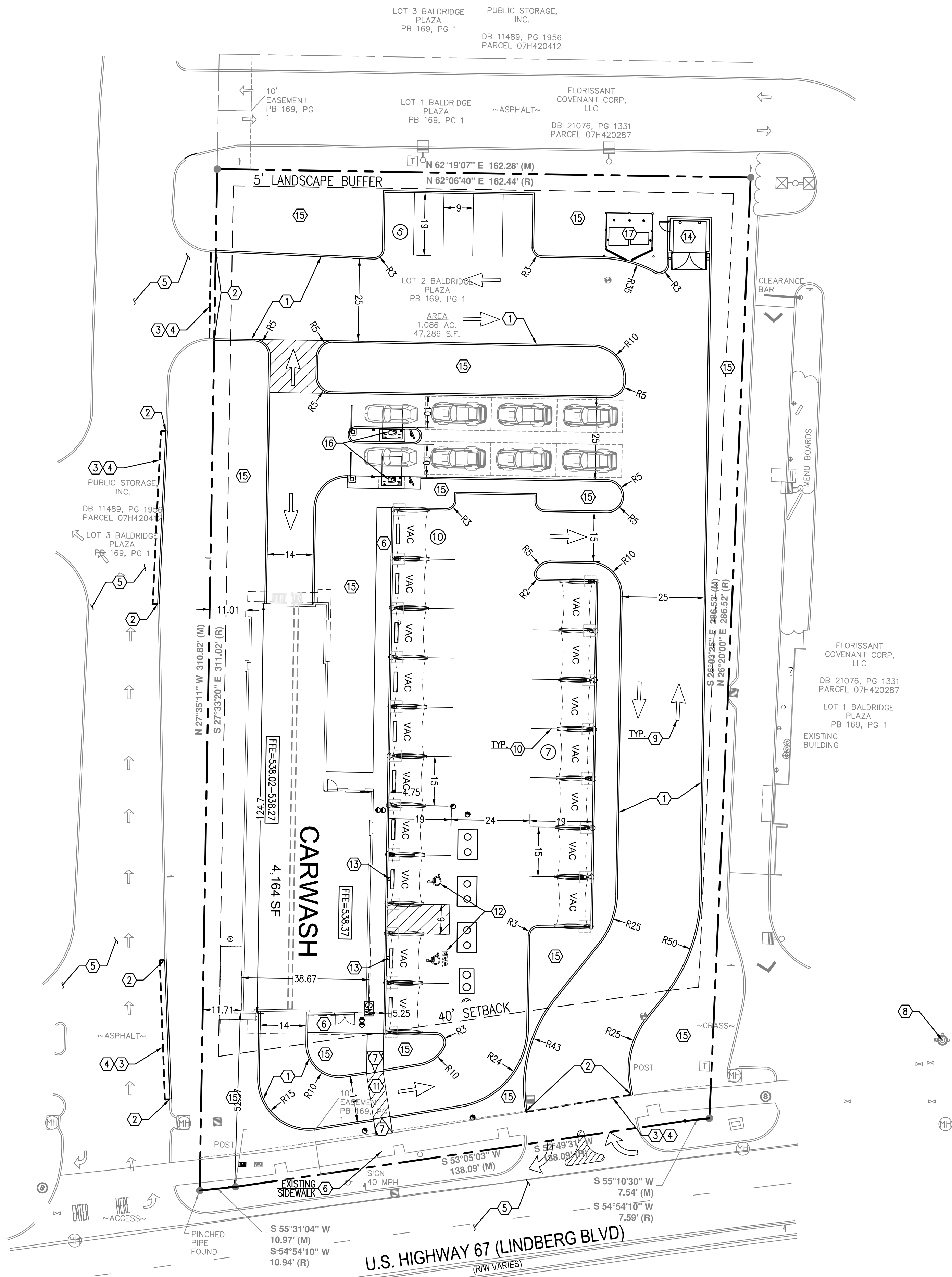
SITE LEGEND:

---	PROPERTY LINE	---	PROPOSED CURB & GUTTER
---	LIMITS OF FULL DEPTH SAWCUT	---	LIMITS OF FULL DEPTH SAWCUT
#	PARKING SPACES	⊕	LIGHT POLE
---	FIRELANE	□	BUILDING UP LIGHTS
STOP	STOP BAR STRIPING	■	AREA DRAIN
♿	ACCESSIBLE SPACES	⊙	GREASE TRAP
♿	ADA RAMP	⊙	CLEAN-OUT
⊙	BOLLARD	⊙	DOUBLE CLEAN-OUT
⊙	TRAFFIC SIGN	⊙	GAS METER
⊙	BOLLARD MOUNTED ACCESSIBLE SIGN	⊙	WATER METER
□	DIRECTIONAL SIGN	⊙	IRRIGATION METER
□	SPEAKER BOX	⊙	MANHOLE
---	MENU BOARD	---	CURB INLET



SITE KEY NOTES:

- 1 CONCRETE CURB. (PER LOCAL CODES)
- 2 TAPER CURB TO MATCH EXISTING.
- 3 MATCH EXISTING PAVEMENT ELEVATION.
- 4 LIMITS OF FULL DEPTH SAWCUT AND PAVEMENT REMOVAL
- 5 EXISTING PAVEMENT TO REMAIN.
- 6 CONCRETE SIDEWALK. 2% MAX. CROSS SLOPE AND 5% MAX. STRAIGHT SLOPE (PER LOCAL CODES).
- 7 SIDEWALK RAMP @ 8.33% MAX. (PER LOCAL CODES)
- 8 EXISTING FIRE HYDRANT.
- 9 DIRECTIONAL TRAFFIC ARROW. (PER LOCAL CODES)
- 10 PARKING STALL STRIPING. (PER LOCAL CODES)
- 11 PEDESTRIAN/ACCESSIBLE CROSSWALK STRIPING.
- 12 ACCESSIBLE STRIPING & SYMBOL. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- 13 ACCESSIBLE SIGNS. (TYPICAL-PER ADA AND LOCAL REQUIREMENTS)
- 14 DUMPSTER ENCLOSURE. (PER ARCH. PLANS)
- 15 LANDSCAPE AREA. (PER LANDSCAPE PLAN)
- 16 MENU BOARD AND SPEAKER BOX.
- 17 VACUUM BIN ENCLOSURE. (PER ARCH. PLANS)



JM CIVIL

1101 Central Expressway South
Suite 215
Allen, TX 75013
Ph. 214-491-1830
John Measels, PE
CIVIL ENGINEER

STATE OF MISSOURI
JOHN T. MEASELS
PROFESSIONAL ENGINEER
NUMBER
PE-2013006499

"FOR REVIEW ONLY"
08/06/2021

EXPRESS
5
CAR WASH

CAR WASH USA EXPRESS

2925 LINDBERGH BLVD (N HIGHWAY 67)
FLORISSANT, MO 63033

REV	DATE	DESCRIPTION	INITIAL	SUBMITTAL
1	08/06/21	INITIAL SUBMITTAL		

PROJECT NO: JM-17021024
DRAWN BY: JMCE
CHECKED BY: JMCE
ISSUE DATE: 08/06/21

SITE PLAN

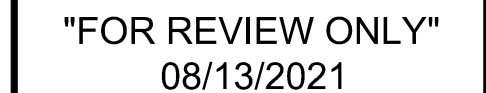
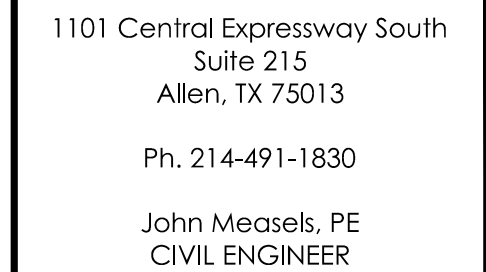
C 100

<p style="text-align: center;">BENCHMARKS P.K. NAIL SET N=1,083,407.84 E= 877,130.22 ELEVATION=537.51'</p> <p style="text-align: center;">CONTOURS WERE DERIVED FROM RANDOM SHOTS AND CROSS SECTIONS AND ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS TOGETHER WITH AN OPUS SOLUTION, DATED 5/20/2021 (NAVDS88,GEOD18).</p>

LEGEND:

	PROPERTY LINE		MANHOLE
	PROPOSED CURB & GUTTER		CURB INLET
	LIMITS OF FULL DEPTH SAWCUT		DRAINAGE SLOPE AND DIRECTION
	EXISTING CONTOUR		
	PROPOSED CONTOUR		
	ELECTRIC LINE		CLEAN-OUT
	GAS LINE		DOUBLE CLEAN-OUT
	FIRE LINE		GAS METER
			WATER METER
			IRRIGATION METER
			MANHOLE
			CURB INLET
			DRAINAGE SLOPE AND DIRECTION
	ADA RAMP		
	BOLLARD		
	TRAFFIC/ACCESSIBLE SIGN		
	DIRECTIONAL SIGN		
	SPEAKER BOX		
	MENU BOARD		
	LIGHT POLE		
	BUILDING UP LIGHTS		
	AREA DRAIN		

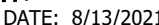
- ① SANITARY SEWER CLEAN-OUT.
- ② SANITARY SEWER DOUBLE CLEAN-OUT.
- ③ SANITARY SEWER SAMPLE PORT.
- ④ SANITARY SEWER WYE.
- ⑤ RECLAMATION TANKS. (PER ARCH./MEP PLANS)
- ⑥ SAND OIL INTERCEPTOR. (PER ARCH./MEP PLANS)
- ⑦ SANITARY SEWER LINE. (SEE NOTE FOR TYPE, SIZE AND SLOPE)
- ⑧ SANITARY SEWER POINT OF ENTRY. (PER MEP PLANS)
- ⑨ SANITARY SEWER POINT OF CONNECTION.
(CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION)
- ⑩ DOMESTIC WATER METER. (SEE NOTE FOR SIZE)
- ⑪ DOMESTIC WATER LINE. (SEE NOTE FOR SIZE)
- ⑫ DOMESTIC WATER LINE POINT OF ENTRY. (PER MEP PLANS)
- ⑬ DOMESTIC WATER LINE POINT OF CONNECTION.
- ⑭ IRRIGATION WATER METER. (SEE NOTE FOR SIZE)
- ⑮ IRRIGATION WATER LINE. (SEE NOTE FOR SIZE)
- ⑯ IRRIGATION WATER LINE POINT OF CONNECTION.
- ⑰ M.J. BEND. (SEE NOTE FOR SIZE)
- ⑱ WATER VALVE. (SEE NOTE FOR SIZE)
- ⑲ REDUCED PRESSURE BACKFLOW PREVENTER.
- ⑳ EXISTING FIRE HYDRANT.
- ㉑ CONTRACTOR SHALL COORDINATE WITH WATER UTILITY DEPARTMENT
TO ENSURE THAT SERVICE IS NOT INTERRUPTED AT ANY TIME.
- ㉒ UNDERGROUND ELECTRIC LINE.
① COORDINATE WITH ELECTRIC COMPANY FOR CONDUIT SIZES)
- ㉓ METERING EQUIPMENT AND ELECTRIC LINE POINT OF ENTRY.
(PER MEP PLANS)
- ㉔ ELECTRIC LINE POINT OF CONNECTION.
- ㉕ UNDERGROUND TELEPHONE LINE ~ 2-1" CONDUITS.
(VERIFY SIZE WITH TELEPHONE COMPANY)
- ㉖ TELEPHONE LINE POINT OF ENTRY. (PER MEP PLANS)
- ㉗ TELEPHONE LINE POINT OF CONNECTION.
- ㉘ GAS METER.
- ㉙ GAS LINE. (PER GAS COMPANY STANDARDS)
- ㉚ GAS LINE POINT OF ENTRY. (PER MEP PLANS)
- ㉛ GAS LINE POINT OF CONNECTION.
- ㉜ MAINTAIN 2' VERTICAL SEPARATION.
- ㉝ SANITARY SEWER MANHOLE
- ㉞ CURB INLET
- ㉟ YARD INLET
- ㊱ 12" PVC STORM PIPE.
- ㊲ CONNECT TO EXIST INLET



CAR WASH USA EXPRESS
29295 LINDBERGH BLVD (N HIGHWAY 67)
FLORISSANT, MO 63033

PROJECT NO:	REV	DATE	DESCRIPTION	NAME
A-17071024		08/06/21	INITIAL SUBMITTAL	JACE
DRAWN BY:		08/13/21	CITY SUBMITTAL	JACE
JACE				
CHECKED BY:				
JACE				
ISSUE DATE:				
08/13/21				
UTILITY PLAN				

C 600



LANDSCAPE PLANTING

LP-1



THE CONTRACTOR SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESIGN DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE ENGINEER AND THE LANDSCAPE ARCHITECT DO NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).

2. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL, ELEVATED FINISH GRADE (NOT THE FINISH GRADE OF THE ADJACENT WALKS).

3. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN $\pm 0.1'$ OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTIONS REGARDING AREA AND GRADE.

4. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE SLOPES AWAY FROM THE ADJACENT WALKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND SLOPE PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.

5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (**BASED ON A SOIL TEST**, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.

6. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER THE FINISH GRADE IS ESTABLISHED, IS AT LEAST 1" ABOVE THE ADJACENT FINISH GRADE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.

7. INSURE THAT THE FINISH GRADE IN TREE AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.

8. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION AND CORRECTION.

9. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE DESIGNING AUTHORITY ARE MET (MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).

10. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT QUANTITIES SHOWN ON THE PLANS, AND THE PLANTING METHODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE PLANT AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT, IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VA PROPER CHANNELS).

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFERENCE TO THE SPECIFICATIONS FOR PLANTING METHODS SHALL BE USED TO DETERMINE THE PROTECTION PERIOD.

13. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR THE ACCEPTANCE OF THE LANDSCAPE. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES AND SPECIFICATIONS").



GENERAL

1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID CONTRACTOR'S LICENSE ISSUED BY THE APPROPRIATE LOCAL JURISDICTION.

WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE INSTALLATION, INSPECTION, AND MAINTENANCE OF ALL WORK SPECIFIED HEREIN AND/OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND ORDINANCES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, APPROVALS, INCLUSIONS, INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.

3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION ETC.) PRIOR TO THE START OF ANY WORK.

A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.

B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:

FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI B26-1.2014. PROVIDE WELL-SHAPED, FULLY DEVELOPED, HEALTHY PLANTS FREE FROM DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIFIC SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPE FOR THE SPECIES. ALL TREES MUST BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.

ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOLTED, FREE FROM CANCER, AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).

TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (B&B), UNLESS SPECIFIED OTHERWISE. PLANTING IN THE B&B SHALL BE AS FOLLOWS:

A. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF THE SAME SPECIES AND SIZE. THE B&B SHALL BE REJECTED IF THE PLANT IS DAMAGED, DEAD, OR UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE. SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL. ALL TREES SHALL BE REPLACED AT THE OWNER'S RISK, UNLESS OTHERS ARE SPECIFIED BY THE CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.

B. TREE MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.

C. TO MEASURE TRUNK THICKNESS, MEASURE THE THICKNESS 34" TO 1" EACH PALLET OF SOO SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOO.

D. SOO: PROVIDE WELL-ROOTED SOO OF THE VARIETY NOTED ON THE PLANS. SOO SHALL BE CUT FROM THE TRUNK OF THE PLANT, THICKNESS 3/4" TO 1", EACH PALLET OF SOO SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOO.

E. SEEDS: PROVIDE BAGS OF SPECIES AND VARIETIES AS NOTED ON THE PLANS, WITH MAXIMUM PERCENTAGE OF PURE SEED MINIMUM 90% PURE SEED. SEEDS SHALL BE ACCOMPANIED BY A TAG FROM THE SUPPLIER INDICATING THE COMPOSITION OF THE SEEDS.

F. TOPSOIL: SANDY TO LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2 INCH, FOREIGN MATERIAL, PLANTS, ROOTS, AND SEEDS.

G. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATERIAL, pH RANGE OF 5.5 TO 8, MOISTURE CONTENT 35 TO 45 PERCENT BY WEIGHT, 100 PERCENT PASSING 30-MESH 1/4-INCH SIEVE, SOLUBLE SALT CONTENT 5 TO 10 PERCENT BY WEIGHT, 100 PERCENT PASSING 30-MESH 1/4-INCH SIEVE, AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.

H. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING LABORATORY.

I. MULCH: SIZE AND TYPE AS INDICATED ON PLANS. FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS TO TOP DRESSING OF TREES AND SHRUBS.

J. TREE WRAPPING AND GUYING:

1. STAKES: 6' LONG GREEN NET, T-POSTS

2. GUY AND THE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER

3. STRAP CHAFING: RAMPED NYLON OR CANVAS AT STEEL WIRE 1-2 INCH TWISTED, 0.106 INCH DIAMETER

4. GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE

K. STEEL: PROFESSIONAL-PAN, GALVALUME, 24 GAUGE, 4 INCHES WIDE, FACTORY PAINT DARK GREEN. ACCEPTABLE MANUFACTURERS INCLUDE CO-MET OR APPROVED EQUAL.

L. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR USE ON TURF GRASS. PRE-EMERGENT HERBICIDES SHALL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABEL RATES.

A. SOIL PREPARATION

1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN ± 0.1 OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.

2. SOIL TESTING:

a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES TAKEN FROM THE PROJECT'S LANDSCAPE AREAS. THE CONTRACTOR SHALL SUBMIT THE TESTED LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE GRADING PLAN, THE CONTRACTOR SHALL CHOOSE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.

b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: FIELD TESTING FOR pH, ORGANIC MATTER, TOTAL CATIONICITY, TOTAL CATIONICITY, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.

c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.

d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL AREAS, OPTIMAL FERTILIZER RATES, TURF, TURF AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT OF THE PLANTING SPECIES.

3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:

a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-SMITHING:

i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.

ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.

iii. "CLAY BUSTER" OR EQUIV. - USE MANUFACTURER'S RECOMMENDED RATE

iv. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-SMITHING:

i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.

ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.

iii. "CLAY BUSTER" OR EQUIV. - USE MANUFACTURER'S RECOMMENDED RATE

iv. IRON SULPHATE - 2 LBS. PER CU. YD.

IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE AS SHOWN ON THE GRADING PLANS.

5. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN ± 0.1 OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INFORMATION REGARDING GRADING AND SURFACE PREPARATION.

6. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE PROPERLY PREPARED FINISH GRADES. THE CONTRACTOR SHALL SPECIFY IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRASSES AND ELIMINATE PONDING POTENTIAL.

7. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE APPLIED, AND THE FINISH GRADE. THE FINISH GRADES TO BE ESTABLISHED SHALL BE BASED ON A SOIL TEST, PER SPECIFICATIONS, AND THE FINISH GRADES TO BE ESTABLISHED.

8. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS AND OTHER WALKING SURFACES. IN TURF AREAS, THE FINISH GRADES, AS SPECIFIED ON THE GRADING PLANS, IN ORDER TO ALLOW FOR PROPER MULK DEPTH, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.

9. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH GRADE OF THE WALKS AND OTHER WALKING SURFACES. IN TURF AREAS, THE FINISH GRADES, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.

SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THE GRADING PLANS, AND THE FINISH GRADES, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.

ONCE THE PREPARATION OF THE FINISH GRADES IS COMPLETE, THE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE WORK COMMENCES. THE CONTRACTOR SHALL PROVIDE PHOTOGRAPHS, COLOR SAMPLES, AND PLANTING STOCK FOR SCALE PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, COMPOST, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES), AND OTHER AMENDMENTS FOR TREE/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE.

2. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE TRUNKS AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).

3. WITH MULTIPLE ITEMS SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.

1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES TO THE MANUFACTURERS RECOMMENDED RATES.
3. TRENCING NEAR EXISTING TREES:
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1'-1/2" AND LARGER IN DIAMETER WITHIN THE CRZ.
 - b. CRZ NOT ZONE (CRZ) OF EXISTING TREES, SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE ROOTS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1' FOR EVERY INCH OF TREE DBH. THE CRZ SHALL BE MAINTAINED TO A MINIMUM GRADE AT THE TRUNK.
 - c. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - d. AFTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER, WHERE TREE ROOTS 1'-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER ROOTS. WRAP OR PROTECT EXPOSED ROOTS WITH BURLAP AND KEYS. MAINTAIN CRZ.
 - e. CLOSURE ALL TRENCES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - f. EXPOSED ROOTS SHALL BE HAND CUT WITH SHARP TOOLS AND ALLOWED TO AIR DRY. DO NOT USE ANY SORT OF CHAIN OR WOUND PLANTS.

1. TREE PLANTING HOLES SHALL BE EXCAVATED TO MINIMUM WIDTH OF TWO TIMES THE WIDTH OF THE ROOTBALL, AND TO A DEPTH EQUAL TO THE DEPTH OF THE ROOTBALL LESS TWO TO FOUR INCHES.
2. THE SIDES OF THE HOLES SHALL BE CUT VERTICALLY TO PREVENT SLURRING OF SOIL. AFTER REMOVAL OF ANY GLAZING THAT MAY HAVE BEEN CAUSED DURING THE EXCAVATION OF THE HOLE FOR CONTAINER AND BOX TREES, TO REMOVE ANY POTENTIALLY GIRDLING ROOTS AND OTHER OBSTRUCTIONS TO THE CONTAINER, THE CONTAINER SHALL BE REMOVED AND THE ROOTBALL SHALL BE PLACED IN THE ROOTBALL OF ALL TREES JUST BEFORE PLACING INTO THE PLANTING PIT. DO NOT 'TEASE' ROOTS OUT OF THE ROOTBALL.
3. IN THE TREE PLANTING DISTURBED SUBGRADE SO THAT THE TOP OF THE ROOTBALL IS TWO TO FOUR INCHES ABOVE THE SURROUNDING GRADE.
4. BACKFILL THE TREE HOLE UTILIZING THE EXISTING TOPSOIL, FROM ON-SITE. ROCKS LARGER THAN 1" SHALL BE REMOVED FROM ALL OTHER LAYERS OF SOIL. BACKFILLING FROM THE SOIL PRIORITY TO THE BACKFILL SHALL BE REQUIRED TO ACCOMPLISH THIS TASK. USE STORED TOPSOIL, FROM ON-SITE OR IMPORTED, ADDITIONAL TOPSOIL FROM ANOTHER SOURCE AT NO ADDITIONAL COST TO THE GROWER. IMPORTED TOPSOIL SHALL BE USED FOR ALL EXTERNAL CULCIVATIONS.
5. TREES SHALL NOT BE STAKED UNDER LOCAL CONDITIONS (SUCH AS HEAVY WINDS OR SLOPES). STAKE STAKES TO KEEP TREES UPRIGHT. STAKING STAKES BE REQUIRED TO THE TOP OF THE NUMBER OF STAKES (BEYOND FOUR) TO BE STAKED TO THE TOP OF THE TREE. STAKES SHALL BE PLACED AT THE CONTRACTOR'S DISCRETION. SHOULD ANY TREES FALL OR BECOME, THE LANDSCAPE CONTRACTOR SHALL STRAIGHTEN THEM OR REMOVE IT. IF IT SHOULD IT LEAVE DAMAGED, TREE STAKING SHALL ADHERE TO THE FOLLOWING GUIDELINES:

B. 2-1/2" x 4" TREES THREE STRAKES PER TREE
C. TREES OVER 4" CALIPER GUY AS NEEDED
D. MULTI-TRUNK TREES STAKE STRAKER TRIM MINIMUM, QUANTITY AND POSITIONS AS NEEDED TO STABILIZE THE TREE

UPON COMPLETION OF PLANTING, CONSTRUCT AN EARTH WATERING BASIN AROUND THE TREE. COVER THE INTERIOR WITH MULCH OR SOIL MIXED WITH THE WEED BARRIER CLOTH AND TOPDRESS WITH MOULDED (TYPE AND DEPTH PER PLAN).

D. SHRUB, PERENNIAL, AND GROUNDCOVER PLANTING
DIG 1/2" DEEP HOLES TWICE AS LONG AND 2" LESS DEEP THAN EACH PLANT'S ROOTBALL. INSTALL THE PLANT IN THE HOLE. BACKFILL AROUND THE PLANT WITH SOIL AMENDED PER SOIL TEST RECOMMENDATIONS.

E. INSTALL THE WEED BARRIER CLOTH, OVERLAPPING IT AT THE ENDS. UTILIZE STEEL STAPLES TO KEEP THE WEED BARRIER CLOTH IN PLACE.

F. WHEN PLANTING IS COMPLETE, INSTALL MULCH (TYPE AND DEPTH PER PLANS) OVER ALL PLANTING BEDS, COVERING THE ENTIRE PLANT AREA.

G. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUT END SIDES AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
4. ROLL SOD TO INSURE GOOD CONTACT BETWEEN THE BOTTOM SURFACE OF THE SYSTEM WITH THE SOIL UNDERNEATH.
5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST ONE INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.

1. TURF HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - a. WINTER MIX (OCTOBER 1 - MARCH 31)
 - 50# CELLULOSE FIBER MULCH
 - 2# UNHULLED FESCUE SEED
 - 2# ANNUAL RYE SEED
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - b. SUMMER MIX (APRIL 1 - SEPTEMBER 30)
 - 50# CELLULOSE FIBER MULCH
 - 2# HULLED FESCUE SEED
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
2. SEED HYDROMULCH MIX (PER 1,000 SF) SHALL BE AS FOLLOWS:
 - a. GENERAL
 - 50# CELLULOSE FIBER MULCH
 - 15# 15-15-15 WATER SOLUBLE FERTILIZER
 - 2# HYDRA-GRASS SEED

1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH

1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
2. LEGALLY DISPOSE ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.

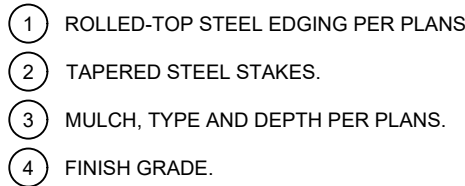
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND ADJACENT PROPERTIES.
2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL REPLACE AND/OR REPAIR THE REJECTED WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE THE FOLLOWING:

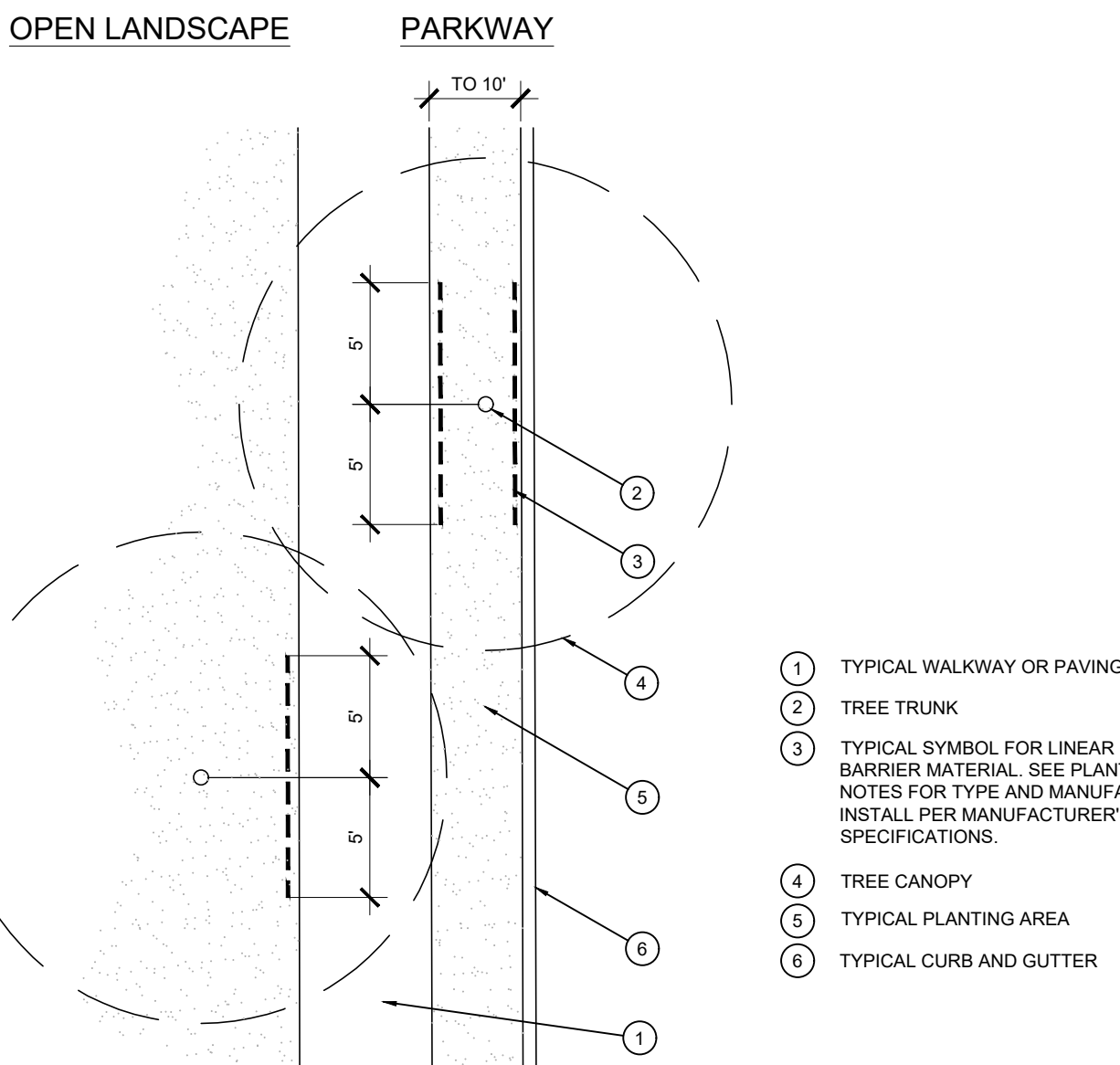
- a. LANDSCAPE MAINTENANCE SHALL INCLUDE THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTLING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWN, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, REPLANTING OF PLANTS THAT HAVE DIED, REPLACING OF PLANTS THAT ARE DEAD OR LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKSMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN GOOD WORKING ORDER, AND SHALL BE RESPONSIBLE FOR THE ACTION TO MAXIMIZE WATER CONSERVATION.
- b. SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL PROVIDE WATER FOR SEEDLING AND PLANTS AND OBTAIN A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
- c. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST BE MET:

- a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY); ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANTS AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
- b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
- c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1/12 INCHES BEFORE PRIOR TO MOVING PLANTS TO ADJACENT AREAS. ACTIVE, HEALTHY GROWTH, BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDD OR RESEEDD (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE ACTIVELY MOWED.

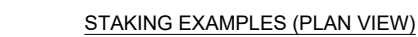
THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDING/HYDROMULCHED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE OF THE PROJECT. IF ANY PLANT OR IRRIGATION SYSTEM FAILS TO REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY, AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS. THE CONTRACTOR'S LIABILITY FOR SUCH DAMAGE CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A MINIMUM OF (2) COPIES OF RECORD DRAWINGS SHALL BE MAINTAINED BY THE CONTRACTOR AND DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.



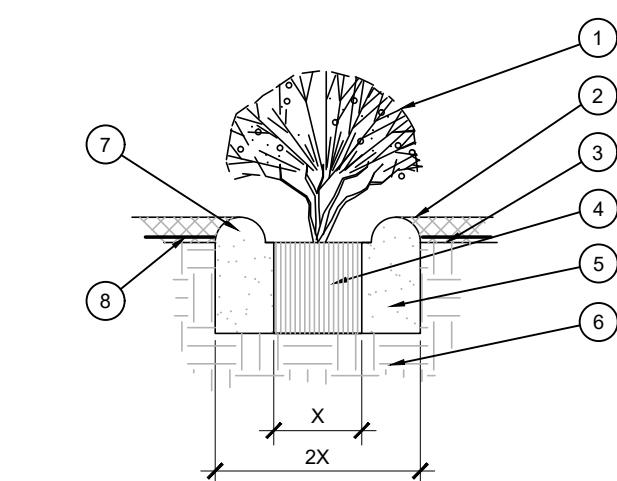
SCALE: NOT TO SCALE



SCALE: NOT TO SCALE



A SCALE: NOT TO SCALE

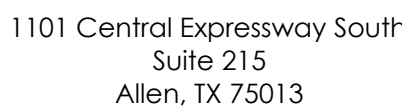


(B) SCALE: NTS

- 1 TREE CANOPY.
- 2 CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 34" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN. TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.

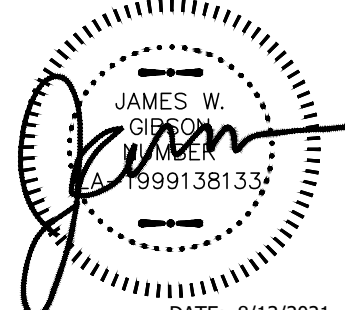
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT IS NOT IN CONTACT WITH THE ROOTBALL. EXCESS SOIL SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2" - 4" ABOVE FINISH GRADE.
3. FOR 8/8 TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING IN HOLE. REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL. REMAINING BURLAP SHOULD BE CUT OFF AT THE ROOT FLARE.
4. FOR TREES 3" BOX/2 1/2" CAL. AND LARGER, USE THREE STRAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT DURING WINDING.

- ① SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- ② MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- ③ FINISH GRADE.
- ④ ROOT BALL.
- ⑤ BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- ⑥ UNDISTURBED NATIVE SOIL.
- ⑦ 3" HIGH EARTHEN WATERING BASIN.
- ⑧ WEED FABRIC UNDER MULCH.



Ph. 214-491-1830

John Measels, PE
CIVIL ENGINEER



DATE: 8/13/2021



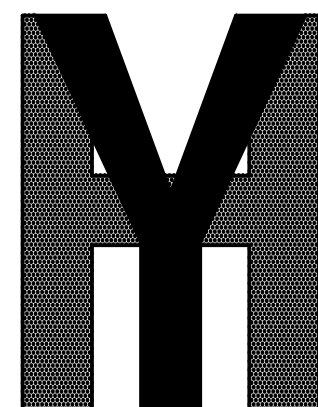
CAR WASH USA EXPRESS

2925 N HIGHWAY 67
FLORISSANT, MO 63001

PROJECT NO:	REV	DATE	DESCRIPTION	NAME
MM-IT02 024		08/06/21	INITIAL SUBMITTAL	JANCE
DESIGNA. BY:				
W/G				
CHECKED BY:				
RAM				
ISSUE DATE:				
08/06/21				

LANDSCAPE DETAILS AND SPECIFICATIONS

LP-2



**YOUNG - HOBBS
AND
ASSOCIATES**

1202 CROSSLAND AVE.
CLARKSVILLE, TN 37040
PHONE 931-645-2524
FAX 931-645-2768

PRELIMINARY
- NOT FOR
RECORDING
OR LAND
TRANSFER

DAVE R. HOBBS, PLS 2014020711

Revision	Date
1	No.

CLIENT

**JM
CIVIL**
Engineering
Solutions Group
5900 S LAKE FOREST
SUITE 300
MCKINNEY, TX 75070
214-491-1830

**ALTA/NSPS
LAND TITLE
SURVEY**

OWNER
INFORMATION

COMMERCIAL NET LEASE
REALTY, LP
BOOK 17341, PAGE 4522
LOT 2 BALDRIDGE PLAZA
PLAT BOOK 169, PAGE 1
PARCEL 07H420298

PART OF LOTS 21 & 23 OF
COMMONS OF ST. FERDINAND,
TOWNSHIP 47 NORTH, RANGE 6
EAST

**CITY OF FLOIRISSANT
COUNTY OF ST. LOUIS
STATE OF MISSOURI**

DRAWN BY: CTH
APPROVED BY: DRH
DATE: (FIELD) 5/20/2021
DATE: (OFFICE) 6/21/2021
YHA PRO. # 070-21

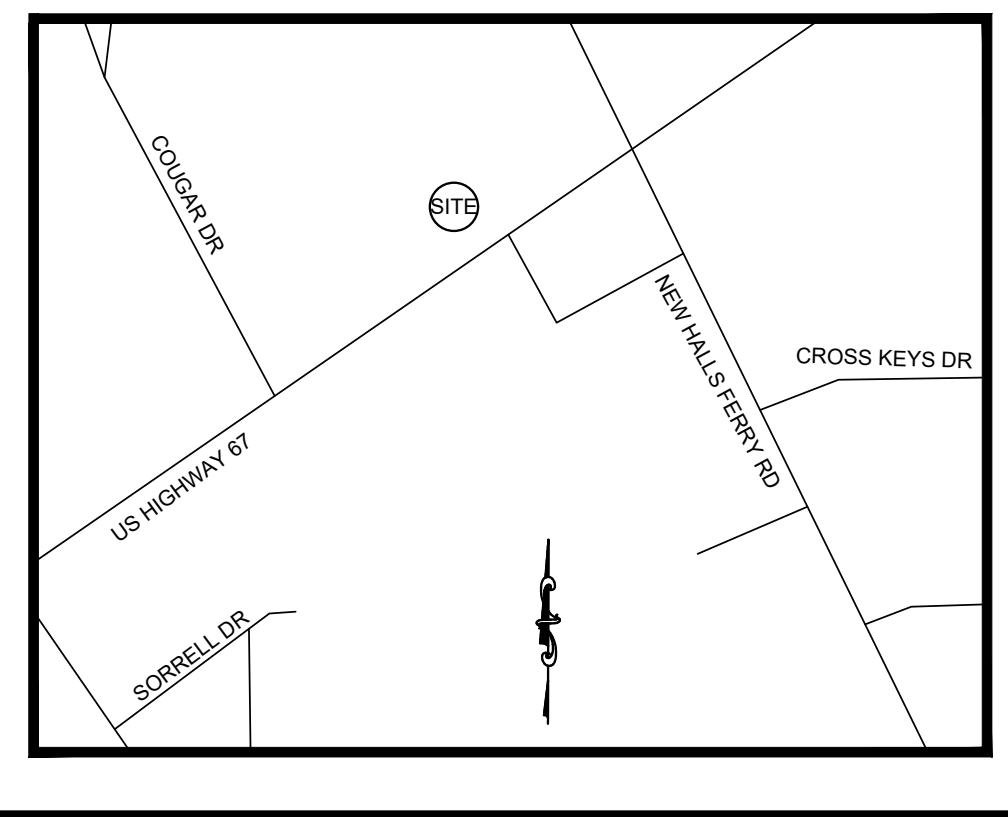
SHEET 1 OF 1

SITE ADDRESS PARKING COUNT

2925 N HWY 67
FLORISSANT, MO 63033

REGULAR SPACES: 65
HANDICAP SPACES: 3
TOTAL SPACES: 68

SITE MAP



LEGEND

POC	POINT OF COMMENCEMENT
POB	POINT OF BEGINNING
IP	IRON PIN SET (IPS)
IPN	IRON PIN FOUND, AS NOTED
PK	P. K. NAIL SET (PKS)
PKF	P. K. NAIL FOUND (PKF), AS NOTED
CMF	CONCRETE MONUMENT FOUND (CMF)
B	BENCHMARK, AS NOTED
F	FIRE HYDRANT
W	WATER VALVE
WM	WATER METER
U	UTILITY POLE
G	GUY WIRE
T	TRAFFIC POLE
E	ELECTRIC BOX
B	BOLLARD
S	SIGN, AS NOTED
R	ROOF DRAIN
G	GAS METER
T	TELEPHONE BOX
C	SEWER CLEAN OUT
M	SEWER MANHOLE
I	CURB INLET
G	GRATE INLET
M	STORM MANHOLE
P	PROPERTY LINE
E	EASEMENT LINE
S	SETBACK LINES
OW	OVERHEAD WIRE
U	UNDERGROUND ELECTRIC
X	FENCE LINE
G	GAS LINE, AS NOTED
W	WATER LINE, AS NOTED
SS	SANITARY SEWER, AS NOTED
FOC	UNDERGROUND TELEPHONE/FIBER
ST	STORM SEWER PIPE, AS NOTED
L	LIGHT POLE
L	LIGHT POLE(2-WAY)

SURVEYOR'S CERTIFICATION:

TO: TBD

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a-c), 8, 9, 11, 13, 14, 16, 17, 18, 19, 20 AND 21 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 20, 2021.

DATE OF PLAT OR MAP: JUNE 21, 2021.

DAVE R. HOBBS, PLS 2014020711
dave@younghobbs.com

DATE

LAND DESCRIPTION, PER TITLE:

NOTES CORRESPONDING TO SCHEDULE B:

---TITLE NOT YET SENT TO SURVEYOR

TABLE A NOTES:

- ITEM 2: THE PHYSICAL ADDRESS OF THE SITE WAS OBTAINED FROM ST. LOUIS COUNTY TAX RECORDS.
- ITEM 3: THIS PROPERTY IS LOCATED WITHIN AN AREA HAVING ZONE DESIGNATIONS OF "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, ON FLOOD INSURANCE RATE MAP NO. 29189C0068K, WITH AN EFFECTIVE DATE OF FEBRUARY 4, 2015, IN CITY OF FLOIRISSANT, STATE OF MISSOURI, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- ITEM 5: CONTOURS WERE DERIVED FROM RANDOM SHOTS AND CROSS SECTIONS AND ARE SHOWN AT ONE FOOT INTERVALS. ELEVATIONS SHOWN HEREON ARE BASED ON GPS OBSERVATIONS TOGETHER WITH AN OPUS SOLUTION, DATED 5/20/2021 (NAVD83, GEOID18).
- ITEM 6A: NO ZONING REPORT PROVIDED TO THIS SURVEYOR.
- ITEM 16: THERE WAS NO EVIDENCE OF RECENT EARTH MOVING, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- ITEM 17: THERE WAS NO EVIDENCE OF RECENT CHANGES IN STREET RIGHT OF WAY LINES. THERE WAS NO EVIDENCE OF RECENT OR STREET SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- ITEM 18: THERE WAS NO WETLAND DELINEATION OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

SURVEY NOTES:

INFORMATION REGARDING THE PRESENCE, SIZE AND LOCATION OF UNDERGROUND UTILITIES IS SHOWN HEREON. THIS INFORMATION HAS BEEN SHOWN BASED ON THE LOCATION ABOVE GROUND APPURTENANCES, AVAILABLE DESIGN PLANS, AND FLAGS AND PAINT PLACED BY THE UNDERGROUND PROTECTION SERVICE. NO CERTIFICATION IS MADE AS TO THE ACCURACY OF THOROUGHNESS OF THE INFORMATION CONCERNING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON. (MISSOURI ONE CALL 1-800-DIG-RITE). THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A PRIVATE UTILITY LOCATE.

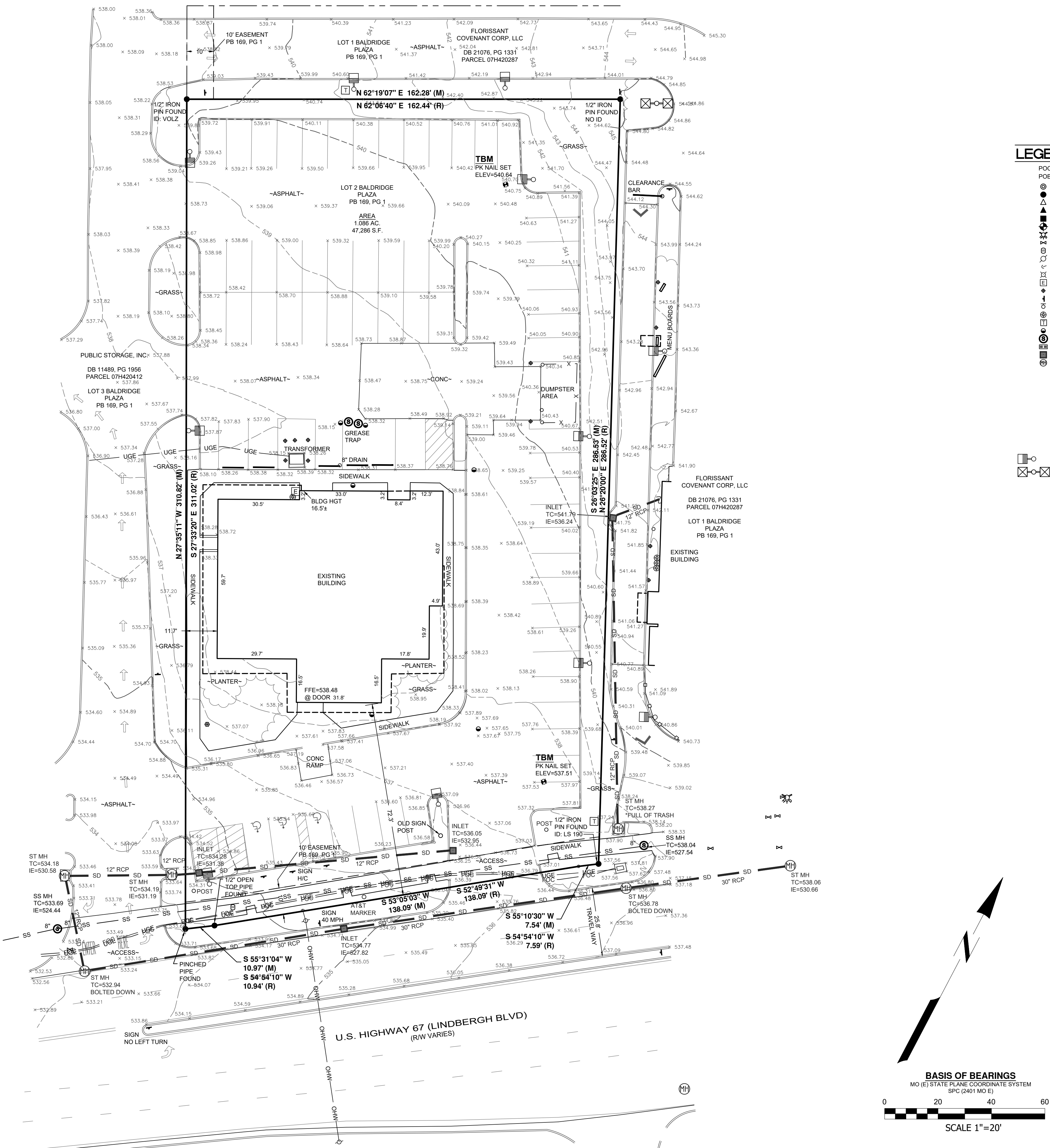
CONTACT PROPER AUTHORITIES BEFORE BUILDING NEAR UTILITY LINES. FOR EASEMENT WIDTH AND RESTRICTIONS. UTILITIES ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION.

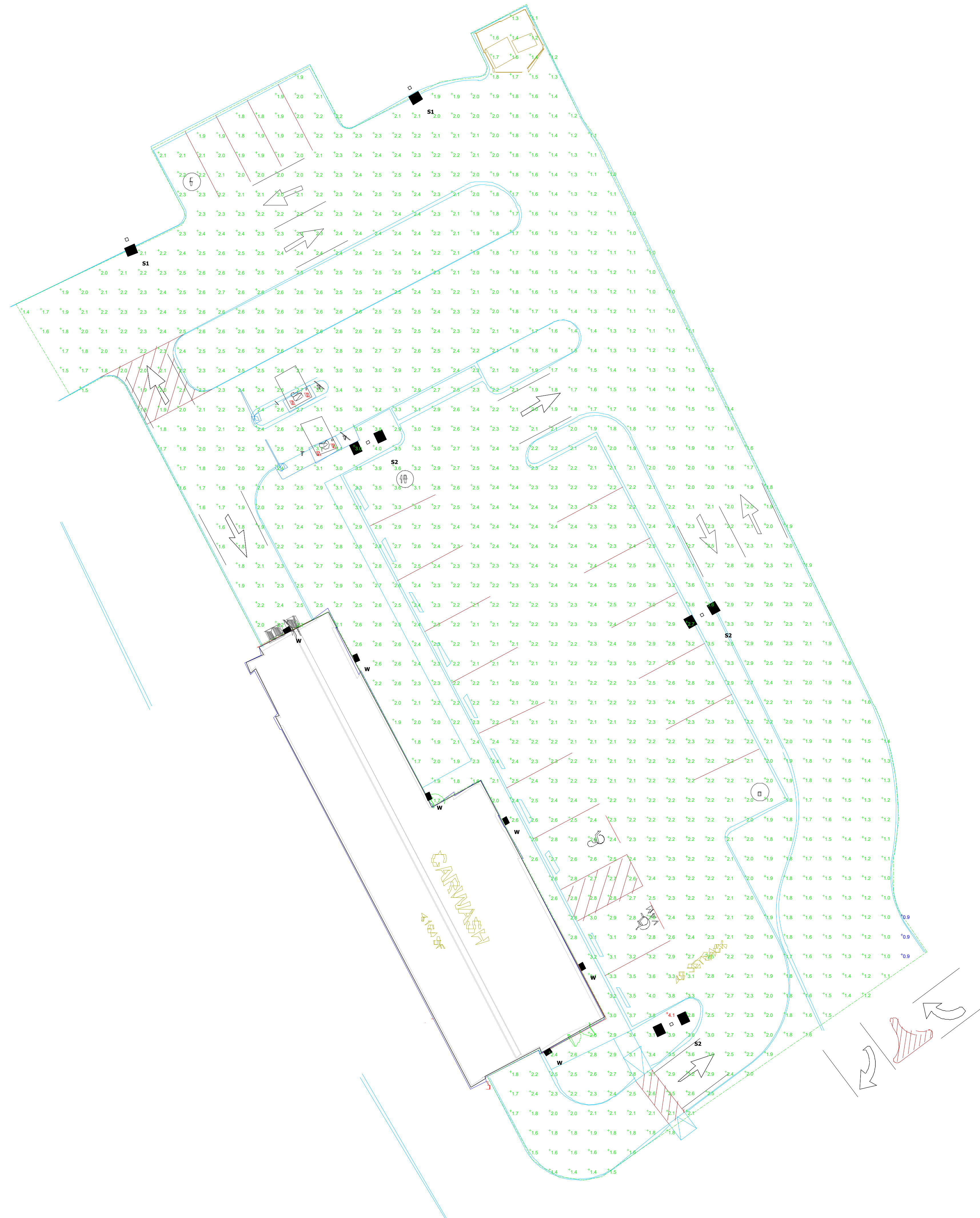
UNLESS STATED OTHERWISE, ANY MONUMENT REFERRED TO HEREIN AS AN "IRON PIN SET" IS A SET 5/8" DIAMETER REBAR, WITH AN YELLOW PLASTIC CAP STAMPED "YOUNG-HOBBS"

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON OR ENTITIES NAMED HERON. NO EXPRESS OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSONS OR ENTITIES OTHER THAN THOSE SHOWN HEREON.

LIST OF ENCROACHMENTS: NONE OBSERVED.

I DO HEREBY STATE THAT THIS IS A TRUE, COMPLETE AND CORRECT SURVEY OF THE DESCRIBED REAL PROPERTY SITUATED IN THE COUNTY OF ST. LOUIS, MISSOURI AND THAT THIS SURVEY WAS EXECUTED IN ACCORDANCE WITH THE CURRENT MISSOURI MINIMUM STANDARDS FOR PROPERTY SURVEYS (URBAN SURVEY 1:20,000)



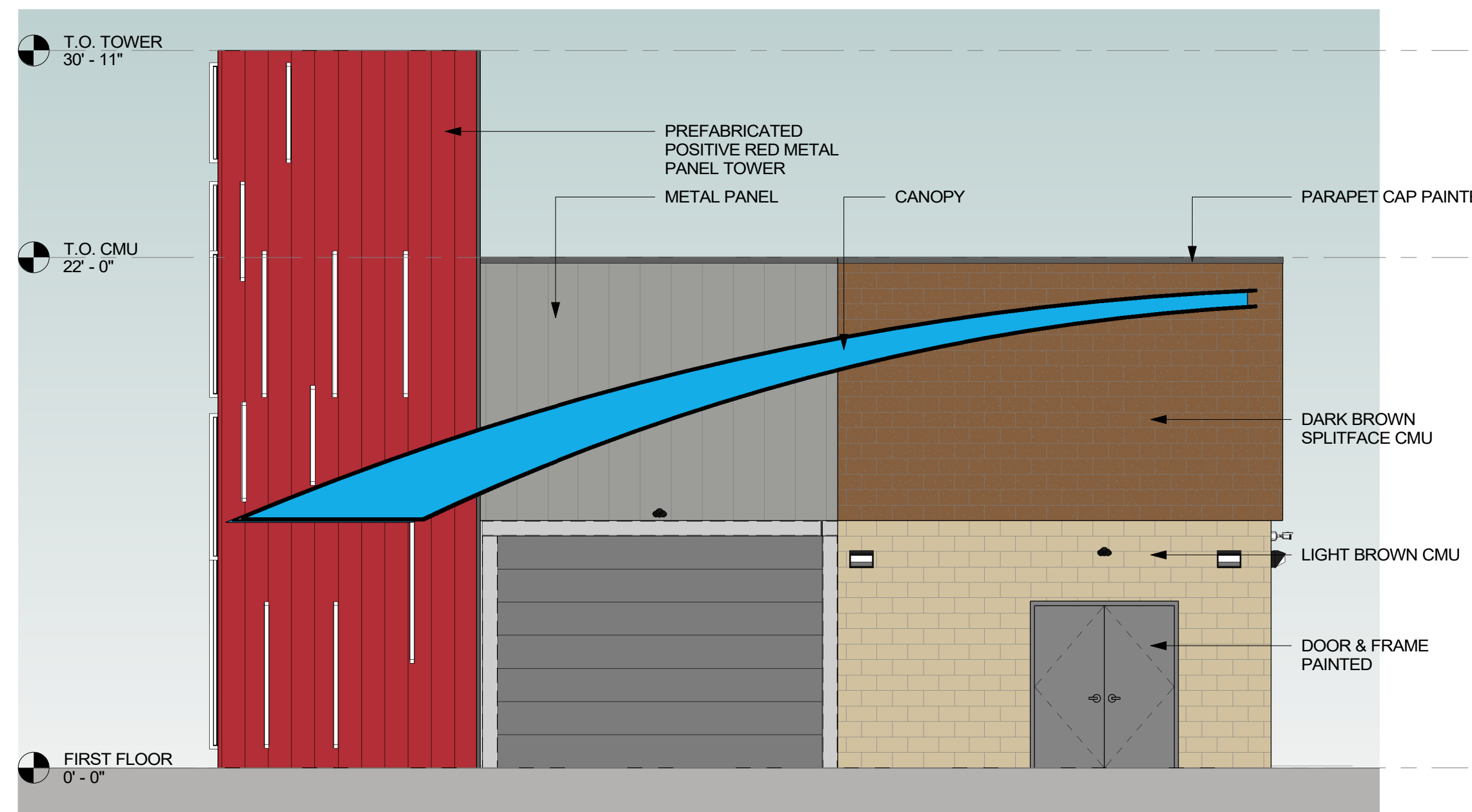


Plan View
Scale = 1" = 144'

Statistics						
Description	Symbol	Avg	Min	Max	Max/Min	Avg/Min
Calc Zone #1	+	2.2 ft	0.9 ft	4.1 ft	4.6:1	2.4:1

Quantity	Label	Manufacturer	Catalog Number	Description	Quantity	Unit	Notes
1	S1	Lighting	1000-100-100-100	1000-100-100-100	1000	1000	1000
1	S2	Lighting	1000-100-100-100	1000-100-100-100	1000	1000	1000
1	W	Lighting	1000-100-100-100	1000-100-100-100	1000	1000	1000

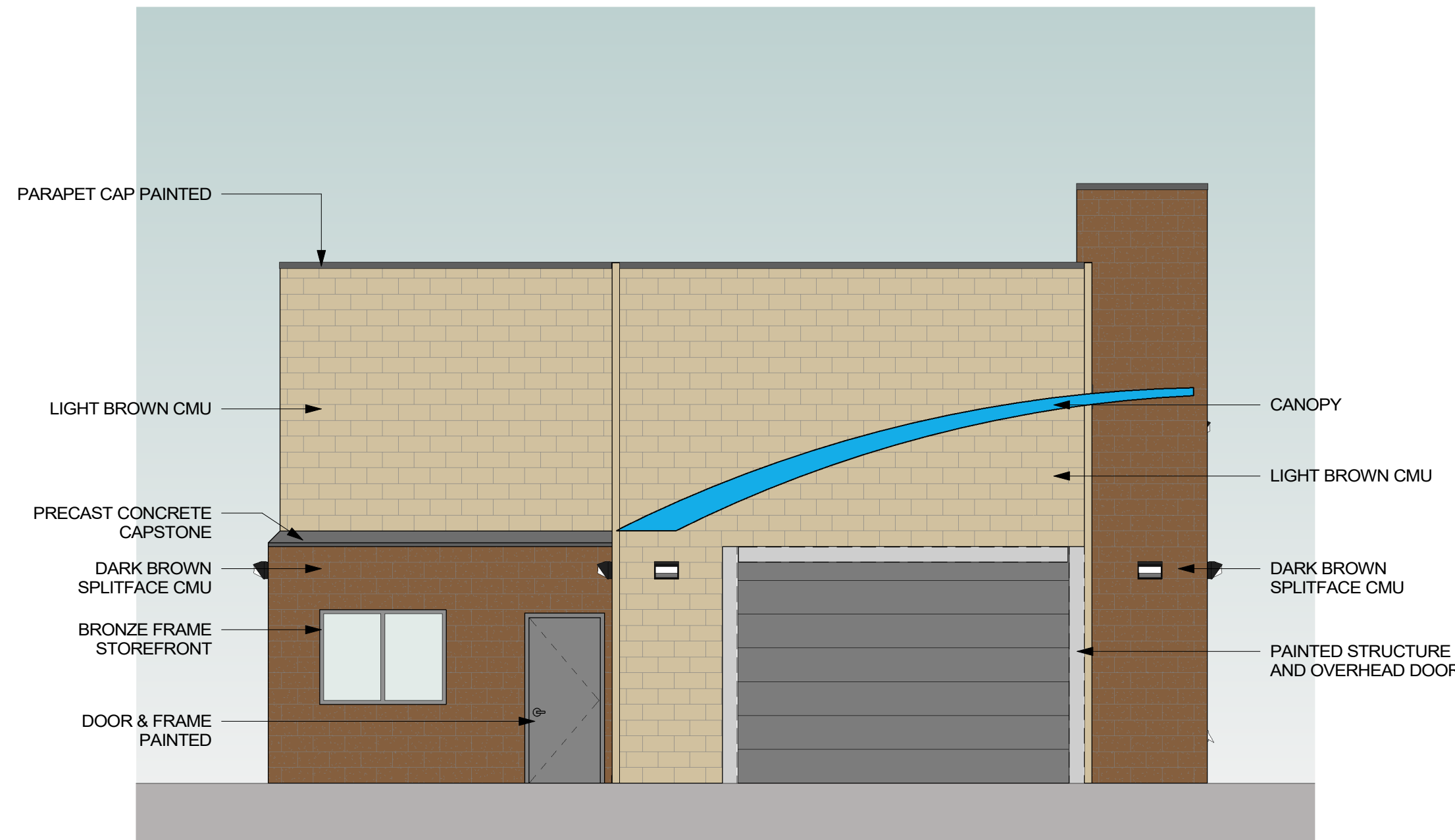
Luminaire Locations				
No.	Label	Z	MM	Orientation
1	S1	28.00	28.00	130.05
2	S1	28.00	28.00	135.20
2	S2	28.00	28.00	244.26
4	S3	28.00	28.00	244.36
5	S2	28.00	28.00	239.32
1	W	12.00	12.00	65.56
2	W	12.00	12.00	63.43
3	W	12.00	12.00	146.73
4	W	12.00	12.00	65.56
5	W	12.00	12.00	329.20
6	W	12.00	12.00	63.43



SOUTHEAST ELEVATION

3/16" = 1'-0"

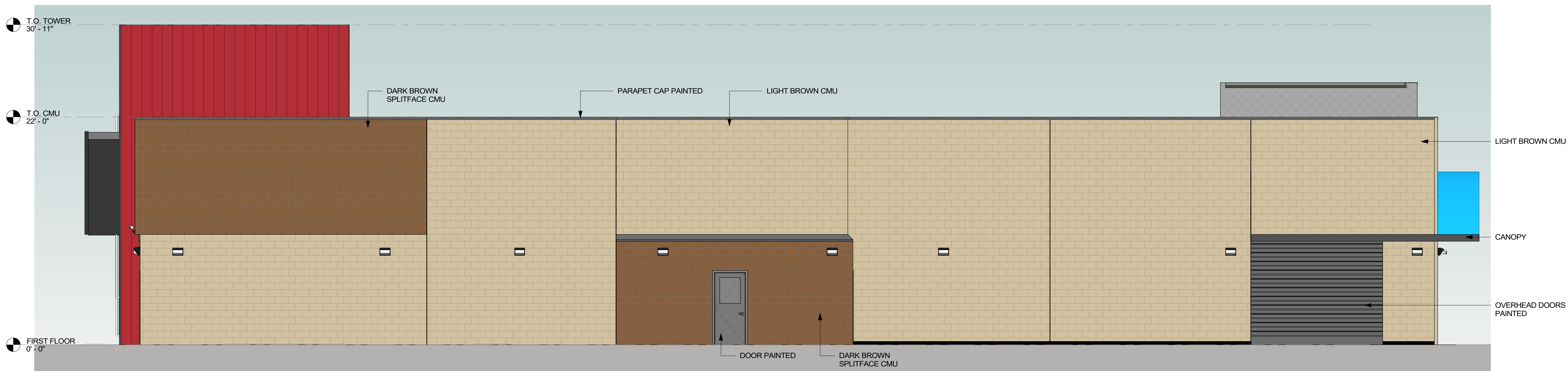
4



NORTHWEST ELEVATION

3/16" = 1'-0"

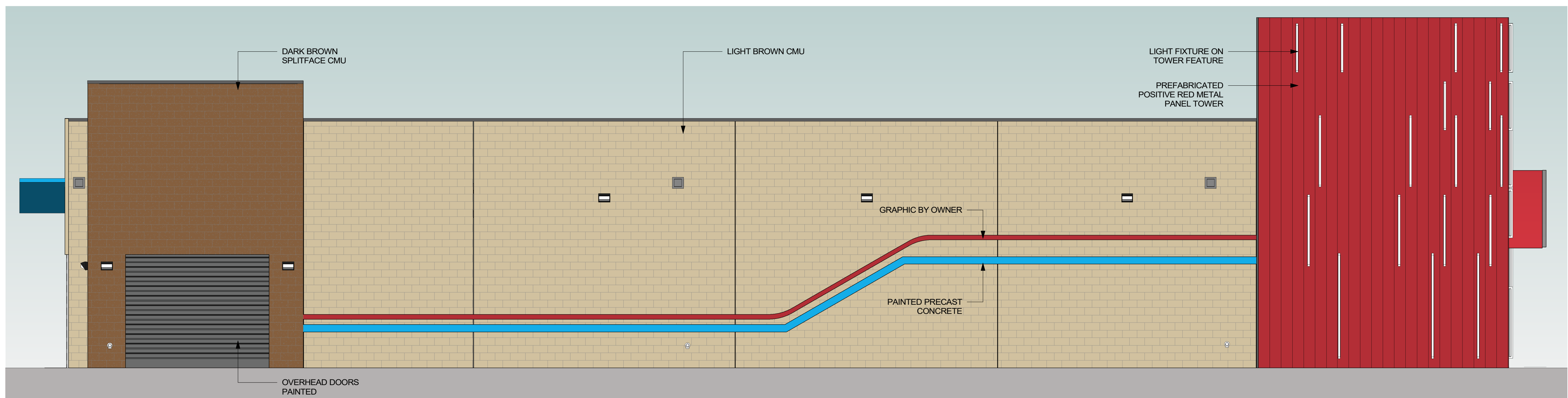
3



SOUTHWEST ELEVATION

3/16" = 1'-0"

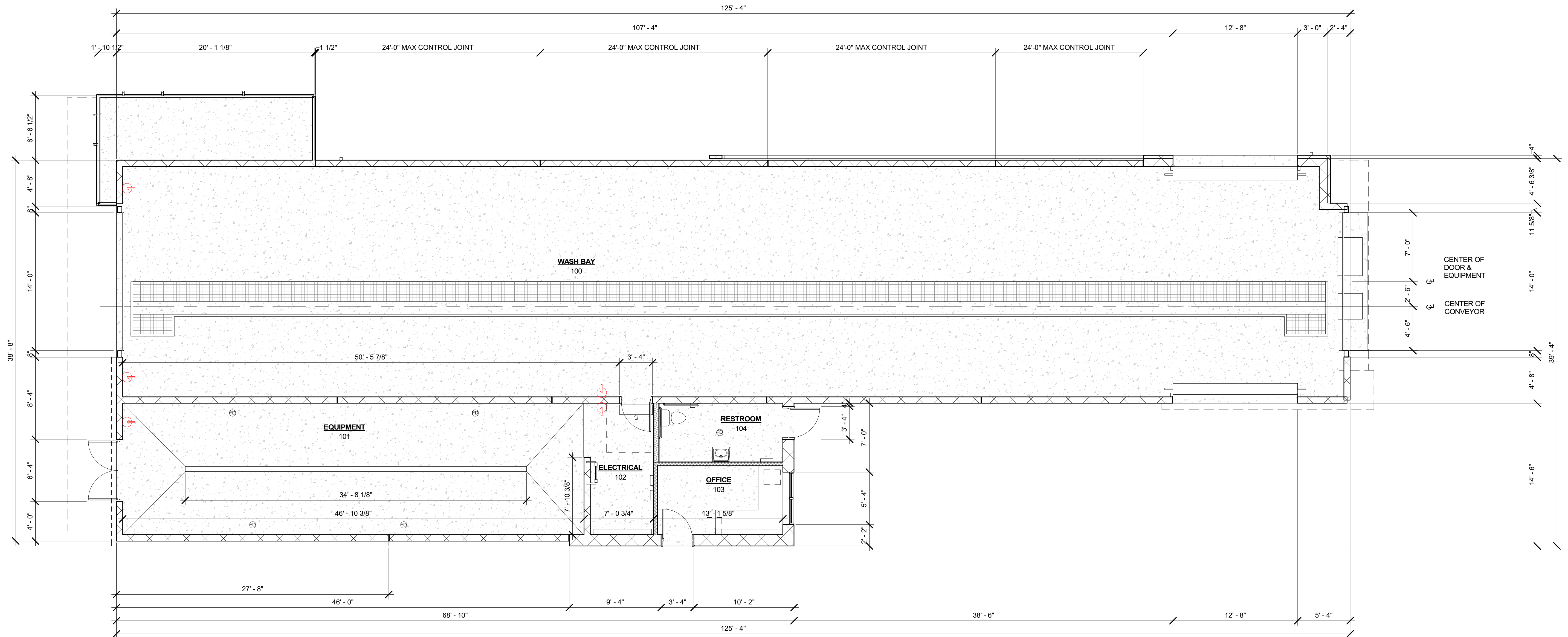
2



NORTHEAST ELEVATION

3/16" = 1'-0"

1



FLOOR PLAN 1
3/16" = 1'-0"

CITY OF FLORISSANT

Public Hearing

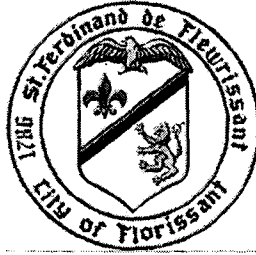


In accordance with 405.135 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, October 11, 2021 at 7:00 p.m. on the following proposition:

To rezone the properties located at 1760, 1780, 1790 N Highway 67 and 1615, 1645, 1675 N New Florissant Rd from 'B-3' Extensive Business District to a 'B-5' Planned Commercial District to allow for Site and Building Expansion. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DISTRICT



PLANNING & ZONING ACTION:

Address of Property:

1615, 1645, 1665 N New Florissant Rd. 1760, 1760 & 1790 N. Hwy 67

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward 6 Zoning B-3/R-4

SIGN.

DATE: 9-23-21

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zoning & date filed

PETITION FOR A B-5 RE-ZONING:

1) Comes Now A.) 1790 N Hwy 67 Holdings LLC/Penuef Raj Clement B.) Clement Olympic Motors LLC/Penuef Raj Clement

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal
interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property A.) Fee Simple Owner B.) Operator

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of
authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which
the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is
identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn
to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street
intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and
distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 2.45 acres
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in
a B-3 District and is presently being used for: sale of pre-owned vehicles

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following purpose to justify the re-zoning to a B-5:
Currently, under B-3 zoning, a Special Use Permit(s) is required for any expansions or additions. It was
recommended that B-5 would allow petitioner to design the site as one parcel without having to go through the SUP process each time.

List purpose for this request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Penuel Raj Clement

Print Name

PETITIONER(S) SIGNATURE (S) [Signature]

FOR A.) 1790 N Hwy 67 Holdings LLC and B) Clement Olympic Motors LLC

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or LLC Managing PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
- () I (we) have a legal interest in the herein above described property.
- () I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE [Signature]

ADDRESS 100 Midland Park Drive Wentzville Missouri 63385

STREET CITY STATE ZIP CODE

TELEPHONE NUMBER (314) 925-7444

BUSINESS

I (we) the petitioner (s) do hereby appoint Richard Hill, Architect, NCARB as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

[Signature]
Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐ Partnership: ☐ Corporation/LLC: ☒

(a) If an Individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a Partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a Corporation or LLC:

- (1) Names & addresses of all partners Penuel Raj Clement
- (2) Telephone numbers (314) 504-2181
- (3) Business address 1790 N. Highway 67, Florissant, MO 63033
- (4) State of corporation & a photocopy of incorporation papers A) No. LC1719983 B) No. LC0754939
- (5) Date of corporation July 27, 1990
- (6) Missouri Corporate Number A) No. LC1719983 B) No. LC0754939
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. Clement Olympic Motors
- (8) Name in which business is operated Clement Olympic Motors
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Clement Olympic Motors
Address 1615, 1645, 1665 N New Florissant Rd; 1760,1780 & 1790 N. Hwy 67
Property Owner A.)1790 N Hwy 67 Holdings LLC and B) Clement Olympic Motors LLC
Location of property 1615, 1645, 1665 N New Florissant Rd; 1760,1780 & 1790 N. Hwy 67
Dimensions of property see attached drwgs.
Current Use of Property sale of pre-owned vehicles
Proposed Use of Property sale of pre-owned vehicles
Type of Sign building mounted Height see attached drwgs.
Type of Construction varies Number Of Stories one
Square Footage of Building 2,557 sf Number of Curb Cuts 6
Number of Parking Spaces 14 proposed Sidewalk Length _____
Landscaping: No. of Trees _____ Diameter _____
No. of Shrubs _____ Size _____
Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING _____

PROPERTY OWNER OF RECORD _____ PHONE NO. _____

AUTHORIZED AGENT _____ PHONE NO. _____

PROPOSAL _____

1) a. Uses - Are uses stipulated _____ Yes / No

b. What current District would this proposal be a permitted use: _____

c. Proposed uses for out lots: _____

2) Performance Standards:

a) Vibration: Is there any foreseen vibration problems at the property line? _____ Yes / No

b) Noises: Will the operation or proposed equipment exceed 70 decibels? _____ Yes / No

c) Odor is there any foreseen problem with odor? _____ Yes / No

d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? _____ Yes / No

e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? _____ Yes / No

f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? _____ Yes / No

g) Is there any dangerous amount of radiation produced from the operation? _____ Yes / No

h) Is there any glare or heat which would be produced outside of an enclosure? _____ Yes / No

i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? _____ Yes / No

j) Is buildings screened from adjoining residential? _____ Yes / No

3) Are height of structures shown? _____ Yes / No

4) Are all setbacks shown? _____ Yes / No

5) Are building square footages shown? _____ Yes / No

6) What is the exterior construction of the buildings? _____

7) Is off street loading shown? _____ Yes / No

8) Parking:

a) Does parking shown meet the ordinance? _____ Yes / No

b) Is a variance required in accordance with the ordinance? _____ Yes / No

c) Ratio shown _____ to _____

d) Total Number _____

e) Will cross access and cross parking agreements be required? _____ Yes / No

f) Is the parking lot adequately landscaped? _____ Yes / No

9) Are there any signs? _____ Yes / No

Number of signs shown _____

Type of Signs _____

Are sizes, heights, details, and setbacks shown? _____ Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? _____ Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? _____ Yes / No

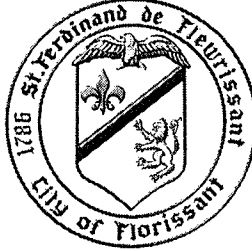
- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted? Yes / No
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown? Yes / No
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient handicapped access? Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No
b) Do the curb-cuts meet the City ordinances? Yes / No
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

- 25) Staff Comments: _____

Date Application reviewed

Building Commissioner or Staff Signature

1
2
3
MEMORANDUM



4
5
6
7
8
CITY OF FLORISSANT- Building Division

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

9 To: Planning and Zoning Commissioners Date: September 2, 2021
10
11 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
12 Director Public Works
13 Deputy City Clerk
14 Applicant
15 File
16

17 Subject: 1760 1780 1790 N Highway 67 1615 1645 1675 N New Florissant
18 (Clement Olympic Motors) Request Recommended Approval to rezone
19 to a 'B-5' to allow for Site and Building Expansions in a 'B-3' Extensive
20 Business District.
21

22
23
24
25
STAFF REPORT
CASE NUMBER PZ-090721-4

26 **I. PROJECT DESCRIPTION:**

27 This is a request to rezone to a 'B-5' to allow for Site and Building Expansions in a 'B-3'
28 Extensive Business District.
29

30
31 **II. EXISTING SITE CONDITIONS:**

32 The existing property adjacent to 1760 1780 1790 N Highway 67 1615 1645 1675 N
33 New Florissant Rd operates under Special Use Ordinance No. 8693 as Clement Olympic
34 Motors and expanded, however the petitioner continues to develop and expand,
35 requesting a 'B-5' rezoning to do so.
36

37 The subject property began as 0.53 acres built in 1952 per County record. Additions
38 proposed will bring the car sales property of 2.45 acres.
39
40

41 **III. SURROUNDING PROPERTIES:**

42 The proposal results in the only surrounding property to be the Police Station, currently
43 located in the 'R-4' Single Family Dwelling District.
44

45 **IV. STAFF ANALYSIS:**

46 Submittals include the following documents: C-100 and L-101 dated 8/16/21 along with
47 Floor Plan A101, Elevations A102 and A-103 by Premier Design Group.
48

49 The plan proposed here includes Building Addition, Expansion of paved area for vehicle
50 sales, with new parking lot lights.
51

52 Staff comments on plans submitted:

53 C-100:

- 54 • Site Drainage concept, 2 site sections and topography shown. Reference notes
55 include 6' vinyl screen fence, but location and terminations not clearly shown on
56 plan. Section 405.245 requires continuous installation from 40' setback along the
57 South property line of 1760 N Hwy 67, a portion of the South property line 1780
58 N Hwy 67, then along the West property lines of 1645 and 1615 N New Florissant
59 Rd and finally along the South property line of 1615 N New Florissant Rd to the
60 40' front setback line of 1615 N New Florissant Rd.
61
- 62 • Buildings: Existing Building is shown as 2557 s.f. Building Addition is 2160
63 s.f.
64
- 65 • Parking: Min. parking required = $3180 \text{ s.f. (grid pattern area) } / 1000 \times 3 = 9$
66 required, 14 provided.
67
- 68 • Lighting: New light poles shown, no light level established.
69

70 L-101 Landscape:

- 71 • Building plantings required $415 \text{ lf} / 5 = 83$ shrubs required, 112 provided.
- 72 • Frontage trees total site $950 \text{ LF} / 50 = 19$ required, 13 shown.
73

74 A101: Floor Plan shows 2 wash bays and offices.
75

76 A102:

- 77 • Elevations indicate matching metal panel ('Alucobond' type) to match existing
78 with red accent bands.
79
- 80 • Sign area shown is 96 s.f.
81
82

83 **VI. STAFF RECOMMENDATIONS:**

84 **Suggested Motion:**

85 I move for **Recommended Approval** rezone to a 'B-5' to allow for Site and Building
86 Expansions in a 'B-3' Extensive Business District, as depicted by attached plans C-100

and L-101 dated 8/16/21 along with Floor Plan A101, Elevations A102 and A-103 by Premier Design Group.

The following restrictions, are hereby made part of the record:

1. PERMITTED USES

The uses permitted for this property shall be limited to car sales establishment and those Uses within the B-3 "Extensive Business District" without a Special Permit. Other uses than those permitted shall require approval by amendment to this 'B-5' Ordinance.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

The building space shall be limited to a single story 4717 s.f.

3. PERFORMANCE STANDARDS

In addition to all other requirements, uses within the "B-5" Planned Commercial District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.

- 133 8. Screening.
- 134 a. All mechanical equipment, air-handling units, cooling towers,
- 135 condensers, etc., on roof or grade shall be screened architecturally
- 136 in such a manner as to be a part of the design of the building.
- 137 b. Incinerators and stacks shall be enclosed in the same material as
- 138 the main exterior building material.
- 139

140 **4. TRASH ENCLOSURES**

141 Trash container shall be kept within a gated sight-proof area and shall

142 incorporate a man-door or accessway, self closing protective and lockable.

143

144

145 **5. PLAN SUBMITTAL REQUIREMENTS**

146 Final Development Plan shall include improvements as shown on

147 drawings attached, including entire property, trash enclosures, landscape,

148 lighting and legal description.

149

150

151 **3. SITE DEVELOPMENT PLAN CRITERIA:**

152 a. Height, Area And Bulk Restrictions:

- 153 1. Height, Area And Bulk Regulations. The height, area and bulk
- 154 regulations for uses in the "B-3" Extensive Commercial District
- 155

156 b. Internal Drives:

- 157 (1) There shall be parking as shown on plans attached.
- 158

159 c. Minimum Parking/Loading Space Requirements.

- 160 (1) There shall be a minimum of 14 parking spaces provided on the
- 161 property.
- 162

163 d. Road Improvements, Access and Sidewalks (not applicable)

164

165 e. Lighting Requirements.

166 Lighting of the property shall comply with the following standards and

167 requirements:

- 168 (1) The light level for parking lot lighting **shall be 1-3 footcandles.**
- 169 (2) All site lighting and exterior building lighting shall be directed down
- 170 and inward
- 171

172 f. Sign Requirements.

- 173 (1) All signage shall comply with the City of Florissant sign ordinance for
- 174 commercial districts.
- 175

176 g. Landscaping and Fencing.

- 177 (1) Any modifications to the landscaping plan shall be reviewed and
- 178 approved by the Planning and Zoning Commission.

- 179 (2) An automatic permanent irrigation system shall be designed and
180 installed to cover all new landscaped areas.
181 (3) A 6' vinyl screen fence shall be installed continuous from 40'
182 setback along the South property line of 1760 N Hwy 67, a portion
183 of the South property line 1780 N Hwy 67, then along the West
184 property lines of 1645 and 1615 N New Florissant Rd and finally
185 along the South property line of 1615 N New Florissant Rd
186 terminating at the 40' front setback line of 1615 N New Florissant
187 Rd.
188 (4) A total of 19 frontage trees are to be provided.
189
190

191 h. Storm Water.
192

193 Storm Water and drainage facilities shall comply with the following
194 standards and requirements:

- 195 (1) The Director of Public Works shall review the storm water plans to
196 assure that storm water flow will have no adverse affect the
197 neighboring properties.
198 (2) No building permits shall be issued until the storm water plan has been
199 approved by the St. Louis Metropolitan Sewer District.
200

201 i. Miscellaneous Design Criteria.

- 202 (1) All applicable parking, circulation, sidewalks, and all other site design
203 features shall comply with the Florissant City Code.
204
205 (2) All dumpsters and grease containers shall be contained within a trash
206 enclosure with gates compatible with existing building.
207
208 (3) All storm water and drainage facilities shall be constructed, and all
209 landscaping shall be installed, prior to occupancy of the building,
210 unless remitted by the Director of Public Works due to weather related
211 factors.
212
213 (4) All mechanical equipment, electrical equipment, and communication
214 equipment shall be screened in accordance with the Florissant Zoning
215 Code.
216
217 (5) The exterior design of the buildings shall be constructed in accordance
218 with the renderings as approved by the Florissant Planning and Zoning
219 Commission and attached hereto.
220
221 (6) All other requirements of the Florissant Municipal Code and other
222 ordinances of the city shall be complied with unless otherwise allowed
223 by this ordinance.
224

225
226 **7. FINAL SITE DEVELOPMENT PLAN**

227 A final site development plan shall be submitted to the Building
228 Commissioner to review for compliance with the applicable "B-5"
229 Planned Commercial Development ordinance prior to recording. Any
230 variations from the ordinance approved by the City Council and/or the
231 conceptual plans attached to such ordinance shall be processed in
232 accordance with the procedure established in the Florissant Zoning Code.
233

234 **8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

235 Any changes to the approved plans attached hereto must be reviewed by the
236 Building Commissioner. The Building Commissioner shall make a determination
237 as to the extent of the changes per the following procedure:
238

- 239 1. The property owner or designate representative shall submit in writing a
240 request for an amendment to the approved plans. The building
241 commissioner shall review the plans for consistency with the purpose and
242 content of the proposal as originally or previously advertised for public
243 hearing and shall make an advisory determination.
- 244 2. If the building commissioner determines that the requested amendment is
245 not consistent in purpose and content with the nature of the purpose as
246 originally proposed or previously advertised for the public hearing, then
247 an amendment to the special use permit shall be required and a review
248 and recommendation by the planning and zoning commission shall be
249 required and a new public hearing shall be required before the City
250 Council.
- 251 3. If the building commissioner determines that the proposed revisions are
252 consistent with the purpose and content with the nature of the public
253 hearing then a determination of non-necessity of a public hearing shall be
254 made.
- 255 4. Determination of minor changes: If the building commissioner determines
256 that an amendment to the special use permit is not required and that the
257 changes to the plans are minor in nature the Building Commissioner may
258 approve said changes.
- 259 5. Determination of major changes: If the Building Commissioner
260 determines that an amendment to the B-5 is not required but the changes
261 are major in nature, then the owner shall submit an application for review
262 and approval by the Planning and Zoning commission.
263

264 **9. VERIFICATION PRIOR TO OCCUPANCY PERMIT**

- 265 a. Any new roadway improvements shall be completed prior to the issuance
266 of any final occupancy permit.
- 267 b. Any new stormwater detention shall be completed prior to the issuance of
268 any occupancy permit.

- 269 c. All fencing and/or landscaping intended as screening properties shall be
270 completed prior to the issuance of any occupancy permit, unless remitted
271 by the Director of Public Works due to weather related factors.
272

273 **10. GENERAL DEVELOPMENT CONDITIONS.**

- 274 a. Unless, and except to the extent, otherwise specifically provided herein,
275 development shall be effected only in accordance with all ordinances of
276 the City of Florissant.
277 b. The Department of Public Works shall enforce the conditions of this
278 ordinance in accordance with the Final Site Development Plan approved
279 by the Planning & Zoning Commission and all other ordinances of the
280 City of Florissant.
281

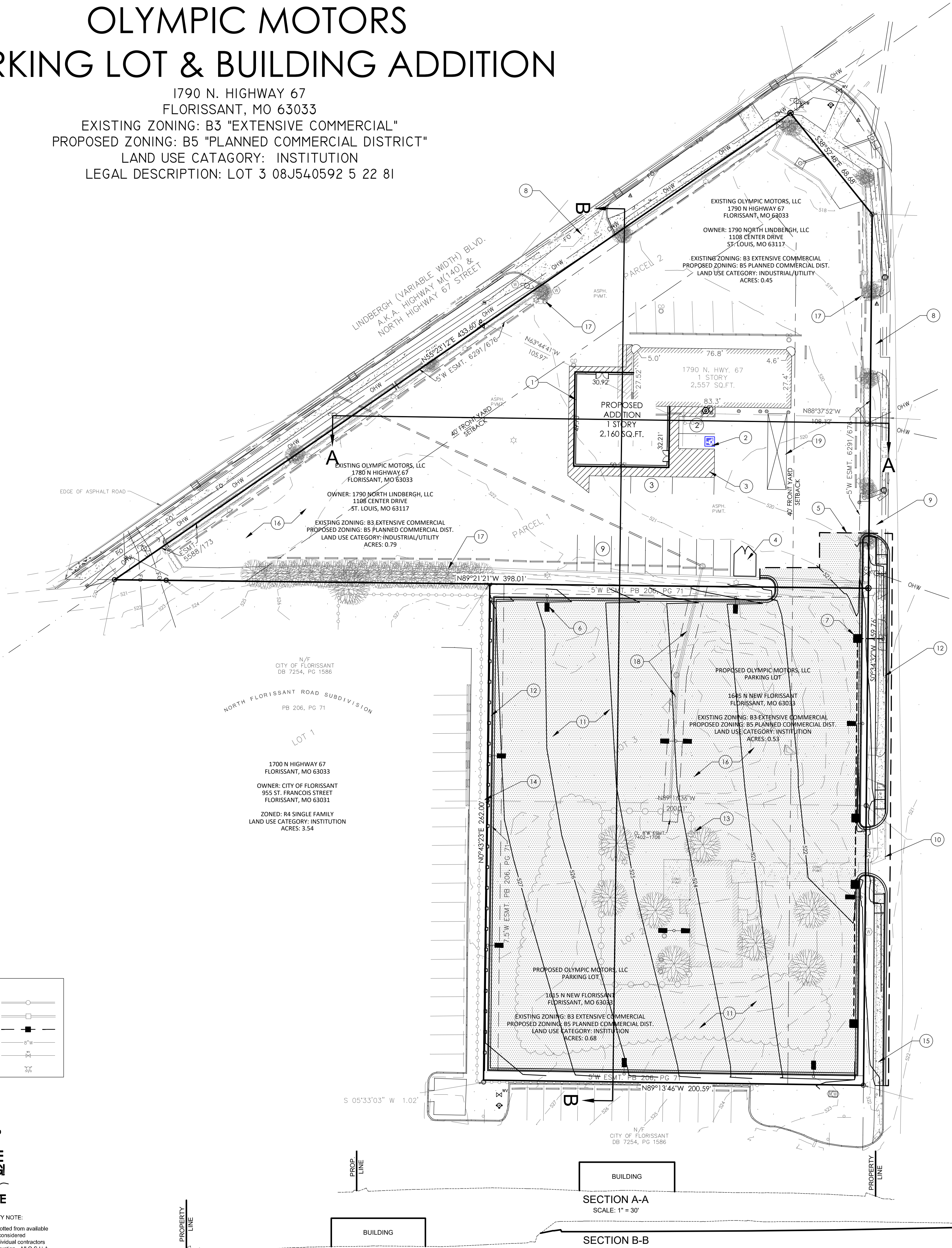
282 **9. PROJECT COMPLETION.**

283 Construction shall start within 90 days of the issuance of building permits for
284 the project and shall be developed in accordance of the approved final
285 development plan within 12 months of start of construction.
286

287 (End of report and suggested motion)

PUD SITE PLAN FOR:
OLYMPIC MOTORS
PARKING LOT & BUILDING ADDITION

1790 N. HIGHWAY 67
FLORISSANT, MO 63033
EXISTING ZONING: B3 "EXTENSIVE COMMERCIAL"
PROPOSED ZONING: B5 "PLANNED COMMERCIAL DISTRICT"
LAND USE CATAGORY: INSTITUTION
LEGAL DESCRIPTION: LOT 3 08J540592 5 22 81



REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
1	PROPOSED BUILDING ADDITION, REFERENCE ARCHITECTURAL DRAWINGS FOR DETAIL.
2	PROPOSED 8'X19' VAN ACCESSIBLE SPACE AND REQUIRED SIGNAGE
3	PROPOSED STRIPING (TYP.)
4	PROPOSED 11'-8\"X11'-8\" 6' TALL VINYL FENCE TRASH ENCLOSURE
5	SAWCUT AND MATCH EXISTING PAVEMENT
6	PROPOSED LIGHT STANDARD (TYP.)
7	PROPOSED STORM GRATE INLET (TYP.)
8	EXISTING ENTRANCE (USE IN PLACE)
9	EXISTING ENTRANCE THAT SHALL REMAIN IN PLACE HOWEVER NOT USED AND CARS FOR SALE SHALL BLOCK TRAFFIC FROM USING ENTRANCE
10	PROPOSED 25' WIDE ENTRANCE
11	PROPOSED ASPHALT
12	PROPOSED 1.5' CURB & GUTTER (TYP.)
13	ALL EXISTING IMPROVEMENTS AND TREES LOCATED WITHIN PROPOSED ASPHALT LIMITS SHALL BE REMOVED (TYP.)
14	PROPOSED 6' TALL WHITE VINYL FENCE
15	PROPOSED 5' WIDE CONCRETE SIDEWALK (TYP.)
16	NO STRIPING PROPOSED, CARS FOR SALE SHALL BE CONFIGURED PER OLYMPIC MOTOR'S STRATEGIC PLACEMENT
17	EXISTING LANDSCAPING TO REMAIN IN PLACE (TYP.)
18	PORTION OF EXIST. SANITARY MAIN TO BE GROUT FILLED AND EXIST. EASEMENT TO REMAIN IN PLACE
19	PROPOSED 10'X40' OFF STREET LOADING SPACE SHOWN FOR SITE PLAN COMPLIANCE AND SHALL NOT BE STRIPED

GENERAL NOTES:

- BASIS OF BEARINGS: ADOPTED FROM THE MISSOURI COORDINATE SYSTEM NAD 1983-EAST ZONE.
- ZONING: CURRENT "B-3" EXTENSIVE BUSINESS DISTRICT, PROPOSED "B-5" PLANNED COMMERCIAL
- LOT SIZE - 2.45 ACRES
- LOT WIDTH - 200± FEET
- BUILDING HEIGHT - MAXIMUM ALLOWED 45 FEET.
- FRONT YARD - MINIMUM REQUIRED SETBACK, FORTY (40) FEET.
- SIDE YARD - MINIMUM REQUIRED SETBACK, NONE SPECIFIED.
- REAR YARD - MINIMUM REQUIRED SETBACK, NONE SPECIFIED.
- IMPERVIOUS COVERAGE - SITE = 78% 0.4 ACRES IMPERVIOUS
- REQUIRED PARKING - 3 SPACES PER 1,000 SQ. FT. OF SALES AND SHOWROOM AREA (B-5 ZONING) PROVIDED PARKING - 14 PARKING SPACES INCLUDING 1 ACCESSIBLE PARKING SPACE
- FLOOD CERTIFICATION: FEMA FIRM 29189C0062K, PANEL 62 OF 420, ST. LOUIS COUNTY, MISSOURI AND INCORPORATED AREAS, REVISED AUGUST 23, 2000 - THE PROPERTY IS ZONE AE, SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100-YEAR FLOOD WITH BASE FLOOD ELEVATIONS DETERMINED.
- BENCHMARK: MDOOT CORS VRS SYSTEM, NAVD88.
- BUILDING HEIGHT, SITE LIGHTING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE CITY OF FLORISSANT REQUIREMENTS.
- ALL DIMENSIONS ARE TO FACE OF CURB OR FACE OF BUILDING UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE OPTION FOR PRICING CONCRETE PAVEMENT IN LIEU OF ASPHALT FOR THE SITE PER THE GEOTECHNICAL REPORT THICKNESS AND RECOMMENDATIONS.
- LIGHTING SHALL BE INSTALLED SO AS NOT TO CAST LIGHT DIRECTLY ON PUBLIC RIGHT-OF-WAY OR ADJOINING PROPERTY. SITE LIGHTING SHALL BE IN COMPLIANCE WITH THE CITY OF FLORISSANT SPECIFICATIONS AND SHALL BE DOWNCAST UNLESS DECORATIVE.
- SIDEWALKS AND DECORATIVE LIGHTING SHALL BE INCORPORATED INTO THE SITE DESIGN AS PER APPROVED DESIGN STANDARDS.
- ALL SIDEWALKS SHALL BE CONSTRUCTED TO THE CITY OF FLORISSANT AND ADA STANDARDS. ADA COMPLIANT TERMINATIONS SHALL BE REQUIRED FOR SIDEWALK.
- SIDEWALKS ALONG ACCESSIBLE ROUTE SHALL NOT HAVE A SLOPE EXCEEDING 1:20. SLOPES GREATER THAN 1:20 MUST BE DESIGNED AS A RAMP.
- UNDERGROUND UTILITIES - LOCATION OF UNDERGROUND UTILITIES LOCATED USING OBSERVED EVIDENCE AND LOCATE COMPANY MARKINGS.
- ELECTRIC SERVICE SHALL BE LOCATED UNDERGROUND.
- G.C. WILL BE RESPONSIBLE TO CONTACT THE LOCAL WATER, SANITARY, ELECTRIC, PHONE, CABLE AND GAS COMPANIES FOR NEW SERVICE, CONTACT, FILL OUT APPLICATIONS, SUBMIT FOR SERVICE, COORDINATE, PAY FEES, AND ACQUIRE PERMITS IF NEEDED. THIS IS ALL TO BE INCLUDED IN THE BID FOR THESE ITEMS. IN ADDITION BID SHALL INCLUDE ANY CONDUITS REQUIRED FOR THE INSTALLATION OF GAS LINE, PHONE, WATER, ELECTRIC, AND CABLE REQUIRED BY THE LOCAL UTILITY COMPANIES.
- G.C. WILL BE REQUIRED TO REPLACE ANY SOD DAMAGED BY SIGN VENDOR AT NO CHARGE AND IS TO COMPLETE SOD REPAIR.
- SOD WITHIN THE RIGHT-OF-WAY SHALL BE INCLUDED IN THE LANDSCAPE CONTRACTOR'S BID.
- ALL OFFSITE AREAS DISTURBED BY UTILITY REMOVAL, ABANDONMENT OR OTHER WORK SHALL BE RESTORED TO A STABILIZED CONDITION.
- NO SLOPES SHALL EXCEED 3:1 (HORIZONTAL) TO 1:1 (VERTICAL), UNLESS JUSTIFIED BY A GEOTECHNICAL REPORT, WHICH HAS BEEN ACCEPTED/APPROVED BY THE CITY OF FLORISSANT.
- SANITARY AND STORM SEWERS SHALL BE DESIGNED PER THE CITY OF FLORISSANT AND MSD REQUIREMENTS AND SPECIFICATIONS.
- ALL PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED TO MEET THE CITY OF FLORISSANT STANDARDS.
- THE G.C. WILL BE REQUIRED TO PULL THE BUILDING PERMIT FROM THE CITY PRIOR TO COMMENCING ANY WORK. THERE MAY BE SOME TIMES WHEN THE CITY WILL REQUIRE THAT ALL THE SUB CONTRACTORS BE KNOWN IN ORDER TO COMPLETE THE PERMIT APPLICATION. WHEN ASKED THE G.C. WILL PROVIDE A LIST TO THE DEVELOPER WITH COMPANY NAMES, ADDRESSES, PHONE/FAX NUMBERS, CONTACT NAMES AND STATE LICENSE NUMBERS.
- THE G.C. IS TO FILE A "NOTICE OF COMMENCEMENT" AS REQUIRED BY THE LAWS GOVERNING THE STATE THAT THE PROJECT FALLS IN AND SUBMIT ALL PAPERWORK TO THE DEVELOPER.
- THE G.C. IS TO CONTACT THE DEVELOPER AND THE ENGINEER WITHIN A 24 HOUR TIME TABLE WHEN A DISCREPANCY OCCURS BETWEEN THE BUILDING OR SITE CONSTRUCTION DOCUMENTS, GEOTECHNICAL REPORTS, ETC. TO DISCUSS AND DETERMINE A SOLUTION.

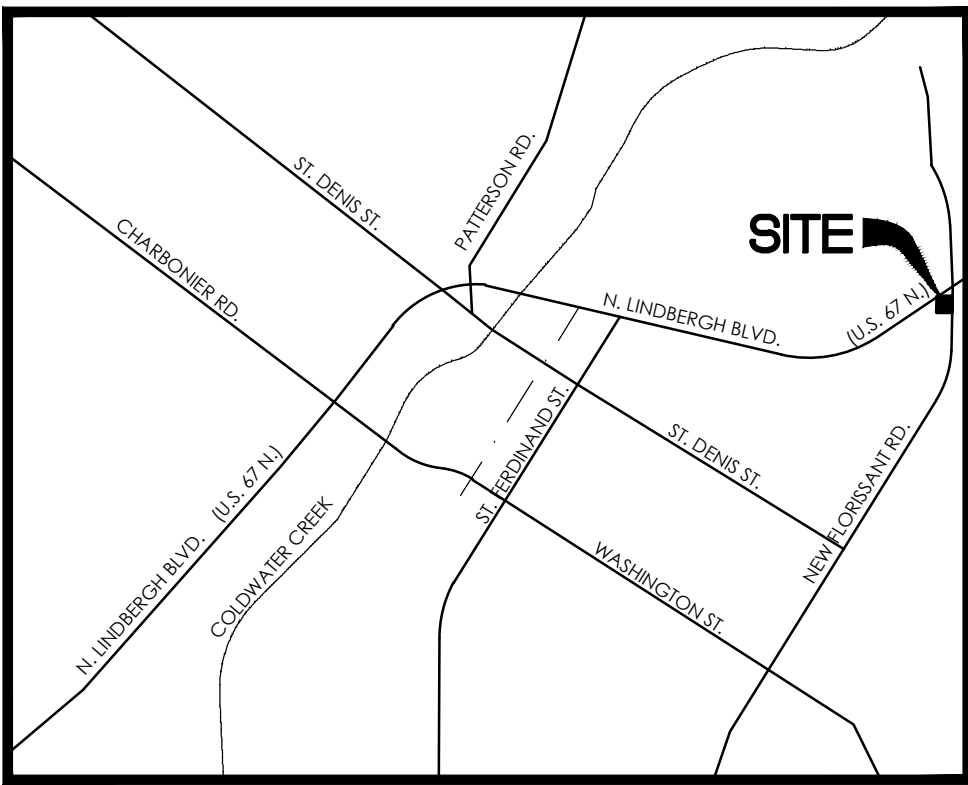
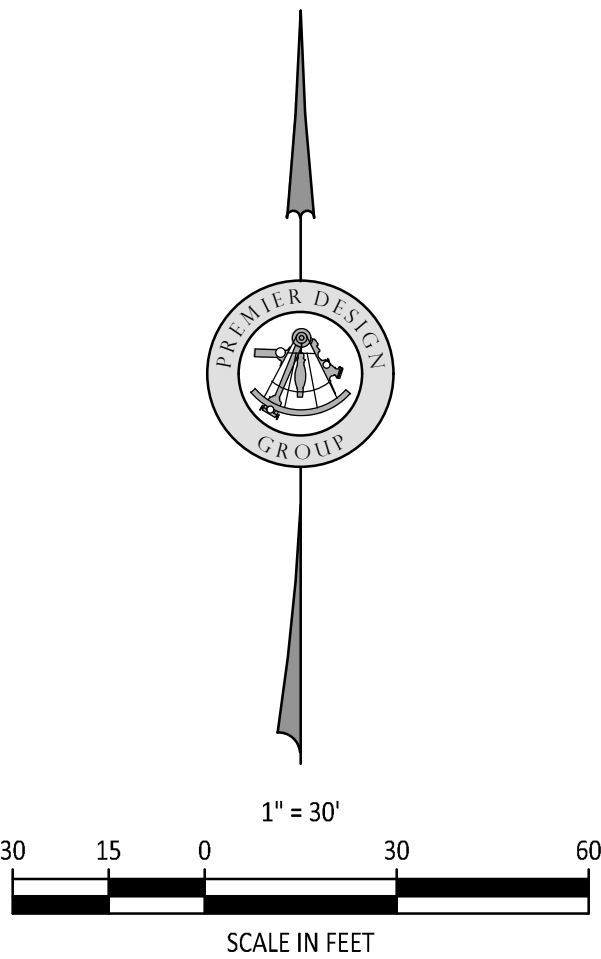
PROPERTY DATA

OWNER	1790 N HWY 67 HOLDINGS ADDRESS
PARCEL ID	1790 N NEW FLORISSANT ROAD
ACREAGE	#08J540592 5 22 81
PRESENT ZONING	B-3 EXTENSIVE BUSINESS DISTRICT
PROPOSED ZONING	B-5 PLANNED COMMERCIAL DISTRICT
METROPOLITAN ST. LOUIS SEWER DISTRICT	314-768-6272
LACLEDE GAS COMPANY	314-342-0694
AT&T	636-949-1331
MISSOURI AMERICAN WATER	314-996-2465
AMERENUE	314-344-9560
FEMA MAP	29189C0062K - FEBRUARY 4, 2015

PAVEMENT NOTES

- ASPHALT PAVEMENT THICKNESS SHALL BE AS FOLLOWS:

MEDIUM DUTY	
2\" TYPE \"C\" SURFACE COURSE	
2\" TYPE \"X\" BINDER COURSE	
9\" TYPE 5 BASE ROCK	





OLYMPIC MOTOR PARKING
1645 N. NEW FLORISSANT ROAD
FLORISSANT, MO 63033

Project	8.16.21
Date	
Revision Date	
Revision Number	
Sheet Number	C-100
Project No.	2106320
Drawn By	J.M. WINTERS
Checked By	R. MÜLSER
NOT RELEASED FOR CONSTRUCTION	

\\valet\p\valet\civil\3D PROJECTS\2021\106320_OLYMPIC MOTOR CO\ENGINEERING\SITE PLAN\PUD SITE PLAN.dwg

1-800-DIG-RITE
CALL BEFORE YOU DIG
UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (i.e. trenching, blasting, etc.)
Packet Page 49 of 129

PLANT SCHEDULE

CONIFERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL.	SIZE
	TE	18	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	15 GAL	2.5" CAL	6' TALL MIN.
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE		
	BG	112	BUXUS MICROPHYLLA KOREANA 'GREEN MOUND'	KOREAN BOXWOOD	3 GAL		

LANDSCAPE GUIDELINE SPECS.

GENERAL:

- ALL LANDSCAPE MATERIAL SHALL CONFORM TO THE CITY OF FLORISSANT STANDARDS.
- ALL NATURAL VEGETATION SHALL BE MAINTAINED WHERE IT DOES NOT INTERFERE WITH CONSTRUCTION OR THE PERMANENT PLAN OF OPERATION. EVERY EFFORT POSSIBLE SHALL BE MADE TO PROTECT EXISTING VEGETATION OR STRUCTURES FROM DAMAGE DUE TO EQUIPMENT USAGE. CONTRACTOR SHALL AT ALL TIMES PROTECT ALL MATERIALS AND WORK AGAINST INJURY TO THE PUBLIC.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER SITE RELATED WORK BEING PERFORMED BY OTHER CONTRACTORS. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER COORDINATION OF WORK TO BE DONE.
- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS NOT PRESENTLY SHOWN OR KNOWN. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO DETERMINE OR VERIFY THE EXISTENCE OF AND EXACT LOCATION OF ALL UTILITIES. (CALL 1-800-DIG-RITE)
- PLANT MATERIAL ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. ALL PLANTING BEDS SHALL BE CULTIVATED TO A DEPTH OF 6" MINIMUM AND GRADED SMOOTH IMMEDIATELY BEFORE PLANTING OF PLANTS. PLANT GROUND COVER TO WITHIN 12" OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN THE AREA.
- IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO:
 - VERIFY ALL EXISTING AND PROPOSED FEATURES SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT.
 - REPORT ALL DISCREPANCIES FOUND WITH REGARD TO EXISTING CONDITIONS OR PROPOSED DESIGN TO THE ENGINEER OF RECORD IMMEDIATELY FOR A DECISION.
 - STAKE THE LOCATIONS OF ALL PROPOSED PLANT MATERIAL AND OBTAIN THE APPROVAL OF THE OWNER'S REPRESENTATIVE OR ENGINEER OF RECORD PRIOR TO INSTALLATION.
- ITEMS SHOWN ON THIS DRAWING TAKE PRECEDENCE OVER THE MATERIAL LIST. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO IMPLEMENTATION OF THIS PLAN. NO SUBSTITUTIONS OF TYPES OR SIZE OF PLANT MATERIALS WILL BE ACCEPTED WITHOUT WRITTEN APPROVAL FROM THE ENGINEER OF RECORD.
- PROVIDE SINGLE-STEM TREES UNLESS OTHERWISE NOTED IN PLANT SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR INSPECTION OF THE PLANT MATERIAL BY THE ENGINEER OF RECORD PRIOR TO ACCEPTANCE. PLANTS NOT CONFORMING EXACTLY TO THE PLANT LIST WILL NOT BE ACCEPTED AND SHALL BE REPLACED AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
- ALL BIDS ARE TO HAVE UNIT PRICES LISTED. THE OWNER HAS THE OPTION TO DELETE ANY PORTION OF THE CONTRACT PRIOR TO SIGNING THE CONTRACT OR BEGINNING WORK. THIS WILL BE A UNIT PRICE CONTRACT.
- ALL PLANT MATERIAL TO BE TRANSPLANTED SHALL BE IN ACCORDANCE TO GUIDELINES SET BY AAN STANDARDS. TRANSPLANTED MATERIAL WILL NOT BE GUARANTEED BY THE LANDSCAPE CONTRACTOR.

INSURANCE:

- THE LANDSCAPE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE FOR WORKMAN'S COMPENSATION AND GENERAL LIABILITY.

MULCH:

- ALL MULCH TO BE SHREDDED OAK BARK MULCH AT 3" DEPTH AFTER COMPACTION (UNLESS OTHERWISE NOTED). MULCH SHALL BE CLEAN AND FREE OF ALL FOREIGN MATERIALS, INCLUDING WEEDS, MOLD, DELETERIOUS MATERIALS, ETC.
- NO PLASTIC SHEETING OR FILTER FABRIC SHALL BE PLACED BENEATH SHREDDED OAK BARK MULCH BEDS. MIRAFI FABRIC SHALL BE USED BENEATH ALL GRAVEL MULCH BEDS.
- LANDSCAPE BEDS NOT BORDERED BY CONCRETE CURBING OR WALKS SHALL BE EDGED WITH SPADE-CUT EDGE UNLESS OTHERWISE NOTED.

MAINTENANCE:

- LANDSCAPE CONTRACTOR SHALL PROVIDE A SEPARATE PROPOSAL TO MAINTAIN ALL PLANTS, SHRUBS, GROUND COVER, PERENNIALS AND ANNUALS FOR A PERIOD OF 12 MONTHS AFTER ACCEPTANCE.
- CONTRACTOR SHALL ENSURE THAT ONLY COMPETENT AND TRAINED PERSONNEL SHALL PROVIDE SUCH SERVICES AND THAT SUCH SERVICES BE PROVIDED IN A TIMELY MANNER.

TOPSOIL:

- TOPSOIL MIX FOR ALL PROPOSED LANDSCAPE PLANTINGS SHALL BE FIVE (5) PARTS WELL-DRAINED SCREENED ORGANIC TOPSOIL TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS AS PER PLANTING DETAILS. ROTO-TILL TOPSOIL MIX TO A DEPTH OF 6" MINIMUM AND GRADE SMOOTH.
- PROVIDE A SOIL ANALYSIS, AS REQUESTED, MADE BY AN INDEPENDENT SOIL-TESTING AGENCY OUTLINING THE PERCENTAGE (%) OF ORGANIC MATTER, INORGANIC MATTER, DELETERIOUS MATERIAL, PH AND MINERAL CONTENT.
- ANY FOREIGN TOPSOIL USED SHALL BE FREE OF ROOTS, STUMPS, WEEDS, BRUSH, STONES (LARGER THAN 1"), LITTER OR ANY OTHER EXTRANEOUS OR TOXIC MATERIAL.
- LANDSCAPE CONTRACTOR TO APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS UPON COMPLETION OF PLANTING OPERATIONS AND BEFORE APPLICATION OF SHREDDED OAK BARK MULCH.

MISC. MATERIAL:

- PROVIDE STAKES AND DEADMAN OF SOUND, NEW HARDWOOD, FREE OF KNOTHOLES AND DEFECTS.
- TREE WRAP TAPE SHALL BE 4" MINIMUM, DESIGNED TO PREVENT BORER DAMAGE AND WINTER FREEZING. ADDITIONALLY, ONLY 3-PLY TYING MATERIAL SHALL BE USED.

TURF:

- ALL DISTURBED LAWN AREAS TO BE SODDED.
- ANY POINTS CARRYING CONCENTRATED WATER LOADS AND ALL SLOPES OF 33% OR GREATER SHALL BE SODDED AND STAPLED WITH SOD STAPLES TO SECURE IN PLACE.
- ALL SOD SHALL BE PLACED A MAXIMUM OF 24 HOURS AFTER HARVESTING.
- RECONDITION EXISTING LAWN AREAS DAMAGED BY CONTRACTOR'S OPERATIONS INCLUDING EQUIPMENT/ MATERIAL STORAGE AND MOVEMENT OF VEHICLES.
- SOD CONTRACTOR TO ENSURE SOD IS PLACED BELOW SIDEWALK AND ALL PAVED AREA ELEVATIONS TO ALLOW FOR PROPER DRAINAGE.
- OFF-SITE LAND DISTURBED SHALL BE SODDED TO THE RIGHT OF WAY.

WARRANTY:

- ALL PLANT MATERIAL (EXCLUDING GROUND COVER, PERENNIALS AND ANNUALS) ARE TO BE WARRANTED FOR A PERIOD OF 12 MONTHS AFTER INSTALLATION AT 100% OF THE INSTALLED PRICE.
- ANY PLANT MATERIAL FOUND TO BE DEFECTIVE SHALL BE REMOVED AND REPLACED WITHIN 30 DAYS OF NOTIFICATION OR IN GROWTH SEASON DETERMINED TO BE BEST FOR THE PLANT.
- ONLY ONE REPLACEMENT PER TREE OR SHRUB SHALL BE REQUIRED AT THE END OF THE WARRANTY PERIOD, UNLESS LOSS IS DUE TO FAILURE TO COMPLY WITH WARRANTY.
- LAWN ESTABLISHMENT PERIOD WILL BE IN EFFECT ONCE THE LAWN HAS BEEN MOWED THREE TIMES. PLANT ESTABLISHMENT PERIOD SHALL COMMENCE ON THE DATE OF ACCEPTANCE AND 100% COMPLETION.

IRRIGATION:

- IRRIGATION SHALL BE DESIGN BUILD.
- IRRIGATION DRAWINGS SHALL BE REVIEWED BY ENGINEER OF RECORD PRIOR TO ORDERING OF PARTS AND COMMENCEMENT OF WORK.



ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the act of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date codes hereunder attached.
RICHARD S. MUSLER, P.E.
PROFESSIONAL ENGINEER
PE-18636

OLYMPIC MOTOR PARKING
1645 N. NEW FLORISSANT ROAD
FLORISSANT, MO 63033

Project

Date

8.16.21

Description of Changes

Revision Date

Sheet Number

L-101

Project No. 2106320

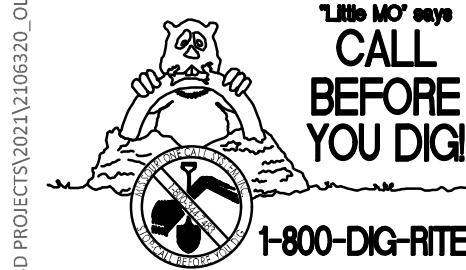
Drawn By J.M.WINTERS

Checked By R. MUSLER

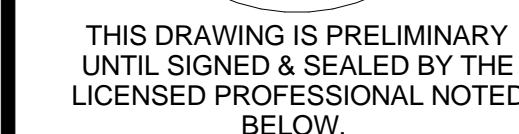
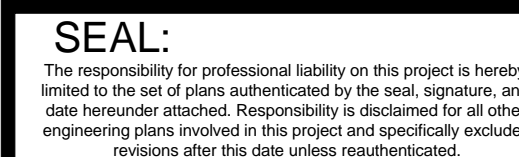
NOT RELEASED FOR CONSTRUCTION

PUD LANDSCAPE PLAN

V:\Users\jmwinters\Civil 3D\PROJECTS\2021\106320_OLYMPIC MOTOR CO ENGINEERING\SITE PLAN\PU D LANDSCAPE PLAN.dwg



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (i.e. trenching, blasting, etc.)
Packet Page 50 of 129

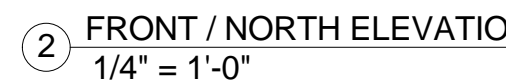
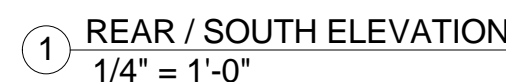


MO ENGINEERING CERT. OF AUTHORITY #E-2011000031
MO ARCHITECTURAL CERT. OF AUTHORITY #2016040056
MO LAND SURVEYING CERT. OF AUTHORITY #LS-201200753

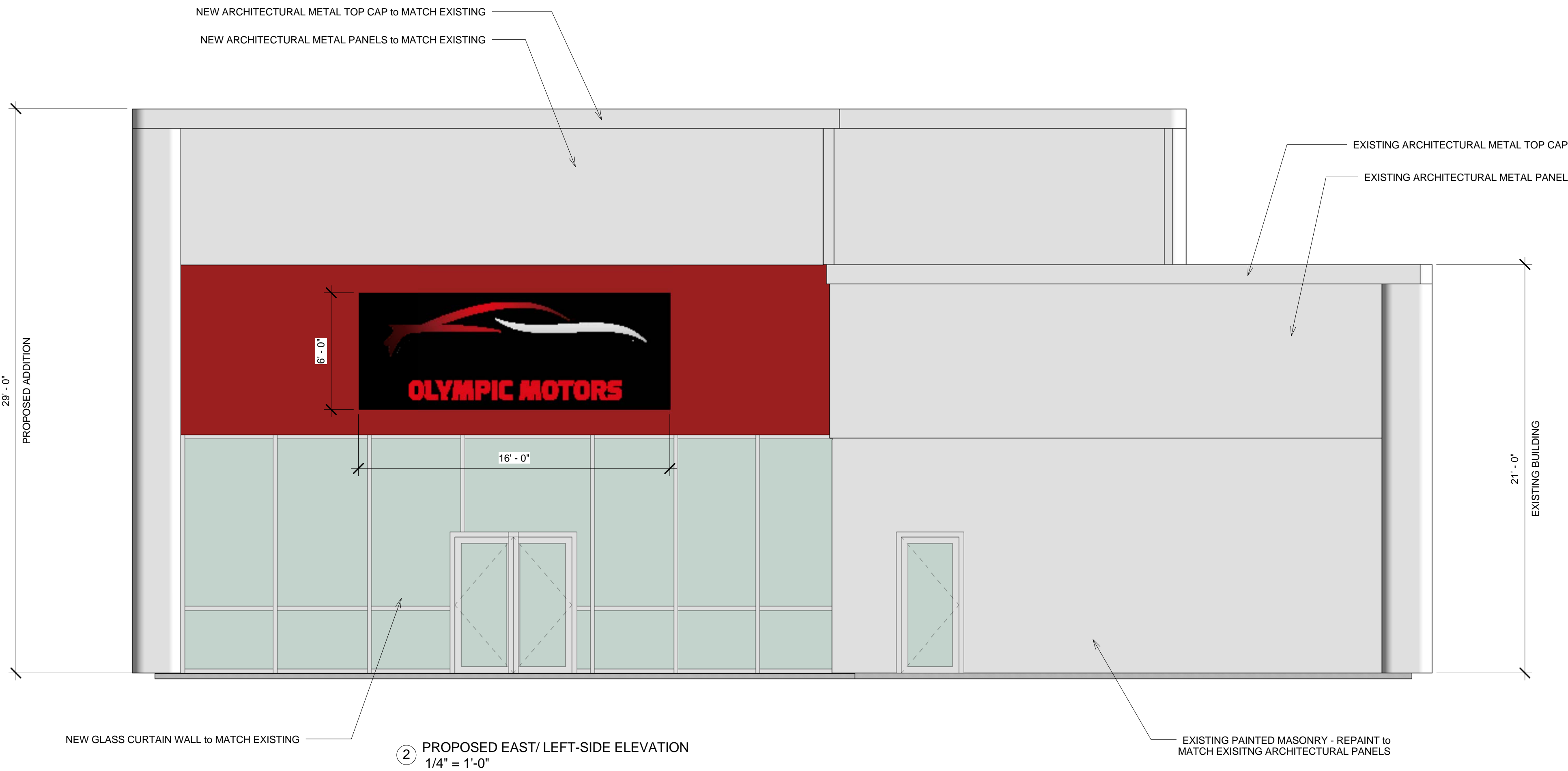
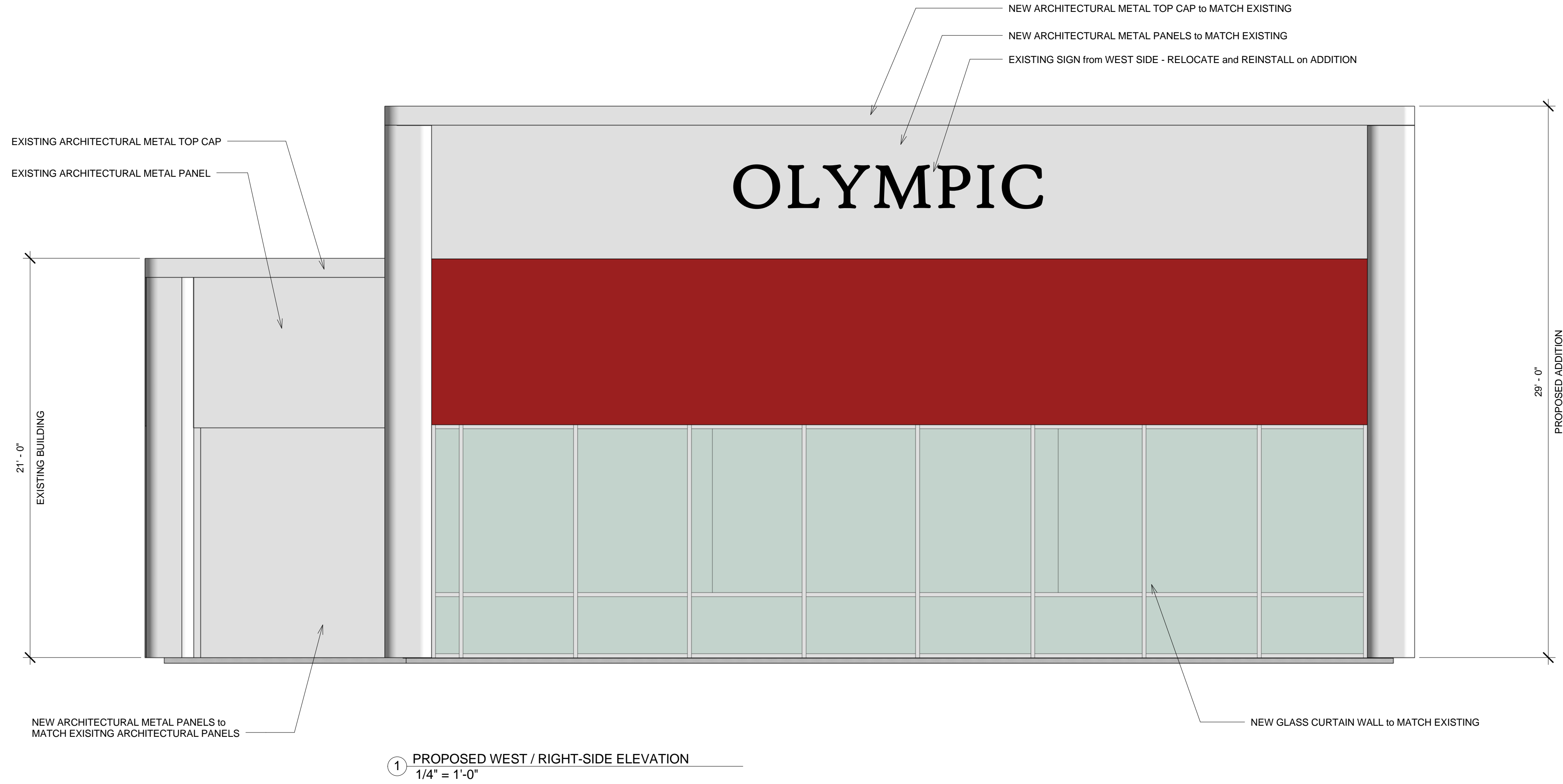
project

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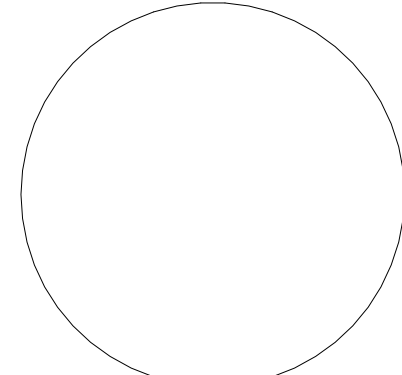
1645 N. New Florissant Road Florissant,
Missouri 63033



C:\Users\Hill Partnership\Desktop\Olympic Motors Addition\Olympic Motors Existing Plans.rvt 8/16/2021 3:56:48 PM Packet Page 53 of 129



SEAL:
The responsibility for professional liability on this project is hereby limited to the act of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after this date unless reauthorized.



THIS DRAWING IS PRELIMINARY UNTIL SIGNED & SEALED BY THE LICENSED PROFESSIONAL NOTED BELOW.

ROSS E. HENSON MO ARCHITECT #007743
MO ENGINEERING CERT. OF AUTHORITY #E-2011000031
MO ARCHITECTURAL CERT. OF AUTHORITY #2016040056
MO LAND SURVEYING CERT. OF AUTHORITY #LS-2012007538

PROPOSED BUILDING ADDITION for:
OLYMPIC MOTOR COMPANY
1645 N. New Florissant Road
Florissant, Missouri 63033

Date		Issue Date
#	Revision Date	Description

A103

Project No. 2106320
Drawn By ECG
Checked By REH
1645 N. New Florissant Road Florissant, Missouri 63033

CITY OF FLORISSANT

Public Hearing

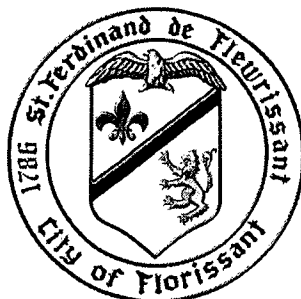


In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, October 11, 2021 at 7:00 p.m. on the following proposition:

To authorize a Special Use Permit to Simply Thai to allow for the operation of a sit-down, carryout restaurant for the property located at 5 Paddock Hills Shopping Center in a 'B-3' Extensive Business District. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward _____ Zoning _____

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN.

DATE:

SPECIAL PERMIT FOR

9-7-2021
Simply Thai Restaurant

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #

4926

TO ALLOW FOR

operation of Restaurant

ordinance #

Statement of what the amendment is for.

LOCATION

5 Paddock Hills shopping ctr

Address of property.

1) Comes Now

KOSON Tuankrua.

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property)

PADDOCK EQUITY INVESTORS LLC

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for *Restaurant* and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

KOSON TUANKRUA. / KOSON77@gmail.com/314 755 6565
 PRINT NAME SIGNATURE email and phone

FOR Simply Thai Restaurant
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):

- ☒ 1) I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE [Signature]

ADDRESS 3739 Attirmed Dr Florissant MO 63034
 STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314 921 2179 / KOSON 77@gmail.com
 BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
 Print name of agent.
 my (our) duly authorized agent to represent me (us) in regard to this petition.

 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: ☒ Individual ☐ Partnership ☐ Corporation

(a) If an individual:

- (1) Name and Address KOSON TUANKUM 3739 Affirmed dr Florissant MO 63034
(2) Telephone Number 314 755 6565
(3) Business Address 5 Paddock Hills shopping ctr Florissant MO 63033
(4) Date started in business 01 - 2004
(5) Name in which business is operated if different from (1) Simply Thai Restaurant
(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners N/A
(2) Telephone numbers _____
(3) Business address _____
(4) Name under which business is operated _____
(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners N/A
(2) Telephone numbers _____
(3) Business address _____
(4) State of Incorporation & a photocopy of incorporation papers _____
(5) Date of Incorporation _____
(6) Missouri Corporate Number _____
(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
(8) Name in which business is operated _____
(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Koson Tuankrao
Address 5 Paddock Hill shopping ctr florissant MO 63033
Property Owner Paddock Equity Investors LLC
Location of property 5 Paddock Hills Plaza
Dimensions of property 1214 sf
Property is presently zoned Commercial Requests Rezoning To _____
Proposed Use of Property Restaurant
Type of Sign N/A Height _____
Type of Construction Brick and wood Number Of Stories 1
Square Footage of Building 1,214 sf Number of Curb Cuts 0
Number of Parking Spaces 40 Sidewalk Length 17.4 feet
Landscaping: No. of Trees N/A Diameter _____
No. of Shrubs N/A Size _____
Fence: Type N/A Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening. Be hind bldg
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

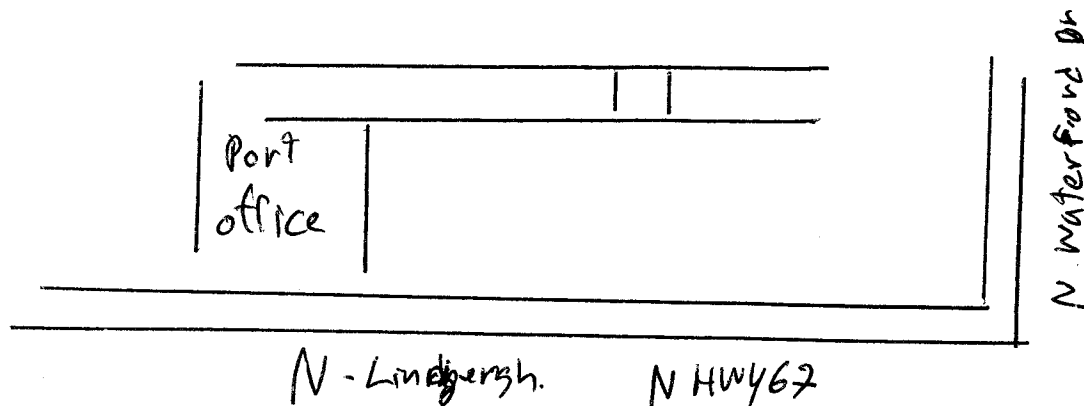
Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

5 Paddock hills shopping ctr florissant MO 63033

Part of Paddock Hills Shopping Center

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection.



OFFICE USE ONLY

Date Application reviewed _____

STAFF REMARKS: _____

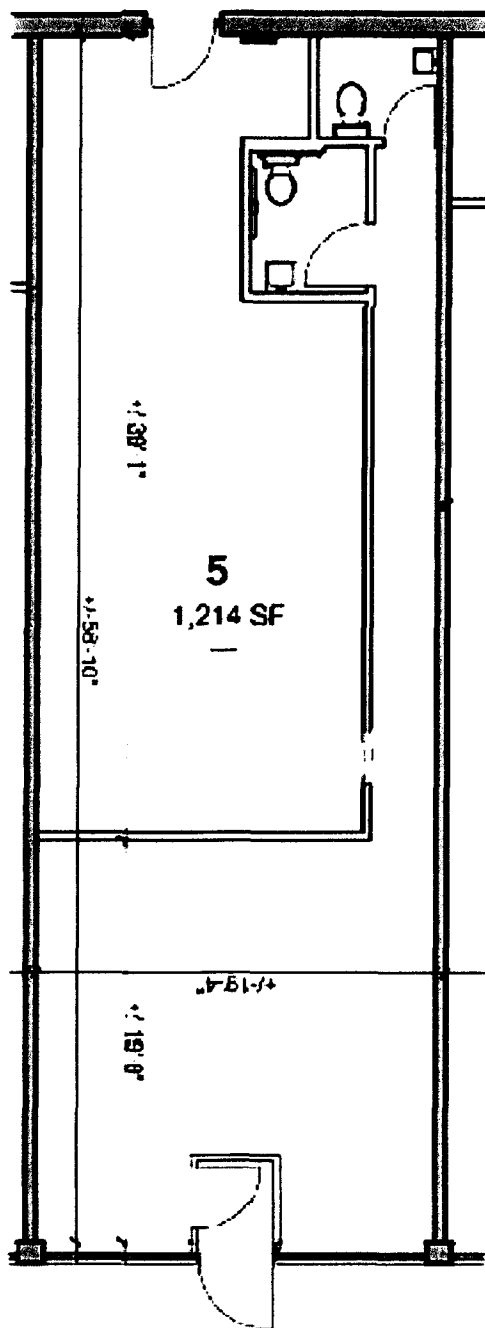
Building Commissioner or Staff Signature

Proposal to Move “Simply Thai Restaurant”

from 2470 N. Lindbergh, Florissant, Missouri
(after 17 years of business in this location)
to #5 Paddock Hills Shopping Center, Florissant,
Missouri

EXHIBIT A

PREMISES



HS

INITIALS

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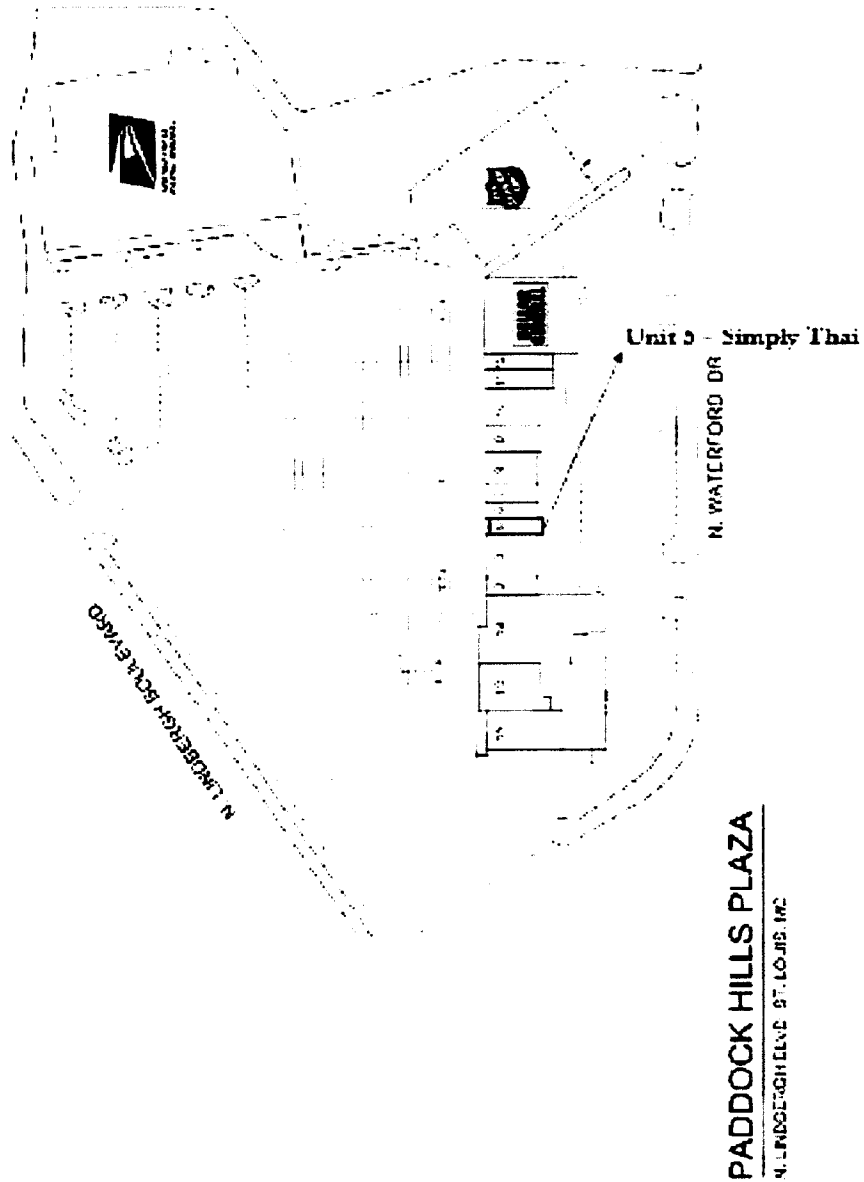
Page 4 of 9
Last Edited: 7/8/2021 9:52 AM

KT

INITIALS

ADD-1.01, Revised 07-28-2017

EXHIBIT B **SITE PLAN**



HS

INITIALS

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Page 5 of 9
 Last Edited: 7/8/2021 9:52 AM

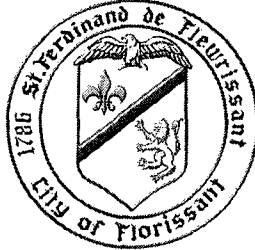
KT

INITIALS

ADD-1.01, Revised 07-28-2017

1
2
3

MEMORANDUM



4
5
6

CITY OF FLORISSANT- Building Division

7
8

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

9 To: Planning and Zoning Commissioners Date: September 1, 2021

10
11 From: Philip E. Lum, AIA-Building Commissioner c: Todd Hughes, P.E.,
12 Director Public Works
13 Deputy City Clerk
14 Applicant
15 File

16
17 Subject: **5 Paddock Hills Shopping Center (Simply Thai) Request Recommended**
18 Approval of a Special Use to allow for sit-down carryout restaurant in a
19 'B-3' Extensive Business District.
20

21
22
23

STAFF REPORT
CASE NUMBER PZ-090721-2

24

I. PROJECT DESCRIPTION:

25 This is a request for **recommended approval** of a Special Use, to allow for a sit-down
26 carryout restaurant at **5 Paddock Hills Shopping Center**, in an existing 'B-3' Planned
27 Commercial District.
28

29

II. EXISTING SITE CONDITIONS:

30 The existing property at **5 Paddock Hills Shopping Center** is a property which is a tenant
31 space on a 7.77 acre site with a shopping center in a 'B-3' Extensive Business District.
32

33 The subject property is approximately 1080 s.f. in the shopping center which is about
34 60,708 s.f. in total. There is a plan attached, A-100 which shows the layout.
35

36 The existing building was built in 1964 per County record, which lists the Shopping
37 Center that currently houses other Uses.
38
39
40

41 **III. SURROUNDING PROPERTIES:**

42 The property to the East is the Post Office at 2190 and 2200 N Highway 67, zoned
43 similarly in the 'B-3' Extensive Business District. The properties to the North are 2100
44 US Bank, 2180 and 2182 McAlister's and Rally's in a 'B-5' District.

45
46 **IV. STAFF ANALYSIS:**

47 Plan received from the applicant includes a large Kitchen and dining with booths. Back
48 of house rooms include restrooms. Depending on the occupants on the long bench shown
49 there appears to be 32 seating.

50
51 Comments on Drawings:

52
53 Plan shows 32 total seats in the dining Area. Therefore parking generated as calculated
54 by the parking code for a restaurant is one space for every 2 seats and 2 spaces for every
55 3 employees on the max. shift, or about 20. Or $4.5/1000 \text{ s.f.} = 9$

56
57 Total parking required 9, total provided for the entire shopping center complex was not
58 calculated since parking is in abundance. Total parking counted by aerial photo 174.

59
60 **III. STAFF RECOMENDATIONS:**

61 This space was formerly China Garden, but has remained closed too long to
62 transfer a Special Use. Therefore, the petitioner must seek their own Special Use
63 Permit.

64
65 **Suggested Motion:**

66 I move for Recommended Approval of a Special Use to allow for a sit-down carryout
67 restaurant at **5 Paddock Hills Shopping Center** in a 'B-3' Extensive Business District as
68 shown on plans attached, subject to the conditions set forth below with these conditions
69 being part of the record:

70

71

72

(End of report and suggested motion)

CITY OF FLORISSANT

Public Hearing



In accordance with 405.125 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 rue St. Francois, on Monday, September 13, 2021 at 7:00 p.m. on the following proposition:

To rezone the property located at 600 Florland Dr (formerly Snow White Daycare) from 'R-4' Single Family Dwelling District to a 'B-3' Extensive Business District for the location of a child day care center. Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or email kgoodwin@florissantmo.com.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

1 INTRODUCED BY COUNCILMAN EAGAN
2 SEPTEMBER 13, 2021
3
4

5 BILL NO. 9713

ORDINANCE NO.

6
7 **AN ORDINANCE AUTHORIZING THE REZONING OF THE**
8 **PROPERTY LOCATED AT 600 FLORLAND DRIVE FROM R-4,**
9 **“SINGLE FAMILY DWELLING DISTRICT” TO B-3 “EXTENSIVE**
10 **BUSINESS DISTRICT” TO ALLOW FOR THE LOCATION OF A**
11 **CHILD DAY CARE CENTER.**
12

13 WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant
14 district classifications for the purpose of regulating their construction and use of land, buildings
15 and property within the said various districts, and said Ordinance provides the nature, kind and
16 character of buildings that may be erected in each of the said districts and the use to which the
17 land and buildings may be put; and

18 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
19 August 16, 2021 meeting, has recommended to the City Council that Ordinance No. 1625 be
20 amended to change the classification of certain property identified as 600 Florland Drive from R-
21 4, Single Family Dwelling District to B-3 Extensive Commercial District; and

22 WHEREAS, due and lawful notice of public hearing no. 21-09-027 on said proposed
23 zoning change to be held on Monday, September 13, 2021, at 7:00 P.M. by the Council of the
24 City of Florissant was duly published; and

25 WHEREAS, said public hearing was duly and properly held by the Council of the City of
26 Florissant at the time and place provided in said notice at which time said public hearing was
27 concluded, and all comments, statements and suggestions made by those present and concerning
28 the proposed change were heard and considered by the Council; and

29 WHEREAS, the Council, following said public hearing, and after due and careful
30 deliberation, has concluded that the amendment of Ordinance No. 1625, as amended, as
31 hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City
32 of Florissant.

33 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
34 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
35

36 Section 1: Ordinance No. 1625, as amended, is hereby further amended by changing the
37 classification of the following described property from R-4, Single Family Dwelling District to
38 B-3 Extensive Commercial District.

600 Florland Drive

Florissant, MO 63031

A TRACT OF LAND IN SURVEY NO. 162 OF ST. FERDINAND COMMON FIELDS, TOWNSHIP 47NORTH, RANGE 6 EAST, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY

DESCRIBED AS FOLLOWS: COMMENCING AT THE MOST SOUTHWEST CORNER OF LOT 11N BLOCK 2 OF FLORLAND PLAT NO. 1, AS RECORDED IN PLAT BOOK 73 PAGE 14 OF THE STLOUIS COUNTY RECORDER'S OFFICE. THENCE S 53°10'00" E A DISTANCE OF 39.70' TO THE TRUE POINT OF BEGINNING FOR THE TRACT OF LAND HEREIN DESCRIBED. THENCE N 71°26'45" E A DISTANCE OF 113.58' TO A POINT ON THE SOUTHWESTERN RIGHT OF WAY OF FLORLAND DRIVE (50' WIDE); THENCE ALONG SAID RIGHT OF WAYS 18°33'30" E A DISTANCE OF 85.76' TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 41.22', WITH A RADIUS OF 105.00', WITH A CHORD BEARING OF S 29°48'15" E, WITH A CHORD LENGTH OF 40.95' TO A POINT ON THE NORTHWESTERN RIGHT OF WAY OF LINDBERGH BOULEVARD (VARIABLE WIDTH) CALCULATED FROM CAUSE #285655(PARCEL 140) AS RECORDED IN DEED BOOK 6314 PAGE 69 OF THE STLOUIS COUNTY RECORDER'S OFFICE; THENCE ALONG SAID RIGHT OF WAYS 40°44'00" W A DISTANCE OF 28.60' TO A POINT; THENCE LEAVING SAID RIGHT OF WAY N 53°10'00" W A DISTANCE OF 170.76' TO THE POINT OF BEGINNING AND CONTAINING 9,190 SQUARE FEET

Section 3: The Director of Public Works is hereby authorized and directed to change the City map in accordance with the attached site plan known as Exhibit "A".

Section 4: Except for the change of classification of the property hereinabove described, Ordinance No. 1625, as amended, shall remain in full force and effect and shall apply in all of its terms and provisions to the property herein described according to the new classification thereof.

Section 5: This ordinance shall become in force and effect upon its passage and approval as provided by law.

Adopted this _____ day of _____, 2021.

Keith Schildroth
President of the Council

Approved this _____ day of _____, 2021.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

RE-ZONING APPLICATION TO THE PLANNING AND ZONING
COMMISSION CITY OF FLORISSANT, MISSOURI

SECRETARY



SIGN.

DATE:

J. Baranowski 8-16-2021

PLANNING & ZONING ACTION:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN.

DATE:

[Signature] 8/16/21

PETITION FOR REZONING FROM A CURRENTLY ZONED B-4 DISTRICT TO

A B-3 ZONING DISTRICT IN COUNCIL WARD _____
Enter zoning classification request Enter current zoning district

1) Comes Now Isamu Jo Katsu, LLC

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property) Tanisha Patterson

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

If other than title, give date of contract _____ and expiration date of Contract _____

- A. The petitioner(s) hereby state that he (she) (they) is (are) hereby submitting a description of the entire parcel or tract of land owned by the holder of the fee simple title, giving bearing and distances.
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned, giving bearings & distances (metes and bounds). Not required if description is identical to "A".
- C. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property described in "A" above, drawn to scale of 100 feet or less to the inch, referenced to point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions (bearings and distances) of property, north point and scale. If property is being described in "A" above, designate said property and show dimensions of same.

D. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned _____

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a H-4 District and is presently being used

for Child Care Center (currently Vacant)
State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) that the following factors justify the rezoning of the property hereby described in this petition: (If more space is needed, separate sheets may be attached).

Residential Property located in commercial district.

List factor's to justify the re-zoning.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Tanisha Patterson

PETITIONER(S) SIGNATURE (S) Tanisha Patterson

FOR ISAMU JO KATSU, LLC
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):

☒ I (we) have a legal interest in the herein above described property.

☐ I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE Tanisha Patterson

ADDRESS 600 Florland St. Louis MO 63031
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 314-749-4512
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

Tanisha Patterson
Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☒ Partnership: ☐ Corporation: ☐

(a) If an individual:

- (1) Name and Address Tanisha Patterson - Isamu Jo Katsu, LLC
(2) Telephone Number 314-749-4512
(3) Business Address 9648 Olive Blvd Ste 446 St. Louis, MO 63132
(4) Date started in business _____
(5) Name in which business is operated if different from (1) ISAMU JO KATSU LLC
(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
(2) Telephone numbers _____
(3) Business address _____
(4) Name under which business is operated _____
(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
(2) Telephone numbers _____
(3) Business address _____
(4) State of Incorporation & a photocopy of incorporation papers _____
(5) Date of Incorporation _____
(6) Missouri Corporate Number _____
(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
(8) Name in which business is operated _____

(9) Copy of latest Missouri Anti-Trust. (registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

STATE OF MISSOURI



Jason Kander
Secretary of State

CERTIFICATE OF ORGANIZATION

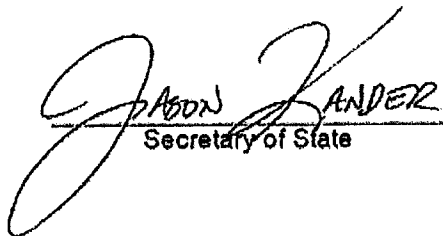
WHEREAS,

Isamu Jo Katsu, LLC
LC001470638

filed its Articles of Organization with this office on the 7th day of December, 2015, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, Jason Kander, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 7th day of December, 2015, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

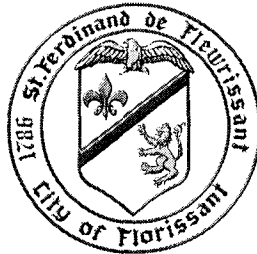
IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri.
Done at the City of Jefferson, this 7th day of December, 2015.


Secretary of State



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MEMORANDUM



CITY OF FLORISSANT

To: Planning and Zoning Commissioners Date: August 10, 2021

From: Philip E. Lum, AIA-Building Commissioner cc: Todd Hughes, PE
Director of Public Works
Applicant
Deputy City Clerk
File

Subject: **600 Florland Dr (Snow White Daycare)** Request Recommended approval of a Rezoning from an 'R-4' Single Family Dwelling District to a 'B-3' Zoning District.

STAFF REPORT
CASE NUMBER PZ-081621-1

I. PROJECT DESCRIPTION:

This is a request for Recommended approval of a Rezoning from an 'R-4' Single Family Dwelling District to a 'B-3' Zoning District.

II. EXISTING SITE CONDITIONS:

The existing property at 600 Florland has been vacant for several months following the closing of Snow White Day Care that existed as a legal non-conforming use in an 'R-4' Zoning District. The petitioner requested the re-zoning of the property to relieve the non-conforming status. In the meantime, it is currently a Use that is continuing under different ownership.

The subject building on the property is approximately 1290 square feet. The building is one-story frame with some brick construction with double wide driveway off Florland and a paved shoulder used for drop-off.

The parking in front of the property leads to about 4 parking spaces in the front. The parking lot and building were constructed in 1960. Parking is existing and conforming to the minimum parking requirement for Child Care Centers of 2.66/1000 s.f. GFA = 3.

40 There is no trash receptacle over 95 gallons that would require a screen.

41
42 The existing landscape is to remain.

43
44 **III. SURROUNDING PROPERTIES:**

45 The properties to the West, 605, 615 and 625 Loyola are zoned 'R-4' Single Family
46 Dwelling District as is the property to the North, 610 Florland Dr. The property across
47 Florland Dr, 8333 N Lindbergh is a vacant auto parts building owned by Bestar LLC in a
48 'B-3' District.

49
50 **IV. STAFF ANALYSIS:**

51 Upon review, it would seem appropriate to re-zone the property to 'B-3' to match
52 properties along N Lindbergh, currently all zoned 'B-3' or 'B-5' with the only two
53 exceptions being 600 Florland and the property at 685 Loyola as the sole remaining
54 residentially zoned property on N Lindbergh. The petitioner wishes to continue to lease
55 this property to the operator of a Child Day Care Center.

56
57 Survey provided indicates the front corner of the structure is approximately 30.9 feet
58 from Florland and the existing carport is 38.4 feet from N. Lindbergh. Both of these
59 structures encroach on a front setback of 40 feet in a 'B-3' Extensive Business District
60 Zone, which would make the structures non-conforming. The petitioner could apply for a
61 Variance to come into compliance.

62
63 This site is a well known landmark for the small castle-like structure on the site. The
64 structure might be seen as a possible historic resource or local icon.

65
66 **V. STAFF RECOMENDATIONS:**

67 The Commission is to weigh their recommendation against the following issues:

- 68 A. Re-zoning, if established as 'B-3', would allow any of the permitted uses in a 'B'-
69 3' available for this site.
70 B. Front setback for this property will end up non-conforming if re-zoned, due to the
71 40 foot front yard setback along Florland and N. Lindbergh (frontages).
72 C. Side yard setback will end up non-conforming if re-zoned due to the 35 foot
73 requirement toward the property adjacent to the North and West.
74 D. Screening requirement would need to be met by existing privacy fences between
75 this property and adjacent properties.
76 E. Re-zoning would favorably affect the Child Daycare Center as a non-conforming
77 Use.
78 F.

79 Suggested Motion:

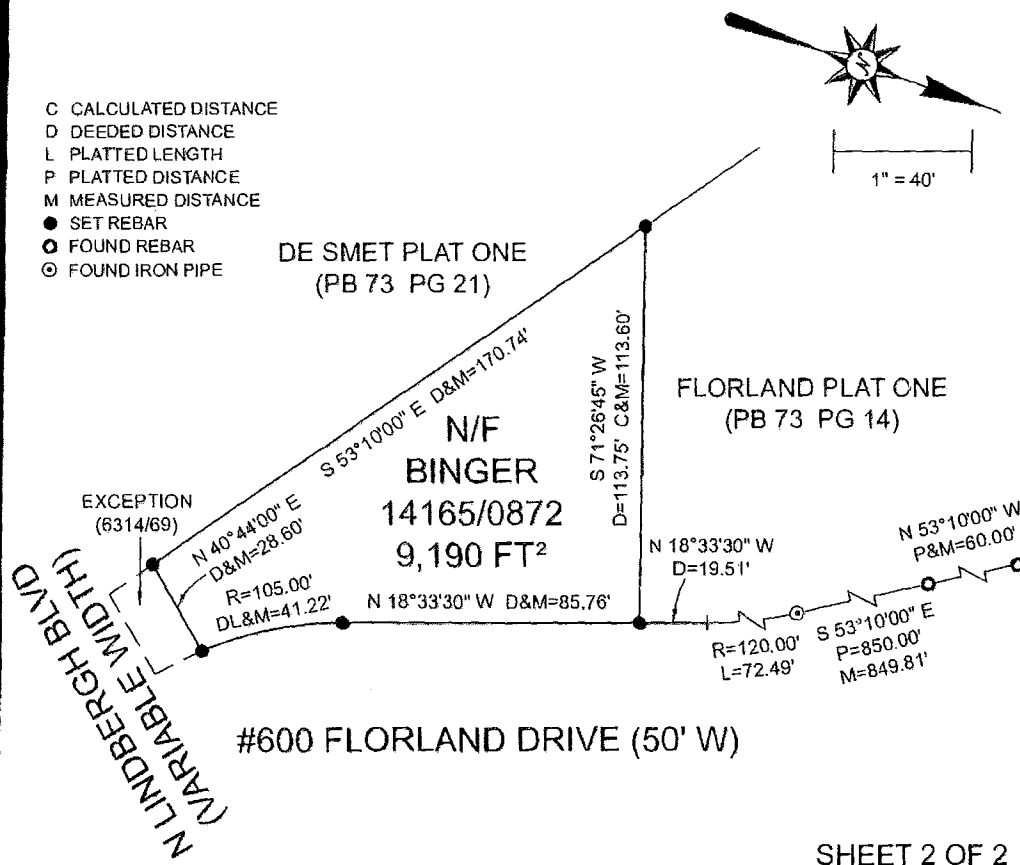
80 I move to recommend approval for the Re-zoning of **600 Florland from an 'R-4'**
81 **Single Family Dwelling District to a 'B-3' Extensive Business District**, subject
82 to the conditions set forth below with these conditions being part of the record.
83

84 (End of report)

BOUNDARY SURVEY PART OF SURVEY 162 OF ST FERDINAND COMMON FIELDS ST LOUIS COUNTY, MO

SURVEYORS NOTES:

1. BASIS OF BEARING PER RECORD PLAT OF FLORLAND PLAT ONE PER PLAT BOOK 73 PAGE 14 OF THE ST LOUIS COUNTY RECORDS.
2. BUILDING LINES SHOWN ON THIS DRAWING ARE THOSE THAT ARE SHOWN GRAPHICALLY ON THE RECORD PLAT. SETBACK AND SIDEYARD REQUIREMENTS MAY EXIST ACCORDING TO CURRENT ORDINANCE AND ZONING STANDARDS AND ARE NOT SHOWN ON THIS DRAWING.
3. NO RESEARCH PERTAINING TO EASEMENTS WAS COMPLETED BY CARDINAL SURVEYING & MAPPING AND THE PROPERTY MAY BE SUBJECT TO ADDITIONAL EASEMENTS. ITEMS LOCATED INTO EASEMENT AREAS MAY OR MAY NOT BE AT RISK. SEEK LEGAL ADVICE IF YOU HAVE QUESTIONS. THE EASEMENTS SHOWN ON THIS DRAWING ARE THOSE THAT ARE SHOWN GRAPHICALLY ON THE RECORD PLAT. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
4. SURVEY COMPLETED TO URBAN PROPERTY BOUNDARY ACCURACY STANDARDS PER 20 CSR 2030-16.040 OF THE MISSOURI STATE STATUTES AND ACCURATELY REFLECTS ALL VISIBLE IMPROVEMENTS, INCLUDING FENCES, RECORDED EASEMENTS PER ABOVE REFERENCED TITLE COMMITMENT, AND EVIDENCE OF VISIBLE EASEMENTS LOCATED AT THE TIME OF SURVEY. AN ALTA WAS NOT PERFORMED AND UTILITY LOCATION HAS NOT BEEN DETERMINED.
5. OWNERSHIP OF THE IMPROVEMENTS AS SHOWN ON THIS DRAWING ARE THE OPINION OF THE SURVEYOR AT THE TIME THE SURVEY WAS EXECUTED AND HAS NOT BEEN VERIFIED TO ANY EXTENT, NOR IMPLIES ANY EXCLUSIVE OWNERSHIP.



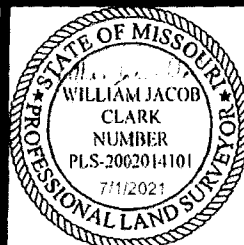
SHEET 2 OF 2



PO BOX 278
COTTLEVILLE, MO 63338
PHONE: 636.922.1001
Corp # 2005000229
www.CardinalSurveying.com
inbox@cardinalsurveying.com

JOB #2106154
FB 624:5
FIELD WORK BY: AAV/PRB
DRAWN BY: BSR/LNC
600 FLORLAND DR
FLORISSANT, MO, 63303
REVIEWED BY:
WILLIAM JACOB CLARK
LS# 2002014101

THIS IS TO CERTIFY THAT ON
JUNE 14, 2021 A REQUEST BY
TANISHA PATTERSON WAS MADE
FOR A BOUNDARY SURVEY AND
TO LOCATE THE IMPROVEMENTS
ON THE ABOVE NAMED TRACT
AND THAT THE RESULTS ARE, TO
THE BEST OF MY KNOWLEDGE,
CORRECTLY REPRESENTED
HEREON.



2106154 PROPERTY DESCRIPTION

A TRACT OF LAND IN SURVEY NO. 162 OF ST. FERDINAND COMMON FIELDS, TOWNSHIP 47 NORTH, RANGE 6 EAST, ST. LOUIS COUNTY, MISSOURI AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE MOST SOUTHWEST CORNER OF LOT 1 IN BLOCK 2 OF FLORLAND PLAT NO. 1, AS RECORDED IN PLAT BOOK 73 PAGE 14 OF THE ST LOUIS COUNTY RECORDER'S OFFICE. THENCE S $53^{\circ}10'00''$ E A DISTANCE OF 39.70' TO THE TRUE POINT OF BEGINNING FOR THE TRACT OF LAND HEREIN DESCRIBED. THENCE N $71^{\circ}26'45''$ E A DISTANCE OF 113.58' TO A POINT ON THE SOUTHWESTERN RIGHT OF WAY OF FLORLAND DRIVE (50' WIDE); THENCE ALONG SAID RIGHT OF WAY S $18^{\circ}33'30''$ E A DISTANCE OF 85.76' TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT WITH AN ARC LENGTH OF 41.22', WITH A RADIUS OF 105.00', WITH A CHORD BEARING OF S $29^{\circ}48'15''$ E, WITH A CHORD LENGTH OF 40.95' TO A POINT ON THE NORTHWESTERN RIGHT OF WAY OF LINDBERGH BOULEVARD (VARIABLE WIDTH) CALCULATED FROM CAUSE #285655(PARCEL 140) AS RECORDED IN DEED BOOK 6314 PAGE 69 OF THE ST LOUIS COUNTY RECORDER'S OFFICE; THENCE ALONG SAID RIGHT OF WAY S $40^{\circ}44'00''$ W A DISTANCE OF 28.60' TO A POINT; THENCE LEAVING SAID RIGHT OF WAY N $53^{\circ}10'00''$ W A DISTANCE OF 170.76' TO THE POINT OF BEGINNING AND CONTAINING 9,190 SQUARE FEET

TRANSFER OF SPECIAL PERMIT

AUTHORIZED BY ORDINANCE NUMBER (S) 4226/7262

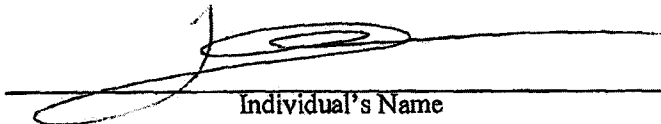
FROM Cathedral Rock of Florissant / Haven Meadows Care
TO Rancho Operator LLC DBA Rancho Rehab + Healthcare
FOR Nursing home
ADDRESS 615 Rancho Lane
Ward 4 Zoning Date Filed 10/4/21 Accepted By KA

TRANSFER OF SPECIAL USE PERMIT PETITION

TO THE CITY COUNCIL OF THE CITY OF FLORISSANT:

1. Comes now Rancho Operator LLC, d/b/a Rancho Rehab and Healthcare Center and states to the City Council that he (she) (they) has (have) the following legal interest in the property located at 615 Rancho Manor Lane in the City of Florissant, Missouri. Legal interest: ☒ Lease or ☐ Simple Title
(Attach signed copy of lease or deed)
2. The petitioner(s) further state that he (she) (they) has (have) not made any arrangement to pay any commission, gratuity, or consideration, directly or indirectly to any official, employee, or appointee of the City of Florissant, with respect to this petition.
3. The applicant will operate the business in the same manner and under the same conditions as set out in the original ordinance granting the special permit or any amendments thereto, except for any proposed change in sign face of an authorized sign.

PETITIONER SIGNATURE


Individual's Name

FOR:

Rancho Operator LLC, d/b/a Rancho Rehab and Healthcare Center, by MO Operation Holdings LLC, by: Jacques Wolf, a Manager

Company, Corporation, Partnership

4. I (we) hereby certify that (indicate one only):

- ☐ I (we) have a legal interest in the above described property.
☒ I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE

Mark S. Rubin, Esquire

ADDRESS

231 S. Bemiston Ave., Ste. 1111, Clayton, MO 63105

Telephone No.

314-725-8000

Email address

mrubin@frankelrubin.com

I (we) the petitioner(s) do hereby appoint
(our) duly authorized agent to represent me (us) in regard to this petition.

Mark S. Rubin, Esq.

as my


PETITIONER SIGNATURE

Note: Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of (current) owner to Transfer the Special Use Permit.

SIGNATURE OF OWNER

4. I (we) hereby certify that (indicate one only):

- ☐ I (we) have a legal interest in the above described property.
☐ I am (we are) the duly appointed agent (s) of the petitioner, and that all information given is true and a statement of fact.

SIGNATURE _____

ADDRESS _____

Telephone No. _____ Email address _____

I (we) the petitioner(s) do hereby appoint _____ as my
(our) duly authorized agent to represent me (us) in regard to this petition.

PETITIONER SIGNATURE

Note: Petitioner or his/her authorized agent will be the only person(s) permitted to make the presentation to the City Council.

5. Acknowledgement and consent of (current) owner to Transfer the Special Use Permit.



SIGNATURE OF OWNER

Albert J. Milstein, Manager
Rancho Manor Healthcare and Rehabilitation
Center, LLC and as Manager of Rancho Manor
Property, LLC

Information sheet to be attached to all requests for Transfer of Special Permit

Type of Operation: (Select One)

Individual ☐ Partnership ☐ Corporation ☐ LLC ☒

INDIVIDUAL:

Name & address _____

Telephone number & email address _____

Business name/address/phone _____

Copy of fictitious name registration, if applicable _____

PARTNERSHIP:

Name & address of partner (s) _____

Telephone number(s) and email address (s) _____

Business name/ address /phone _____

Copy of fictitious name registration, if applicable _____

CORPORATION OR LLC:

Name & address of all corporate officers Jacques Wolf and Asher Marx, Managers
c/o 311 Boulevard of the Americas, Suite 201, Lakewood, New Jersey 08701

Telephone numbers & email addresses (908) 430-5100; info@luxorhc.com

Business name/address/phone Rancho Rehab and Healthcare Center, 615 Rancho Manor Lane, Florissant, MO 63031; (314) 839-2150

Photocopy of Corporation/LLC Articles and Certificate _____

Date of incorporation/LLC 6/22/21

Copy of fictitious name registration, if applicable

Copy of latest Missouri Anti-Trust affidavit (annual registration of corporate officers)

TRANSFER OF SPECIAL USE PERMIT

The undersigned hereby acknowledges receipt of a copy of Ordinance
Number 4226* which previously authorized a Special Use Permit:

Beverly Enterprises-Missouri, Inc.; *Ord. #7282 (transfer to Cathedral Rock of Florissant, Inc.) & *Ord. #7498 (transfer to Rancho Manor Healthcare & Rehab)
TO: _____


FOR: a 120 bed nursing home

Located at: 615 Rancho Lane

and agree to the terms and conditions listed in said ordinance and to any
additional term and conditions that the City Council shall deem appropriate.

Rancho Operator LLC, d/b/a Rancho Rehab and Healthcare Center; by: MO Operation Holdings LLC; by Jacques Wolf, a Manager

PRINT - NAME OF APPLICANT



SIGNATURE OF APPLICANT



FRANKEL, RUBIN, KLEIN, SIEGEL,
PAYNE & PUDLOWSKI, P.C.

231 SOUTH BEMISTON AVENUE, SUITE 1111
ST. LOUIS (CLAYTON), MISSOURI 63105-1914
TELEPHONE: (314) 725-8000
FACSIMILE: (314) 726-5837
WWW.FRANKELRUBIN.COM

ATTORNEYS & COUNSELORS AT LAW

MARK S. RUBIN
mrubin@frankelrubin.com

October 1, 2021

City of Florissant, Missouri
955 Rue St. Francois
Florissant, MO 63031
ATTN.: Karen Goodwin, City Clerk

Re: Transfer of Special Use Permit Petition of Rancho Operator LLC, d/b/a Rancho Rehab and Healthcare Center (new operator of skilled nursing home) by Jacques Wolf, a manager, of the Special Use Permit created by Ordinance #4226 Issued to Beverly Enterprises-Missouri, Inc. and Previously Transferred by Ordinance #7262 to Cathedral Rock of Florissant, Inc. and then to Rancho Manor Healthcare and Rehabilitation Center, LLC by Ordinance #7498

Dear Ms. Goodwin:

I am submitting the following Transfer of Special Use Permit Petition on behalf of Rancho Operator LLC, which will be the new, licensed operator of the 120-bed skilled nursing home located at 615 Rancho Lane in Florissant. The closing under an Asset Purchase Agreement and the transfer of the operation of the nursing home will take place on **October 18, 2021**, when the real estate will be conveyed to Rancho Propco LLC, the landlord under the enclosed Lease, establishing an interest by the new tenant and operator of the nursing home, Rancho Operator LLC.

Please note that the second page of the Petition has been executed in counterparts by Mr. Wolf for the Petitioner, the new operator and by Albert Milstein, who is Manager of the current operator, Rancho Manor Healthcare and Rehabilitation Center, LLC and owner of the real estate, Rancho Manor Property, LLC.

In addition to the inclusion of the Petition, the following documents are being submitted in accordance with the instructions provided with the fillable Petition:

1. Lease by and between Rancho Propco LLC and Rancho Operator LLC
2. Articles of Organization and Certificate of Organization of Rancho Operator LLC and Fictitious Name Registration by Rancho Operator LLC for "Rancho Rehab and Healthcare Center"

October 1, 2021

Page 2

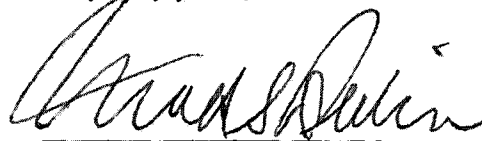
3. Articles of Organization and Certificate of Organization of Rancho Propco LLC
4. Certificate of Formation of MO Operation Holdings LLC (New Jersey entity) and sole member of Rancho Operator LLC.
5. Certificate of Formation of MO Property Holdings LLC (New Jersey entity) and sole member of Rancho Property LLC.
6. Assignment under Master Operations Transfer Agreement from Etown Columbus LLC to Rancho Operator LLC and
7. Assignment under Master Asset Purchase Agreement from Etown Columbus LLC to Rancho Propco LLC.

If at all possible, we would like to have all of the readings of the proposed ordinance transferring the special use permit read at the meeting of the City Council on Monday, October 11, 2021 and approved by the Council, but not actually signed until we are able to confirm the closing has been completed, possession of the nursing home has transferred to Rancho Operator LLC and the Missouri Department of Health and Senior Services, Division of Long Term Care Regulation and Licensure has issued or has confirmed that a Temporary Operating Permit will be issued with an effective date of October 18, 2021.

Please let me know as soon as you and Mr. Lum have read this letter and reviewed the Petition and additional documents if you need anything else or if anything needs to be corrected.

Thank you for your courtesy and cooperation.

Very truly yours,

A handwritten signature in cursive script, appearing to read "Mark S. Rubin".

Mark S. Rubin, Esq.

Enclosures: Per Letter

1 INTRODUCED BY COUNCILWOMAN DEBO
2 JANUARY 23, 2006

3
4 BILL NO. 8176

ORDINANCE NO. 7262

5
6 AN ORDINANCE TRANSFERRING SPECIAL USE PERMIT NO. 4226
7 FROM BEVERLY ENTERPRISES-MO INC. D/B/A FLORISSANT
8 NURSING CARE CENTER TO CATHEDRAL ROCK OF FLORISSANT,
9 INC. D/B/A HAVEN MEADOWS CARE CENTER LOCATED AT 615
10 RANCHO LANE FOR THE OPERATION OF A NURSING HOME.
11

12 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
14 operation of a nursing home; and

15 WHEREAS, pursuant to Ordinance No. 4226, Beverly Enterprises-Mo, Inc. was granted
16 a Special Use Permit for the location and operation of a nursing home located at 615 Rancho;
17 and

18 WHEREAS, an application has been filed by Cathedral Rock of Florissant, Inc. to
19 transfer the Special Use Permit authorized by Ordinance No. 4226 to its name; and

20 WHEREAS, the City Council of the City of Florissant determined at its meeting on
21 January 23, 2006 that the business operated under Ordinance No. 4226 would be operated in a
22 substantially identical fashion as set out herein; and

23 WHEREAS, Cathedral Rock of Florissant d/b/a Haven Meadows Care Center has
24 accepted the terms and conditions set out in Ordinance No. 4226.
25

26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
27 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
28
29

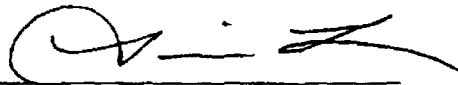
30 Section 1: The Special Use Permit authorized by Ordinance No. 4226 is hereby
31 transferred from Beverly Enterprises-MO, Inc. to Cathedral Rock of Florissant, Inc. .

32 Section 2: The terms and conditions of said Special Permit authorized by Ordinance No.
33 4226 shall remain in full force and effect.

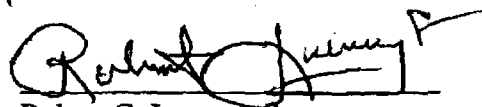
34 Section 3: The Special Use Permit herein authorized shall terminate if the said business
35 ceases operation for a period of more than ninety (90) days or when the named permittee ceases
36 to be the owner and operator of said business.

Section 4: This ordinance shall become in force and effect immediately upon its passage and approval.

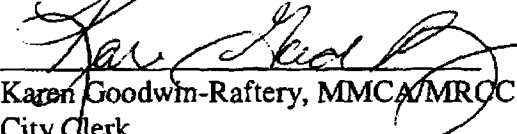
Adopted this 23 day of June, 2006.


 Tim Lee
 President of the Council
 City of Florissant

Approved this 24 day of January 2006.


 Robert G. Lowery, Sr.
 Mayor, City of Florissant

ATTEST:


 Karen Goodwin-Raftery, MMCA/MROC
 City Clerk

BILL NO. 4920

ORDINANCE NO. 4226

AN ORDINANCE AUTHORIZING THE ISSUANCE
OF A SPECIAL PERMIT TO BEVERLY ENTER-
PRISES-MISSOURI, INC. D/B/A FLORISSANT
NURSING CENTER FOR THE LOCATION AND OP-
ERATION OF A 120 BED NURSING HOME ON
PROPERTY HEREINAFTER DESCRIBED.

WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of Florissant to permit the location and operation of a nursing home, by special permit, after a public hearing thereon; and

WHEREAS, Beverly Enterprises-Missouri, Inc. d/b/a Florissant Nursing Center has filed an application for a special permit for the location and operation of a 120 bed nursing home on the property hereinafter described; and

WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended that said special permit be granted; and

WHEREAS, due notice of a public hearing on said application to be held on January 10, 1983 at 8:00 P.M. by the Council of the City of Florissant was duly published and said public hearing was thereafter continued to the 24th day of January, 1983; and

WHEREAS, the Council, following said public hearing, and after due and careful consideration, has concluded that the issuance of said special permit would be in the public interest of the City of Florissant.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1: A special permit is hereby granted to Beverly Enterprises-Missouri, Inc. d/b/a Florissant Nursing Center to locate and operate a 120 bed nursing home on the following described property:

A tract of land in Surveys 192, 193 and 194 of the St. Ferdinand Common Field in Township 47 North Range 6 East and described as beginning at a point being the most eastern corner of Lot 72 of Flamingo Park Plat 14 according to the plat thereof recorded in Plat Book 114 Page 56 of the St. Louis County Records, thence southeast along the southwest line of Wiethaupt Road as widened on said plat 117.6 ft.; thence S. 37° 00' West 165.0 ft. to a point being the northwest corner of property conveyed to Richard L. and Charlotte A. Crowley; thence S. 53° 01' East 85 ft.; thence S. 37° 00' West 50 ft.; thence S. 53° 01' East 30 ft., thence S. 37° 00' West 320 ft. to the northeast

line of Rancho Lane (50 ft. wide); thence northwest along the said line 232.6 ft. to the most southern corner of Lot 66 of said Subdivision; thence northeast along the southeast lines of Lots 66 through 72 of said Subdivision 535.00 ft. to the point of beginning, and contains 2.4 acres.

Section 2: Said special permit shall be conditioned on and shall become and remain in force and effect only under the following terms and conditions and subject to all of the ordinances of the City of Florissant:

- (a) That the permittee comply with all State requirements for nursing homes;
- (b) That the permittee furnish proof annually to the City Clerk of compliance with all State requirements;
- (c) That the emergency exits shall sound an audible alarm when opened.

Section 3: If not sooner terminated the special permit herein granted shall expire when the business activity referred to is closed for a period of ninety (90) days.

Section 4: This ordinance shall become in force and effect upon its passage and approval as provided by law.

Adopted this 28th day of February, 1983.

James A. McInnis
President of the Council
City of Florissant

Approved this 2 day of March, 1983.

James J. Eagan
Mayor, City of Florissant

ATTEST:

Carol A. Antick
City Clerk

APPLICATION FOR LIQUOR LICENSE

- | | |
|--|--|
| <input checked="" type="checkbox"/> Full Liquor by the Drink \$450 | <input type="checkbox"/> Malt Liquor & Wine by the Drink \$75.00 |
| <input type="checkbox"/> Full Package Liquor \$150 | <input type="checkbox"/> Malt Liquor & Wine Package \$75 |
| <input type="checkbox"/> Full Liquor by Drink (Non-Profit) \$300 | <input type="checkbox"/> Tasting \$37.50 |

To the City Clerk, City of Florissant, St. Louis County, Missouri:

The undersigned hereby makes application for the renewal of liquor license issued under Chapter 600 of the Florissant Code of Ordinances.

Type of License Requested:

- | | |
|---|--|
| <input type="checkbox"/> Individual | <input type="checkbox"/> Corporation (Attach list of Officers, Addresses, & Phone Numbers) |
| <input checked="" type="checkbox"/> Limited Liability | <input type="checkbox"/> Partnership (Attach list of partners) |

Name of Business: Dream Closet Boutique Phone: 314-443-1729

Business Address: 12767 New Halls Ferry Rd Email: 6weeks to a better you@gmail.com

Names of Applicant, Corp., or LLC: Dream Closet Boutique LLC

Address of Owner: 20 August Abct. St Charles Mo 63303 Phone: 314-443-1729
Street City State Zip

Name of Managing Officer: Lacha Hughes

Home Address: 20 August Abct. Florissant Mo 63303 Years at Address: 9 yrs
Street City State Zip

Managing Officer: Date of Birth: 07-16-1971 Cell Phone: 314-443-1729

Driver's License No. [REDACTED]
(Provide photo copy)

Social Security No.* [REDACTED]
*for identification in running record check

Email: 6weeks to a better you@gmail.com

Managing Officer: Personal Property Taxes 2020 Paid? ☒ Yes ☐ No (Attached recent)

Registered Voter of Missouri? ☒ Yes ☐ No **Attach Voter Registration Certificate

Have you ever been arrested? NO What Charge? NA

Where? NA Disposition? NA

Citizen of U.S.A.? ☒ Yes ☐ No Naturalized? ☐ Yes Date _____ ☐ No

If Naturalized, Give Number: _____ Dist. _____
(Provide Documents)

Do you have an interest in any liquor license which is now in force? ☐ Yes ☒ No

Give details: _____

Have you prev. held a liquor license of this type? ☐ Yes ☒ No

If so, when & where? _____

Have you ever had a liquor license suspended or revoked? ☐ Yes ☒ No

Give details: _____

Have you ever been convicted of any violation of any federal or state law? ☐ Yes ☒ No

Give details: _____

Have you ever been convicted of any violation of a federal law, state statute, or local ordinance relating to intoxication? ☐ Yes ☒ No

Give details: _____

Has the location previously been occupied as a liquor establishment, liquor store, or tavern?
☐ Yes ☒ No

Provide name: _____

Is the location within 200 feet of property used for church, school, or public playground? ☐ Yes ☒ No

If Individual Applicant:

Lacha Hughes

If Partnership, Corp., or LLC, complete below:

Dream Closet Boutique LLC
Trade Name

Lacha Hughes
Signature of Managing Officer

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

Lacha Hughes, of lawful age, being first duly sworn upon _____
(Individual or Managing Officer)

Deposes and states that he/she is the (applicant) (the managing officer of the corporation or partnership seeing the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations, and rules adopted by the City relation to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.

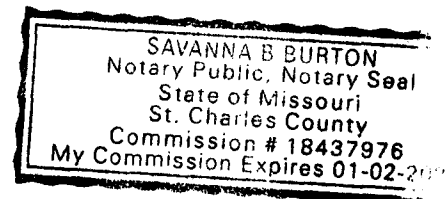
Lacha Hughes
Signature of Individual or Managing Officer

Subscribed and sworn to before me this 22 day of Sept., 2021.

Savanna B Burton
Notary Public

My Commission Expires: 01-02-2022

APPLICATION MUST BE SWORN TO BEFORE A PUBLIC NOTARY.



SUPPLEMENT TO APPLICATION FOR LIQUOR LICENSE
CORPORATION & LIMITED LIABILITY COMPANY:

Copy of Certification of Incorporation/Registration &
Articles of Organization papers must be attached

To the Florissant City Council, Florissant, St. Louis County, Missouri _____

Date _____

**TO BE COMPLETED BY ALL PARTNERS, OR IF CORPORATION OR LIMITED LIABILITY
CORPORATION BY ALL OFFICERS OR MEMBERS:**

1. FULL NAME: Latha Hughes
SOC. SEC. NO. [REDACTED] SEX: Female
DATE OF BIRTH: [REDACTED] PLACE OF BIRTH: Missouri, St. Louis
PHONE NUMBER: 314-443-1729
ADDRESS: 20 August Ave. ~~St. Louis~~ St. Charles MO 63303
LAST PREV. ADDRESS: 7060 Howdershell Rd.
NO. OF YEARS AT ADDRESS: 7yrs
2. FULL NAME: _____
SOC. SEC. NO. _____ SEX: _____
DATE OF BIRTH: _____ PLACE OF BIRTH: _____
PHONE NUMBER: _____
ADDRESS: _____
LAST PREV. ADDRESS: _____
NO. OF YEARS AT ADDRESS: _____
3. FULL NAME: _____
SOC. SEC. NO. _____ SEX: _____
DATE OF BIRTH: _____ PLACE OF BIRTH: _____
PHONE NUMBER: _____
ADDRESS: _____
LAST PREV. ADDRESS: _____
NO. OF YEARS AT ADDRESS: _____

PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

EMERGENCY CONTACT INFORMATION

OWNER OF PROPERTY Walpert Properties PHONE 314-567-1221
ADDRESS 12295 Olive Blvd St. Louis Mo 63141
NAME OF BUSINESS Dream Closet Boutique LLC PHONE 314-443-1729
ADDRESS 12767 New Halls Ferry Rd Florissant Mo 63033
BUSINESS HOURS Tuesday - Friday 11am - 7pm Sat 12pm - 7pm
OWNER/MANAGER Lacha Hughes PHONE 314-443-1729
HOME ADDRESS 20 August Ave Cf. St Charles

PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE.

CONTACT #1 HAS KEY ☒ YES ☐ NO
NAME Kenneth Hughes ADDRESS 20 August
CITY & STATE St. Charles Mo 63303 PHONE 314-443-1490

CONTACT #2 HAS KEY ☒ YES ☐ NO
NAME Kenneth Hughes Jr ADDRESS 7916 Bloom DA
CITY & STATE St. Louis Mo. 63133 PHONE 636-233-9262

ARE THERE LIGHTS LEFT ON AFTER HOURS? ☒ YES ☐ NO
IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS? ☒ YES ☐ NO

IF YES, WHO? Lacha Hughes Kenneth Jr Kenneth Hughes
ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS? ☐ YES ☒ NO

DESCRIBE: 2015 M6 BMW Black
(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? ☒ YES ☐ NO

WHERE IS IT LOCATED? In my storage room in back

CAN IT BE SEEN FROM THE OUTSIDE? ☐ YES ☒ NO

IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? ☒ YES ☐ NO

IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.

CITY OF FLORISSANT



FLORISSANT, MISSOURI

WAIVER

Authorization to complete record check

I, Lacha Hughes, RESIDING AT

20 August Alp Ct. IN THE

CITY OF St. Charles STATE OF

Mo.

I do hereby authorize the City Clerk of the City of Florissant, Missouri to make a full and complete check of my record in the Metropolitan St. Louis area, state of Missouri, all prior areas of residence, and through the National Criminal Information Center in Washington, D.C.

Witness

Lacha Hughes
Signature

09-21-2021
Date

Date of Birth

Social Security Number**

Driver's License No. & State

**Social Security Number and Driver's License Numbers will be used for the purpose of identification in completing record check.

APPLICATION FOR SUNDAY LIQUOR LICENSE
TO THE CITY CLERK, CITY OF FLORISSANT, SAINT LOUIS COUNTY, MISSOURI

Authorizing the sale of retail liquor by the drink or package in the City of Florissant on **SUNDAY** from 9:00 am to midnight.

TYPE OF OPERATION:

☐ Individual ☐ Partnership ☐ Corporation ☒ Limited Liability Corp

NAME OF BUSINESS Dream Closet Boutique

LOCATION 12767 New Halls Ferry Rd **PHONE** 314-443-1729

EXACT TRADE NAME, LLC, OR CORP Dream Closet Boutique LLC

The undersigned (Individual, Partnership, Corporation, LLC), hereby makes application to the City Clerk, City of Florissant, St. Louis County, Missouri for a "By the Drink/Package Liquor License" authorizing the sale of retail liquor on Sundays from 9:00 am to midnight for the period beginning on 12-01-21 and expiring on June 30, 2023, on the above described premises and agrees that if the license herein applied for is granted, and the licensee shall violate any provisions of the State Liquor Control Act or of the City of Florissant Code and particularly any provision of Chapter 600 of the Florissant City Code pertaining to alcoholic beverages or permit any other person to do so upon the licensed premises, the City Council, by a majority vote, may suspend or revoke such license.

1. I/WE presently hold Florissant License Number _____ authorizing the sale of retail liquor by the drink or package in Florissant for premises described in this application.

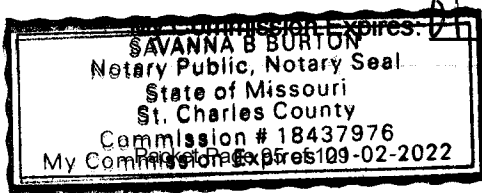
STATE OF MISSOURI)SS
COUNTY OF ST. LOUIS)

I Lachia Hughes of lawful age, being first duly sworn upon my oath, depose and say that I (Print name of Managing Officer) have read this application and that I fully understand the same; that I know the contents thereof and the statements contained therein and that the same are true of my own knowledge.

Lachia Hughes
Signature of Individual or Managing Officer

Subscribed and sworn to before me this 22 day of 2021.

Savanna B Burton
Notary Public



Check Your Voter Registration

Yes, Lacha Hughes is registered at 20 AUGUST ALP CT ST CHARLES, 63303

Your precinct is 015.03. To view your polling place and a listing of candidates and issues on the next ballot, please visit our [Voter Outreach Portal](#)



No Match Notification

A statewide search of the identifiers below has revealed no criminal conviction or sex offender information on file. Fingerprints were not provided and thus the result of the search cannot be guaranteed.

Date of Search: 10/04/2021

Name (1): LACHA HUGHES

Name (2):

Name (3):



Control Number: 5705174

If you have any questions, please do not hesitate to contact our office at 573-526-6153.

Missouri State Highway Patrol
Criminal Justice Information Services Division
PO BOX 9500
Jefferson City, MO 65102



Personal Property Tax Receipt

This information reflects the tax status for the account and tax year indicated.

This receipt serves as proof of paid personal property taxes and must be submitted when applying for an annual permit or license from St. Louis County.

No Taxes Are Due

Effective 10/4/2021.

Tax Year: 2020
Account Number: B01496478
Account Status: Active
Name: Dream Closet
Doing Business As: Dream Closet
Taxing Address: 12767 New Halls Ferry Rd
 Florissant, MO 63033
School Sub Code: 111XL
City Code: 024
Site Code: 2237
Total Assessed Value: 0
Tax Rate: 10.0373
Personal Property Declaration: 2020 declaration has **not** been received.

Office Use: TPJA288704S609B4X190DBG0YE 10/4/2021 11:15:38 AM



Personal Property Tax Paid: B01496478

Tax Year	Tax	Interest	Penalties	Other Charges	Total Tax	Amount Paid	Date Paid
2020	\$0.00	\$0.00	\$0.00	\$5.00	\$5.00	\$5.00	1/15/2021

Vehicles Detail: B01496478 - 2020

Line Number	Reference Number	Year	Make	Model	Type	Product Code	Total Units	Assessed Value Per Unit	Total Assessed Value
There are no details available.									

If you have any questions, please contact the Collection Division at (314)615-5500.

ⓧ Close Window

City of Florissant
Florissant, Missouri 63031

Memo To: Director of Public Works

Date: 9-2-2021

From: City Clerk's Office

Re: Liquor License Application

Please furnish to the City Clerk's Office a list of addresses of the assessed taxpaying citizens owning property **AND** also the addresses of persons occupying, owning or conducting any business on the main or ground floor of buildings within 200 feet of the following business:

Dream Closet Boutique
Name of Business

Addresses of assessed tax-paying citizens
owning property within 200 feet:

[Signature]
[Signature]
[Signature]
[Signature]
[Signature]
[Signature]

12767 + 12769 New Halls
Address of Business Ferry

Addresses of persons occupying or
conducting businesses within 200 feet:

12739
12743
12745 VACANT
12747
12751
12755 + 12757
12759
12761
12763 - 12765
12773
12777, 12779
12781
12775

MEMORANDUM
CITY OF FLORISSANT



TO: Director of Public Works
FROM: Savanna B Burton, City Clerk's Office
SUBJECT: Liquor License Application

DATE: 9/2/2021

Please furnish to the City Clerk's Office information on the following liquor applicant:

Dream Closet Boutique

Name of Business

12767 + 12769 New Hollis
Ferry

Address of Business

☐

A school, free standing church or place of worship, public playground is **located** within 100 feet of the liquor applicant's place of business.



A school, free standing church or place of worship, public playground is **not located** within 100 feet of the liquor applicant's place of business.

Per Section 600.035

Resolution

OFFERED BY COUNCIL AS A WHOLE
October 11, 2021

Resolution No: 1032

RESOLUTION OF THE FLORISSANT CITY COUNCIL ENDORING ST. LOUIS COUNTY'S GRANT PROGRAM FOR THE CITY'S WASTE REDUCTION EFFORTS.

Whereas, the City of Florissant is desirous of expanding the level of participation that the citizenry currently utilizes with regards to Recycling and waste diversion; and

WHEREAS, goals have been set to reduce the amount of solid waste in the landfills; and

WHEREAS, the Saint Louis County Department of Public Health, Waste Management Program, had made funds available through the 2021 Saint Louis County Waste Reduction Grant Program to municipalities; and

WHEREAS, the City of Florissant has submitted an application for this grant program.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT, SAINT LOUIS COUNTY, MISSOURI AS FOLLOWS:

Section 1: The City Council of the City of Florissant supports the application to the 2021 Waste Reduction Grant and commits to provide data pertinent to the grant project to measure success of the grant project.

Section 2: Commit to gaining cooperation and input from residents to support the grant project.

Section 3: The governing body hereby authorizes the Mayor to sign and execute the contract accepting grant funds from the Saint Louis County Department of Public Health if awarded.

Adopted this _____ day of _____, 2021

Keith Schildroth
President of the Council

ATTEST:

Karen Goodwin, MPPA, MMC, MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN SIAM
2 OCTOBER 11, 2021
3

4 BILL NO. 9715

ORDINANCE NO.

5
6 **ORDINANCE TO REZONE THE PROPERTY AT 2925 N. HWY 67 FROM B-3**
7 **“EXTENSIVE BUSINESS DISTRICT” TO B-5 “PLANNED COMMERCIAL**
8 **DISTRICT” FOR THE LOCATION OF A CAR WASH.**
9

10 WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant district
11 classifications for the purpose of regulating their construction and use of land, buildings and property
12 within the said various districts, and said Ordinance provides the nature, kind and character of buildings
13 that may be erected in each of the said districts and the use to which the land and buildings may be put;
14 and

15 WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to
16 the City Council at their meeting of September 7, 2021 that Ordinance No. 1625 be amended to change
17 the classification of the property at 2925 N. Hwy 67 from B-3 “Extensive Business District to B-5
18 “Planned Commercial District”; and

19 WHEREAS, due and lawful notice of a public hearing no. 21-10-026 on said proposed zoning
20 change was duly published, opened on October 11, 2021 at 7:00 P.M. by the Council of the City of
21 Florissant; and

22 WHEREAS, the Council, following said public hearing, and after due and careful deliberation,
23 has concluded that the amendment of Ordinance No. 1625, as amended, as hereinafter set forth, to be in
24 the best interest of the public health, safety and welfare of the City of Florissant; and

25 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
26 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
27

28 Section 1: A B-5 “Planned Commercial District” is hereby approved, as depicted by the
29 attached drawings plans Site Plan C-100, C-300, C-310, C-600, Landscape Plan LP-1 , LP-2 all dated
30 08/06/21 by JM Civil, Floor Plan and Elevations dated 8/12/21 and lighting Plan dated 8/16/21, subject
31 to the regulations of a ‘B-5’ Planned Commercial District, with permitted uses allowed being a car wash,
32 those within the B-3 “Extensive Business District” without a Special Permit, and the following
33 additional requirements:
34

35 **1. PERMITTED USES**

36 The uses permitted for this property shall be limited to car wash, those within the B-3
37 “Extensive Business District” without a Special Permit. Other uses than those permitted
38 shall require approval by amendment to this ‘B-5’ Ordinance.
39

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

The building space shall be limited to a single story 4164 SF car wash, with uses permitted within the B-3 "Extensive Business District" without a Special Permit.

3. PERFORMANCE STANDARDS

In addition to all other requirements, uses within the "B-5" Planned Commercial District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. Screening.
 - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
 - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Trash container shall meet or exceed city trash enclosure requirements.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawings attached, including entire property, trash enclosures, landscape, lighting and legal description.

3. SITE DEVELOPMENT PLAN CRITERIA:

86 a. Height, Area And Bulk Restrictions:

87 1. Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in
88 the "B-3" Extensive Commercial District
89

90 b. Internal Drives:

91 (1) There shall be parking as shown on plans attached.
92

93 c. Minimum Parking/Loading Space Requirements.

94 (1) There shall be a minimum of **22** parking spaces provided on the property.
95

96 d. Road Improvements, Access and Sidewalks (not applicable)
9798 e. Lighting Requirements.

99 Lighting of the property shall comply with the following standards and requirements:

100 (1) The light level for parking lot lighting shall be as shown on attached photometric
101 plan.

102 (2) All site lighting and exterior building lighting shall be directed down and inward
103

104 f. Sign Requirements.

105 (1) All signage shall comply with the City of Florissant sign ordinance for commercial
106 districts.
107

108 g. Landscaping and Fencing.

109 (1) Any modifications to the landscaping plan shall be reviewed and approved by the
110 Planning and Zoning Commission.

111 (2) An automatic permanent irrigation system shall be designed and installed to cover all
112 landscaped areas.
113

114 h. Storm Water.
115

116 Storm Water and drainage facilities shall comply with the following standards and
117 requirements:

118 (1) The Director of Public Works shall review the storm water plans to assure that storm
119 water flow will have no adverse affect the neighboring properties.

120 (2) No building permits shall be issued until the storm water plan has been approved by
121 the St. Louis Metropolitan Sewer District.
122

123 i. Miscellaneous Design Criteria.

124 (1) All applicable parking, circulation, sidewalks, and all other site design features shall
125 comply with the Florissant City Code.
126

127 (2) All dumpsters and grease containers shall be contained within a trash enclosure with
128 gates compatible with existing building.
129

- (3) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.
- (4) All mechanical equipment, electrical equipment, and communication equipment shall be screened in accordance with the Florissant Zoning Code.
- (5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.
- (6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.

7. FINAL SITE DEVELOPMENT PLAN

A final site development plan shall be submitted to the Building Commissioner to review for compliance with the applicable "B-5" Planned Commercial Development ordinance prior to recording. Any variations from the ordinance approved by the City Council and/or the conceptual plans attached to such ordinance shall be processed in accordance with the procedure established in the Florissant Zoning Code.

8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

Any changes to the approved plans attached hereto must be reviewed by the Building Commissioner. The Building Commissioner shall make a determination as to the extent of the changes per the following procedure:

- a. The property owner or designate representative shall submit in writing a request for an amendment to the approved plans. The building commissioner shall review the plans for consistency with the purpose and content of the proposal as originally or previously advertised for public hearing and shall make an advisory determination.
- b. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City Council.
- c. If the building commissioner determines that the proposed revisions are consistent with the purpose and content with the nature of the public hearing then a determination of non-necessity of a public hearing shall be made.
- d. Determination of minor changes: If the building commissioner determines that an amendment to the special use permit is not required and that the changes to the plans are minor in nature the Building Commissioner may approve said changes.
- e. Determination of major changes: If the Building Commissioner determines that an amendment to the B-5 is not required but the changes are major in nature, then the owner shall submit an application for review and approval by the Planning and Zoning commission.

176
177 **9. VERIFICATION PRIOR TO OCCUPANCY PERMIT**

- 178 a. Any new roadway improvements shall be completed prior to the issuance of any final
179 occupancy permit.
180 b. Any new stormwater detention shall be completed prior to the issuance of any occupancy
181 permit.
182 c. All fencing and/or landscaping intended as screening properties shall be completed prior
183 to the issuance of any occupancy permit, unless remitted by the Director of Public Works
184 due to weather related factors.
185

186 **10. GENERAL DEVELOPMENT CONDITIONS.**

- 187 a. Unless, and except to the extent, otherwise specifically provided herein, development shall
188 be effected only in accordance with all ordinances of the City of Florissant.
189 b. The Department of Public Works shall enforce the conditions of this ordinance in
190 accordance with the Final Site Development Plan approved by the Planning & Zoning
191 Commission and all other ordinances of the City of Florissant.
192

193 **9. PROJECT COMPLETION.**

194 Construction shall start within 90 days of the issuance of building permits for the project and shall be
195 developed in accordance of the approved final development plan within 12 months of start of
196 construction.
197

198 Section 2: This ordinance shall become in full force and effect immediately upon its passage and
199 approval.

200 Adopted this ____ day of _____, 2021.
201

202 _____
203 Keith Schildroth
204 President of the Council
205 City of Florissant

206 Approved this ____ day of _____, 2021.
207

208 _____
209 Timothy J. Lowery
210 Mayor, City of Florissant

211 ATTEST:
212

213 _____
214 Karen Goodwin, MPPA/MMC/MRCC
215 City Clerk

1 INTRODUCED BY COUNCILMAN MULCAHY
2 OCTOBER 11, 2021

3
4 BILL NO. 9716

ORDINANCE NO.

5
6 **ORDINANCE TO REZONE THE PROPERTIES LOCATED AT 1760, 1780, 1790**
7 **N. HWY AND 1615, 1645, 1675 N. NEW FLORISSANT RD. FROM B-3**
8 **“EXTENSIVE BUSINESS DISTRICT” TO B-5 “PLANNED COMMERCIAL**
9 **DISTRICT” TO ALLOW FOR SITE AND BUILDING EXPANSION.**

10
11 WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant district
12 classifications for the purpose of regulating their construction and use of land, buildings and property
13 within the said various districts, and said Ordinance provides the nature, kind and character of buildings
14 that may be erected in each of the said districts and the use to which the land and buildings may be put;
15 and

16 WHEREAS, the Planning and Zoning Commission of the City of Florissant has recommended to
17 the City Council at their meeting of September 7, 2021 that Ordinance No. 1625 be amended to change
18 the classification of the property located at 1760, 1780, 1790 N. Hwy and 1615, 1645, 1675 N. New
19 Florissant Rd. from B-3 “Extensive Business District” to B-5 “Planned Commercial District” to allow
20 for site and building expansion; and

21 WHEREAS, due and lawful notice of a public hearing no. 21-10-027 on said proposed zoning
22 change was duly published, opened on October 11, 2021 at 7:00 P.M. by the Council of the City of
23 Florissant; and

24 WHEREAS, the Council, following said public hearing, and after due and careful deliberation,
25 has concluded that the amendment of Ordinance No. 1625, as amended, as hereinafter set forth, to be in
26 the best interest of the public health, safety and welfare of the City of Florissant; and

27 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
28 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

29
30 Section 1: A B-5 “Planned Commercial District is hereby approved to allow for Site and
31 Building Expansions in a ‘B-3’ Extensive Business District, as depicted by attached plans C-100 and L-
32 101 dated 8/16/21 along with Floor Plan A101, Elevations A102 and A-103 by Premier Design Group.

33
34 The following restrictions, are hereby made part of the record:

35
36 **1. PERMITTED USES**

The uses permitted for this property shall be limited to car sales establishment and those Uses within the B-3 "Extensive Business District" without a Special Permit. Other uses than those permitted shall require approval by amendment to this 'B-5' Ordinance.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

The building space shall be limited to a single story **4717 s.f.**

3. PERFORMANCE STANDARDS

In addition to all other requirements, uses within the "B-5" Planned Commercial District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. Screening.
 - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
 - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Trash container shall meet or exceed city trash enclosure requirements

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawings attached, including entire property, trash enclosures, landscape, lighting and legal description.

6. SITE DEVELOPMENT PLAN CRITERIA:

a. Height, Area And Bulk Restrictions:

1. Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District

b. Internal Drives:

(1) There shall be parking as shown on plans attached.

c. Minimum Parking/Loading Space Requirements.

(1) There shall be a minimum of 14 parking spaces provided on the property.

d. Road Improvements, Access and Sidewalks (not applicable)

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) The light level for parking lot lighting **shall be 1-3 footcandles.**

(2) All site lighting and exterior building lighting shall be directed down and inward

f. Sign Requirements.

(1) All signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

(1) Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

(2) An automatic permanent irrigation system shall be designed and installed to cover all new landscaped areas.

(3) A 6' vinyl screen fence shall be installed continuous from 40' setback along the South property line of 1760 N Hwy 67, a portion of the South property line 1780 N Hwy 67, then along the West property lines of 1645 and 1615 N New Florissant Rd and finally along the South property line of 1615 N New Florissant Rd terminating at the 40' front setback line of 1615 N New Florissant Rd.

(4) A total of 19 frontage trees are to be provided.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

(1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.

(2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

128 i. Miscellaneous Design Criteria.

- 129 (1) All applicable parking, circulation, sidewalks, and all other site design features shall
130 comply with the Florissant City Code.
- 131 (2) All dumpsters and grease containers shall be contained within a trash enclosure with
132 gates compatible with existing building.
- 133 (3) All storm water and drainage facilities shall be constructed, and all landscaping shall
134 be installed, prior to occupancy of the building, unless remitted by the Director of
135 Public Works due to weather related factors.
- 136 (4) All mechanical equipment, electrical equipment, and communication equipment shall
137 be screened in accordance with the Florissant Zoning Code.
- 138 (5) The exterior design of the buildings shall be constructed in accordance with the
139 renderings as approved by the Florissant Planning and Zoning Commission and
140 attached hereto.
- 141 (6) All other requirements of the Florissant Municipal Code and other ordinances of the
142 city shall be complied with unless otherwise allowed by this ordinance.
- 143

144 **7. FINAL SITE DEVELOPMENT PLAN**

145 A final site development plan shall be submitted to the Building Commissioner to review
146 for compliance with the applicable "B-5" Planned Commercial Development ordinance
147 prior to recording. Any variations from the ordinance approved by the City Council
148 and/or the conceptual plans attached to such ordinance shall be processed in accordance
149 with the procedure established in the Florissant Zoning Code.

150

151 **8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:**

152 Any changes to the approved plans attached hereto must be reviewed by the Building
153 Commissioner. The Building Commissioner shall make a determination as to the extent of the
154 changes per the following procedure:

155

- 156 a. The property owner or designate representative shall submit in writing a request for an
157 amendment to the approved plans. The building commissioner shall review the plans for
158 consistency with the purpose and content of the proposal as originally or previously
159 advertised for public hearing and shall make an advisory determination.
- 160 b. If the building commissioner determines that the requested amendment is not consistent
161 in purpose and content with the nature of the purpose as originally proposed or
162 previously advertised for the public hearing, then an amendment to the special use
163 permit shall be required and a review and recommendation by the planning and zoning
164 commission shall be required and a new public hearing shall be required before the City
165 Council.
- 166 c. If the building commissioner determines that the proposed revisions are consistent with
167 the purpose and content with the nature of the public hearing then a determination of
168 non-necessity of a public hearing shall be made.
- 169 d. Determination of minor changes: If the building commissioner determines that an
170 amendment to the special use permit is not required and that the changes to the plans are
171 minor in nature the Building Commissioner may approve said changes.
- 172 e. Determination of major changes: If the Building Commissioner determines that an
173 amendment to the B-5 is not required but the changes are major in nature, then the owner

shall submit an application for review and approval by the Planning and Zoning commission.

9. VERIFICATION PRIOR TO OCCUPANCY PERMIT

- a. Any new roadway improvements shall be completed prior to the issuance of any final occupancy permit.
- b. Any new stormwater detention shall be completed prior to the issuance of any occupancy permit.
- c. All fencing and/or landscaping intended as screening properties shall be completed prior to the issuance of any occupancy permit, unless remitted by the Director of Public Works due to weather related factors.

10. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

11. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

Section 2: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2021.

Keith Schildroth
President of the Council
City of Florissant

Approved this ____ day of _____, 2021.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN MULCAHY
2 OCTOBER 11, 2021

3
4 BILL NO. 9717

ORDINANCE NO.

5
6 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO SIMPLY**
7 **THAI TO ALLOW FOR THE OPERATION OF A SIT-DOWN, CARRY-**
8 **OUT RESTAURANT FOR THE PROPERTY LOCATED AT 5 PADDOCK**
9 **HILLS SHOPPING CENTER IN A B-3 "EXTENSIVE BUSINESS**
10 **DISTRICT".**

11
12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
13 Florissant, by Special Permit, after public hearing thereon, to permit the location and operation
14 of a restaurant in the City of Florissant; and

15 WHEREAS, an application has been filed by Kosoh Tuankruea d/b/a Simply Thai to allow
16 for the operation of restaurant located at 5 Paddock Hills Shopping Center, and

17 WHEREAS, the Planning and Zoning Commission at their meeting on September 9,
18 2021, recommended that a Special Permit be granted; and

19 WHEREAS, due notice of public hearing no. 21-10-028 on said application to be held on
20 the 11th of October, 2021 at 7:00 P.M. by the Council of the City of Florissant was duly
21 published, held and concluded; and

22 WHEREAS, the Council, following said public hearing, and after due and careful
23 consideration, has concluded that the issuance of a Special Permit for a restaurant would be in
24 the best interest of the City of Florissant.

25
26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
27 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

28
29 Section 1: A Special Use Permit is hereby granted to Kosoh Tuankruea d/b/a Simply Thai
30 to allow for the operation of restaurant located at 5 Paddock Hills Shopping Center

31
32 Section 2: This ordinance shall become in force and effect immediately upon its passage
33 and approval.

34 Adopted this ____ day of _____, 2021.

35
36
37 _____
38 Keith Schildroth
39 President of the Council

40 Approved this ____ day of _____, 2021.

41
42 _____
43 Timothy J. Lowery
44 Mayor, City of Florissant

45 ATTEST: _____
46 Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN CAPUTA
2 OCTOBER 11, 2021

3
4 BILL NO. 9718

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING A TRANSFER ORDINANCE OF NO.**
7 **7262 FROM CATHEDRAL ROCK OF FLORISSANT D/B/A HAVEN**
8 **MEADOWS CARE TO RANCHO OPERATOR LLC D/B/A RANCHO**
9 **REHAB & HEALTHCARE CENTER FOR THE OPERATION OF A**
10 **NURSING HOME LOCATED AT 615 RANCHO MANOR LANE.**
11

12 WHEREAS, the Florissant Zoning Ordinance authorizes the Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location of a
14 nursing home facility; and

15 WHEREAS special use permit no. 4226 was issued to Beverly Enterprises-Missouri, Inc/
16 d/b/a Florissant Nursing Center for the location and operation of 120 bed nursing home located
17 at 615 Rancho Lane; and

18 WHEREAS ordinance no. 7262 transferred special use permit no. 4226 to Cathedral
19 Rock of Florissant Inc. d/b/a Haven Meadows Care Center in 2006; and

20 WHEREAS, an application has been submitted by Rancho Operator LLC d/b/a Rancho
21 Rehab and Healthcare Center to transfer special use permit no. 7262 as transferred to its name;
22 and

23 WHEREAS, the City Council of the City of Florissant determined at its meeting on
24 October 11, 2021 that the business would be operated in substantially identical fashion as set out
25 herein; and

26 WHEREAS, Rancho Operator LLC has accepted the terms and conditions as they apply
27 to a special use permit for a nursing home facility.

28 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
29 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**

30 Section 1: Special Use Permit no. 7362 is hereby transferred from Cathedral Rock of
31 Florissant Inc. d/b/a Haven Meadows Care Center to Rancho Operator LLC d/b/a Rancho Rehab
32 and Healthcare Center for the location and operation of a 120 bed nursing home facility located
33 at 615 Rancho Manor Lane.

Section 2: The Special Use Permit herein authorized shall terminate if the said business ceases operation for a period of more than ninety (90) days.

Section 3: This ordinance shall become in force and effect on October 18, 2021

.

Adopted this ____ day of _____, 2021.

Keith Schildroth
Council President

Approved this ____ day of _____, 2021.

Timothy J. Lowery
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MPPA/MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCIL AS A WHOLE
2 October 11, 2021

3
4 BILL NO. 9719

ORDINANCE NO.

5
6 **AN ORDINANCE TO AUTHORIZE THE MAYOR OF THE CITY OF**
7 **FLORISSANT TO ENTER INTO AN AGREEMENT WITH THE**
8 **ST LOUIS COUNTY BOARD OF POLICE COMMISSIONERS TO**
9 **ALLOW OFFICER DAN BEIRMANN TO SERVE AS AN INSTRUCTOR**
10 **AT THE ST. LOUIS COUNTY POLICE ACADEMY.**

11
12 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
13 COUNTY, MISSOURI, AS FOLLOWS:
14

15 Section 1: The Mayor of the City of Florissant is hereby authorized to enter into an
16 agreement with the St. Louis County Board of Police Commissioners to allow for Florissant
17 Police Officer Dan Biermann to serve as an instructor at the St. Louis County Police Academy,
18 in accordance with the contract attached hereto and made a part hereof as if fully set out herein.

19 Section 2: This ordinance shall become in force and effect upon its passage and
20 approval.

21
22 Adopted this ____ day of _____, 2021.
23
24

25 _____
26 Keith Schildroth
27 President of the Council
28 City of Florissant
29

30
31 Approved this ____ day of _____, 2021.
32
33
34

35 _____
36 Timothy J. Lowery
37 Mayor, City of Florissant

38 ATTEST:
39
40

41 _____
42 Karen Goodwin, MPPA/MMCA/MRCC
43 City Clerk

CONTRACT FOR SERVICES

This contract, entered into by and between ST. LOUIS COUNTY, MISSOURI, a political subdivision of the State of Missouri (hereafter “COUNTY”) and CITY OF FLORISSANT, MISSOURI, an incorporated municipality of the State of Missouri (hereafter “CITY”).

WHEREAS, COUNTY has established the St. Louis County and Municipal Police Academy (hereafter “ACADEMY”) for the purpose of providing basic training and continuing law enforcement education to police officers throughout St. Louis County; and

WHEREAS, COUNTY and the incorporated municipalities located therein, including CITY, desire to provide for the participation of said incorporated municipalities in the training and education of police officers throughout St. Louis County; and

WHEREAS, Section 201.180 of the Revised St. Louis County Ordinances (1974), as amended, permits St. Louis County Board of Police Commissioners to approve contracts for professional services within the budget of the Police Department;

WHEREAS, CITY is authorized to enter into this contract by CITY’S Ordinance Number _____;

NOW, THEREFORE, for and in consideration of the mutual promises, covenants and obligations hereinafter stated, and CITY and COUNTY mutually agree as follows, to-wit:

1. **Term of Contract.** The term of this contract shall be January 1, 2022 through December 31, 2022.
2. **Description of Services.** CITY shall provide for COUNTY’S use throughout the contract term of the services of its employee, Police Officer Dan Biermann (hereafter “EMPLOYEE”), for the weekly provision of 40 hours basic and/or special instruction and/or attendant instruction and services, as defined, directed and scheduled by the St. Louis County Chief of Police (hereafter “CHIEF”), to Academy attendees.

- 71 3. **Compensation.** Upon completion of performance by CITY and the submission of
72 such documentation deemed reasonably necessary in the sole discretion of Chief,
73 COUNTY shall reimburse CITY in the amount of EMPLOYEE'S salary
74 throughout the contract term, including payment for direct fringe benefits and
75 overhead, said reimbursement not to exceed One Hundred Twenty Thousand Dollars
76 (\$120,000.00) at an hourly rate of Thirty-Six and Twenty-Four Cents (\$36.24).
77 Employee shall be entitled to overtime payment at 1 ½ times of said Employee's
78 hourly rate, but overtime payment shall not exceed 100 hours in a given year.
- 79 4. **Termination for Cause.** This contract may be terminated by COUNTY for cause
80 upon ten days written notice to CITY if in the sole discretion of Chief, EMPLOYEE
81 fails to provide satisfactory instruction to Academy attendees as required in Section 2
82 herein, or if EMPLOYEE violates any State, County or Academy laws, regulations,
83 ordinances, directives or policies. In the event of such termination, COUNTY shall
84 reimburse CITY on a pro rata basis for those services rendered by EMPLOYEE prior
85 to notice of termination of this contract.
- 86 5. **Termination by Parties.** Either party may terminate this contract by giving the other
87 party not less than 30 days written notice of its intention to do so. In the event of
88 such termination, COUNTY shall reimburse CITY on a pro rata basis for those
89 services rendered by EMPLOYEE prior to notice of termination of this contract.
- 90 6. **Independent Contractors.** EMPLOYEE is at all times throughout the contract term
91 performing and acting as an independent contractor with, and not an agent for
92 COUNTY, and no act or omission of any party or party agent hereto shall be
93 construed to make any other party its principal, agent or joint venturer.
- 94 7. **Duties Not Assignable.** The duties imposed on CITY by this contract are not
95 assignable without COUNTY'S prior written consent.
- 96 8. **Non-Waiver.** The waiver by either party of a breach or violation of any contract
97 provision shall not operate or be construed as a waiver of any subsequent breach
98 hereof.
- 99 9. **Entire Agreement.** This contact sets forth the entire agreement between COUNTY
100 and CITY with respect to the services and work to be performed hereunder, and
101 supersedes all prior and contemporaneous agreements, understanding, negotiations or

other agreements between the parties. No supplement, modification, waiver or termination of this contract shall be binding, unless executed in writing by the person to be bound or required to give notice.

10. **"CITY" and "COUNTY"**. As Used in this contract, the terms "CITY" and "COUNTY" shall include the officers, employee, legal representatives and successor thereof.

IN WITNESS WHEREOF, CITY and COUNTY the parties have signed this Contract on the dates written below.

CITY OF FLORISSANT

Attest:

By _____
Mayor

City Clerk

Date: _____

I, Timothy J. Lowery, affirm that I am the Mayor, of the City of Florissant, Missouri, and I signed this Contract on behalf of the City. I acknowledge this Contract to be the free act and deed of the City.

ST. LOUIS COUNTY BOARD OF
POLICE COMMISSIONERS

Approved:

Chief of Police
St. Louis County Police Department

Approved as to Legal Form:

County Counselor

Date executed by St. Louis County

BILL NO.

ORDINANCE NO.

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I hereby certify that unencumbered balances suffice to pay the Contract sum remains in the appropriate account which the obligations is to be charged.

Accounting Officer

Legal Review: _____

Encumbrance Review: _____

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 OCTOBER 11, 2021

3
4 BILL NO. 9720

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING A TRANSFER OF TOTAL OF \$45,000**
7 **FROM 03-5-03-50000 "PROFESSIONAL SERVICES", \$40,000 TO 03-05-03-**
8 **30010 "VEHICLE REPAIR AND MAINTENANCE" AND \$5,000 TO 03-05-**
9 **03-30011 "VEHICLE REPAIR AND MAINTENANCE – PARKS" TO**
10 **COVER RISING COST OF REPAIRS OF CITY VEHICLES.**

11
12 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
13 COUNTY, MISSOURI, AS FOLLOWS:

14
15 Section 1: The sum of \$40,000 is hereby transferred from account no. 03-5-03-50000
16 "Professional Services" to 03-05-03-30010 "Vehicle Repair and Maintenance" cover rising cost
17 of repairs of city vehicles.

18
19 Section 2: The sum of \$5,000 is hereby transferred from account no. 03-5-03-50000
20 "Professional Services" to 03-05-03-30011 "Vehicle Repair and Maintenance – Parks" to cover
21 rising cost of repairs of city vehicles.

22
23 Section 3: This ordinance shall become in force and effect immediately upon its passage
24 and approval.

25 Adopted this ____ day of _____, 2021.

26
27 _____
28 Keith Schildroth
29 President of the Council
30 City of Florissant

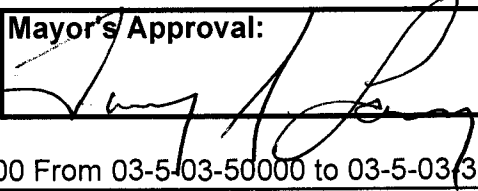
31 Approved this ____ day of _____, 2021.

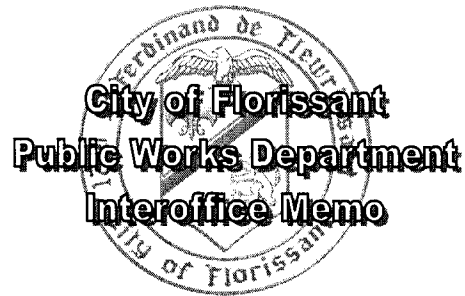
32
33 _____
34 Timothy J. Lowery
35 Mayor, City of Florissant

36 ATTEST:

37
38 _____
39 Karen Goodwin, MPPA/MMC/MRCC,
40 City Clerk

FLORISSANT CITY COUNCIL AGENDA REQUEST FORM

10/4/2021		Mayor's Approval: 	
Agenda Date Requested:		10/11/2021	
Description of request:		Budget Transfer of \$45,000 From 03-5-03-50000 to 03-5-03-30010 and 03-5-03-30011	
Transfer of Funds from			
(See Attached Memo)			
Department: Public Works			
Recommending Board or Commission: N/A			
Type of request:	Ordinances	X	Other
	Appropriation		Liquor License
	Transfer		Hotel License
	Zoning Amendment		Special Presentations
	Amendment	X	Resolution
	Special Use Transfer		Proclamation
	Special Use		Subdivision
	Budget Amendment	X	
		Y/N	Y/N
Public Hearing needed: Yes / No		N	3 readings? : Yes / No
Back up materials attached:		Back up materials needed:	
Minutes		Minutes	
Maps		Maps	
Memo	X	Memo	
Draft Ord.		Draft Ord.	
Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.		For City Clerk Use Only: Introduced by: _____ PH Speaker: _____	



Memo To: City Council

Date: October 4, 2021

Thru: Mayor Timothy J Lowery

From: Todd M. Hughes, P.E.
Director of Public Works and Health

Copy: Kimberlee Johnson

Subject: **Budget Transfer for Vehicle Repair**

Due to rising cost and unforeseen repairs. I am requesting \$45,000 be transferred from Professional Services- Other 03-05-03-50000 with \$40,000 going to Vehicle repair and Maintenance 03-5-03-30010 and \$5,000 to Vehicle Repair and Maintenance – Parks 03-5-03-30011.

Thank you in advance.

Respectfully submitted,



Todd M Hughes, P.E.

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 OCTOBER 11, 2021

3
4 BILL NO. 9721

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING VARIOUS TRANSFERS WITHIN THE**
7 **PARK IMPROVEMENT FUND FOR THE PARKS DEPARTMENT TO**
8 **COVER END OF YEAR EXPENSES.**
9

10 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
11 COUNTY, MISSOURI, AS FOLLOWS:
12

13 Section 1: \$5,000 is hereby transferred from account no. 09-5-09-32470 "Office
14 Supplies-Parks" to account no. 09-5-09-30470 "Equipment Repairs – Parks".
15

16 Section 2: \$5,000 is hereby transferred from account no. 09-5-09-52440 "Program &
17 Event Supplies" to account no. 09-5-09-30470 "Equipment Repairs – Parks".
18

19 Section 3: \$6,000 is hereby transferred from account no. 09-5-16000 "Contract
20 Services" to account no. 09-5-09-29440 "Building and Grounds – JJE".
21

22 Section 4: \$700 is hereby transferred from account no. 09-5-16000 "Contract
23 Services" to account no. 09-5-09-44440 "License Permits and Inspections - JJE".
24

25 Section 5: This ordinance shall become in force and effect immediately upon its passage
26 and approval.

27 Adopted this ____ day of _____, 2021.
28

29 _____
30 Keith Schildroth
31 President of the Council
32 City of Florissant

33 Approved this ____ day of _____, 2021.
34

35 _____
36 Timothy J. Lowery
37 Mayor, City of Florissant

38 ATTEST:
39

40 _____
41 Karen Goodwin, MPPA/MMC/MRCC,
42 City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: October 6,, 2021

Mayor's Approval:

Agenda Date Requested: I

11-Oct-21

Re-appropriate Park Improvement Funds \$5,000 from Office Supplies - Parks

FROM: 09-5-09-32470 Office Supplies-Parks \$5,000

09-5-09-52440 Program & Event Supplies 5,000

TO: 09-5-09-30470 Equipment Repairs - Parks 10,000

FROM: 09-5-09-16000 Contract Services 6,700

TO: 09-5-09-29440 Bldg & Grounds - JJE 6,000

09-5-09-44440 License Permits & Inspections JJE 700

Recommending Board or Commission:

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment	X		

Public Hearing needed: Yes / No

NO

3 readings? : Yes / No

YES

Back up materials attached:	Back up materials needed:
Minutes	Minutes
Maps	Maps
Memo	Memo
Draft Ord.	Draft Ord.

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum

Date: October 6, 2021
To: City Council
Thru: Mayor Timothy J. Lowery
Cc: Kimberlee Johnson
From: Cheryl A. Thompson-Stimage
Subject: Re-appropriate Park Improvement Fund

I am requesting to transfer funds within the following categories:

From:	09-5-09-32470 – Office Supplies – Parks	\$ 5,000
	09-5-09-52440 – Program & Event Supplies	\$ 5,000
To:	09-5-09-30470 - Equipment Repairs – Parks	\$10,000
 From:	 09-5-09-16000 - Contract Services	 \$6,700
To:	09-5-09-29440 – Building and Grounds – JJE	\$6,000
	09-5-09-44440 – License Permits and Inspections – JJE	\$700

This transfer is necessary due to a number of Zero Turn mowers and equipment being down and unable to use at this time. The Eagan Center has had various repairs to the HVAC system that has cause unexpected expenses. The License and Permits account is over due to extra cost in the Liquor licenses this year. If you have any further questions please do not hesitate to give me a call. Thanks for your consideration of this request.

1 INTRODUCED BY COUNCILMAN SCHILDROTH
2 OCTOBER 11, 2021

3
4 BILL NO. 9722

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING VARIOUS TRANSFERS WITHIN THE**
7 **GENERAL REVENUE FUND FOR THE PARKS DEPARTMENT TO**
8 **COVER END OF YEAR EXPENSES.**
9

10 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
11 COUNTY, MISSOURI, AS FOLLOWS:
12

13 Section 1: \$23,000 is hereby transferred from account no. 01-5-06-10040 "Part-Time
14 Seasonal" to the following accounts:
15

01-5-06-31020	Golf Cart Lease/Rental	\$1,600
01-5-06-13012	COVID	\$400
01-5-06-26000	Utilities	\$16,000
01-5-06-30000	Equipment Repair	\$3,000
01-5-06-27000	Gasoline	\$2,000

16
17
18 Section 2: This ordinance shall become in force and effect immediately upon its passage
19 and approval.
20

21 Adopted this ____ day of _____, 2021.
22

23 _____
24 Keith Schildroth
25 President of the Council
26 City of Florissant

27 Approved this ____ day of _____, 2021.
28

29 _____
30 Timothy J. Lowery
31 Mayor, City of Florissant

32 ATTEST:
33

34 _____
35 Karen Goodwin, MPPA/MMC/MRCC,
36 City Clerk

FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: October 6, 2021

Mayor's Approval:

Agenda Date Requested: 11-Oct-21

Re-appropriate General Funds - Golf Course

From 01-5-06-10040 Part Time Seasonal \$23,000

To: 01-5-06-31020 - Golf Cart Lease/Rental 1,600

01-5-06-13012 – COVID 400

01-5-06-26000 - Utilities 16,000

01-5-06-30000 – Equipment Repair 3,000

01-5-06-27000 – Gasoline 2,000

Type of request:

Ordinances	X	Other	X
Appropriation		Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment	X		

Public Hearing needed: Yes / No

NO

3 readings? : Yes / No

YES

Back up materials
attached:

Minutes	
Maps	
Memo	
Draft Ord.	

Back up materials
needed:

Minutes	
Maps	
Memo	
Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

1

**CITY OF FLORISSANT
PARKS AND RECREATION DEPARTMENT
Memorandum**

Date: October 6, 2021
To: City Council
Thru: Mayor Timothy J. Lowery
Cc: Kimberlee Johnson
From: Cheryl A. Thompson-Stimage
Subject: Re-appropriate Golf Course Accounts

I am requesting to transfer funds within the following categories:

From:	01-5-06-10040 – Part-Time Seasonal	\$23,000
To:	01-5-06-31020 - Golf Cart Lease/Rental	\$1,600
	01-5-06-13012 – COVID	\$400
	01-5-06-26000 - Utilities	\$16,000
	01-5-06-30000 – Equipment Repair	\$3,000
	01-5-06-27000 – Gasoline	\$2,000

This is necessary due to various unexpected expenses. If you have any further questions please do not hesitate to give me a call. Thanks for your consideration of this request.

1 INTRODUCED BY COUNCILMAN MANGANELLI
2 OCTOBER 11, 2021

3
4 BILL NO. 9723

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN AMENDMENT TO CHAPTER 340**
7 **“MISCELLANEOUS DRIVING RULES” SUBSECTION 340.175**
8 **“UNAUTHORIZED USE OF MOTOR VEHICLES” TO ADD A NEW**
9 **SUBSECTION FOR THE PURPOSE OF MAKING IT UNLAWFUL TO**
10 **LIFT DOOR HANDLES OF VEHICLES WITHOUT THE OWNER’S**
11 **PERMISSION.**
12

13 WHEREAS the city has experienced a problem with individuals lifting door handles of vehicles
14 to see if they are locked for the purpose of unlawful entry to the vehicle and theft of personal items from
15 the vehicle; and

16 WHEREAS the City Council feels that it is in the best interest of the city to prohibit the act of
17 lifting vehicle door handles of a vehicle without the permission of the vehicle owner; and

18
19 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
20 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**
21

22 Section 1: Chapter 340 “Miscellaneous Driving Rules” Subsection 340.175 “Unauthorized Use
23 of Motor Vehicles” is hereby amended by adding a new subsection “B” to read as follows and
24 renumbering accordingly:
25

26 B. It shall be unlawful for any individual to lift the door handles or otherwise try the doors
27 and locks of successive vehicles to gain entry to the vehicles unless the individual is the owner of the
28 vehicles or has the owners’ permission to enter the vehicles. For purposes of this ordinance “successive”
29 shall mean lifting the door handles or otherwise trying the locks of one vehicle after another.

30 1. Any individual found to be in violation of the provisions of this ordinance shall be
31 subject to a fine of not more than \$500 or a term of imprisonment of not more than thirty (30) days or
32 both a fine and imprisonment.
33

34 Section 2: This ordinance shall become in force and effect immediately upon its passage and
35 approval.

36 Adopted this ____ day of _____, 2021.

37
38
39 _____
40 Keith Schildroth, Council President

41 Approved this ____ day of _____, 2021.

42
43 _____
44 Timothy J. Lowery, Mayor

45 ATTEST:

46 _____
47 Karen Goodwin, MPPA/MMC/MRCC
City Clerk