



FLORISSANT CITY COUNCIL AGENDA
City Hall
955 rue St. Francois
Monday, May 9th, 2016
7:30 PM
Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- Meeting Minutes of April 26th, 2016

IV. PROCLAMATION

- National Police Week

V. HEARING FROM CITIZENS

(Speaker cards are available at the entrance to the Council Chambers)

VI. COMMUNICATIONS

None

VII. PUBLIC HEARINGS

16-04-012 (Ward 6) Application Staff Rpt Plans	Request to rezone for Auto Properties, LLC the property located at 1350 N. Highway 67 from B-3, Extensive Commercial District to B-5, Planned Commercial District to allow for the construction of a new self-storage, truck and trailer rental facility. (Planning and Zoning recommended approval on 4/4/16)(Continued to this date on April 26 th , 2016)	Steve Langford
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16-05-014 (Ward 9) Application Staff Rpt Plans	Request to issue an amendment to B-5 Ordinance No. 6266 to allow for additions to the existing ground signs for the property located at 14070 New Halls Ferry Rd/ 3180 N. Hwy 67. (Planning and Zoning recommended approval on 4/18/16)	Glenn Egart
16-05-015 Maps	Public Hearing for the review of the report of the Redistricting Commission and take public comment concerning the commission's recommendations.	Susan Geerling

VIII. OLD BUSINESS

A. SECOND READINGS

9181	Ordinance to rezone for TAUC Properties, LLC, the property located at 1090 N. Highway 67 from R-4 Single Family District to B-5 Planned Commercial District to allow for an urgent care facility.	Henke
9182	Ordinance to authorize a Special Use Permit to Metropolitan Events, LLC to allow for an event/banquet center for the property located at 11 Patterson Plaza Shopping Center.	Caputa

IX. NEW BUSINESS

X. BOARD APPOINTMENTS

XI. REQUESTS

Ward 3 Application	Request for Philip Bell to keep 3 chickens located at 755 Bellarmine Ln. (Health Department recommended approval)	Philip Bell
Ward 3 Application	Request for Wilma Rutten to keep 3 hens located at 845 Borgia Lane. (Health Department recommended approval)	Wilma Rutten
Ward 2 Application	Request for Jason & Kelly Pokorny to keep 2 chickens located at 1275 Ensenada Drive. (Health Department recommended approval)	Jason & Kelly Pokorny

Ward 9 Application	Request for a beer and wine liquor license for Paint it Like You Mean It, LLC located at 3357 N. Highway 67.	Marcus Stewart
Ward 3 Application	Request for a beer and wine liquor license for Viet Thai located at 8458 N. Lindbergh.	Hung Cam Chau

XII. BILLS FOR FIRST READING

9183	Ordinance to rezone for Auto Properties, LLC the property located at 1350 N. Highway 67 from B-3, Extensive Commercial District to B-5, Planned Commercial District to allow for the construction of a new self-storage, truck and trailer rental facility.	Henke
9184	Ordinance to issue an amendment to B-5 Ordinance No. 6266 to allow for additions to the existing ground signs for the property located at 14070 New Halls Ferry Rd/ 3180 N. Hwy 67.	Siam
9185	Ordinance authorizing an appropriation of \$7000 from the General Revenue Fund to account no. 062901 "Building Maintenance and Supplies" to reimburse the Golf course for MSD repairs to the creek.	Lee
9186	Ordinance amending Chapter 600 of the Florissant City Code relating to liquor licenses and licensees.	Council as a whole
9187	Ordinance adopting a policy against sweatshop practices.	Jones
9188 Memo	Ordinance authorizing an appropriation of \$12,000 from the General Revenue Fund to account no. 4015 "Unemployment Claim Reserve" for reimbursable unemployment benefits.	Pagano
9189	Ordinance authorizing an appropriation of \$35,000 from the Park Improvement Fund of the City of Florissant to account no. 09-5-09-61470 "Capital Additions" for the purchase of the land at 575 St. Charles Street.	Council as a whole
9190	Ordinance authorizing an appropriation of \$25,000 from the Capital Improvement Fund of the City of Florissant to account no. 03-5-03-61480 "Capital Additions" for the purchase of the buildings at 575 St. Charles St.	Council as a whole
9191 Memo	Ordinance amending Chapter 600 of the Florissant city code by adding the definition of brewpub and associated licensing fees.	Henke

XIII. COUNCIL ANNOUNCEMENTS

XIV. MESSAGE FROM THE MAYOR

XV. ADJOURNMENT

THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL MAY 6TH, 2016 AT 12:00 PM ON THE BULLETIN BOARD OUTSIDE THE COUNCIL CHAMBERS. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK'S OFFICE AT 839-7630 OR TDD 839-5142 BY NOON ON MONDAY, MAY 9TH, 2016.

CITY OF FLORISSANT



COUNCIL MINUTES

April 26, 2016

The Florissant City Council met in regular session at Florissant City Hall at 955 rue St. Francois on Monday, April 26, 2016 at 7:30 p.m. with Council President Joe Eagan presiding. The Chair asked everyone in attendance to stand and join in the Pledge of Allegiance.

On Roll Call the following were present: Eagan, Schildroth, Henke, Pagano, Schmidt, Siam, Lee and Jones. Councilman Caputa was excused. Also present was Mayor Thomas P. Schneider, City Attorney John Hessel and City Clerk Karen Goodwin. A quorum being present the Chair stated that the Council meeting was in session for the transaction of business.

Council President Eagan stated that the next item on the agenda was the election of Council officers. Councilman Eagan nominated Councilwoman Pagano for the position of President, seconded by Schildroth. On roll call the Council voted: Eagan yes, Caputa absent, Schildroth yes, Henke yes, Pagano yes, Schmidt yes, Siam yes, Lee yes and Jones yes. Councilwoman Pagano nominated Councilman Caputa for the position of Vice President, seconded by Jones. On roll call the Council voted: Eagan yes, Caputa absent, Schildroth yes, Henke yes, Pagano yes, Schmidt yes, Siam yes, Lee yes and Jones yes. Council voted unanimously to approve the Council officer positions. The Council took a five minute recess to reseal the officers.

The next item on the agenda was a Proclamation awarded to Gary Gaydos, honoring him for his well-deserved retirement and 38 years of service to the City as the James J. Eagan Theatre Manager.

The next item on the agenda was a Special Presentation awarded to the City of Florissant, the Florissant Youth Advisory Commission and Mayor Schneider from the

33 American Foundation for Suicide Prevention for their fundraising events for the
34 organization.

35 Councilman Schildroth moved to approve the Meeting and Executive Meeting
36 Minutes of 4/11/16, seconded by Jones. Motion carried.

37 The next item on the agenda was Hearing from Citizens of which there were
38 none.

39 The next item on the Agenda was Communications of which there were none.

40 The next item on the Agenda was Public Hearings.

41 The City Clerk reported that postponed Public Hearing #16-03-007 on a Request
42 to rezone for TAUC Properties, LLC, the property located at 1090 N. Hwy. 67 from R-4
43 Single Family Dwelling District to a B-5 Planned Commercial District to allow for an
44 urgent care facility was reopened. The Chair declared the Public Hearing to be open
45 and invited those who wished to be heard to come forward.

46 Michael Mueller, engineer, stated that their request had been referred back to the
47 Planning and Zoning Commission. They made revisions to the site plan and had a
48 “recommended approval” from the Commission. Tonight, they have submitted a
49 “parking justification study” for the reduced spaced parking lot since their type of use,
50 an urgent care, is not specifically addressed in the Code. They have been working with
51 MODOT regarding the two accesses onto to site, one on Lindbergh and the other on St.
52 Jean. They also plan on installing a vinyl sight proof fence for the benefit of the
53 residents.

54 Dr. Matt Bruckel stated that his facility provides fast, friendly and affordable
55 health care, much faster and considerably cheaper than a regular ER. The Urgent Care
56 hours of operation will be 8-8, seven days a week and they accept most insurance.
57 Ambulances at their facilities are rare and they do not take in-coming ambulances. On
58 the rare occasion that someone needs to go to a hospital ER, ambulances will supply the
59 transportation. Urgent Care recently opened their 8th office. They will be a full care
60 facility, providing x-rays, blood work, ultra sounds and cat scans at the Florissant Urgent
61 Care. Initially, the, 3500 square foot building will have 8 rooms, with the potential for
62 growth.

63 Councilman Lee thanked the petitioner for revising their plans at the Council's
64 request and coming back before them with a viable plan that will benefit the community.

65 Councilman Schmidt expressed his concern regarding the signage on the
66 windows. Dr. Bruckel stated that all their facilities have signage on the windows and
67 they have never had a single complaint. The signs are muted, showing pictures of
68 various people. They do state that they are open 8-8 and take walk-ins. Urgent Care
69 has agreed to stay within the zoning code's sign ordinance regarding the 40 square foot
70 requirement.

71 Councilman Schildroth stated that he would be abstaining from this vote because
72 his wife worked for BJC Healthcare.

73 The Chair asked if there were any other citizens who would like to speak on said
74 public hearing. Being no persons who wished to speak, Councilman Henke moved to
75 close P.H. #16-03-007, seconded by Jones. Motion carried.

76 The City Clerk reported that Public Hearing #16-04-012 to be held this night on
77 a Request to rezone for Auto Properties, LLC, the property located at 1350 N. Highway
78 67 from B-3, Extensive Commercial District to B-5, Planned Commercial District to
79 allow for the construction of a new self-storage, truck and trailer rental facility had been
80 advertised in substantially the same form as appears in the foregoing publication and by
81 posting the property. The Chair declared the Public Hearing to be opened and invited
82 those who wished to be heard to come forward.

83 Mark Doerring, Doerring Engineering and Steve Langford, U-Haul stated that
84 U-Haul has operated on the corner of Florissant Rd. and Lindbergh for many years and it
85 will remain open. U-Haul is a sustainable, green company and one of the first recipients
86 of the "Cool City Awards." They would like to build a new self-storage facility, the
87 first of its kind in the Midwest, and remove the old existing Behlmann building on
88 Lindbergh. The 3 story building will have cameras and all the latest technology built
89 into it.

90 They have worked hard with the Planning & Zoning Commission to remove
91 some of the pavement and replace it with a significant amount of green space. They
92 plan on keeping and expanding the existing green landscape buffer with the tall trees on
93 the Lafayette side. There is an existing underground storm water basin on site that was

94 built many years ago. They will remove it and replace it with a new bigger detention
95 pond.

96 Mr. Langford stated that considerable discussion was had with the Planning and
97 Zoning Commission in order to comply with the masonry ordinance within a B-5 Zoning
98 District, which is a more “site-specific” zoning. U-Haul has a national “look” which
99 they would like to maintain to some degree with this building. Planning and Zoning
100 recommended that the north wall at Lindbergh be full masonry. On the north and
101 west side of the building, they would like 3 feet of stone masonry material at base and
102 above that a stamped or stucco material. Planning and Zoning asked if they would take
103 the brick required from the east and south side of the building, the section that no one
104 would see, and put that brick on the front of the building. The east and south will have
105 the stucco material. Thus there will be full brick facing Lindbergh. The leasing for this
106 storage facility will be done at the U-Haul site on Florissant Road.

107 Councilman Schmidt stated that he wanted a sample of the brick/stone,
108 information regarding how the tilt-up will be installed and how the stamping will look
109 once it is completed. On the current renderings, all Councilman Schmidt sees on the
110 building is white with no texture. He wants to see how the building will actually look
111 using the proposed materials and stated he wished they had given the Council color
112 renderings. The petitioner stated that they could do that and also bring in a sampling of
113 the stone/brick products to be used. Councilman Schmidt also stated that the west side
114 of the proposed building is 320 feet and can be seen from Lindbergh and Lafayette. He
115 questioned how this complied with the City’s Masonry Code.

116 In response to Councilman Lee’s question, Mr. Langford stated that the building
117 would definitely have a stone front. Access will be gained through a key code or card.
118 A manager would have to allow access to entry beyond the regular 7 am -7 pm hours of
119 operation. Very few people are allowed after-hours access. Each room is individually
120 alarmed.

121 The Chair asked if there were any citizens who would like to speak on said
122 public hearing.

123 Robert Smith, 2823 Chapel View Dr., asked how access of the building at night
124 and renting a unit with a smart phone would work. Mr. Langford explained that if you

125 wanted to access your unit without the approval of the manager, your key code would
126 not work. The main door to load/unload a truck is never open after hours. If you used
127 your smart phone to rent a unit after hours, you would still not be able to access the unit
128 after hours.

129 Being no other persons who wished to speak, Councilman Henke moved to close
130 P.H. #16-04-012, seconded by Siam. Councilman Schmidt asked that the Public
131 Hearing be continued until they received the requested information. Councilman Henke
132 withdrew his motion to close the public hearing. Councilmen Eagan and Henke stated
133 that they would agree to continue the Public Hearing so the Council could see the
134 materials and renderings, if the petitioner could get a first reading at the next meeting.

135 Councilman Eagan moved to continue P.H. #16-04-012 until 5/9/16, seconded by
136 Henke. Motion carried.

137 The City Clerk reported that Public Hearing #16-04-013 to be held this night on
138 a Request to authorize a Special Use Permit to Metropolitan Events, LLC, to allow for
139 an event/banquet center for the property located at 11 Patterson Plaza Shopping Center
140 had been advertised in substantially the same form as appears in the foregoing
141 publication and by posting the same. The Chair declared the Public Hearing to be
142 opened and invited those who wished to be heard to come forward.

143 Sonja Dulick, petitioner, stated that she had been looking in the area for a
144 themed party venue to have her young daughter's birthday party. The space had been a
145 dance studio and Ms. Dulick would like to open an event center for birthday parties,
146 showers, etc. There is about 2200 sf of space, parking for 250, and Nagel's next door
147 which sells parties supplies. No alcohol will be served and all food will be catered in –
148 there is no kitchen on site. Based on the recommendation from the Planning and
149 Zoning Commission, the hours of operation will be from 7-1 a.m. seven days a week.

150 Councilman Schmidt expressed his concern that someone would buy a beer at
151 the nearby bar and then walk into her facility. Ms. Dulick stated that no alcohol will be
152 allowed to be brought in and there will be a manager on site at all times. Most of her
153 events will be held in the afternoon or early evening. She made the hours of operation
154 longer than she would need to include time, for set up and clean up. The Planning and
155 Zoning Commission encouraged her to do this by increasing her hours. Councilman

156 Schmidt clarified that the hours of operation are not the hours that you are in the
157 building, but the hours you are open to the public.

158 The Chair asked if there were any other citizens who would like to speak on said
159 public hearing. Kevin O'Donnell, 512 Rancho Lane, expressed his concerns about
160 noise at an event, the hours of operation and the possibility of someone bringing liquor
161 into the site.

162 Councilman Lee stated that he is not concerned about alcohol, since it is an
163 alcohol free site. Ms. Dulick can call the police if someone brings alcohol into an event.
164 Councilman Eagan stated that he felt it would be a very wholesome environment and
165 wished the petitioner good luck.

166 Being no other persons who wished to speak, Councilman Henke moved to close
167 P.H. #16-04-013, seconded by Siam. Motion carried.

168 The Chair stated that the next item on the agenda was old business.

169 Councilman Eagan moved that Bill No. 9177 An Ordinance amending B-5
170 Ordinance No. 8080 for Mission Hills Development d/b/a GMT Auto Sales to allow for
171 an addition to the existing building for the property located at 620 Charbonier Road be
172 read for a second time, seconded by Jones. Motion carried and Bill No. 9177 was read
173 for a second time. Councilman Eagan moved that Bill No. 9177 be read for a third time,
174 seconded by Henke. Motion carried and Bill No. 9177 was read for a third and final
175 time and placed upon its passage.

176 Before the final vote all interested persons were given an opportunity to be
177 heard. On roll call the Council voted: Eagan yes, Caputa absent, Schildroth yes, Henke
178 yes, Pagano yes, Schmidt yes, Siam yes, Lee yes and Jones yes. Whereupon the Chair
179 declared Bill No. 9177 to have passed and said Bill became Ordinance No. 8218.

180 Councilman Jones moved that Bill No. 9178 An Ordinance to authorize an
181 amendment to Special Use Permit No. 8063 issued to Total Tan, Inc. d/b/a Club Fitness
182 to allow for the expansion of the fitness center for the property located at 745-755 N.
183 Hwy. 67 be read for a second time, seconded by Schildroth. Motion carried and Bill No.
184 9178 was read for a second time. Councilman Jones moved that Bill No. 9178 be read
185 for a third time, seconded by Henke. Motion carried and Bill No. 9178 was read for a
186 third and final time and placed upon its passage.

187 Before the final vote all interested persons were given an opportunity to be
188 heard. On roll call the Council voted: Eagan yes, Caputa absent, Schildroth yes, Henke
189 yes, Pagano yes, Schmidt yes, Siam yes, Lee yes and Jones yes. Whereupon the Chair
190 declared Bill No. 9178 to have passed and said Bill became Ordinance No. 8219.

191 Councilman Henke moved that Bill No. 9179 An Ordinance amending Section
192 405.035 of the Zoning Code “Definitions” by adding a definition of “Brewpub” and
193 amending Zoning Districts B1, B2, B3, B4, M1, M2, M3, and HB to add “brewpubs” as
194 a Special Use be read for a third time, seconded by Lee. Motion carried and Bill No.
195 9179 was read for a third and final time and placed upon its passage.

196 Before the final vote all interested persons were given an opportunity to be
197 heard. On roll call the Council voted: Eagan yes, Caputa absent, Schildroth yes, Henke yes,
198 Pagano yes, Schmidt yes, Siam yes, Lee yes and Jones yes. Whereupon the Chair declared Bill No. 9179 to have passed and said
199 Bill became Ordinance No. 8220.

200 Councilman Henke moved that Bill No. 9180 An Ordinance to authorize a
201 Special Use Permit to Ord No. 4599, as amended and transferred, to allow for the
202 operation of a brewpub in addition to the existing restaurant for the property located at
203 1595 N. Hwy. 67 be read for a second time, seconded by Schmidt. Motion carried and
204 Bill No. 9180 was read for a second time. Councilman Schildroth moved that Bill No.
205 9180 be read for a third time, seconded by Siam. Motion carried and Bill No. 9180 was
206 read for a third and final time and placed upon its passage.

207 Before the final vote all interested persons were given an opportunity to be
208 heard. On roll call the Council voted: Eagan yes, Caputa absent, Schildroth yes, Henke
209 yes, Pagano yes, Schmidt yes, Siam yes, Lee yes and Jones yes. Whereupon the Chair
210 declared Bill No. 9180 to have passed and said Bill became Ordinance No. 8221.

211 Councilman Siam moved to reappoint Robert Shoemaker, 1440 Thoroughbred,
212 to the Parks and Recreation Advisory Commission as a member from Ward 9 for a term
213 expiring on 11/26/2018, seconded by Lee. Motion carried.

214 Councilman Jones moved to approve the request to Jan Speelman to keep two
215 chickens for the property located at 1125 Charbonier Rd., seconded by Schildroth.
216 Motion carried.

218 Councilman Lee moved to approve the request to Carol Smith to keep two ducks
219 for the property located at 1270 Swan Dr., seconded by Henke. Motion carried.

220 Councilman Lee moved to approve the request to Donna Smith-Pupillo to keep
221 two chickens for the property located at 1275 Swan, seconded by Jones. Motion carried.

222 Councilman Henke introduced Bill No. 9181 An Ordinance to rezone for TAUC
223 Properties, LLC, the property located at 1090 N. Hwy 67 from R-4 Single Family
224 Dwelling District to a B-5 Planned Commercial District to allow for an urgent care
225 facility and said Bill was read for the first time by title only. Councilman Henke moved
226 that Bill No. 9181 be read for a second time. Motion failed for lack of a second reading.

227 Councilman Eagan introduced Bill No. 9182 An Ordinance authorizing a
228 Special Use Permit to Metropolitan Events, LLC, to allow for an event/banquet center
229 for the property located at 11 Patterson Plaza Shopping Center and said Bill was read
230 for the first time by title only.

231 The next item on the Agenda was Mayor Announcements.

232 The “Aging My Way Resource Fair” was held on April 12th and was very well
233 attended. He thanked Peggy Hogan, Senior Coordinator and her staff for all their work.
234 On April 16 there was the annual Electronic Recycling Event at St. Ferdinand Park and
235 on April 23 there was a free document shredding day for residents at St. Ferdinand Park
236 as well. On April 30 there will be a Florissant Garage Sale at the ice rink.

237 Florissant received the McReynolds Award for historic preservation. The *Pitch,*
238 *Hit and Run* event will be held on Thursday May 5th at Koch Park for ages 7 – 14. May
239 6, 7, & 8 will be the Valley of Flowers Festival. The Community Development Office
240 will be taking comment on the Community Development Block Grant Program from
241 May 10- June 8.

242 The next item on the Agenda was Council Announcements.

243 Councilman Henke stated that the Historic Preservation CD about the historic
244 sites in Florissant is an excellent movie and he encouraged everyone to watch it. It was
245 quite an honor for Florissant to receive the McReynolds Award in Jefferson City. He
246 too asked the residents to “spruce-up” their neighborhoods for the upcoming Valley of
247 Flowers.

248 Councilman Schildroth welcomed Ms. Dulick and her business into Florissant.
249 He asked the residents not to blow their grass clippings into the street because it clogged
250 up the City's sewers. He congratulated Gary Gaydos on a fantastic career with the city.
251 He thanked City staff for the wonderful, organized recycling event that the City had
252 recently at St. Ferdinand Park. Councilman Schildroth attended the recent seminar
253 regarding heroin addiction and prescription drug problem in the country and thanked the
254 Chief and all involved with it.

255 Councilman Eagan also thanked Gary Gaydos for his phenomenal job as Theatre
256 Manager. It has made our city stand out above of communities. He encouraged residents
257 to nominate their neighbors in the Beautiful Home Award Contest. There will be a golf
258 outing at the Golf Club of Florissant on June 6 sponsored by the Maryland Heights
259 Police Department to support Rank and Jordon Children's Hospital.

260 Councilman Jones reminded everyone to not forget to donate to the TEAM food
261 pantry. He thanked the Police Department for sponsoring the recent seminar regarding
262 heroin addiction in the U.S. The paper shredding held in St. Ferdinand Park was very
263 successful. He thanked the employees who worked hard at the event.

264 Councilwoman Pagano moved to suspend the rules to hear from the Chairman of
265 the "Kids Safety Day" on April 30, seconded by Eagan. Motion carried. The Chairman
266 stated that the kids safety helmet event will be held on April 30 from 10-2.

267 Councilman Schmidt also congratulated Gary Gaydos on his well-deserved
268 retirement. He is very professional and has done a tremendous job with our theatre.

269 The next City Council Meeting is scheduled for Monday, May 9, 2016 at 7:30
270 pm. Councilman Siam moved to adjourn the meeting, seconded by Jones. Motion
271 carried.

272 The meeting was adjourned at 9:17 p.m.

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Karen Goodwin, City Clerk

280 The following Bills were signed by the Mayor:

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282 Bill no. 9177 Ord. 8218

283 Bill no. 9178 Ord. 8219

284 Bill no. 9179 Ord. 8220

285 Bill no. 9180 Ord. 8221

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WHEREAS: we acknowledge 2016 National Police Week to honor the service and sacrifice of those law enforcement officers killed in the line of duty while protecting our communities and safeguarding our democracy; and

WHEREAS: there are approximately 900,000 law enforcement officers serving in communities across the United States, including the dedicated members of the Florissant Police Department; and

WHEREAS: nearly 60,000 assaults against law enforcement officers are reported each year, resulting in approximately 16,000 injuries; and

WHEREAS: sadly, over the last decade, an average of 146 officers a year have been killed in the line of duty. And throughout U.S. history more than 20,000 law enforcement officers have made the ultimate sacrifice; and

WHEREAS: the names of these dedicated public servants are engraved on the walls of the National Law Enforcement Officers Memorial in Washington, D.C.; and

WHEREAS: new names of fallen heroes are being added to the National Law Enforcement Officers Memorial this spring, including 43 officers killed in 2016 to date and 137 officers killed in the previous year; and

WHEREAS: May 15 is designated as Peace Officers Memorial Day, in honor of all fallen officers and their families and U.S. flags should be flown at half-staff.

NOW, THEREFORE, I, THOMAS P. SCHNEIDER, MAYOR OF THE CITY OF FLORISSANT AND THE CITY COUNCIL do hereby formally designate May 15-22, 2016, as National Police Week in the City of Florissant, and publicly salute the service of law enforcement officers in our community and in communities across the nation.

In Witness Whereof I hereunto Set My Hand
And Cause To Be Affixed The Seal Of The City
Of Florissant, Missouri, this 9th day of May
2016.

Mayor Thomas P. Schneider

Jackie Pagano - Council President



CITY OF FLORISSANT

PUBLIC HEARING NOTICE

A Public Hearing will be held by the Florissant City Council in the Council Chambers, 955 rue St. Francois, Florissant, MO., on Tuesday, April 26, 2016 at 7:30 p.m. on the following proposition, to-wit:

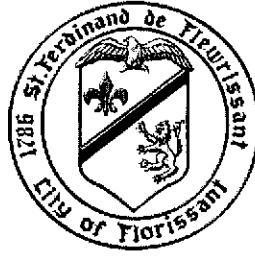
To rezone for Auto Properties, LLC the property located at 1350 N. Highway 67 from B-3, Extensive Commercial District to B-5, Planned Commercial District to allow for the construction of a new self-storage, truck and trailer rental facility.

Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, City Clerk MMC.

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MEMORANDUM



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CITY OF FLORISSANT- BUILDING DEPARTMENT

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"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

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To: Planning and Zoning Commissioners Date: March 30, 2016

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From: Philip E. Lum, AIA-Building Commissioner c: Louis B. Jearls, Jr. - P.E.,
PWLF Director Public Works
Timothy Barrett, P.E. CFM-
City Engineer
Deputy City Clerk
Applicant
File

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Subject: Request recommended approval to rezone to a 'B-5' to allow for a new Self-Storage, truck and trailer rental facility at **1350 N. Highway 67** in a 'B-3' Zoning District.

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STAFF REPORT
CASE NUMBER PZ-040416-1

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I. PROJECT DESCRIPTION:

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This is a request for **recommended approval** to rezone to a 'B-5' to allow for a new a new Self-Storage, truck and trailer rental facility at **1350 N. Highway 67** in an 'B-3' Zoning District.

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II. EXISTING SITE CONDITIONS:

The existing address has been vacant as the former location of an auto sales establishment.

The structure existing on the site would be removed for the new development, precipitating the need for a 'B-5' re-zoning for this commercial use.

The site has a large paved area to the South, surrounded by berms and mature screen tree plantings.

41 **III. SURROUNDING PROPERTIES:**

42 The properties adjacent and to the South are to remain in an 'R-4' District, the AT&T
43 Facility and 1011 and 1194 Clark St. The property at 1194 serves almost as an access
44 easement because it is only 4 feet wide x 194 feet long also owned by Auto Properties.
45 The Properties to the East are owned by the same seller of this property, Auto Properties
46 and are in a 'B-3' Extensive Business District. Properties across Clark are 1190, 1180,
47 1170, 1150, 1130 and 1110 Clark.

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49 **IV. STAFF ANALYSIS:**

50 The application is accompanied by professionally completed plans SP1 dated 2/12/16, A-
51 1 Floor Plan and A-2 Elevations dated 3/10/16, and Civil Plan 1, dated 3/29/16 by
52 Doering Engineering.

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54 The following are staff comments regarding plans:

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56 **Sheet SP1 Comments:**

- 57 1. The size of the overall development is 3.63 acres.
- 58 2. The brick structure of 19,791 s.f., first built in 1968, is proposed to be removed.
- 59 3. The new building is shown on this plan. Site improvements are not developed on
60 this plan but was done as a concept and preceded the Civil Plan, therefore, the
61 Civil Plan is more valid.
- 62 4. Greenspace minimums for over 2 acres is required per 405.245 para. 9 to be 25%.
- 63 5. No outside trash area is noted.
- 64 6. Irrigation of landscape will be required for landscape.
- 65 7. A berm with planting is existing and proposed to remain along 3 sides of the
66 property.
- 67 8. 10 parking spaces are shown with accessible parking with 3 spaces being inside.
68 The parking ordinance only allows for 3.33 spaces per 1000 s.f. of offices and 1
69 space for a caretaker.
- 70 9. There is a monument sign shown near the front of the new parking lot, noted to be
71 6' tall and 50 s.f.

72 **Sheet A-1 Comments:**

- 73 1. Indicates the floor plan of the lockers for each floor and the mix of types of
74 lockers.

75
76 **Sheet A-2 Comments:**

- 77 10. The elevation drawings indicate a concrete tilt-up building with white upper
78 panels of metal.
- 79 11. 'Black' and 'Sierra Sunset' (tan) doors and 'U-Haul green' metal canopy.

80
81 **Elevation Comments:**

- 82 1. The building is shown to be constructed of walls using no brick, inconsistent with
83 masonry ordinance, unless excepted by the Council upon recommendation by the
84 Commission. The masonry ordinance exception for tilt-up includes:
 - 85 a. "3. Tilt-up construction is allowed on buildings of twenty thousand (20,000)
86 square feet or greater provided that the front tilt-up face of the building shall be
87 constructed with traditional masonry material unless otherwise determined by

88 *the City Council. "Traditional masonry" is defined as hand-laid in place*
89 *traditional block back-up, brick, stone or any other masonry material as a face.*
90 *Decorative and/or embossed tilt-up panels may be required on all other portions*
91 *of the building. Tilt-up construction is the process of forming, pouring and curing*
92 *Portland cement concrete panels on the job site and tilting/raising them up into*
93 *place usually as the exterior wall of a building or structure. Tilt-up is different*
94 *than pre-cast panels which are constructed off site."*

- 95 2. Therefore, the design is inconsistent with the masonry ordinance because its
96 "front walls" as defined above, do not contain any traditional (brick/block)
97 masonry walls.
98

99 **Checklist comments:**

100
101 8. Parking

- 102 f. Landscape: Comply with Lindbergh Improvement Plans, provide shrubs
103 for building plantings 1 shrub per 5 lineal feet of exterior wall.
104

105
106 **VI. STAFF RECOMMENDATIONS:**

107
108 See suggested motion options, dependent on the presentation content:
109

110 **Suggested Motion-** I move to recommend approval to rezone to a 'B-5' to allow for a
111 new Self-Storage, truck and trailer rental facility at **1350 N. Highway 67:** with the
112 following conditions to become part of the record:
113

114 I move to recommend approval **recommended approval** to rezone to a '**B-5**' to allow for
115 a new Self-Storage, truck and trailer rental facility at **1350 N. Highway 67** in a 'B-3'
116 Zoning District, according to the proposal prepared by the petitioner as described related
117 documents presented and according to the attached drawings: SP1 dated 2/12/16, A-1
118 Floor Plan and A-2 Elevations dated 3/10/16, and Civil Plan 1, dated 3/29/16 by Doering
119 Engineering. Approval is subject to the regulations of these ordinances, with permitted
120 uses allowed being a Self-Storage, truck and trailer rental facility, those within the 'B-3'
121 "Extensive Business District" without a Special Permit, and the following additional
122 requirements:
123

124 **1. PERMITTED USES**

125 The uses permitted for this property shall be limited to an Self-Storage, truck
126 and trailer rental facility and those uses within the 'B-3' "Extensive Business
127 District" without a Special Permit. Other uses than those permitted shall
128 require approval by amendment to this Ordinance.
129

130
131 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

132 The building space shall be limited to a three-story 79,330 s.f. Facility.
133

134 **3. PERFORMANCE STANDARDS**

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In addition to all other requirements, uses within the "B-3" Extensive Business District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. Screening.
 - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
 - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Any exterior trash container shall be screened from view from any r.o.w or residential property.

5. PLAN SUBMITTAL REQUIREMENTS

179 Final Development Plan shall include improvements as shown on drawing
180 attached and shall include the entire property, trash enclosures, landscape,
181 lighting, legal description and building setbacks.
182

183
184 **6. SITE DEVELOPMENT PLAN CRITERIA:**

185
186 a. Height, Area And Bulk Restrictions:

187
188 1. Height, Area And Bulk Regulations. The height, area and bulk
189 regulations for uses in the "B-3" Extensive Commercial District
190

191 b. Internal Drives:

192
193 (1) There shall be parking as shown on the Final Development Plan
194 indicating existing parking.
195

196 c. Minimum Parking/Loading Space Requirements.

197
198 (1) There shall be a minimum of 10 required parking spaces provided on
199 the property.
200

201 d. Road Improvements, Access and Sidewalks

202 (1) There shall be a modification of the sidewalk area to include burning
203 bush plantings, trees, walks, tree wells and lighting per the Lindbergh
204 Improvement Plan, provided on the highway frontage of the property.
205

206 e. Lighting Requirements.

207
208 Lighting of the property shall comply with the following standards and
209 requirements:
210

211 (1) The light level for parking lot lighting shall be a minimum of 0.5 fc on
212 the property and shall not project light or glare onto adjacent
213 residentially zoned property.
214

215 (2) All site lighting and exterior building lighting shall be directed down
216 and inward
217

218 f. Sign Requirements.

219
220 (1) All signage shall comply with the City of Florissant sign ordinance for
221 commercial districts.
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- (2) One existing Ground Sign in its location shown on Doering Engineering Sheet 1, dated 3/29/16, shall not exceed 3 feet in height above adjacent roadway.

g. Landscaping and Fencing.

- (1) Shall be as shown on Doering Engineering Sheet 1, dated 3/29/16, attached. Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.
- (2) **Additional landscaping meeting city ordinances shall be added to the Landscape Plan.**
 - a. **Landscape, paving and light poles per Lindbergh Improvement plans as recommended by the City Engineer.**
 - b. **Landscape Plantings per 405.245, including building plantings to establish the number of shrubs.**

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

- (1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.
- (2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

- (1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.
- (2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.
- (3) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.
- (4) All mechanical equipment, electrical equipment, and communication equipment shall be screened in accordance with the Florissant Zoning Code.

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(5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.

(6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.

7. GENERAL DEVELOPMENT CONDITIONS.

a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.

b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Site Development Plan approved and all other ordinances of the City of Florissant.

9. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 18 months of start of construction.

(end report and suggested motion)

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY 1350 N. Hwy 67 CURRENT ZONING B-3
 PROPERTY OWNER OF RECORD Auto Properties PHONE NO. _____
 AUTHORIZED AGENT U-Haul / Doering PHONE NO. _____
 PROPOSAL 'B-5' for 3 story new building

- 1) a. Uses - Are uses stipulated Yes / No
 b. What current District would this proposal be a permitted use: none
 c. Proposed uses for out lots: none

2) Performance Standards:

- a) Vibration: Is there any foreseen vibration problems at the property line? Yes / No
- b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No
- c) Odor is there any foreseen problem with odor? Yes / No
- d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? Yes / No
- e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No
- f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? Yes / No
- g) Is there any dangerous amount of radiation produced from the operation? Yes / No
- h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No - white bldg
- i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? Ye / None
- j) Is buildings screened from adjoining residential? Yes / No

3) Are height of structures shown? Yes / No

4) Are all setbacks shown? Yes / Not correct

5) Are building square footages shown? Yes / No

6) What is the exterior construction of the buildings? metal panel over tilt-up

7) Is off street loading shown? Yes / No

8) Parking:

- a) Does parking shown meet the ordinance? Yes / No
- b) Is a variance required in accordance with the ordinance? Yes / No
- c) Ratio shown _____ to _____
- d) Total Number 10
- e) Will cross access and cross parking agreements be required? Yes / No
- f) Is the parking lot adequately landscaped? Yes / No

9) Are there any signs? Yes / No
 Number of signs shown (1)
 Type of Signs ground sign 50 SF 6' ht.
 Are sizes, heights, details, and setbacks shown? Yes / No details

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? ✓ Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? ✓ Yes / No
- 14) Was a traffic study submitted? Yes / No ✓
Does the City Staff recommend a traffic study? Yes / No ✓
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? ✓ Yes / No
- 16) Is a legal description of the property shown? ✓ Yes / No
Does legal description appear to be proper? ✓ Yes / No
- 17) Is an out-boundary plat of the property submitted? ✓ Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? ✓ Yes / No
- 20) Are new walkways required? ✓ Yes / No *Lindbergh Impst.*
- 21) Is there sufficient handicapped access? ✓ Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No ✓
b) Do the curb-cuts meet the City ordinances? Yes / No *n/a*
- 23) Will this project require any street improvements? Yes / No ✓ *MODER?*
- 24) Staff recommendations for site development plans: _____

25) Staff Comments: _____

3/30/16
Date Application reviewed

Philip E. Jones
Building Commissioner or Staff Signature

PREPARED FOR:
 U-HAUL INTERNATIONAL
 1280 LUSHEN ROAD
 ST. LOUIS, MO 63138
 (314) 761-8881

Call Before you Dig
 1-800-344-7483
 MISSOURI ONE-CALL SYSTEM
 MISSOURI ONE-CALL SYSTEM INC.
 314-340-1100



U-HAUL

A TRACT OF LAND BEING PA TRACT OF LAND N ST. LOUIS COUNTY,
 MISSOURI BEING PART OF BLOCK 56 OF ST. FERDINAND COMMONS



LOCATION MAP
(NOT TO SCALE)

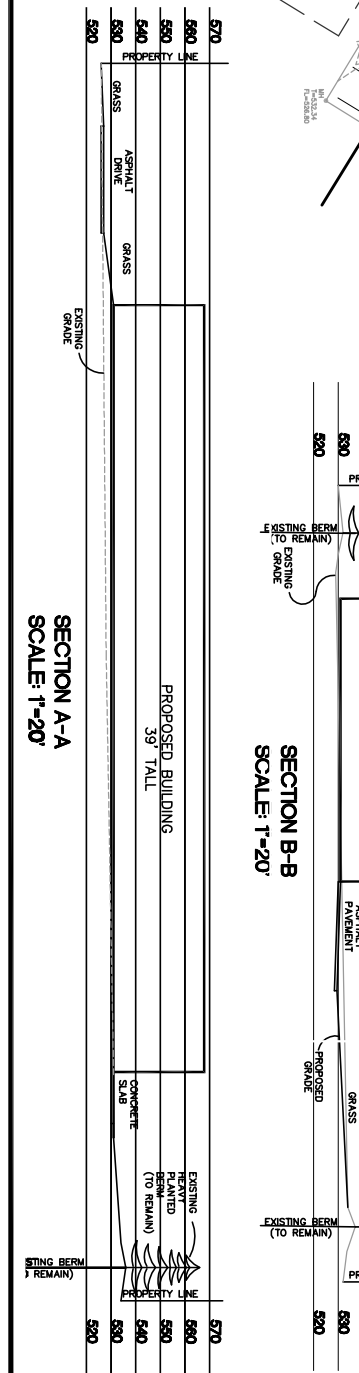
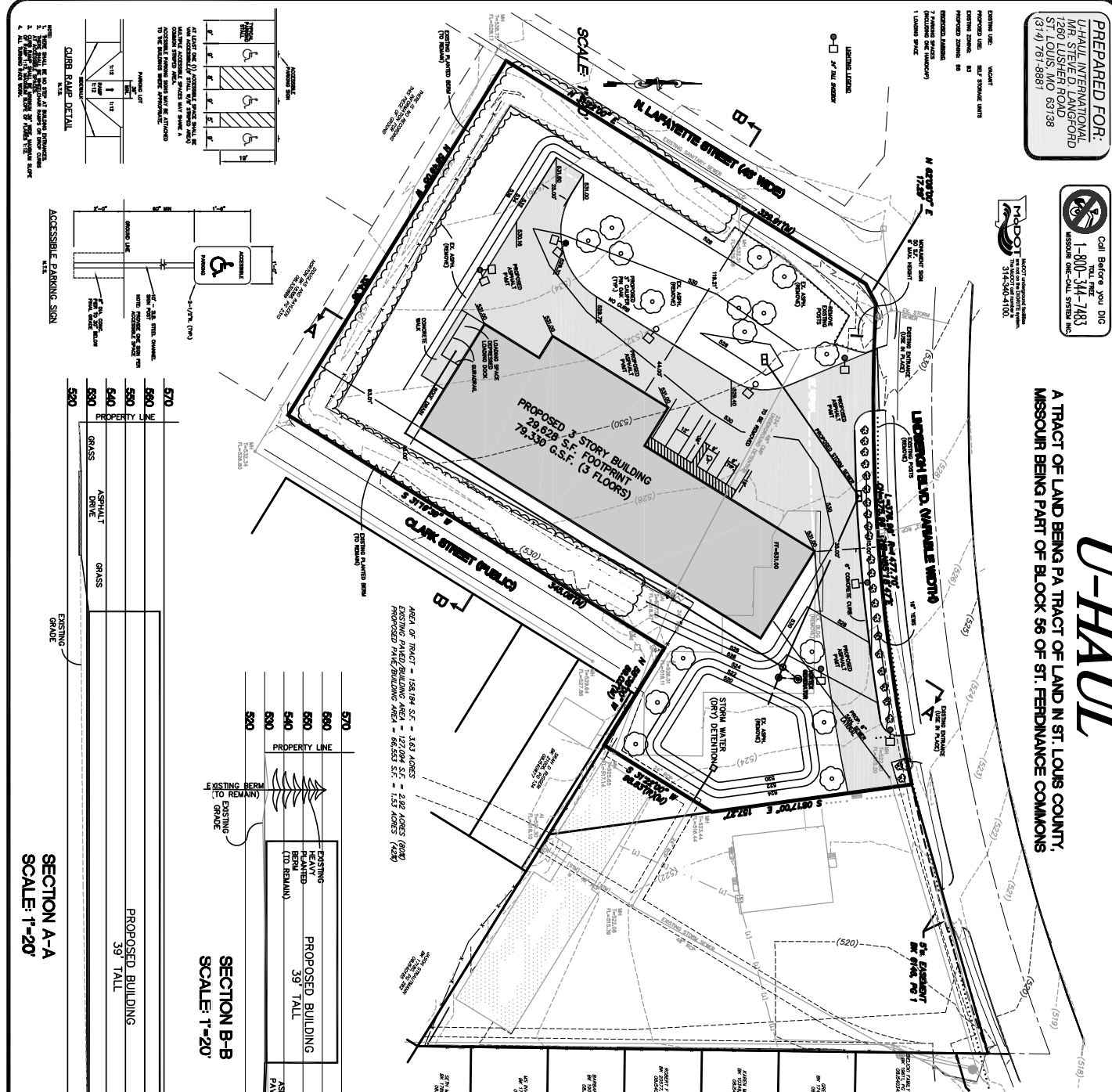
LOCATION NUMBER: 041.53.1077
 ADDRESS: 1280 NORTH HIGHWAY 67 STREET
 ST. LOUIS, MO 63138

PERTINENT INFORMATION:

- 1. SUBSECTORS: M.S.D.
- 2. ELECTRIC: AMERENUE
- 3. GAS: LAKELOE GAS
- 4. PHONE: MISSOURI AMERICAN WATER COMPANY
- 5. WATER: MISSOURI AMERICAN WATER COMPANY
- 6. FIRE DISTRICT: BLACKLICK

NOTES:

1. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE INFORMATION CONTAINED HEREIN IS SUBJECT TO CHANGE WITHOUT NOTICE. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSES. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSES.



SECTION A-A
SCALE: 1"=20'

SECTION B-B
SCALE: 1"=20'

Scale: 1/2"=1'-0"
 Date: 12/20/2017
 Project: U-HAUL
 Drawing: SITE PLAN

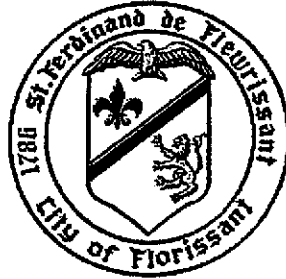
U-HAUL
 1350 NORTH HIGHWAY 67
 ST. LOUIS, MISSOURI 63031
SITE PLAN



Engineered By:
DOERING ENGINEERING, INC.
 CIVIL ENGINEERING • PLANNING • SURVEYING

Revised	Comment

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant - Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 1350 N. Hwy 67

Property Owners Name: Auto Properties, LLC, ^{attn: Bill Haegele} Phone #: (314) 565-4245

Property Owners Address: 1163 Jeffco Blvd.; Arnold, MO 63010

Business Owners Name: Steve Langford Phone #: _____

Business Owners Address: 12060 Lusher Rd, Saint Louis, MO 63138

DBA (Doing Business As) U-Haul

Authorized Agents Name: Steve Langford-12060 Lusher Rd CO. Name: U-Haul
(Authorized Agent to Appear Before The Commission) St. Louis MO 63138

Agents Address: From 'B-3' to Phone #: 355-7920 ^{or 761-8881}

Request re-zone to a 'B-5' to allow for the construction of a new "Storage Facility".

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Steve Langford
Applicant's Signature

3-14-16
Date

Received by: [Signature] Receipt # 595354 OFFICE USE ONLY Amount Paid: 125.00 Date: 2/29/16

STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

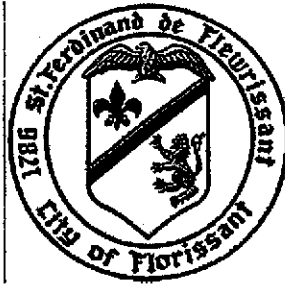
Planning & Zoning Application
Page 1 of 1 - Revised 9/28/10

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

X SIGN [Signature]

DATE: 4/4/16

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DISTRICT



PLANNING & ZONING ACTION:

Address of Property:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

1350 N. Hwy 67

Council Ward 6 Zoning B3

SIGN. *[Signature]*

DATE: 4/4/16

Initial Date Petitioner Filed 3/4/16
Building Commissioner to complete
ward, zoning & date filed

PETITION FOR A B-5 RE-ZONING:

1) Comes Now Steve Langford, U-Haul
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Purchase
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
 - B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
 - C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned ~ 3.6 acres
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B3 District and is presently being used for: Vacant

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following purpose to justify the re-zoning to a B-5:

Proposing a U-Haul storage to better serve the community.

We propose a new development, new building 3 story 79,330 s.f.

List purpose for this request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Steve Langford

PETITIONER(S) SIGNATURE (S) Steve Langford
Print Name

FOR U-Haul
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or LLC Managing PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):

I (we) have a legal interest in the herein above described property.

I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE _____

ADDRESS _____
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER _____
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicabe section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation/LLC:

(a) If an Individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a Partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a Corporation or LLC:

- (1) Names & addresses of all partners Steve Langford, 12060 Lusher Rd., Saint Louis, MO 63138
- (2) Telephone numbers (314) 355-7920 (314) 761-8881
- (3) Business address 12060 Lusher Rd St Louis Mo 63138
- (4) State of corporation & a photocopy of incorporation papers Missouri
- (5) Date of corporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.
- (8) Name in which business is operated U-Haul
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Steve Langford

Address UHC of Saint Louis, 12060 Lusher Rd., Saint Louis, MO 63138

attn: Bill Haegeler
Property Owner Auto Properties, LLC; 1163 Jeffco Blvd.; Arnold, MO 63010

Location of property 1350 N. Hwy 67; Florissant, MO 63034

Dimensions of property Please see attached site plan

Current Use of Property vacant - former car dealership

Proposed Use of Property U-Haul self storage

Type of Sign _____ Height _____

Type of Construction 3 story building Number of Stories 3

Square Footage of Building 79,330 ± Number of Curb Cuts 2

Number of Parking Spaces _____ Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type _____ Length _____ Height _____

Phone:
(314)
565-
4245
bha
billhaegel
.com

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

CITY OF FLORISSANT



PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, May 9, 2016 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 6266 to allow for additions to the existing ground signs for the property located at 14070 New Halls Ferry Rd. / 3180 N. Hwy. 67 (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant - Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 14070 New Halls Ferry Rd., Florissant, Mo. 63033
Property Owners Name: Lowe's Home Ctr. Phone #: 800-445-6937
Property Owners Address: Hwy 268 E./ P.O.Box 1111, Wilksboro, NC.28656
Business Owners Name: DT Retail Properties/dba Dollar Tree Phone #: 215-788-7588
Business Owners Address: 400 Mack Dr., Croydon, PA. 19021
DBA (Doing Business As) DOLLAR TREE

Authorized Agents Name: Glenn Egart CO. Name: Plastilite Signs
(Authorized Agent to Appear Before The Commission)

Agents Address: 9915 Gravois Rd., St. Louis, Mo. 63123 Phone #: 314-843-4888

Request To change the appearance of the pylon signs, Lindbergh Blvd. Pylon and New Halls Ferry Rd. Pylon Mounting s/f illuminated tenant cabinets to the existing pylon steel posts per the Landlords approval documents
State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]
Applicant's Signature

3/17/16
Date

Received by: [Signature] Receipt # 595660 Amount Paid: \$125 Date: 3-17-16

OFFICE USE ONLY

STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

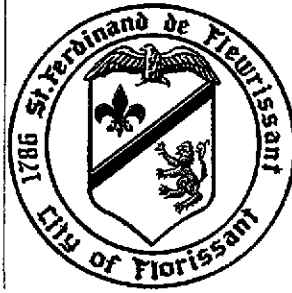
DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. [Signature] DATE: 4/10/16

**APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5
PLANNED COMMERCIAL DISTRICT ORDINANCE**



PLANNING & ZONING ACTION:

Address of Property:

14070 New Halls Ferry Rd., Florissant, Mo. 63033

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward _____ Zoning _____

SIGN.

[Handwritten Signature]

DATE: 4/19/16

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

PETITION TO AMEND B-5 ORDINANCE # 6266

Enter ordinance number or number requesting to amend.

1) Comes Now Glenn Egart from Plastilite Signs Representing Dollar Tree
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Lease Recorded outparcel easements, covenants, et.
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
 - B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
 - C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned _____
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for retail sales, Dollar Tree

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:
The tenant panels would aid the consumer as to the location and identity of the new business
and help to eliminate the lack of exposure due to setback distance and blockage that are present.

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Glenn Egart

PETITIONER(S) SIGNATURE (S) 
Print Name

FOR appointed representative for Dollar Tree


(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):

- I (we) have a legal interest in the herein above described property.
- I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number


SIGNATURE 

ADDRESS 9915 Gravois Rd. St. Louis Mo. 63123
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 314-843-4888

I (we) the petitioner (s) do hereby appoint GLENN EGART as
BUSINESS
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.


Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his/duy authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: Corporation:

(a) If an individual:

- (1) Name and Address N/A
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners N/A
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners DT Retail Properties / dba Dollar Tree
- (2) Telephone numbers 215-789-7588
- (3) Business address 12747 Olive Blvd. #300, St. Louis, Mo. 63141
- (4) State of Incorporation & a photocopy of incorporation papers Commonwealth of Virginia - see attached
- (5) Date of Incorporation 5/26/2010
- (6) Missouri Corporate Number FL1271810, see attached
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. SEE ATTACHED
- (8) Name in which business is operated DOLLAR TREE
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name DT Retail Properties LLC, dba Dollar Tree

Address 14070 New Halls Ferry Rd., Florissant, Mo 63033

Property Owner Lowe's Home Ctr., Hwy 268 E./ P.O. 1111, Wilksboro, NC. 28656

Location of property Same

Dimensions of property 248' x 225', See Outparcel, Easements, Covenants, Conditions, and Restrictions document.

Property is presently zoned B-5 per ordinance # 6266

Current & Proposed Use of Property Retail

Type of Sign Cabinet Sign attached to pylon Height Cabinets are 4' height x 20' in length

Type of Construction Extruded Aluminum / lexan face Number Of Stories N/A

Square Footage of Building N/A Number of Curb Cuts N/A

Number of Parking Spaces N/A Sidewalk Length N/A

Landscaping: No. of Trees N/A Diameter N/A

No. of Shrubs N/A Size N/A

Fence: Type N/A Length N/A Height N/A

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS PETITION

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

SEE ATTACHED:

OUTPARCEL EASEMENT, COVENANTS, CONDITIONS & RESTRICTIONS DOC.

SIGN RENDERINGS

ENGINEERING

MOUNTING DETAIL

STATE FILING DOCS

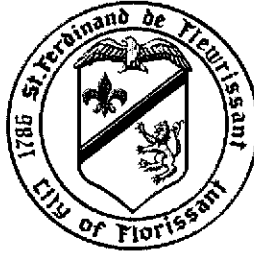
PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

SEE OUTPARCEL EASEMENT COVENANTS, CONDITIONS & RESTRICTIONS DOC.

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MEMORANDUM



CITY OF FLORISSANT

To: Planning and Zoning Commissioners Date: April 14, 2014
From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr. P.E.
Director of Public Works
Applicant
File

Subject: **14070 New Halls Ferry/3180 N Highway 67-** Request recommended approval to amend a B-5, to allow for signage changes for an Outlot, in a 'B-5' District.

STAFF REPORT
CASE NUMBER PZ-041816-2

I. PROJECT DESCRIPTION:

This is a request for recommended approval to amend a B-5, to allow for signage changes for an Outlot, in a 'B-5' District. The property is part of a B-5 District Lowe's ord.6266, however, a subdivision create 3 re-arranged parcels and a signage easement was recorded, therefore, a change in signage for the contiguously owned Shopping Center triggers the need to amend the 'B-5' and the B-5 amendment will affect Ord. 6266 for Lowe's.

II. EXISTING SITE CONDITIONS:

The existing property at **3180 N. Highway 67 Lowe's** is a lot of 1.1 acres and has been vacant since the 1999 Lowe's Development ordinance.

The proposed amendment removes 14070 New Halls Ferry from the ordinance, except an area containing the entrance drive onto New Halls Ferry. The application is accompanied by professional Site Plan dated 5/29/14 by Doering Engineering.

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III. SURROUNDING PROPERTIES:

The adjacent property to the North is 3200 N. Highway 67 in a B-3 District. Properties to the West are 14070 New Halls Ferry in a B-3 District and 3160 N. Highway 67 in a B-5 District. The adjacent property to the East is 3184 N highway 67 Lowe's Retention areas in a B-5 District. The properties to the South include 3175 Cross Keys in a B-3 District , 3205 and 3202 Cross Keys Dr. for Cross Keys Apartments in an R-6 Zoning District.

IV. STAFF ANALYSIS:

The application is accompanied by sign package by Jones Sign dated 12/30/14. The Petitioner has responded to staff instructions for a B-5 amendment by also including a recorded sign easement dated 29 September 2015. Staff comments on plans are:

1. Site Plan Comments:
 - a. There are 4 numbered items on the Site showing:
 - i. **Dollar Tree**
 - ii. **Lowe's site**
 - iii. **Halls Ferry Sign location**
 - iv. **N. Highway 67 Sign location**
 - b. The sign boxes proposed to be added to the existing Lowe's ground signs are shown 4'x20'= 80 s.f. The existing Lowe's signs are 10'x20'=200 s.f. There is no limit in size for a ground sign.
 - c. Post Sign originally proposed at 24 feet tall, approximately 20 feet from r.o.w. near the SW corner of the site will not be constructed and is located too close to high power lines.
2. Both are proposed to be lit.
3. Structural calculations are presented as to the capability of the existing foundation to hold the additional signs.

VI. STAFF RECOMMENDATIONS:

1. Since the Dollar Tree has separate ownership of the outlot for Dollar Tree, the petitioner proposes the 'B-5' amendment to be issued to Dollar Tree and they have a legal interest in the Lowe's site as it is limited by the conditions of the sign easement.
2. Staff reviewed ordinances and will seek the opinion of the City Attorney as to the following required actions by the petitioner:
 - a. Does the petition pose a violation of the sign ordinance with the easement

(end report)

Suggested Motion for 14070 New Halls Ferry:

I move to recommend the approval of a 'B-5' amendment at to (Dollar Tree) to allow for signage changes for an Outlot, in a 'B-5' District, Lowe's ordinance #6266, as shown on signage package prepared by Jones Sign, dated 12/30/14 as follows:

Paragraph 5 SITE DEVELOPMENT PLAN GEENRAL CRITERIA, sub-paragraph "f." shall be changed to read:

"All signs shall be internally lit as per the Site Lighting Plan drawing marked "SL-1" attached hereto as a part of Exhibit "A" and in accordance with the sign ordinance for the 'B-3' Zoning District. Two ground signs shall be located on the property as per the drawing marked "C-1" attached hereto, as part of Exhibit "A", **and signage package by Jones Sign, dated 12/30/14, attached hereto.** "Delivery Vehicles Only" signs or equivalent signage to be locate at approximately the left front quarter corner of the building line."

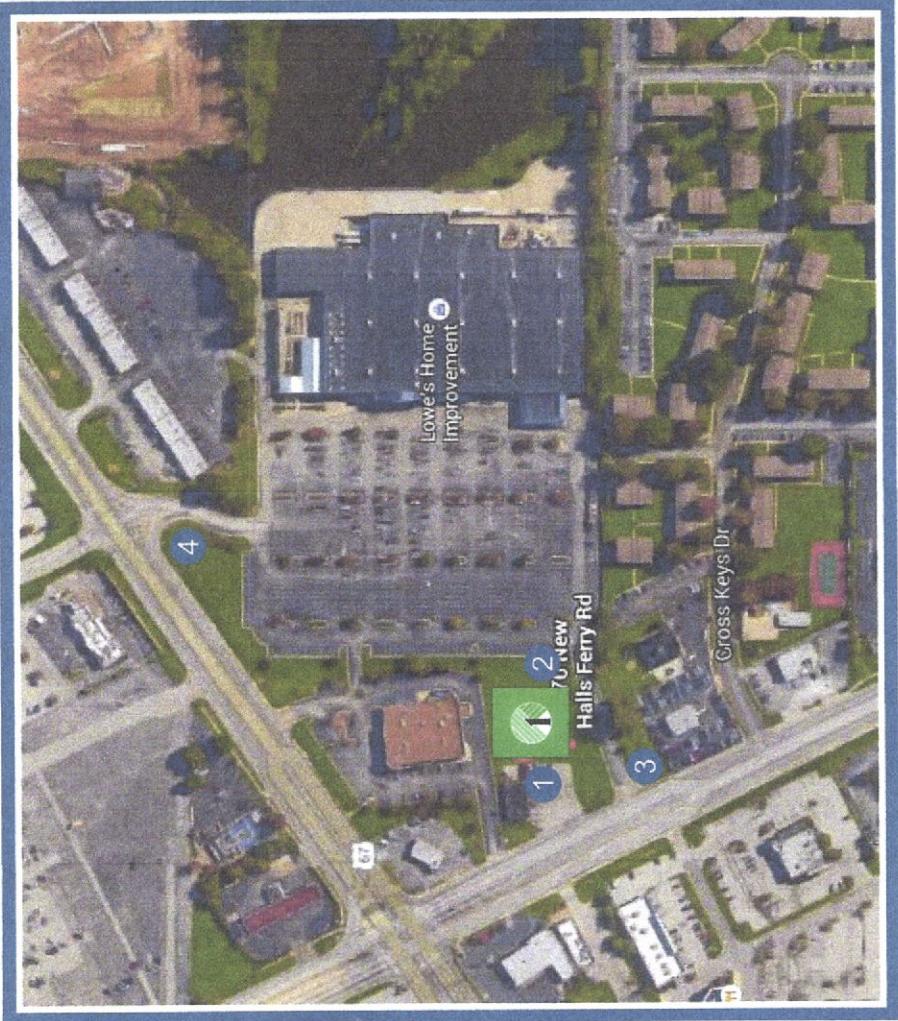
10. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Final Site Development Plan approved by the Planning & Zoning Commission and all other ordinances of the City of Florissant.

11. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 18 months of start of construction.

(End of suggested motion 4/13/16)



WORK SCOPE

- 1 36" FACE LIT CHANNEL LETTERS / 42" LOGOPage 2,3,5 STACKED
- 2 24" NON LIT CHANNEL LETTERSPage 4,5 LINEAR
- 3 (2) S/F DT PYLON SIGN CABINETSPage 6
- 4 (2) S/F NON ILLUM DT PYLON SIGN CABINETS.....Page 7

**RECOMMENDED APPROVAL
PLANNING & ZONING**

CHAIRMAN

SIGN.

DATE: 4/18/16

[Handwritten Signature]

SITE PLAN / WORKSCOPE | 1 of 7



The information contained on this plan is intended to be used as a guide only. It is not intended to be used as a contract. The information is subject to change without notice. The information is provided for informational purposes only.

REVISION INFO	DATE	DESCRIPTION
R2 - 01.12.15	pm	remove awning, replace with canopy, by others
R3 - 01.14.15	pm	revise per markups
R4 - 03.20.15	pm	revise pylon to (2) sf cabinets on existing.
R5 - 03.00.00	XX	XXXXX
R6 - 03.00.00	XX	XXXXX
R7 - 03.00.00	XX	XXXXX

Project: Channel Letters / Pylon Faces
 Project Mgr: MM Merlin #:
 Designer: JM Date: 12-30-14

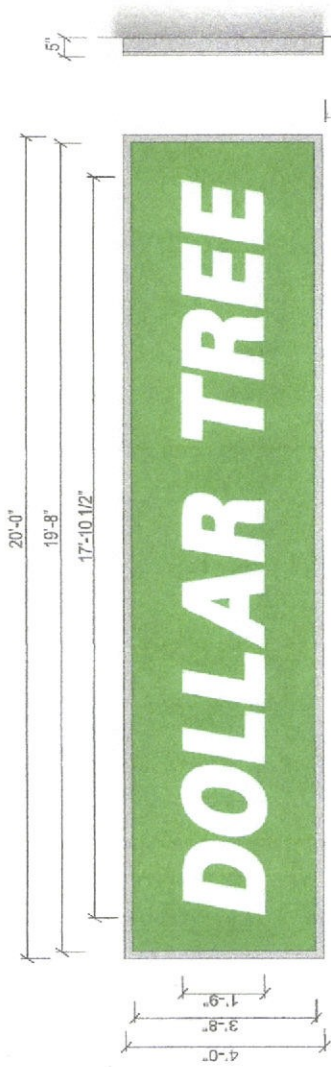
SS# 58101-R4.1
 Location: DOLLAR TREE 3408
 14070 NEW HALLS FERRY
 FLORISSANT, MO 63033

JONES SIGN
 Your Vision. Accomplished.
 400 WACK DRIVE CROYDON, PA 19021
 PH: 215.788.3898 FX: 215.788.7588

SITE PLAN - PROPOSED
 Scale: not to scale



Sign 4	QTY 2 (SIF SIGN)
SF Tenant Cabinet	
SF Non Illum Cabinet	
None	
80	



4 SIF SIGN CABINET (2) REQUIRED (SIF)

Scale: 3/8" = 1'
 SIF INTERNALLY ILLUMINATED SIGN CABINET W/ PAINTED GREY
 5" DEEP RETURN. PAINTED GREY RETAINER. WHITE
 POLYCARBONATE FACE W/ FULL COLOR 1ST SURFACE
 GRAPHICS AS SHOWN.

*NOTE: SIGNS MOUNTED TO EXISTING PYLON SIGN

RETURN & RETAINER COLOR

GREY TO MATCH EXISTING PYLON

VINYL SPECS

ARLON-2500-156
 Vivid Green

10'-6"

GROUND LEVEL



ELEVATION - D/F Tenant Pylon, Existing Condition
 Scale: N.T.S.



ELEVATION - D/F Tenant Pylon, Proposed Condition
 Scale: N.T.S.

JONES SIGN
 Your Vision, Accomplished.
 400 WACK DRIVE CROYDON, PA 15021
 PH: 215.788.3858 FX: 215.788.7556

SS# 58101-R4.1
 Location: DOLLAR TREE 3408
 14070 NEW HALLS FERRY
 FLORESSANT, MO 63003

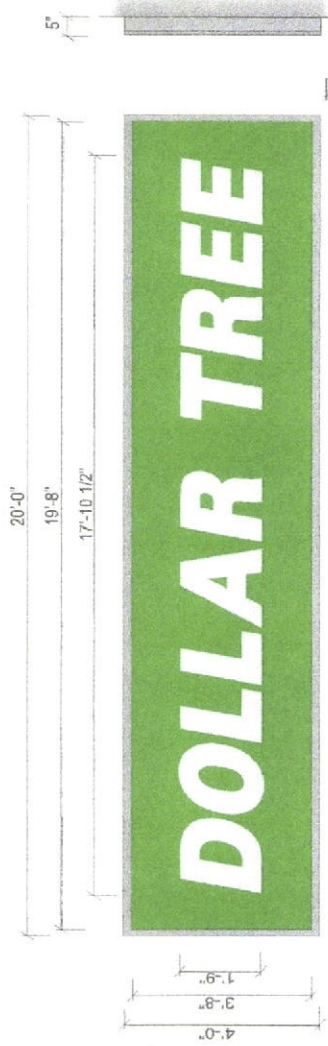
Project: Channel Letters / Pylon Faces
 Project Mgr: MM
 Designer: JM
 Mailing #: _____
 Date: 12-30-14

REVISION INFO	
R2 - 01-12-15	pm remove awning, replace with canopy by others
R3 - 01-14-15	pm raise per markings
R4 - 05-20-15	pm raise color to (2) sif cabinets on existing
R5 - 03-06-08	XX
R6 - 03-09-00	XX
R7 - 03-09-00	XX



The Dollar Tree logo is a registered trademark of Dollar Tree Company, Inc. All other marks are the property of their respective owners. © 2015 Dollar Tree Company, Inc. All rights reserved.

Sign 3	QTY 2 (6F SIGN)
Sign Type	S/F Tenant Cabinet
Sign Type	S/F Illum Cabinet
Sign Type	Fluorescent
Sign Type	80



3 S/F SIGN CABINET (2) REQUIRED (S/F)
Scale: 3/8"=1'

S/F INTERNALLY ILLUMINATED SIGN CABINET W/ PAINTED GREY
5" DEEP RETURNS. PAINTED GREY RETAINER, WHITE
POLYCARBONATE FACE W/ FULL COLOR 1ST SURFACE
GRAPHICS AS SHOWN.

*NOTE: SIGNS MOUNTED TO EXISTING PYLON SIGN

RETURN & RETAINER COLOR

GREY TO MATCH EXISTING PYLON

VINYL SPECS

ARLON-2500-156
Vivid Green

GROUND LEVEL



ELEVATION - D/F Tenant Pylon, Existing Condition
Scale: N.T.S.



ELEVATION - D/F Tenant Pylon, Proposed Condition
Scale: N.T.S.

S/F SIGN CABINETS | 6 of 6

JONES SIGN
Your Vision. Accomplished.
400 WACK DRIVE CROYDON, PA 19021
PH: 215.788.3898 FX: 215.788.7568

SS# 58101-R4
Location: **DOLLAR TREE 3408**
14070 NEW HALLS FERRY
FLORISSANT, MO 63033

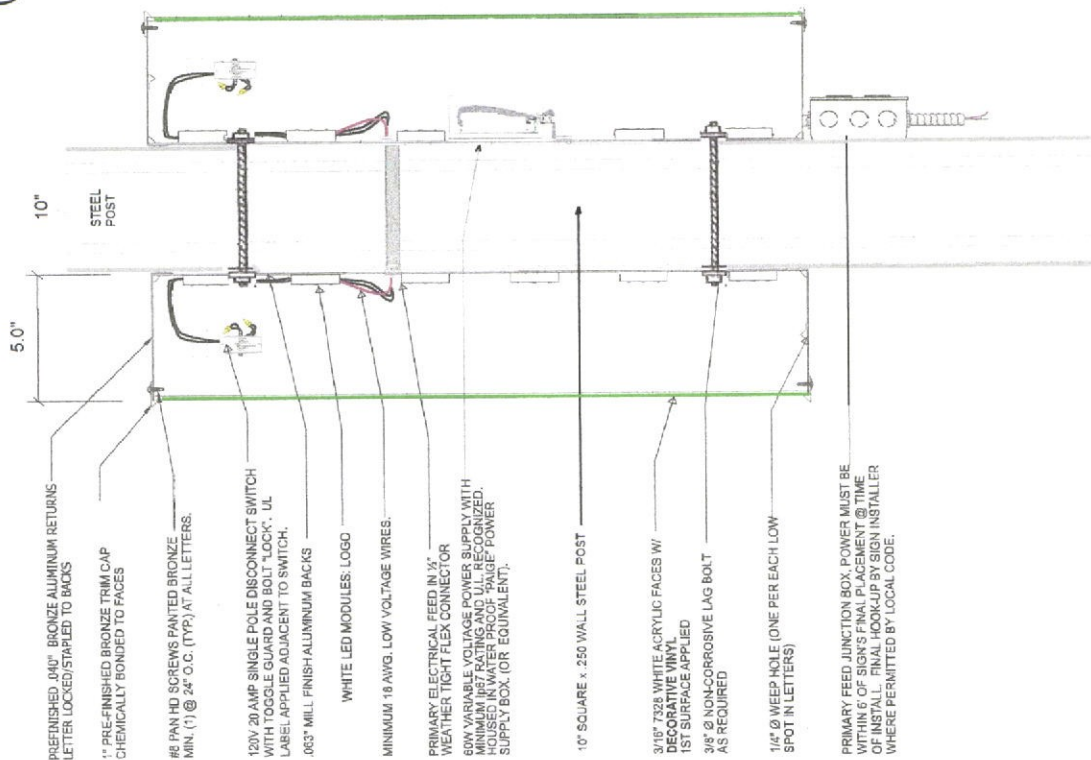
Project: Channel Letters / Pylon Faces
Project Mgr: MM Meritt #: _____
Designer: JM Date: 12.30.14

REVISION INFO	
R2 - 01.12.15	remove awing, replace with canopy by others
R3 - 01.14.15	revise per markups
R4 - 05.20.15	revise pylon to (2) s/f cabinets on existing
R5 - 06.03.15	XXXXXX
R6 - 09.09.15	XXXXXX
R7 - 05.09.16	XXXXXX

DOLLAR TREE

TENANT CABINETS MOUNTED DIRECTLY ONTO THE SUPPORT POSTS (Single Face)

CABINET SQ. FOOTAGE = 80 EACH



GENERAL NOTES:

- ALL LISTED ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL CODES.
- ALL ELECTRICAL SIGN BODIES TO HAVE UL LABEL IN ACCORDANCE WITH NEC 100.4 AND MANUFACTURER'S LABEL LOCATED NEXT TO DISCONNECT SWITCH.
- ALL DISCONNECTS CARRYING METAL PARTS OF SIGN SHALL BE GROUNDING BUSHES IN ACCORDANCE WITH NEC 720.
- ALL WIRING CONTAINED IN ENCLOSED AREAS WITHIN SIGN SHALL BE PICTURE MOUNTED.
- SEALING OF CONDUITS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL ELECTRICAL CODES.
- AT THE POINT THE ELECTRICAL CABLE PASSES THRU THE SIGN BOX, IT SHALL PASS THRU A UL LISTED RUBBER GROMMET.

UL LABELS REQUIRED

THE SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 605 OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL ELECTRICAL CODES. THIS SIGN IS NOT TO BE USED FOR ANY OTHER PURPOSES.

UL LABELS REQUIRED:

UL TYPE: **TYPE 1**

A primary disconnect switch shall be externally located at the end of the sign or inside the outdoor enclosure with a minimum 1/2" (13 mm) clearance.

MOUNTING METHOD TABLE

PREFERRED MOUNTING METHOD: 3/8" THRU BOLTS	ALTERNATE MOUNTING METHOD: MUST BE APPROVED BY JONES SIGN BEFORE USING
<p>CONCRETE OR CMU</p> <p>CABINET FRAME OR RACEWAY BAR</p> <p>WASHER ON 2" BACK OF WALL</p> <p>WOOD OR STEEL FRAME</p> <p>CABINET FRAME OR RACEWAY BAR</p> <p>2x4 BACKER ON BACK OF WALL</p>	<p>3/8" LAGS W/ EXPANSION SHIELDS (USE ONLY WHEN ACCESS IS NOT AVAILABLE FOR THRU BOLTING)</p> <p>3/8" LAG W/ EXPANSION SHIELD (WHEN ACCESS IS NOT AVAILABLE FOR THRU BOLTING)</p> <p>CONCRETE</p> <p>CABINET FRAME OR RACEWAY BAR</p> <p>DEPTH OF EMBED:</p>

SIGN - ELECTRICAL DETAILS

(1) 60 W POWER SUPPLIES @ .58 AMPS EACH
TOTAL AMPS = .58

(1) 20 AMP 120V CIRCUIT REQUIRED

<p>JONES SIGN Your Vision Accomplished</p> <p>GREEN BAY - PHILADELPHIA SAN DIEGO - LAS VEGAS</p> <p>www.jonesign.com</p>	<p>JOB #</p> <p>12172015</p> <p>10/28/2015</p> <p>10/28/2015</p> <p>10/28/2015</p> <p>10/28/2015</p> <p>10/28/2015</p>	<p>DATE</p> <p>DATE</p>	<p>CLIENT APPROVAL</p> <p>LANDLORD APPROVAL</p> <p>CC</p>	<p>DATE</p> <p>DATE</p>	<p>EXTERIOR SIGNAGE</p> <p>CONCEPTUAL</p>	<p>SHEET NUMBER</p>
	<p>This is an original, unaltered drawing by Jones Sign Co., Inc. It is for your personal use in conjunction with a project of your own design. It is not to be shown to anyone else or your organization without the express written permission of Jones Sign Co., Inc. If it is for your personal use in conjunction with a project of your own design, it is not to be shown to anyone else or your organization without the express written permission of Jones Sign Co., Inc. If it is for your personal use in conjunction with a project of your own design, it is not to be shown to anyone else or your organization without the express written permission of Jones Sign Co., Inc. If it is for your personal use in conjunction with a project of your own design, it is not to be shown to anyone else or your organization without the express written permission of Jones Sign Co., Inc.</p>					

For: Plasti-Lite Signs, 9915 Gravois, St. Louis, MO 63123 C 606 2274, W 843 4888, F 631 8061 (attn: Glenn)
 re: Pylon Signs #1 and #2, 14070 Halls Ferry Road, St Louis, MO, 63033

Two existing double pole LOEW'S signs are to have two 4'x10' single face illuminated cabinets added to each. Design loads in this area are horizontal 20 psf for 90 mph wind and vertical 20 psf for snow per IBC 2009. Analysis is for half of existing sign which is conservatively stylized as 20' W x10' H with top at 25' above grade. Total sign after 4' x 10 additions are conservatively stylized as 20' W x14' H with top at 25' above grade.

SUMMARY: Existing pole moment at grade Safety Factor = 2.0 based on yield.
 Additions reduce SF to 1.64. Footing SF is proportional. **OK!**

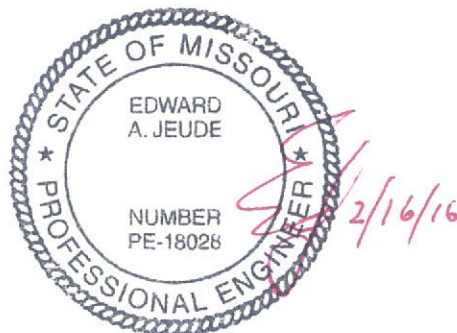


EXISTING SIGN (before 4'x10' additions)

Load P=composite of loads P₁+P₂
 P₁= 10' x 10' x20= 2000 lbs@ 20 ft
 2000 x 20 = 40,000 ft lbs @ grade
 P₂= 1 x 15 x 20 = 300 lbs @ 7.5 ft
 300 x 7.5 = 2250 ft lbs @ grade
 Load P = 2300 lbs @ h = 18.4 ft (calc)
 42,300 ft lbs @ grade for pole
 x 12 = 507,600 in lbs @ grade
 10" x .250" wall sq steel tubing
 $I = bh^3/12 = (10^4 - 9.5^4) / 12 = 154 \text{ in}^4$
 $F = Mc / I$
 $F = 507,600 \times 5 / 1.54 = 16,500 \text{ psi}$
 $SF_{\text{POLE}} = 33,000 / 16,500 = 2.0 \text{ (yield) OK!}$

IBC 2009 footing per eq. 18.1

depth $d_{\text{EST}} = 8 \text{ ft}$; $b = 3 \text{ ft dia (measured)}$
 $h = 18.4 \text{ ft}$; $P = 2300 \text{ lbs wind load}$
 Class 4 soil = 150 psf per table 1804.2,
 300 psf allowed per 1804.3.1
 $S_1 = 300 (1 + d / 3) \text{ psf allowable}$
 $S_1 = 300 (1 + 8 / 3) = 1100 \text{ psf}$
 $A = 2.34 (P / S_1 b)$
 $A = 2.34 \times 2300 / (3 \times 1100) = 1.64$
 $d = (A/2) \{ 1 + [1 + 4.36(h/A)]^{1/2} \}$
 $d = (82) \{ 1 + [1 + 4.36(18.4 / 1.64)]^{1/2} \} = 6.62'$
 calc $d = 6.62 \text{ ft} < 8.0 \text{ ft OK!}$



For: Plasti-Lite Signs, 9915 Gravois, St. Louis, MO 63123 C 606 2274, W 843 4888, F 631 8061 (attn: Glenn)
 re: Pylon Signs #1 and #2, 14070 Halls Ferry Road, St Louis, MO, 63033

Two existing double pole LOEW'S signs are to have two 4'x10' single face illuminated cabinets added to each. Design loads in this area are horizontal 20 psf for 90 mph wind and vertical 20 psf for snow per IBC 2009. Analysis is for half of existing sign which is conservatively stylized as 20' W x10' H with top at 25' above grade. Total sign after 4' x 10 additions are conservatively stylized as 20' W x14' H with top at 25' above grade.

SUMMARY: Existing pole moment at grade Safety Factor = 2.0 based on yield.
 Additions reduce SF to 1.64. Footing SF is proportional. **OK!**



ELEVATION - Diff Tenant Pyl
 Scale: N.T.S.

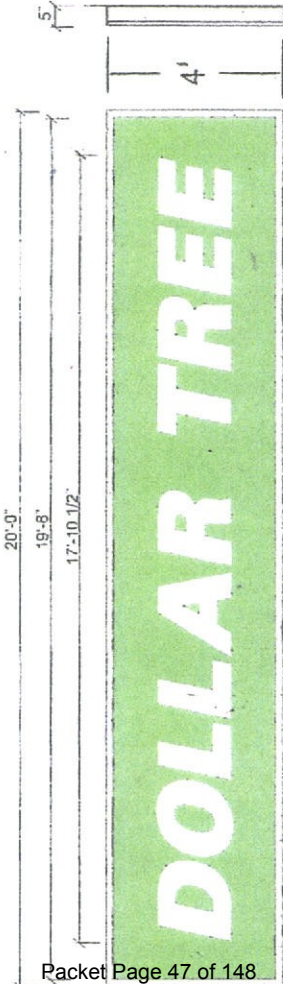


ENTIRE SIGN (after 4'x10' additions):

Load P+ = composite of loads P₃+P₄
 P₃= 14' x10' x 20= 2800 lbs@ 18 ft
 2800 x 18 = 50,400 ft lbs @ grade
 P₄= 1 x 11 x 20 = 220 lbs @ 5.5 ft
 220 x 5.5 = 1200 ft lbs @ grade
Load P+ = 3020 lbs @ h+ = 17.1 ft (calc)
 51,600 ft lbs @ grade for pole
 x 12 = 619,200 in lbs @ grade
 10" x .250" wall sq steel tubing
 $I = bh^3/12 = (10^4 - 9.5^4) / 12 = 154 \text{ in}^4$
 $F = Mc / I$
 $F = 619,200 \times 5 / 1.54 = 20,100 \text{ psi}$
 $SF_{POLE} = 33,000 / 20,100 = 1.64 \text{ (yield) OK!}$

IBC 2009 footing per eq. 18.1

depth $d_{EST} = 8 \text{ ft}$; $b = 3 \text{ ft}$ dia (measured)
 $h+ = 17.1 \text{ ft}$; $P+ = 3020 \text{ lbs}$ wind load
 Class 4 soil = 150 psf per table 1804.2,
 300 psf allowed per 1804.3.1
 $S_1 = 300 (1+ d / 3)$ psf allowable
 $S_1 = 300 (1+ 8 / 3) = 1100 \text{ psf}$
 $A = 2.34 (P / S_1 b)$
 $A = 2.34 \times 3020 / (3 \times 1100) = 2.14$
 $d = (A/2) \{ 1 + [1 + 4.36(h+/A)]^{1/2} \}$
 $d = (1.07) \{ 1 + [1 + 4.36(17.1 / 2.14)]^{1/2} \} = 7.47'$
 calc $d = 7.47 \text{ ft} < 8.0 \text{ ft OK!}$



4 S/F NON ILLUM SIGN CABINET (2) REQUIRED (S/F)

Scale: 3/8"=1'
 S/F NON ILLUMINATED SIGN CABINET W/ PAINTED GREY
 5" DEEP RETURNS. PAINTED GREY RETAINER. WHITE
 POLYCARBONATE FACE W/ FULL COLOR 1ST SURFACE
 GRAPHICS AS SHOWN.

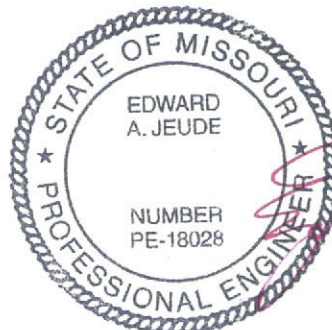
*NOTE: SIGNS MOUNTED TO EXISTING PYLON SIGN

RETURN & RETAINER COLOR

GREY TO MATCH EXISTING SIGN

VINYL SPECS:

ARLON-2500-156
 Vivid Green



Handwritten signature and date: 2/16/16

CITY OF FLORISSANT

Public Hearing



In accordance with Section 1.4 of the Florissant City Charter a Public Hearing will be held by the City Council of Florissant, Mo. in the Council Chambers, 955 Rue St. Francois, on Monday, May 9th, 2016 at 7:30 P.M. to review the report of the Redistricting Commission to the City Council and take public comment concerning the commission's recommendations.

Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

**CITY OF FLORISSANT,
Karen Goodwin, MMC, City Clerk**

April 29, 2016

Dear Council Members,

Re: Ward Boundary Adjustments

Attached is a packet of information containing the recommendations of the Redistricting Commission regarding ward boundary adjustments.

As you know, we were tasked with reviewing the current ward boundaries and determining if changes were needed as a result of population changes reported from the Census in 2010. We were made aware that our beginning numbers were in error so we needed to revisit the ward boundaries again. After our initial discussion we determined that the Commission had three primary goals and not necessarily in this order. The first was to bring the population numbers in each ward to within a 10% deviation of the ideal number. The second was to keep the boundaries as logical and consistent as possible. Third, to consider the demographic makeup of the wards with an effort toward an additional majority/minority ward if possible.

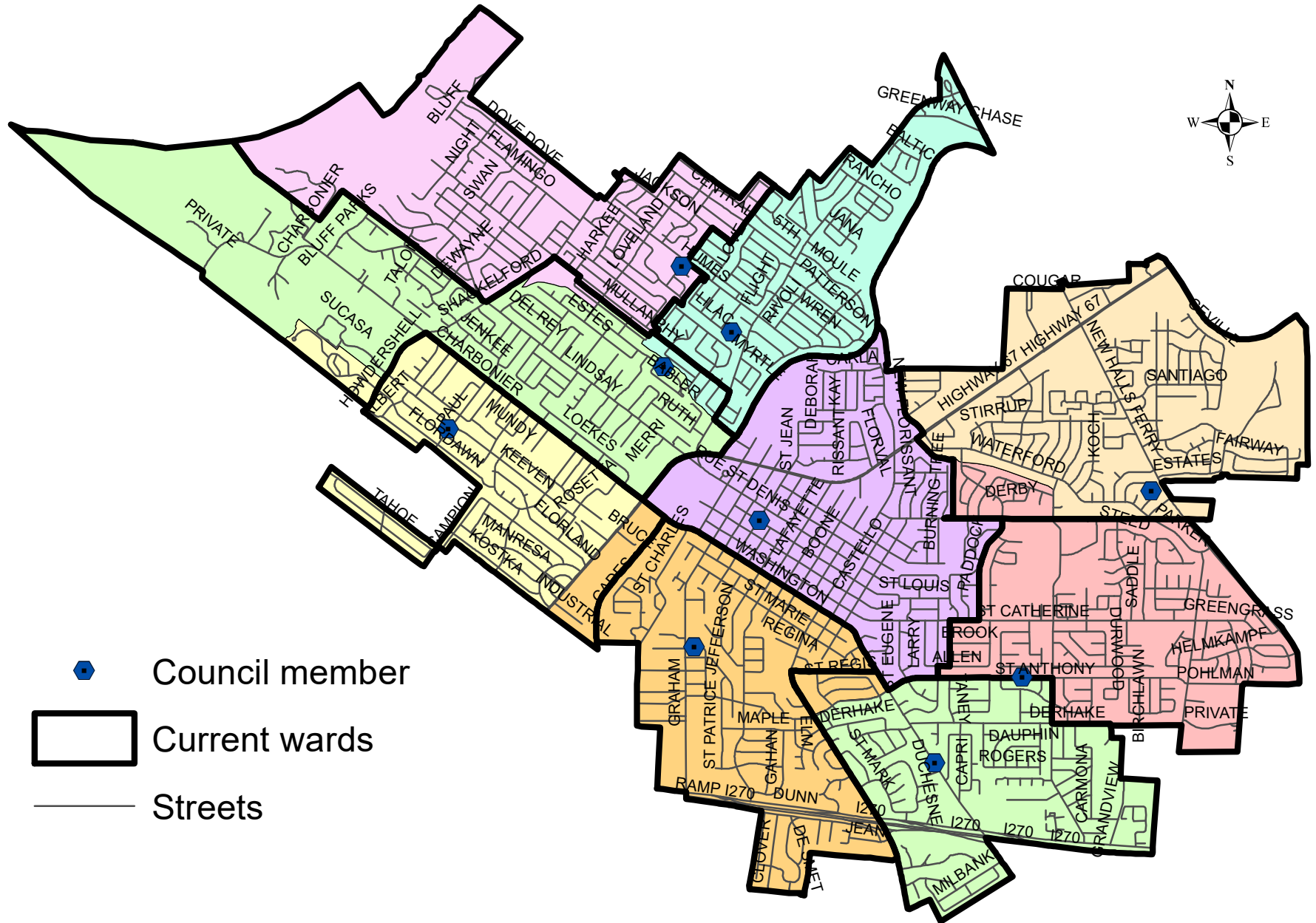
After several very productive meetings, the Commission feels they have accomplished two of these goals. All of the population numbers in our recommendation are within the 10% deviation of the ideal number. The adjustments are logical and consideration was given to natural boundaries and precincts. We also made sure that no sitting Council Member was adjusted out of their ward.

Your Redistricting Commission feels that the recommendations presented are in the best interest of the City. We look forward to presenting our findings to you at the Public Hearing scheduled on May 9th, 2016.

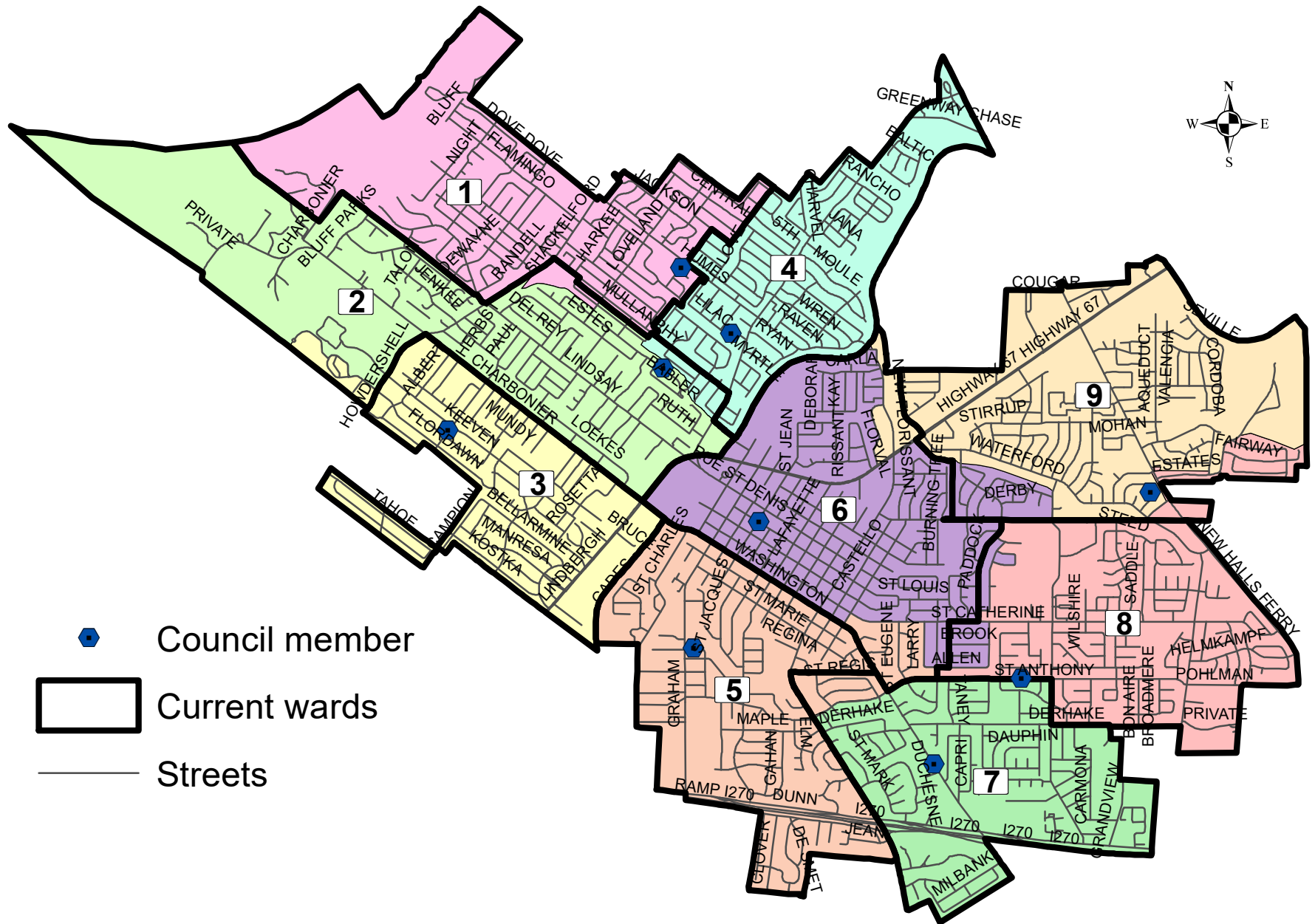
Sincerely,




Susan Geerling for
The City of Florissant Redistricting Commission

February 25, 2016 Proposed Florissant Wards



March 23, 2016 Proposed Florissant Wards



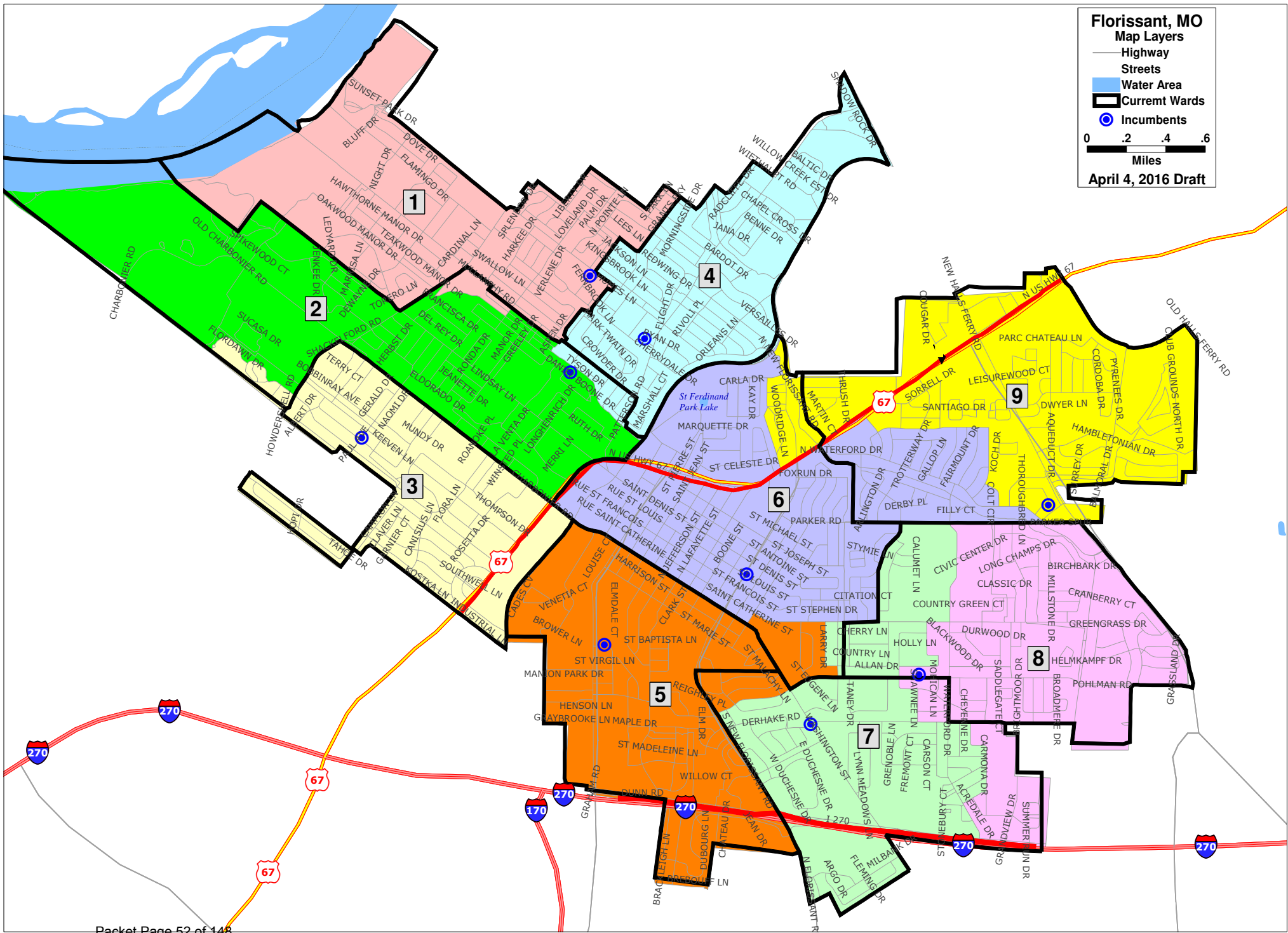
-  Council member
-  Current wards
-  Streets

Florissant, MO
Map Layers

- Highway
- Streets
- Water Area
- Current Wards
- Incumbents

0 .2 .4 .6
 Miles

April 4, 2016 Draft



Population Summary Report

Florissant, MO – April 4, 2016 Plan

Ward	Population	Deviation	% Deviation	Black	% Black	AP Black	% AP Black	NH White	% NH White	Group Quarters – Incarcerated	Group Quarters – College Dorms
1	5530	-265	-4.57%	766	13.85%	827	14.95%	4524	81.81%	0	0
2	5825	30	0.52%	1114	19.12%	1211	20.79%	4357	74.80%	0	0
3	5971	176	3.04%	1258	21.07%	1350	22.61%	4350	72.85%	0	0
4	5699	-96	-1.66%	1011	17.74%	1104	19.37%	4395	77.12%	0	0
5	5990	195	3.36%	861	14.37%	936	15.63%	4862	81.17%	0	0
6	5987	192	3.31%	1058	17.67%	1114	18.61%	4652	77.70%	0	0
7	5659	-136	-2.35%	1873	33.10%	2002	35.38%	3467	61.27%	0	0
8	5734	-61	-1.05%	2578	44.96%	2652	46.25%	2928	51.06%	4	107
9	5763	-32	-0.55%	3438	59.66%	3545	61.51%	2024	35.12%	0	0
Total	52158		7.93%	13957	26.76%	14741	28.26%	35559	68.18%		

Ward	18+_Pop	18+_Black	% 18+_Black	18+_Hisp.	% 18+_Hisp.	18+_AP_Black	% 18+_AP_Black	18+_NH White	% 18+_NH White
1	4092	480	11.73%	55	1.34%	494	12.07%	3488	85.24%
2	4479	775	17.30%	76	1.70%	794	17.73%	3504	78.23%
3	4640	915	19.72%	80	1.72%	950	20.47%	3516	75.78%
4	4185	651	15.56%	67	1.60%	669	15.99%	3395	81.12%
5	4694	597	12.72%	62	1.32%	621	13.23%	3941	83.96%
6	4661	668	14.33%	83	1.78%	691	14.83%	3833	82.24%
7	4128	1126	27.28%	75	1.82%	1163	28.17%	2836	68.70%
8	4427	1801	40.68%	66	1.49%	1825	41.22%	2492	56.29%
9	4398	2467	56.09%	65	1.48%	2518	57.25%	1730	39.34%
Total	39704	9480	23.88%	629	1.58%	9725	24.49%	28735	72.37%

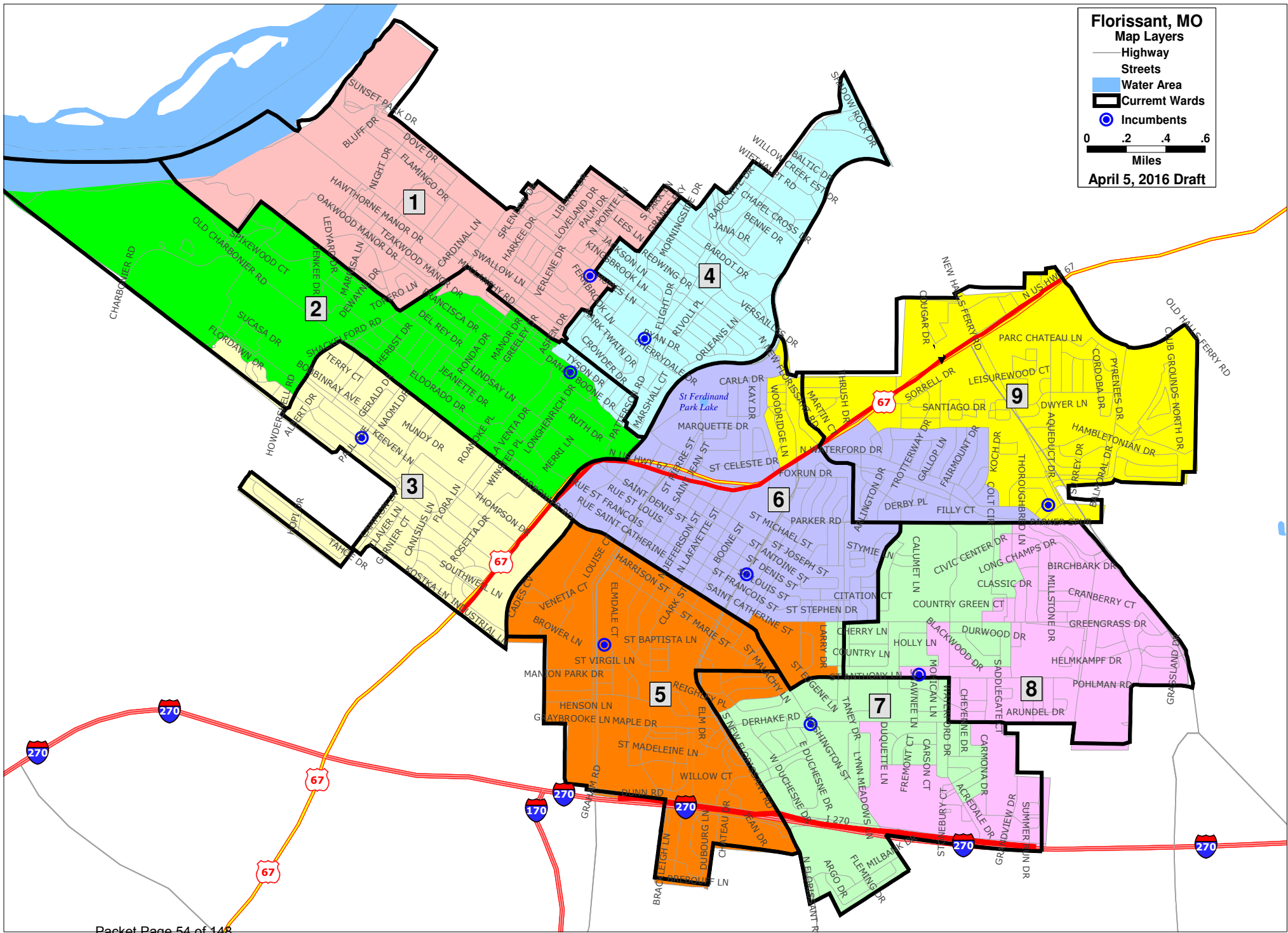
Group quarters data are from the 2010 Advance Group Quarters File released by the Census Bureau on April 20, 2011

Florissant, MO
Map Layers

- Highway
- Streets
- Water Area
- Current Wards
- Incumbents

0 .2 .4 .6
 Miles

April 5, 2016 Draft



Population Summary Report

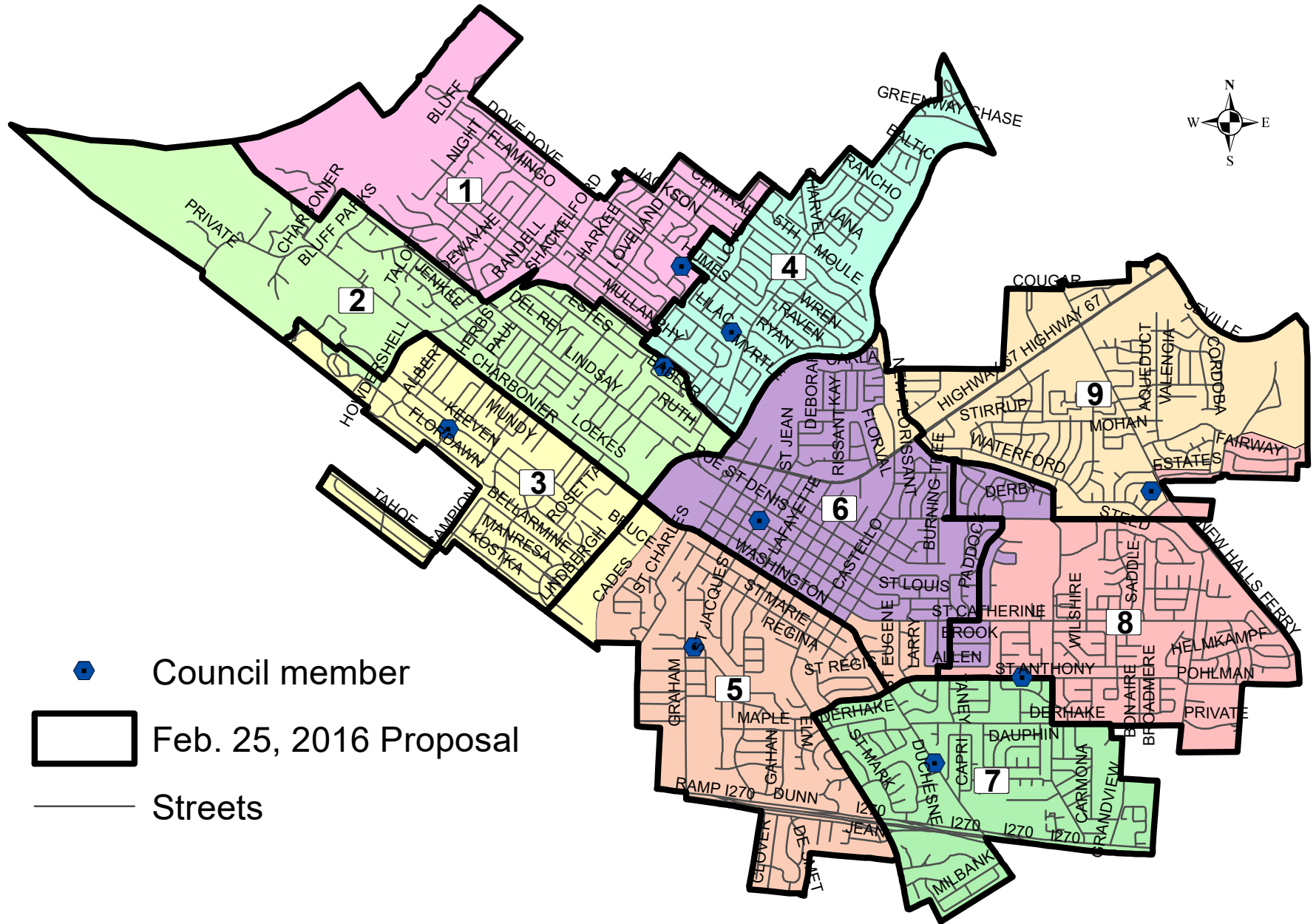
Florissant, MO – April 5, 2016 Plan

Ward	Population	Deviation	% Deviation	Black	% Black	AP Black	% AP Black	NH White	% NH White	Group Quarters – Incarcerated	Group Quarters – College Dorms
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2	5825	30	0.52%	1114	19.12%	1211	20.79%	4357	74.80%	0	0
3	5971	176	3.04%	1258	21.07%	1350	22.61%	4350	72.85%	0	0
4	5699	-96	-1.66%	1011	17.74%	1104	19.37%	4395	77.12%	0	0
5	5990	195	3.36%	861	14.37%	936	15.63%	4862	81.17%	0	0
6	5987	192	3.31%	1058	17.67%	1114	18.61%	4652	77.70%	0	0
7	5794	-1	-0.02%	1666	28.75%	1771	30.57%	3804	65.65%	0	0
8	5599	-196	-3.38%	2785	49.74%	2883	51.49%	2591	46.28%	4	107
9	5763	-32	-0.55%	3438	59.66%	3545	61.51%	2024	35.12%	0	0
Total	52158		7.93%	13957	26.76%	14741	28.26%	35559	68.18%		

Ward	18+_Pop	18+_Black	% 18+_Black	18+_Hisp.	% 18+_Hisp.	18+_AP_Black	% 18+_AP_Black	18+_NH White	% 18+_NH White
1	4092	480	11.73%	55	1.34%	494	12.07%	3488	85.24%
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6	4661	668	14.33%	83	1.78%	691	14.83%	3833	82.24%
7	4375	1060	24.23%	81	1.85%	1090	24.91%	3139	71.75%
8	4180	1867	44.67%	60	1.44%	1898	45.41%	2189	52.37%
9	4398	2467	56.09%	65	1.48%	2518	57.25%	1730	39.34%
Total	39704	9480	23.88%	629	1.58%	9725	24.49%	28735	72.37%

Group quarters data are from the 2010 Advance Group Quarters File released by the Census Bureau on April 20, 2011

March 23, 2016 Proposed Florissant Wards



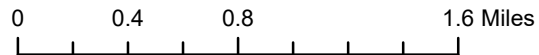
Council member



Feb. 25, 2016 Proposal



Streets



1 INTRODUCED BY COUNCILMAN HENKE
2 APRIL 26, 2016

3
4 BILL NO. 9181

ORDINANCE NO.

5
6 **ORDINANCE TO REZONE FOR TAUC PROPERTIES, LLC, THE**
7 **PROPERTY LOCATED AT 1090 N. HIGHWAY 67 FROM R-4 SINGLE**
8 **FAMILY DISTRICT TO B-5 PLANNED COMMERCIAL DISTRICT TO**
9 **ALLOW FOR AN URGENT CARE FACILITY.**

10
11 WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant
12 district classifications for the purpose of regulating their construction and use of land, buildings
13 and property within the said various districts, and said Ordinance provides the nature, kind and
14 character of buildings that may be erected in each of the said districts and the use to which the
15 land and buildings may be put; and

16 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
17 recommended to the City Council at their meeting of April 18th, 2016 that Ordinance No. 1625
18 be amended to change the classification of the property at 1090 N. Hwy 67 from R-4 Single
19 Family District to B-5 Planned Commercial District ; and

20 WHEREAS, due and lawful notice of a public hearing no. 16-03-007 on said proposed
21 zoning change was duly published, opened on April 11th, 2016, postponed to and concluded on
22 Tuesday, April 26th at 7:30 P.M. by the Council of the City of Florissant; and

23 WHEREAS, the Council, following said public hearing, and after due and careful
24 deliberation, has concluded that the amendment of Ordinance No. 1625, as amended, as
25 hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City
26 of Florissant; and

27 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
28 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

29
30 Section 1: Ordinance No. 1625, as amended, is hereby further amended by changing the
31 classification of the following described property from R-4 Single Family District to B-5
32 Planned Commercial District:

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Section 2: The property located 1090 N. Highway 67 is hereby rezoned from R-4 Single Family District to ‘B-5’ Zoning District to allow for a new Urgent Care facility according to the proposal prepared by the petitioner as described by related documents presented and according to the attached drawings: C01 dated 4/4/16, E100 and L-1 dated 2/12/16, an ALTA Survey dated 1/7/2016, Color Elevations and Rendering by FSA Architects, Signage drawings by Excel Signs & Designs dated 3/23/16. Approval is subject to the regulations of these ordinances, with permitted uses allowed being an Urgent Care Facility, those within the B-3 Extensive Business District without a Special Permit, and the following additional requirements:

1. PERMITTED USES

The uses permitted for this property shall be limited to an Urgent Care Facility and those uses within the B-3 “Extensive Business District” without a Special Permit. Other uses than those permitted shall require approval by amendment to this Ordinance.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

The building space shall be limited to a single story 5000 s.f. Facility.

3. PERFORMANCE STANDARDS

In addition to all other requirements, uses within the "B-3" Extensive Business District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the

- 77 stack at full load, which standards shall be varied in proportion to the
- 78 deviation of the percentage of excess air from fifty percent (50%).
- 79 6. Radiation. Every use shall be so operated that there is no dangerous
- 80 amount of radioactive emissions.
- 81 7. Glare and heat. Any operation producing intense glare or heat shall be
- 82 performed in an enclosure in such a manner as to be imperceptible along
- 83 any lot line.
- 84 8. Screening.
- 85 a. All mechanical equipment, air-handling units, cooling towers,
- 86 condensers, etc., on roof or grade shall be screened architecturally in such
- 87 a manner as to be a part of the design of the building.
- 88 b. Incinerators and stacks shall be enclosed in the same material as the
- 89 main exterior building material.
- 90

91 **4. TRASH ENCLOSURES**

92 Trash container shall be screened from view from any r.o.w. or residential
93 property.

94
95 **5. PLAN SUBMITTAL REQUIREMENTS**

96 Final Development Plan shall include improvements as shown on drawing
97 attached and shall include the entire property, trash enclosures, landscape,
98 lighting, legal description and building setbacks.

99
100 **6. SITE DEVELOPMENT PLAN CRITERIA:**

101
102 a. Height, Area And Bulk Restrictions:

103
104 1. Height, Area and Bulk Regulations. The height, area and bulk regulations for
105 uses in the "B-5" Planned Commercial District shall be those as set forth on
106 drawing C01 attached dated 3/1/16 and are as follows:

- 107 a. North: a minimum of 15.62 feet and gradually increasing with the face
- 108 of the proposed building toward the intersection as shown.
- 109 b. East: 11.24 feet.
- 110 c. West: 35 feet.
- 111 d. South: 35 feet.

112
113 b. Internal Drives:

114
115 (1) There shall be parking as shown on the Final Development Plan indicating
116 existing parking.

117
118 c. Minimum Parking/Loading Space Requirements.

119
120 (1) There shall be a minimum of **42** required parking spaces provided on the
121 property as shown on drawing C01 dated 3/1/16.

122 (2) A parking demand study showing satisfactory justification for exceeding
123 110% of parking required shall be reviewed and accepted by City Council.
124

125 d. Road Improvements, Access and Sidewalks

126 (1) There shall be a modification of the sidewalk area to include landscape:
127 burning bush plantings, trees, walks, tree wells and lighting per the Lindbergh
128 Improvement Plan, provided on the highway frontage of the property.
129

130 e. Lighting Requirements.

131
132 Lighting of the property shall comply with the following standards and
133 requirements:
134

135 (1) The light level for parking lot lighting shall be as depicted on sheet E100,
136 dated 2/12/16, attached.
137

138 (3) All site lighting and exterior building lighting shall be directed down and
139 inward.

140 f. Sign Requirements.

141
142 (1) Signage shall comply with the City of Florissant sign ordinance for
143 commercial districts except as shown on approved drawings.

144 (2) One existing Ground Sign shown on C01, 8 feet from eastern curb cut and 2
145 feet off of the right-of-way line.

146 (3) Window signs not to exceed 40 sf as shown on elevations and shall have an
147 additional picture (photo).
148

149 g. Landscaping and Fencing.

150
151 (1) Shall be as shown on drawing L-1 dated 2/12/16 attached. Any modifications
152 to the landscaping plan shall be reviewed and approved by the Planning and
153 Zoning Commission.

154 (2) Additional landscaping, decorative lights and tree wells meeting the
155 Lindbergh Improvement Plan shall be added to the Landscape Plan as
156 approved by the Building Commissioner.
157

158 h. Storm Water.

159
160 Storm Water and drainage facilities shall comply with the following standards and
161 requirements:
162

163 (1) The Director of Public Works shall review the storm water plans to assure that
164 storm water flow will have no adverse effect the neighboring properties.
165

166 (2) No building permits shall be issued until the storm water plan has been
167 approved by the St. Louis Metropolitan Sewer District.

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i. Miscellaneous Design Criteria.

- (1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.
- (2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.
- (3) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.
- (4) All mechanical equipment, electrical equipment, and communication equipment shall be screened in accordance with the Florissant Zoning Code.
- (5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.
- (6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.

7. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Site Development Plan approved and all other ordinances of the City of Florissant.

8. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

210 Section 3: The application and preliminary plans are returned to the Building
211 Commissioner for consideration of a Final Site Development Plan, pursuant to Title IV of the
212 Florissant Zoning Ordinance.

213 Section 4: Failure to develop the said Planned Commercial District in accordance with
214 the above-described procedures and restrictions shall be cause for revision of the zoning
215 of said property back to the previous zoning classification, in accordance with Title IV of the
216 Florissant Zoning Ordinance.

217
218 Section 5: This ordinance shall become in full force and effect immediately upon its
219 passage and approval.

220
221 Adopted this ____ day of _____, 2016.

Jackie Pagano
President of the Council
City of Florissant

222
223
224
225
226
227 Approved this ____ day of _____, 2016.

Thomas P. Schneider
Mayor, City of Florissant

228
229
230
231
232 ATTEST:
233
234 _____
235 Karen Goodwin, MMC/MRCC
236 City Clerk

TOTAL ACCESS URGENT CARE
1090 NORTH HIGHWAY 67
FLORISSANT, MO

ELECTRICAL SCHEDULES

ISSUED FOR:	DATE:
PERMIT:	02/22/15

E100

D-Series Pole Mount LED Area Luminaire

DESCRIPTION: The D-Series Pole Mount LED Area Luminaire is a high-bay, rectangular luminaire designed for use in industrial and commercial applications. It features a die-cast aluminum housing, a clear polycarbonate lens, and a built-in LED driver. The luminaire is designed for easy installation and maintenance.

Model	Power (W)	Voltage (V)	Current (A)	Height (ft)	Width (ft)	Depth (ft)	Weight (lb)
D-100	100	120	0.83	10	1.5	1.5	15
D-200	200	120	1.67	10	1.5	1.5	30
D-300	300	120	2.50	10	1.5	1.5	45
D-400	400	120	3.33	10	1.5	1.5	60
D-500	500	120	4.17	10	1.5	1.5	75

6 TYPE A & C CUTSHEET
E100 SCALE: 1/8" = 1'-0"

D-Series Size 1 LED Wall Luminaire

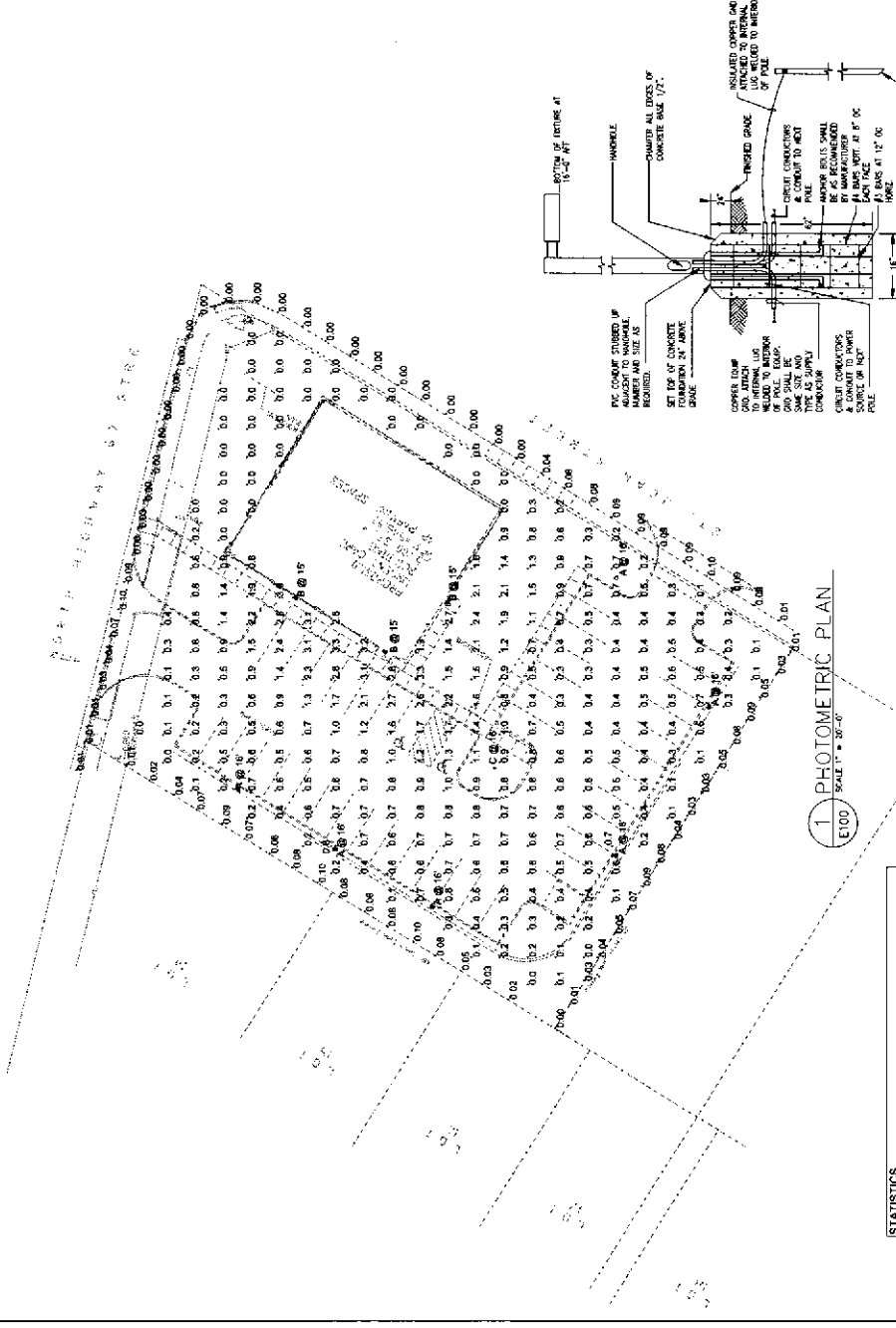
DESCRIPTION: The D-Series Size 1 LED Wall Luminaire is a compact, rectangular luminaire designed for use in industrial and commercial applications. It features a die-cast aluminum housing, a clear polycarbonate lens, and a built-in LED driver. The luminaire is designed for easy installation and maintenance.

Model	Power (W)	Voltage (V)	Current (A)	Height (ft)	Width (ft)	Depth (ft)	Weight (lb)
D-100	100	120	0.83	10	1.5	1.5	15
D-200	200	120	1.67	10	1.5	1.5	30
D-300	300	120	2.50	10	1.5	1.5	45
D-400	400	120	3.33	10	1.5	1.5	60
D-500	500	120	4.17	10	1.5	1.5	75

LUMINAIRE SCHEDULE

SYMBOL	MANUFACTURER	DESCRIPTION	LAMP	NO. OF LAMPS	LUMENS PER LAMP	WATTAGE	NOTE
A	LITONKA LIGHTING	OSWALD LED 100-300-30K 100-300-30K 100-300-30K	LED	1	4720	100	MOUNTED AT TOP OF PILE
B	LITONKA LIGHTING	OSWALD LED 100-300-30K 100-300-30K 100-300-30K	LED	1	4720	100	MOUNTED AT TOP OF PILE
C	LITONKA LIGHTING	OSWALD LED 100-300-30K 100-300-30K 100-300-30K	LED	1	4720	100	MOUNTED AT TOP OF PILE

7 TYPE B CUTSHEET
E100 SCALE: 1/8" = 1'-0"

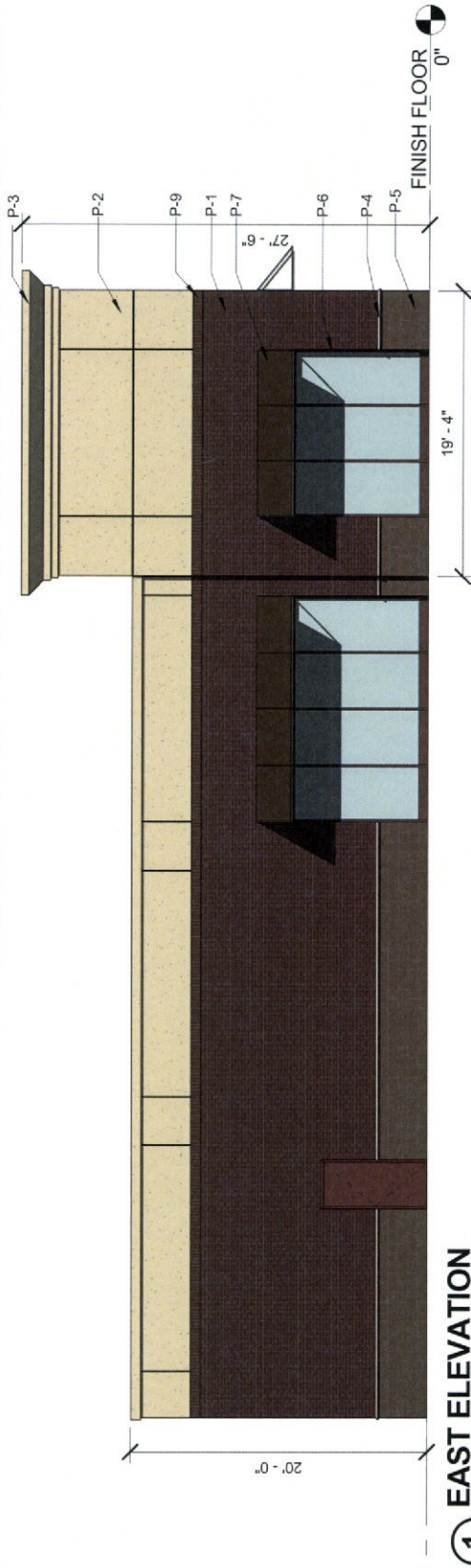


5 POLE BASE DETAIL
E100 SCALE: 1/8" = 1'-0"

LUMINAIRE SCHEDULE

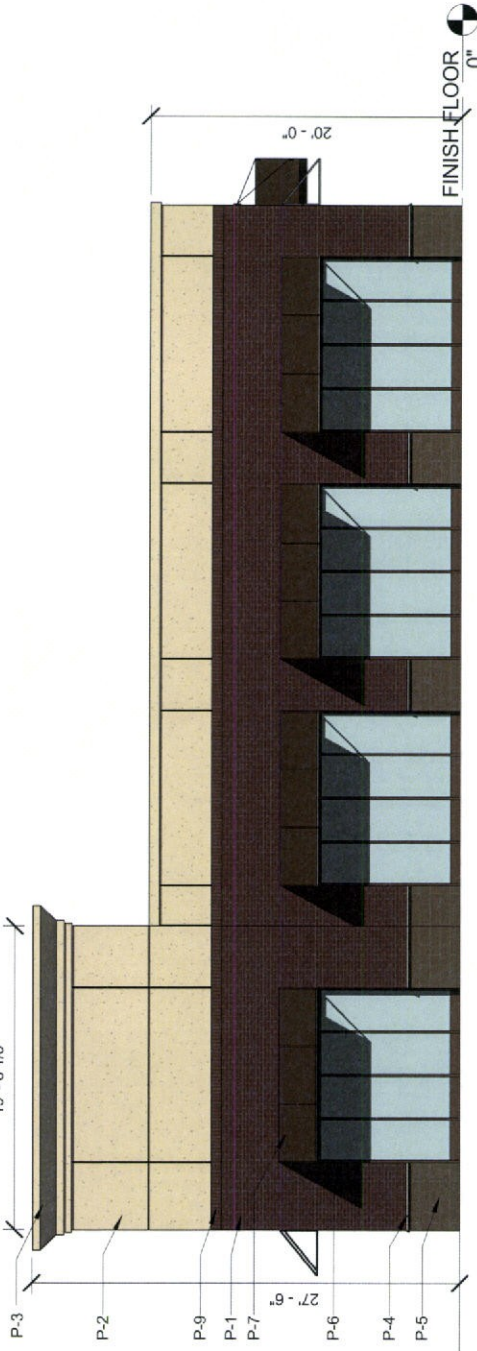
SYMBOL	MANUFACTURER	DESCRIPTION	LAMP	NO. OF LAMPS	LUMENS PER LAMP	WATTAGE	NOTE
A	LITONKA LIGHTING	OSWALD LED 100-300-30K 100-300-30K 100-300-30K	LED	1	4720	100	MOUNTED AT TOP OF PILE
B	LITONKA LIGHTING	OSWALD LED 100-300-30K 100-300-30K 100-300-30K	LED	1	4720	100	MOUNTED AT TOP OF PILE
C	LITONKA LIGHTING	OSWALD LED 100-300-30K 100-300-30K 100-300-30K	LED	1	4720	100	MOUNTED AT TOP OF PILE

4 LUMINAIRE SCHEDULE
E100 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
 1/8" = 1'-0"

19' - 8 1/8"



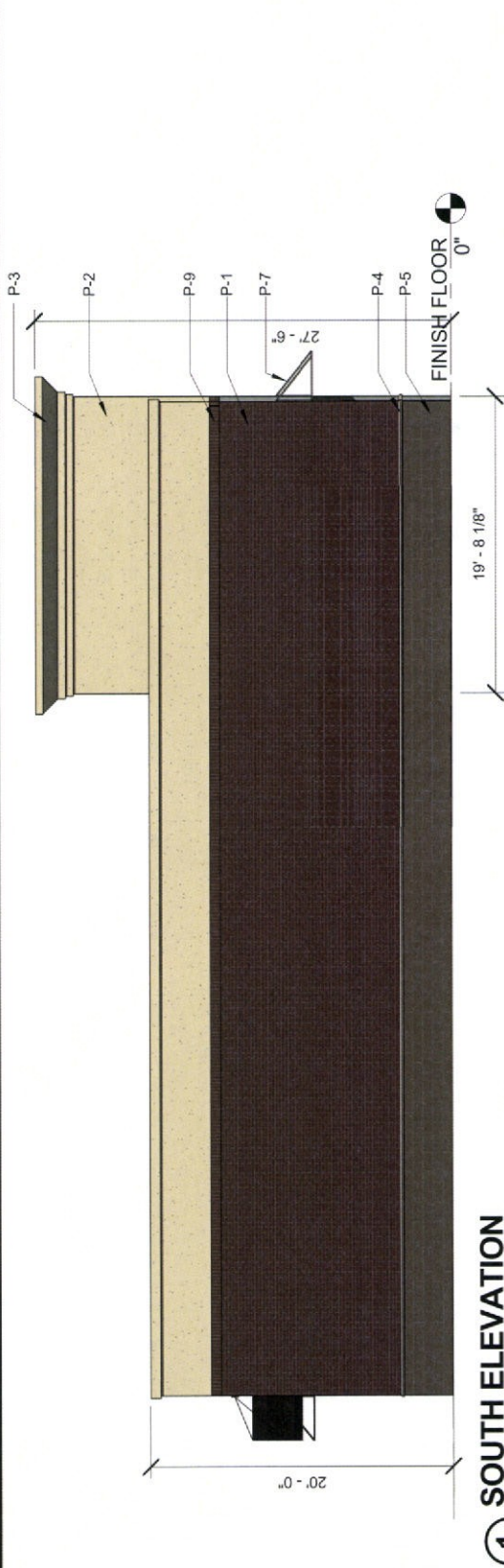
2 NORTH ELEVATION
 1/8" = 1'-0"

EXTERIOR FINISHES

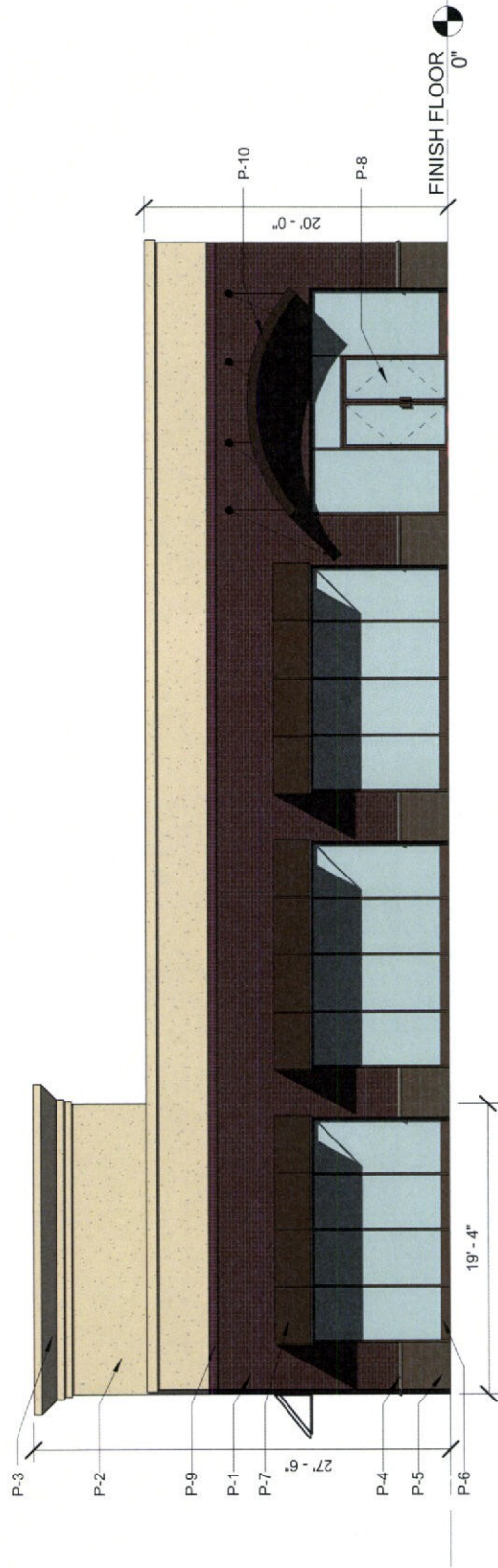
- P-1 BRICK VENEER
- P-2 EIFS / STUCCO PAINTED
- P-3 EIFS / STUCCO FORMED CORNICE PAINTED
- P-4 CAST STONE SILL
- P-5 STONE VENEER
- P-6 PREFINISHED ALUMINUM STOREFRONT SYSTEM
- P-7 STEEL FRAME PREFINISHED METAL CLAD AWNING
- P-8 STOREFRONT ALUMINUM / GLASS DOOR
- P-9 BRICK VENEER SOLDIER COURSE
- P-10 CURVED STEEL FRAME PREFINISHED METAL CLAD AWNING

TAUC FLOISSANT

ELEVATIONS



1 SOUTH ELEVATION
 1/8" = 1'-0"



2 WEST ELEVATION
 1/8" = 1'-0"

EXTERIOR FINISHES

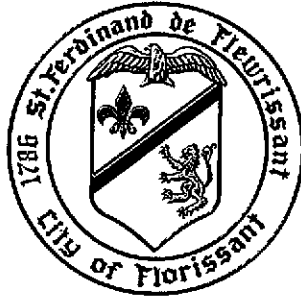
- P-1 BRICK VENEER
- P-2 EIFS / STUCCO PAINTED
- P-3 EIFS / STUCCO FORMED CORNICE PAINTED
- P-4 CAST STONE SILL
- P-5 STONE VENEER
- P-6 PREFINISHED ALUMINUM STOREFRONT SYSTEM
- P-7 STEEL FRAME PREFINISHED METAL CLAD AWNING
- P-8 STOREFRONT ALUMINUM / GLASS DOOR
- P-9 BRICK VENEER SOLDIER COURSE
- P-10 CURVED STEEL FRAME PREFINISHED METAL CLAD AWNING

TAUC FLOISSANT

RENDERING



FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant -- Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 1090 No HIGHWAY 67

Property Owners Name: DAVID + CAROL TEUBNER Phone #: _____

Property Owners Address: 7001 HOWDERSHELL ROAD

Business Owners Name: TAC PROPERTIES, LLC Phone #: 314-458-0044

Business Owners Address: 9556 MANCHESTER, ST LOUIS MO 63119

DBA (Doing Business As) _____

Authorized Agents Name: BRANDON A. HARP, P.E. CO. Name: _____
(Authorized Agent to Appear Before The Commission)

Agents Address: 11402 GRAVOIS ROAD - St. Louis Suite 100 63226 Phone #: 314-729-1400

Request REZONE TO B-5, SITE PLAN REVIEW

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]
Applicant's Signature

2-19-16
Date

OFFICE USE ONLY

Received by: _____ Receipt # _____ Amount Paid: _____ Date: _____

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: _____

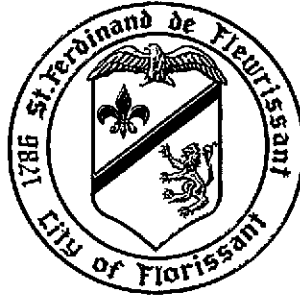
SIGNATURE OF STAFF WHO REVIEWED APPLICATION

COMMISSION ACTION TAKEN:

RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

SIGN. [Signature] DATE: 3/7/2016

**APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL
DEVELOPMENT OR TO AMEND AN EXISTING B-5 COMMERCIAL
DEVELOPMENT**



City Of Florissant – Public Works
314-839-7648

PLANNING & ZONING ACTION:

Address of Property: 1090 N. HWY 67

RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

Council Ward 6 Zoning R-4

Initial Date Petitioner Filed _____
**Building Commissioner to complete
ward, zone & date filed**

SIGN.

[Handwritten Signature]

DATE: 3/7/2016

Petition to Establish a B-5 Ordinance: Petition to Amend Existing B-5 Ordinance # _____

1) Comes Now MATT BRUCKEL / TAUC PROPERTIES LLC

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property OWNER UNDER CONTRACT

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 0.8

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for _____
State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:

TO ALLOW FOR AN URGENT CARE FACILITY

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

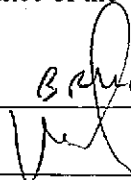
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME

MATT BRUCKEL

Print Name

PETITIONER(S) SIGNATURE (S)



FOR

TANC PROPERTIES LLC

(company, corporation, partnership) Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

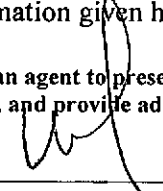
6. I (we) hereby certify that (indicate one of the following):

I (we) have a legal interest in the herein above described property.

I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

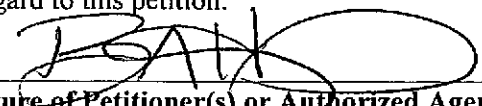
SIGNATURE



ADDRESS 9556 MANCHESTER ST, LOUIS MO 63119
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 314-458-0044
BUSINESS

I (we) the petitioner (s) do hereby appoint BRANDON A. HARP, P.E. as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.



Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: Partnership: LLC Corporation:

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners MATT BRUCKEL
- (2) Telephone numbers 314-458-0044
- (3) Business address 9556 MANCHESTER, ST. LOUIS, MO 63119
- (4) Name under which business is operated TAVC PROPERTIES, LLC
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name BRANDON A. HARP, P.E.
Address 11402 GRAVOIS
Property Owner DAVID & CAROL TEUBNER
Location of property 1090 N. HWY 67
Dimensions of property 160' x 180' +/-
Property is presently zoned B-5 per ordinance # N/A
Current & Proposed Use of Property URGENT CARE FACILITY
Type of Sign MONUMENT Height MAX. PER. CODE
Type of Construction SEE BLDG ELEVATIONS Number Of Stories 1
Square Footage of Building 5,000 S.F. +/- Number of Curb Cuts 2
Number of Parking Spaces 42 Sidewalk Length NONE
Landscaping: No. of Trees SEE LANDSCAPE PLAN Diameter _____
No. of Shrubs _____ Size _____
Fence: Type TAN VINYL Length 270' +/- Height 6'

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY 1090 N. Hwy 67 CURRENT ZONING 'R-4'

PROPERTY OWNER OF RECORD David Trebner PHONE NO. _____

AUTHORIZED AGENT CEOC PHONE NO. _____

PROPOSAL Re-zone to 'B-5' for Urgent Case

- 1) a. Uses - Are uses stipulated Yes No
- b. What current District would this proposal be a permitted use: 'B-5'
- c. Proposed uses for out lots: _____

2) Performance Standards:

- a) Vibration: Is there any foreseen vibration problems at the property line? Yes / No
- b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No
- c) Odor is there any foreseen problem with odor? Yes / No
- d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? Yes / No
- e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No
- f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? Yes / No
- g) Is there any dangerous amount of radiation produced from the operation? Yes / No
- h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No
- i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? Yes No
- j) Is buildings screened from adjoining residential? Yes No

3) Are height of structures shown? Yes No

4) Are all setbacks shown? only parking Yes No

5) Are building square footages shown? Yes No

6) What is the exterior construction of the buildings? stone/brick/EIPS

7) Is off street loading shown? ~~Yes/No~~ N/A

8) Parking:

- a) Does parking shown meet the ordinance? Yes No
- b) Is a variance required in accordance with the ordinance? Yes No
- c) Ratio shown reqd: 4.5 to _____
- d) Total Number 42
- e) Will cross access and cross parking agreements be required? Yes / No
- f) Is the parking lot adequately landscaped? Yes No

9) Are there any signs? Yes No
Number of signs shown one
Type of Signs ground
Are sizes, heights, details, and setbacks shown? Yes No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? Yes / No
- 14) Was a traffic study submitted?
Does the City Staff recommend a traffic study? Yes / No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? Yes / No
- 16) Is a legal description of the property shown?
Does legal description appear to be proper? Yes / No
- 17) Is an out-boundary plat of the property submitted? Yes / No
- 18) Suggested time limitations of construction: Start 60 Finish 360
- 19) Is parking lot lighting shown? Yes / No
- 20) Are new walkways required? Yes / No
- 21) Is there sufficient handicapped access? Yes / No
- 22) a) Are there proposed curb-cuts?
b) Do the curb-cuts meet the City ordinances? Yes / No refer to TB.
- 23) Will this project require any street improvements? Yes / No
- 24) Staff recommendations for site development plans: _____

25) Staff Comments: see staff report

2/23/16

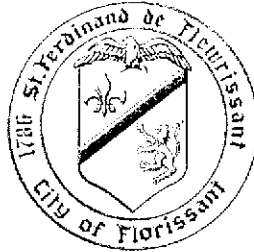
Date Application reviewed

Philip E. ...

Building Commissioner or Staff Signature

1

MEMORANDUM



2

3 **CITY OF FLORISSANT- BUILDING DEPARTMENT**

4 *"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant;*
5 *while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

6

7 To: Planning and Zoning Commissioners Date: March 3, 2016

8

9 From: Philip E. Lum, AIA-Building Commissioner c: Louis B. Jearls, Jr. - P.E.,
10 PWLF Director Public Works
11 Timothy Barrett, P.E. CFM-
12 City Engineer
13 Deputy City Clerk
14 Applicant
15 File

16

17 Subject: Request recommended approval to rezone to a 'B-5' to allow for a new
18 Urgent Care facility at **1090 N. Highway 67** in an 'R-4' Zoning District.
19

20

21 **STAFF REPORT**
22 **CASE NUMBER PZ-030716-6**

23 **I. PROJECT DESCRIPTION:**

24

25 This is a request for **recommended approval** to rezone to a '**B-5**' to allow for a new
26 Urgent Care facility at **1090 N. Highway 67** in an 'R-4' Zoning District.
27

28 **II. EXISTING SITE CONDITIONS:**

29

30 The existing address has been vacant as the former location of a car leasing
31 establishment.
32

33 The structures existing on the site would be removed for the new development,
34 precipitating the need for a 'B-5' re-zoning for this commercial use.
35

36 **III. SURROUNDING PROPERTIES:**

37

38 The properties adjacent and to the North are to remain in an 'R-4' District. The addresses
39 adjacent are 1,2 & 3 St. George Ct. and 1001 St. Jean. Properties across St. Jean are 1090
40 and 1080 St. Jean and 435 St. Joseph.

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IV. STAFF ANALYSIS:

The application is accompanied by professionally completed plans sealed C01 dated 3/1/16, E100 and L-1 dated 2/12/16, Color Elevations and Rendering by FSA Architects.

The purpose of the 'B-5' District from section 405.135:

"The purpose of this District is not only to provide for the attractive and efficient retail shopping facilities, but to facilitate the establishment of combinations of developments and uses for which no provision is made in any other single "B" Commercial District or the establishment of developments and uses in locations appropriate under approved site plans and conditions. Such approved plans and conditions shall be consistent with good planning practice and compatible with permitted developments and uses in adjoining Districts so as to protect the general welfare."

When considering issues with respect to non-adherence to the regulations of the zoning district, i.e. masonry, parking spaces, setbacks, and lot size, section 405.135 includes the following:

"G. (3.) Minimum yard requirements — general. Setbacks for parking areas, internal drives, loading spaces and structures shall be established in the conditions of the ordinance governing the particular "B-5" Planned Commercial District development...

...J. Special Conditions. The following conditions apply:

- 1. Except as otherwise prohibited hereunder, a "B-5" Planned Commercial District may be established on any tract of land in accordance with provisions of this Section.*
- 2. A "B-5" Planned Commercial District may be established by ordinance of the City Council in the same manner that other mapped Districts are established where the City Council determines that any particular tracts or areas should be developed for commercial use, but because of possible conflicts with adjoining uses, more development control is necessary to protect the general welfare than is possible under the regulations of the other "B" Commercial Districts.*
- 3. A "B-5" Planned Commercial District shall not be established on any tract of land less than one (1) acre that has a common property line with an "R" Residential District and does not have a common property line with any "B-5" Commercial or "M" Industrial District."*

Section 500.040 allows exceptions to masonry materials under a Special Permit or 'B-5'.

Condition J (3.) above exists, however, is in conflict with the City's Comprehensive Plan for this site. The Comprehensive Plan indicates that this particular parcel should be proposed to be re-zoned to commercial in the future. A new facility here precipitates the need to re-zone to a 'B-5' District.

The following are staff comments regarding plans:

Sheet C01 Comments:

1. The size of the overall development is 0.76 acres.
2. The lot does not fall within a flood zone per notation.
3. The new building is shown at elevation 546.5'.
4. Greenspace minimums for less than 1 acre is not required per 405.245 para. 9.
5. Trash enclosure is noted to be sight-proof, no material noted.
6. No irrigation of landscape will be required.
7. A tan 6' vinyl privacy screen is shown along the west and south sides of the parking lot, and includes detail of the fence.

136 In summary, the property should be re-zoned to commercial, and is proposed in this case
137 to be re-zoned to 'B-5' to allow for a new facility. Variances to the code proposed are:

- 138 1. Re-zoning and lot size: The City's Comprehensive Plan clearly indicates a re-
139 zoning is necessary to commercial. Since a 'B-5' gives greater regulatory
140 responsibility, staff recommends a 'B-5' is appropriate, because it gives greater
141 consideration to the Council for restrictions. An alternative consistent with the
142 zoning code is to re-zone to 'B-3' and then review the development plan to
143 comply with all codes with a Medical Clinic as a permitted use.
- 144 2. Masonry: EIFS can be proposed as an except to 500.040.
- 145 3. Setbacks for Building and Sign: Can be part of the ordinance per 405.135, G (3).

146
147 Insofar as the petitioner has described a 'hybrid clinic/ER' type of facility, it is incumbent
148 on the presenters to give a complete and accurate description of the use and development
149 to meet the purpose of the Zoning District and for the Commission to consider in that
150 light.

151
152 The staff report attempts to identify any differences in the zoning code and the proposal.

153 154 **Suggested Motion**

155 I move to recommend approval to rezone to a 'B-5' to allow for a new Urgent Care
156 facility at **1090 N. Highway 67**: with the following conditions to become part of the
157 record:

158
159 I move to **recommended approval** to rezone the property to a '**B-5**' to allow for a new
160 Urgent Care facility at **1090 N. Highway 67**, according to the proposal prepared by the
161 petitioner as described related documents presented and according to the attached
162 drawings: C01 dated 3/1/16, E100 and L-1 dated 2/12/16, Color Rendering, Front, Right,
163 Back and Left Elevations as prepared by FSA Architects, Approval is subject to
164 the regulations of these ordinances, with permitted uses allowed being an Urgent Care
165 Facility, and the following additional requirements:

166 167 **1. PERMITTED USES**

168 The uses permitted for this property shall be limited to an Urgent Care
169 Facility. Uses other than those permitted shall require approval by
170 amendment to this Ordinance.

171 172 173 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

174 The building space shall be limited to a single story 5000 s.f. Facility.

175 176 **3. PERFORMANCE STANDARDS**

177 In addition to all other requirements, uses within the "B-3" Extensive
178 Business District shall conform to the most restrictive performance
179 standards as follows:

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1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. Screening.
 - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
 - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Trash container shall be screened from view from any r.o.w or residential property.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawing attached and shall include the entire property, trash enclosures, landscape, lighting, legal description and building setbacks.

226 **6. SITE DEVELOPMENT PLAN CRITERIA:**

227
228 a. Height, Area And Bulk Restrictions:

229
230 1. Height, Area And Bulk Regulations. The height, area and bulk
231 regulations for uses in the "B-5" Planned Commercial District shall be
232 those as set forth on drawing C01 attached dated 3/1/16 and are as
233 follows:

- 234 a. North: a minimum of 15.62 feet and gradually increasing with
235 the face of the proposed building toward the intersection as
236 shown.
237 b. East: 11.24 feet.
238 c. West: 35 feet.
239 d. South: 35 feet.

240
241 b. Internal Drives:

242
243 (1) There shall be parking as shown on the Final Development Plan
244 indicating existing parking.

245
246 c. Minimum Parking/Loading Space Requirements.

- 247
248 (1) There shall be a minimum of 42 required parking spaces provided on
249 the property as shown on drawing C01 dated 3/1/16.
250 (2) A parking demand study showing satisfactory justification for
251 exceeding 110% of parking required shall be reviewed and accepted
252 by City Council.

253
254 d. Road Improvements, Access and Sidewalks

255 (1) There shall be a modification of the sidewalk area to include
256 landscape: burning bush plantings, trees, walks, tree wells and lighting
257 per the Lindbergh Improvement Plan, provided on the highway
258 frontage of the property.

259
260 e. Lighting Requirements.

261
262 Lighting of the property shall comply with the following standards and
263 requirements:

- 264
265 (1) The light level for parking lot lighting shall be as depicted on sheet
266 E100, dated 2/12/16, attached.
267
268 (2) All site lighting and exterior building lighting shall be directed down
269 and inward

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271 f. Sign Requirements.

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- (1) All signage shall comply with the City of Florissant sign ordinance for commercial districts.
- (2) One existing Ground Sign in its location shown on C01, shall not exceed 4 feet in height above adjacent roadway.

g. Landscaping and Fencing.

- (1) Shall be as shown on drawing L-1 dated 2/12/16 attached. Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

- (1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.
- (2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

- (1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.
- (2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.
- (3) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.
- (4) All mechanical equipment, electrical equipment, and communication equipment shall be screened in accordance with the Florissant Zoning Code.
- (5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.

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(6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.

7. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Site Development Plan approved and all other ordinances of the City of Florissant.

9. PROJECT COMPLETION.

Construction shall start within 60 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 6 months of start of construction.

(end report and suggested motion options)

1 INTRODUCED BY COUNCILMAN CAPUTA
2 APRIL 26TH, 2016

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4

5 BILL NO. 9182 ORDINANCE NO.

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ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO METROPOLITAN EVENTS, LLC TO ALLOW FOR AN EVENT/BANQUET CENTER FOR THE PROPERTY LOCATED AT 11 PATTERSON PLAZA SHOPPING CENTER.

12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
14 operation of an event/ banquet center; and

15 WHEREAS, an application has been filed by Sonja Dulick d/b/a Metropolitan Events,
16 LLC to allow for the location and operation of an event/banquet center on the property known
17 as 11 Patterson Plaza Shopping Center; and

18 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their
19 meeting of April 18th, 2016, has recommended that the said Special Use Permit be granted; and

20 WHEREAS, due notice of public hearing no. 16-04-013 on said application to be held on
21 the 26th of April, 2016 at 7:30 P.M. by the Council of the City of Florissant was duly published,
22 held and concluded; and

23 WHEREAS, the Council, following said public hearing, and after due and careful
24 consideration, has concluded that the granting of the Special Use Permit as hereinafter provided
25 would be in the best interest of the City of Florissant.

26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
27 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

28

29 Section 1: A Special Use Permit is hereby granted to Sonja Dulick d/b/a Metropolitan
30 Events, LLC for the location and operation of an event/banquet center on the property known as
31 11 Patterson Plaza Shopping Center with the following stipulations:

- 32 1. Hours of operation to be 7 days a week from 7:00 am until 1:00 am
- 33 2. No liquor will be served unless catered by a licensed catering with a
34 valid liquor license.
- 35 3. Any trash container over 90 cubic feet shall be screened and screen
36 shall be constructed compatible with the construction of the building

37 as approved by the Building Commissioner. The enclosure should
38 have gates that are solid metal, reinforced solid vinyl or metal picket
39 type fence with pickets spaced for screening.

40 **PROJECT COMPLETION.**

41 Construction shall start within 60 days of the issuance of building
42 permits, and the structure shall be completed in accordance with the
43 plans within 180 days of start of construction.

44

45 Section 2: The said Special Use Permit herein authorized shall remain in full force and
46 effect and subject to all of the ordinances of the City of Florissant.

47 Section 3: When the named permittee discontinues the operation of said business, the
48 Special Use Permit herein granted shall no longer be in force and effect.

49 Section 4: This ordinance shall become in force and effect immediately upon its passage
50 and approval.

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53 Adopted this _____ day of _____, 2016.

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56 _____

57 Jackie Pagano
58 President of the Council
59 City of Florissant

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61 Approved this _____ day of _____, 2016.

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64 _____

65 Thomas P. Schneider
66 Mayor, City of Florissant

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68

69 ATTEST:

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71 _____

72 Karen Goodwin, MMC/MRCC
73 City Clerk

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CITY OF FLORISSANT

Public Hearing

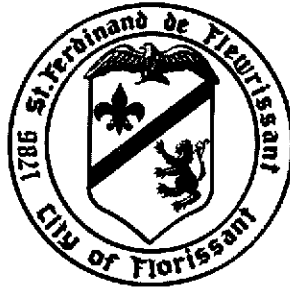


In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Tuesday, April 26, 2016 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit to Metropolitan Events, LLC to allow for an event/banquet center in a B-3, Extensive Commercial Zoning District for the property located at 11 Patterson Plaza Shopping Center (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant - Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 11 Patterson Plaza, Florissant MO 63031

Property Owners Name: Cozad Group Phone/email: 314-781-3000
(Louie Tocco) (LTocco@cozadgroup.com)

Property Owners Address: 16 Sunnen Dr # 164, 63143

Business Owners Name: Sonja Dulick Phone/email: 314-724-1452

Business Owners Address: 105 Kendl Ct, Florissant MO 63031

DBA (Doing Business As) Metropolitan Events LLC

Authorized Agents Name: Sonja Dulick Co. Name: Metropolitan Events LLC
(Authorized Agent to Appear Before The Commission)

Agents Address: 105 Kendl Ct Phone/email: 314-724-1452

Request for special use permit to operationalize underwsr81@yahoo.com

event/banquet venue business for social events
State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Sonja Dulick
Applicant's Signature

3/2/16
Date

Received by: CA Receipt # 77823 OFFICE USE ONLY Amount Paid: 125.00 Date: 3/22/16

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: _____

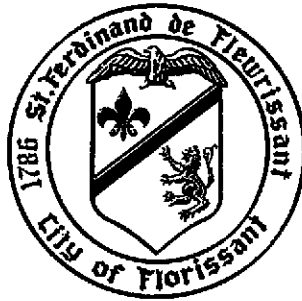
COMMISSION ACTION TAKEN:

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN: [Signature] DATE: 4/4/16

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

**PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN: [Signature] DATE: 4/4/16

SPECIAL PERMIT FOR Banquet Hall Venue

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #- _____ TO ALLOW FOR opening of event banquet venue business
ordinance # Statement of what the amendment is for.

LOCATION 11 Patterson Plaza, Florissant MO 63031
Address of property.

1) Comes Now Sonja Dulick (COBA: Metropolitan Events LLC)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) lease (tenant-commercial)
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for event rental space and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Soija Dulick Soija Dulick 1.underwskr81@yahoo.com/
PRINT NAME SIGNATURE email and phone 314-724-1452
FOR Metropolitan Events LLC
(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):
 1. I (we) have a legal interest in the herein above described property.
 2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE _____

ADDRESS _____
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL _____ / _____
BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership LLC X Corporation _____

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners Sonja Dulick, 105 Kendal Ct, 63031

(2) Telephone numbers 314-724-1452

(3) Business address 11 Patterson Plaza, 63031

(4) Name under which business is operated Metropolitan Events LLC

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) State of Incorporation & a photocopy of incorporation papers _____

(5) Date of Incorporation _____

(6) Missouri Corporate Number _____

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____

(8) Name in which business is operated _____

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

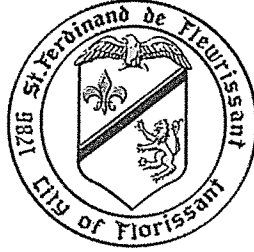
Name Sonja Dulick
Address 105 Kendl Ct, Florissant MO 63031
Property Owner Cozad Group
Location of property 11 Patterson Plaza, 63031
Dimensions of property 10ft x 120ft (ceilings) (38.6 X 86 ft)
Property is presently zoned _____ Requests Rezoning To _____
Proposed Use of Property Event/Banquet Venue
Type of Sign n/a Height _____
Type of Construction n/a Number Of Stories 1
Square Footage of Building 4800 ft² Number of Curb Cuts _____
Number of Parking Spaces 180+ Sidewalk Length 120ft
Landscaping: No. of Trees n/a Diameter _____
No. of Shrubs _____ Size _____
Fence: Type n/a Length _____ Height _____

*** PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:**

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage. (Signage will be on front glass)
"adhesive"

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MEMORANDUM



CITY OF FLORISSANT- BUILDING DEPARTMENT

"The mission of the Building Department is to enforce building codes, zoning codes and property maintenance codes in order to protect life safety and enhance the quality of life for the residents of the City of Florissant."

To: Planning and Zoning Commissioners Date: March 30, 2016

From: Philip E. Lum, AIA-Building Commissioner c: Louis B. Jearls, Jr. - P.E., PWLF Director Public Works Deputy City Clerk Applicant File

Subject: Request Recommended Approval for a Special Use at 11 Patterson Plaza to allow for a Banquet/Event Center in an existing 'B-3' Zoning District.

STAFF REPORT

CASE NUMBER PZ-040416-2

I. PROJECT DESCRIPTION:

This is a Request for Recommended Approval for a Special Use at 11 Patterson Plaza, to allow for a Banquet/Event Center in an existing 'B-3' Zoning District.

II. SITE CONDITIONS:

The existing property at 11 Patterson Plaza is an existing Shopping Center built in 1965 according to County records.

The existing property is currently occupied by several tenants. The site meets the definition of a Shopping Center having two or more establishments under separate management.

The subject property has two buildings which are an approximate 50'x 360' strip center and a retail facility (Nagle's) approximately 120'x130' feet the total area of both building is approximately 33,600 square feet and constructed of masonry. The walls of the buildings have aluminum and glass storefront, with brick and flat roofs.

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The number of existing parking is derived from aerial photos and appears to be (252). Per the parking ordinance for this use a retail center containing less than 100,000 s.f. requires 4 spaces/1000 s.f. Required parking is, therefore= 134.

III. SURROUNDING PROPERTIES:

The properties to the North and East are in an 'R-4 Single' Family Dwelling District and include 2190 Patterson, 530, 550, 560, 580 Wren, 505 Humes, 2085, 2095, 2125, 2135, 2145, 2145, 2155, 2165 Rivoli and the adjacent Gas Station in the Southwest corner of the site, 2020 Patterson, is in a 'B-3' Zoning District.

IV. STAFF ANALYSIS:

Special Uses for this zoning district include: Assembly Halls not associated with a church or School, Private Clubs and Lodges, Restaurants, Taverns, Nightclubs and Lounges. Therefore, staff determined that a Special Use Permit is in order, technically as a for profit "assembly hall".

The application is accompanied by a revised floor plan showing 3 gathering spaces with overall dimensions of 40' x 86' approx. = 3440 s.f.

The applicant indicates a hall for hire type business only with no cooking equipment.

No exterior changes to the site are anticipated. No outside equipment is anticipated.

Now new signage is proposed, therefore signs must meet 40 s.f. max. size requirement.

Occupant Load: The architectural plan shows one room with 11 tables and the other 2 rooms have 6 tables of 6 people. This would result in 138 plus staff. The building code would require a maximum of occupants pertaining to the area of the space, however, which could be a different number based on tables/chairs or without tables or chairs. Therefore the total number of occupants likely is up to 200 per the building code for the same table/chair arrangement.

VI. STAFF RECOMMENDATIONS:

If the Commission recommends approval, staff recommends the attached suggested motion.

Suggested Motion for 11 Patterson Plaza

I move to recommend approval of a Special Use to allow for a Banquet/Event Center in an existing 'B-3' Zoning District at **11 Patterson Plaza**, with the following stipulations:

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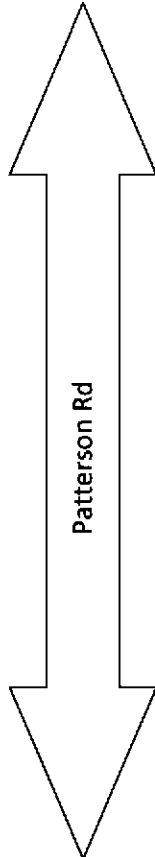
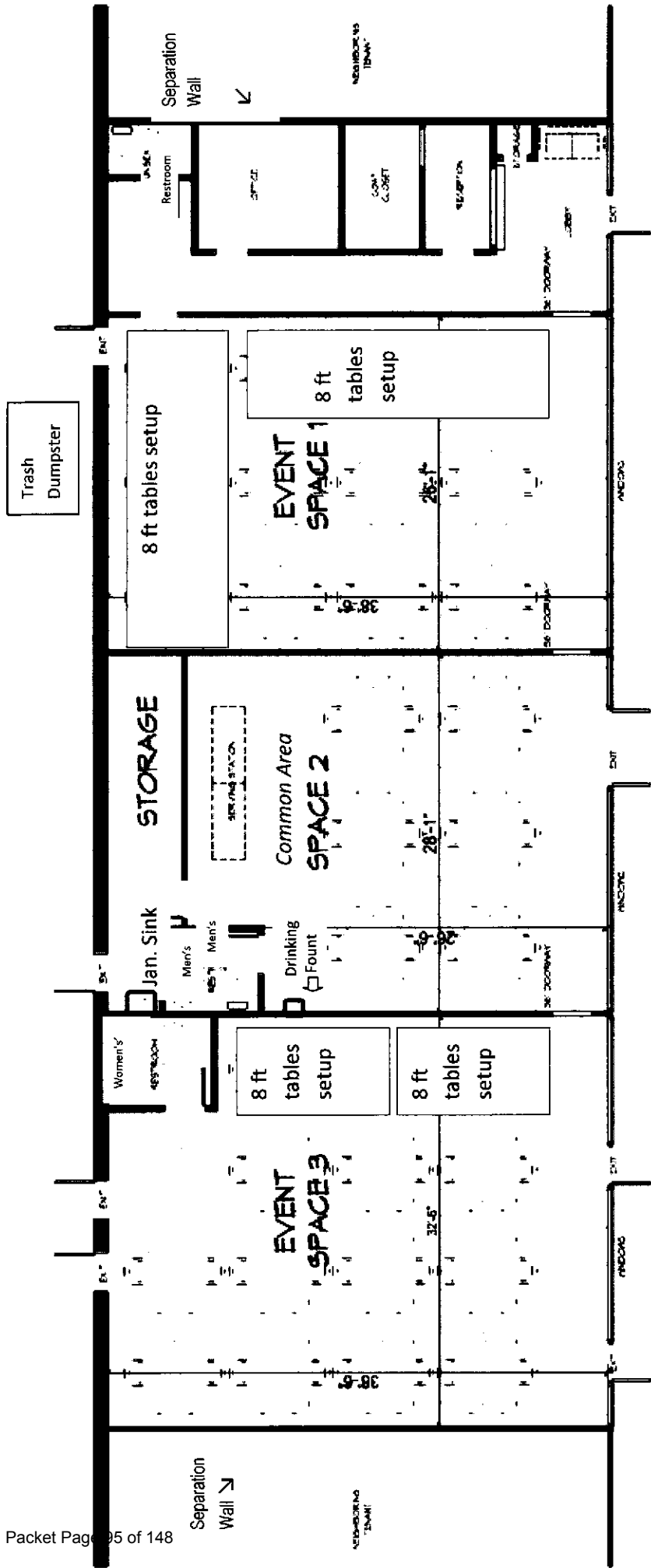
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1. Any trash container over 90 cubic feet shall be screened and screen shall be constructed compatible with the construction of the building as approved by the Building Commissioner. The enclosure should have gates that are solid metal, reinforced solid vinyl or metal picket type fence with pickets spaced for screening.

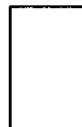
PROJECT COMPLETION.

Construction shall start within 60 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 180 days of start of construction.

(end of Suggested Motion and Memo)



EVENT SPACE = 2250 SQFT
 2250 SQFT / 15 = 150 OCCUPANCY



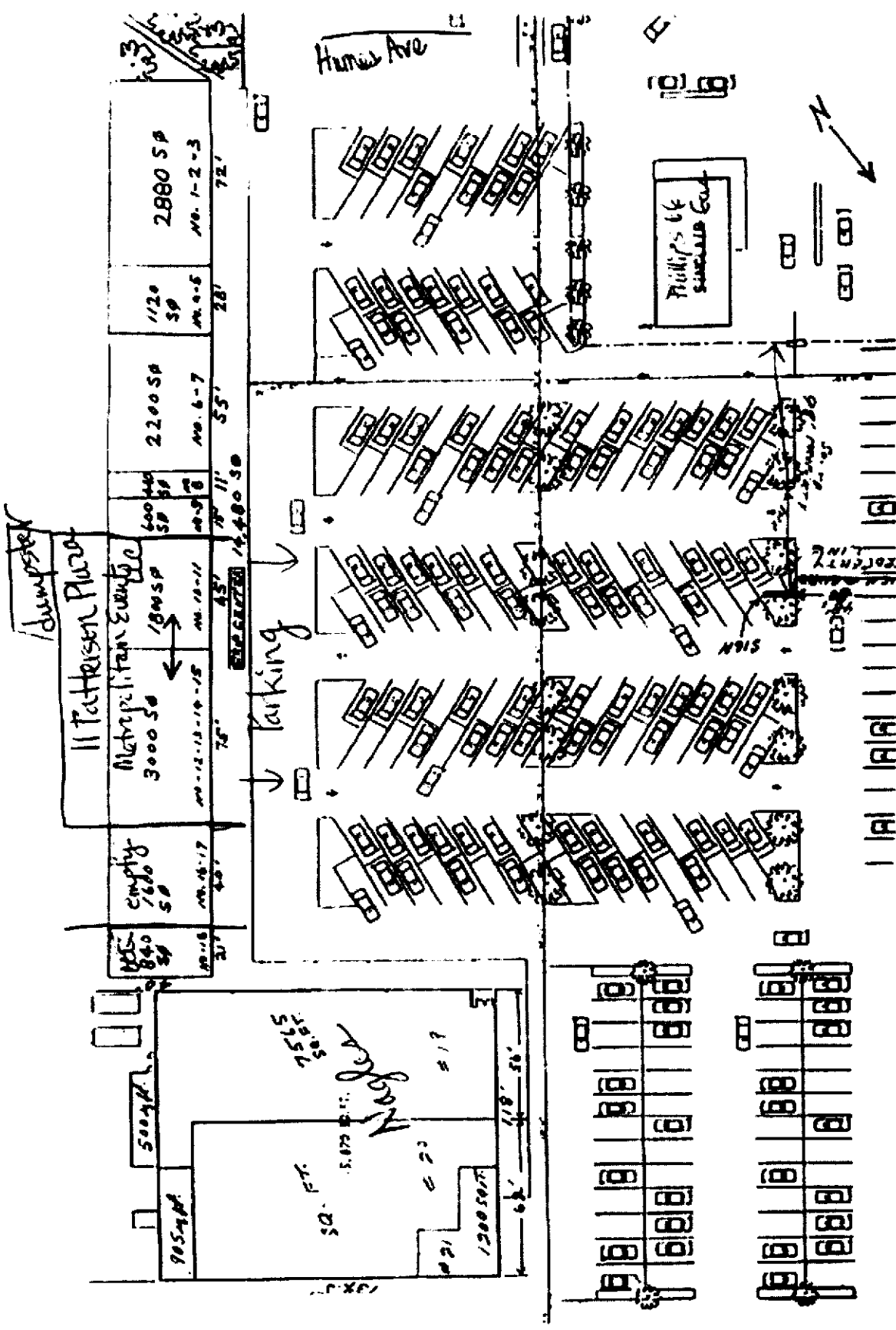
11 PATTERSON PLAZA
 FLORISSANT, MO 63031

OCCUPANCY CALCULATIONS

MARCH 17, 2016


SCALE: 1/8" = 1'-0"

DRAWN BY:
 OE DIMARTINO 314-497-4694




Metropolitan Events
Presents

The Plum Factory
A Private Event Venue
11 Patterson Plaza




Mission




- A family-run event and meeting facility hosting social gatherings including receptions, private parties, meetings and children's parties.
- The Plum Factory brings a personalized touch for quality and affordable event accommodations all-in-one.
- Facilitation of youth educational workshops focused on entrepreneurship and leadership.

Operations



- All events will have food catered into the facility from outside vendors.
- Many of the events especially kids parties will have themed options allowing for a customized touch to every occasion.
- The new facility serves a vision for a growing community with a variety of event needs (art classes, bridal fairs, wedding solutions, etc).

Our Success Factors



- **Multi-Use Facility** - One that the public supports and views as important to meeting community needs in the present and in the future
- **Location** - One that is visible, accessible and has aesthetic potential
- **Professional & Experienced Management** - 15 yrs experience in marketing and event planning
- **Motivated Staff** - Friendly and attentive service
- **Quality** - Both building cleanliness and maintenance as well as exceptional service that leaves a lasting impression on both repeat and potential business

CITY OF FLORISSANT – Health Department

Application for keeping domestic animals, fowl or bees

wp3

Applicant Name: PHILIP BELL Address: 755 BELLARMINA LN.

Home Phone: Cell Phone: (314) 220-2354

Designate number & type of animal(s) to be kept: 3 CHICKENS

Designate where animal(s), fowl or bees will be kept: BACK CORNER OF YARD NEAR PRIVACY FENCE. QUALITY CONSTRUCTED PREDATOR PROOF COOP

Facilities/shelter to be provided: 3.5' x 3' COOP WITH 6' OUTDOOR RUN

Size of applicant's property: 59' x 140'

Are the animals being requested on the application going to be bred or used for a home business in any way? NO

What other animals are being kept on the premises? 1 DOG

Has the applicant spoken with adjoining property owners concerning this application? [X] YES [] NO

The following documentation is required and has been attached to this application:

- [X] Plot plan/drawings showing property and location of animal housing, pen or cage ...
[] Veterinarian statement of Health risks and vaccination requirements ... N/A

I HAVE READ, UNDERSTAND AND DO HEREBY AGREE TO ABIDE BY THE ORDINANCES PRINTED ON THE REVERSE SIDE OF THIS FORM PERTAINING TO THIS PERMIT APPLICATION; FURTHER I ATTEST THAT ALL INFORMATION PROVIDED HERE IS TRUE.

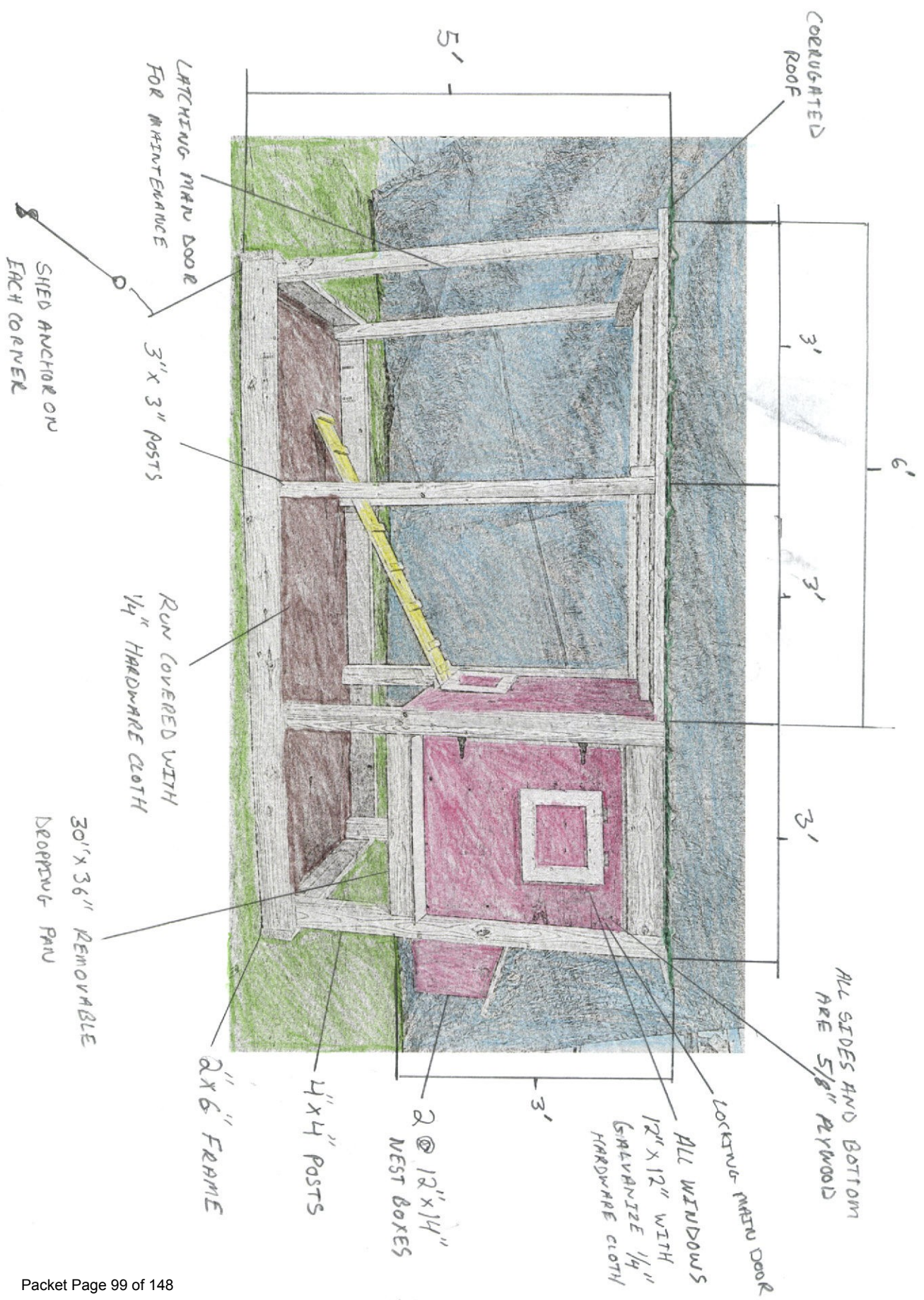
Applicant Signature: Philip Bell Date: 5/2/16

Health Department Action & Recommendation: Approve

Health Superintendent: Fred Schatz Date: 5-2-16

Director of Public Works: Lou Jacobs Date: 5-2-16

Handwritten notes: 5/2/16, action, completed, mayor



Explore







CITY OF FLORISSANT HEALTH DEPARTMENT

Animal Permit Application – Neighbor Approval Form

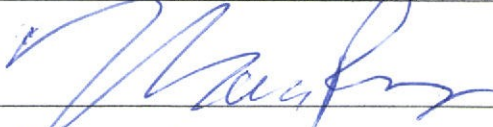
Florissant City Code 205.360 requires any property owner proposing to keep domestic animals, fowl or bees other than the usual children's pets to obtain a permit. As part of this process, applicants must advise immediate neighbors of their intentions and receive approval from any adjoining property owners. If neighbor is a renter then approval must be obtained from both the renter AND property owner.

APPLICANT NAME: PHILIP BELL

SITE ADDRESS: 755 BELLARMINIE LANE

TYPE OF ANIMAL BEING APPLIED FOR: CHICKEN

I/we, being the abutting property owner(s), have no objections to the above named property owner keeping the animal(s) described above in accordance with Florissant City Code.

Abutting Property Owner Name & Signature	Address	Phone	Date
	765 Bellarmine	314 831-1276	4/19/16
Mary J. Brown	745 Bellarmine	314-604-7512	4/22/16
Mary Scully	750 FLORISSANT	314 921 9027	4/22/16

Anyone with questions or concerns may call the Florissant Health Department at 314-839-7655 Monday - Friday

CITY OF FLORISSANT – Health Department
Application for keeping domestic animals, fowl or bees

NP 3

Applicant Name: Wilma Ruten Address: 845 Borgia Lane

Home Phone: (314) 838-2467 Cell Phone: (314) 440-2602

Designate number & type of animal(s) to be kept: 3 hens

Designate where animal(s), fowl or bees will be kept: In the back yard

Facilities/shelter to be provided: The hens will be housed in a chicken coop built from a kit. The coop will be placed inside a 10' x 10' x 6' dog run for protection and room to run.

Size of applicant's property: Back yard is approximately 53' x 65' fenced

Are the animals being requested on the application going to be bred or used for a home business in any way? No - as pets and egg layers.

What other animals are being kept on the premises? 1 house dog.

Has the applicant spoken with adjoining property owners concerning this application? YES NO

The following documentation is required and has been attached to this application:

- Plot plan/drawings showing property and location of animal housing, pen or cage ...
- Veterinarian statement of Health risks and vaccination requirements ...

I HAVE READ, UNDERSTAND AND DO HEREBY AGREE TO ABIDE BY THE ORDINANCES PRINTED ON THE REVERSE SIDE OF THIS FORM PERTAINING TO THIS PERMIT APPLICATION; FURTHER I ATTEST THAT ALL INFORMATION PROVIDED HERE IS TRUE.

Applicant Signature: Wilma Ruten Date: 4-25-16

Health Department Action & Recommendation: Approve

5/2/16
City Council
West &
Mayor

Health Superintendent: Fred Schafir Date: 4-29-16

Director of Public Works: Steve Jacobs Date: 5-2-16



CITY OF FLORISSANT HEALTH DEPARTMENT

Animal Permit Application – Neighbor Approval Form

Florissant City Code 205.360 requires any property owner proposing to keep domestic animals, fowl or bees other than the usual children's pets to obtain a permit. As part of this process, applicants must advise immediate neighbors of their intentions and receive approval from any adjoining property owners. If neighbor is a renter then approval must be obtained from both the renter AND property owner.

APPLICANT NAME: Michael G Ruten/Wilma E. Ruten

SITE ADDRESS: 845 Borgia Lane, Florissant, MO 63031

TYPE OF ANIMAL BEING APPLIED FOR: Chickens (Hens)

I/we, being the abutting property owner(s), have no objections to the above named property owner keeping the animal(s) described above in accordance with Florissant City Code.

Abutting Property Owner Name & Signature	Address	Phone	Date
<i>Virginia Greene</i>	840 MANRESA	831- 5693	4-24- 2016
<i>Helen Cunningham</i>	835 Borgia	314 831-8864	4-24-2016
<i>Mary Spillman</i>	855 BORGIA	314 456-6293	04-24 2016

Anyone with questions or concerns may call the Florissant Health Department at 314-839-7655 Monday - Friday

845 Borgia Lane

6' wooden fence

Back of House

6' wooden fence

53'

65'

10' x 10' x 6'
Dog Run

chicken
coop

6' wooden fence

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PRECISION



1 **3 Roosting Bars (2 not pictured)**
3 perchoirs (n'apparaissent pas sur la photo)

2 **Sliding Door to secure chickens at night**
Porte coulissante pour sécuriser les poules la nuit

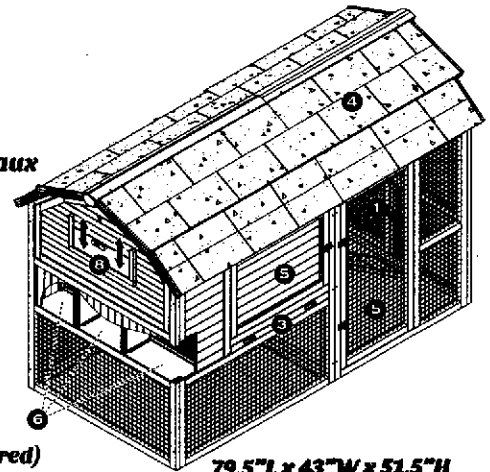
3 **Easy Clean Pull out Pan**
Cuves faciles à nettoyer

4 **Asphalt Shingled Roof**
Asphalte toit de bardeaux

5 **Multiple Doors**
Plusieurs portes

6 **3 Nesting Boxes**
3 Nichoirs

7 **Add-On-Pen**
(sold separately not pictured)
Enclos supplémentaire vendu séparément (n'apparaît pas sur la photo)



79.5"L x 43"W x 51.5"H

8 **Rear Door Access with Adjustable Ventilation**
Retour porte d'accès / Ventilation réglable



PRECISION™

OLD RED BARN
Country Classic XL
CHICKEN COOP

(2) BOXES TOTAL CONTAIN THESE PARTS:

FASTENERS



A
 SCREWS
 3.5 x 45mm
 (Qty.26)



B
 SCREWS
 3.5 x 35mm
 (Qty.41)



C
 SCREWS
 3.5 x 25mm
 (Qty.10)



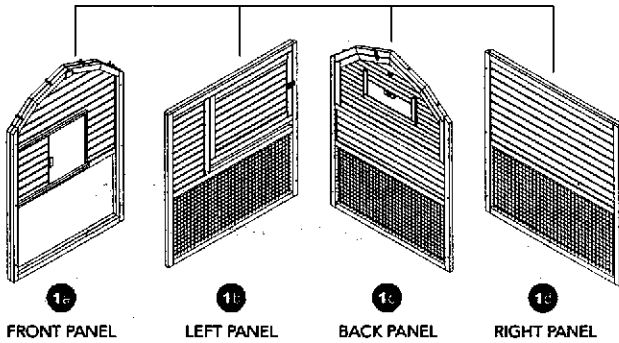
D
 SCREWS
 3.0 x 16mm
 (Qty.5)



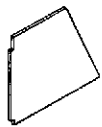
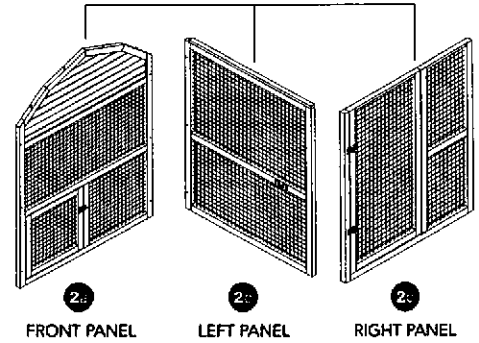
E
 FLOOR LOCK
 (Qty.2)

WOOD PIECES

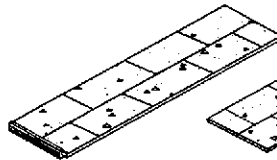
ROOSTING AREA PANELS



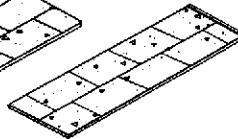
FORAGING AREA PANELS



3
 NESTING BOX
 DIVIDER
 (Qty. 2)



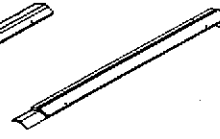
4a
 UPPER ROOF PANEL
 (Qty. 4)



4c
 LOWER ROOF PANEL
 (Qty. 4)



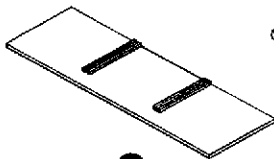
5a
 FRONT ROOF CAP
 (Qty. 1)



5b
 BACK ROOF CAP
 (Qty. 1)



6
 ROOSTING BAR
 (Qty. 3)



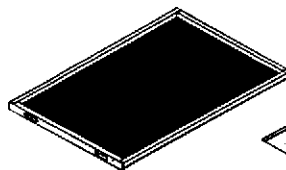
7
 NESTING BOX
 FLOOR
 (Qty. 1)



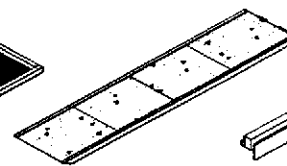
8a
 UPPER PANEL
 ROOF GUTTER
 (Qty. 2)



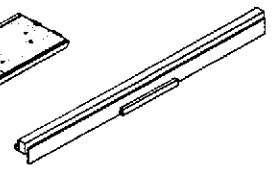
8c
 LOWER PANEL
 ROOF GUTTER
 (Qty. 2)



9
 PAN
 (Qty. 1)



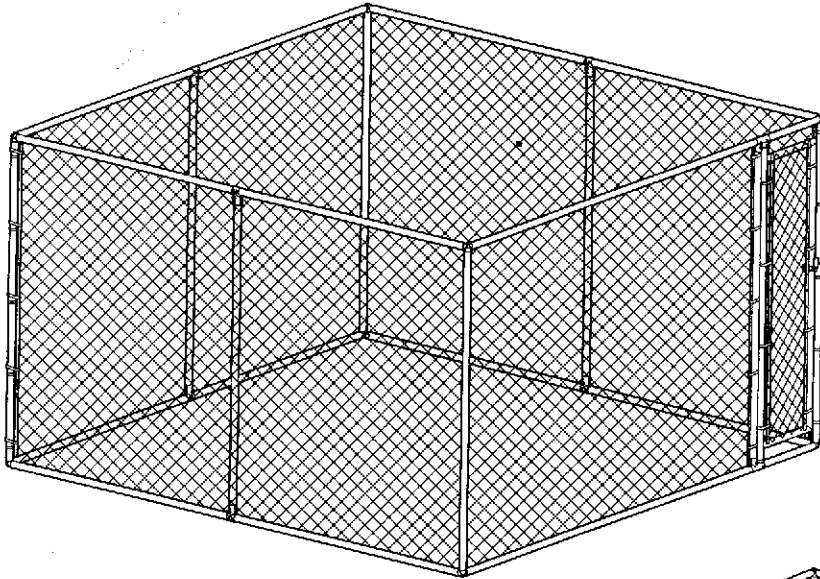
10
 RAMP
 (Qty. 1)



11
 ROOSTING AREA
 PAN LEDGE
 (Qty. 1)

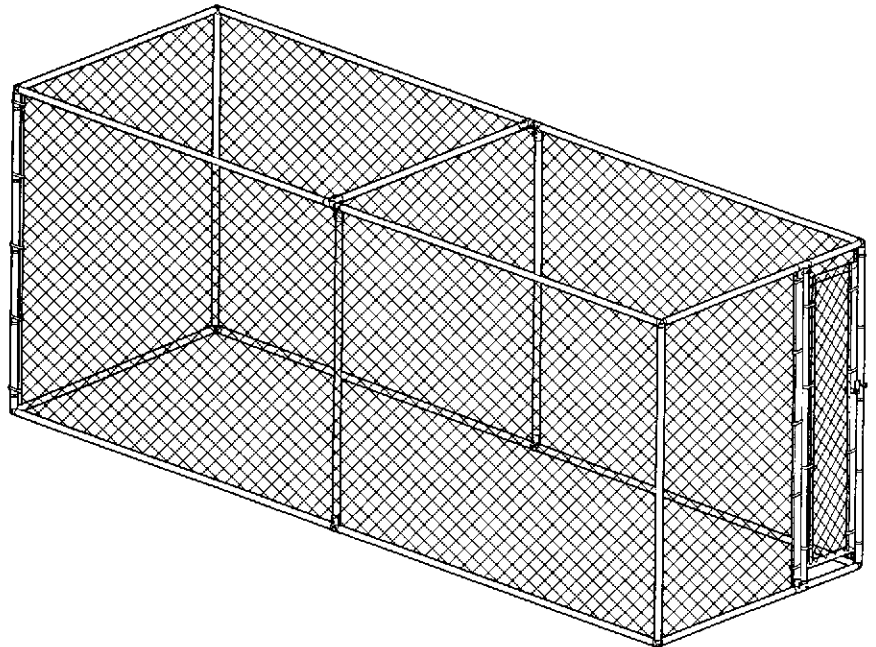


protect. teach. love.™



Option 1 - Dog Kennel
10'(W) x 10'(L) x 6'(H)

Model Number
HBK11-12009



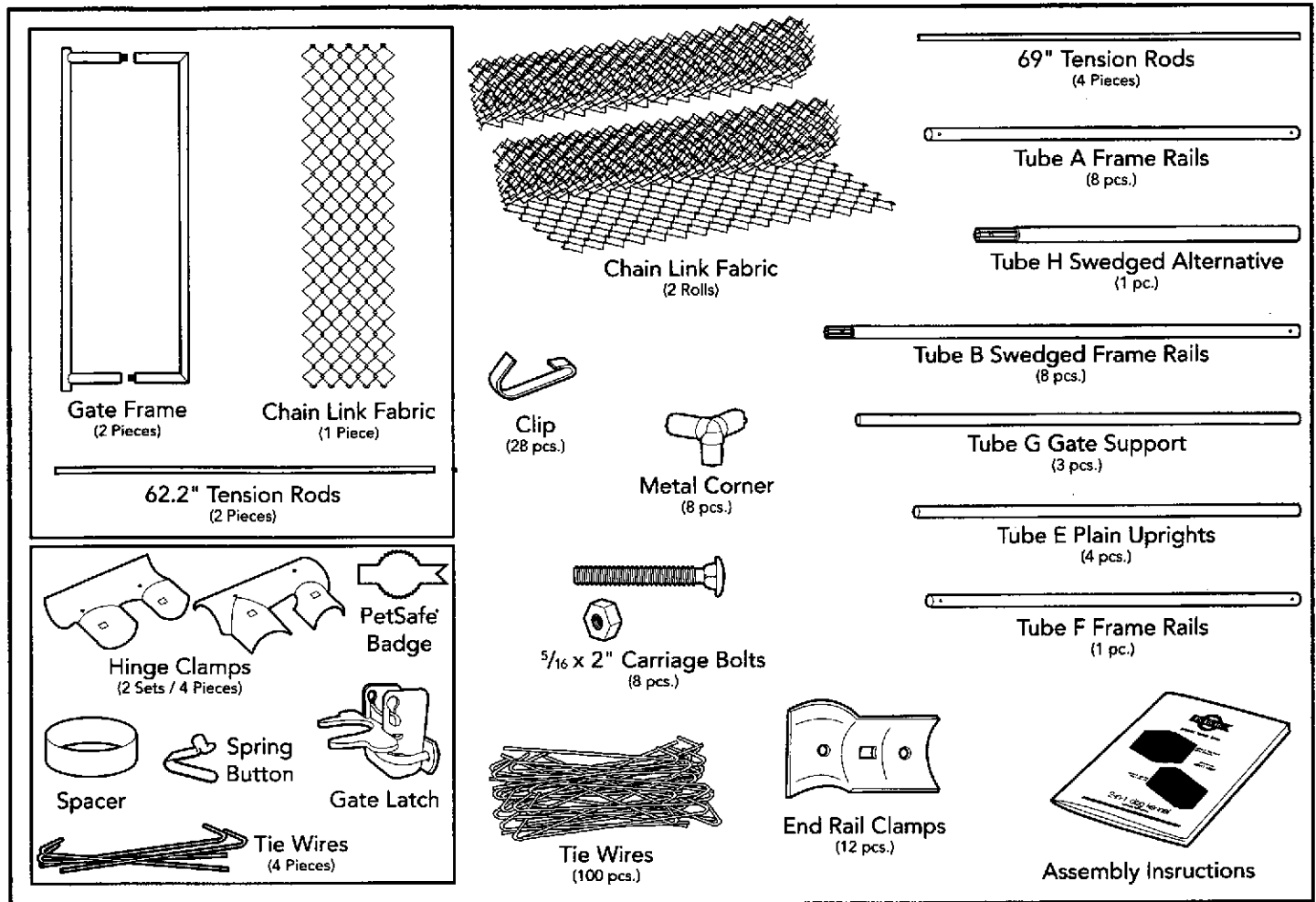
Option 2 - Dog Run
5'(W) x 15'(L) x 6'(H)

2-in-1 dog kennel

assembly instructions

PLEASE READ THIS ENTIRE GUIDE BEFORE ASSEMBLY

Components



Tools Needed

- Hammer
- Adjustable Wrench
- Pliers
- Tape Measure

Approximate assembly time: 1 hour

Kennel installation help: www.petsafe.net/fence

CITY OF FLORISSANT – Health Department
Application for keeping domestic animals, fowl or bees

NO 2

Applicant Name: Jason & Kelly Pokorny Address: 1275 Ensenada Dr.

Home Phone: 314-825-3939 Cell Phone: 314-265-3333
Florissant, MO 63031

Designate number & type of animal(s) to be kept: 2 hens (chickens)

Designate where animal(s), fowl or bees will be kept: backyard

Facilities/shelter to be provided: chicken coop & fence

Size of applicant's property: 2500 square ft.

Are the animals being requested on the application going to be bred or used for a home business in any way?
NO

What other animals are being kept on the premises? none

Has the applicant spoken with adjoining property owners concerning this application? YES NO

The following documentation is required and has been attached to this application:

- Plot plan/drawings showing property and location of animal housing, pen or cage ... see attached
- Veterinarian statement of Health risks and vaccination requirements ... N/A

I HAVE READ, UNDERSTAND AND DO HEREBY AGREE TO ABIDE BY THE ORDINANCES PRINTED ON THE REVERSE SIDE OF THIS FORM PERTAINING TO THIS PERMIT APPLICATION; FURTHER I ATTEST THAT ALL INFORMATION PROVIDED HERE IS TRUE.

Applicant Signature: Kelly Pokorny Date: 4/21/16

Health Department Action & Recommendation: Approve - JF 055

4/27/16
CC + May

Health Superintendent: Dunay K. Kruty Date: 4/22/16

Director of Public Works: Lou Jacobs Date: 4-22-16



CITY OF FLORISSANT HEALTH DEPARTMENT Animal Permit Application – Neighbor Approval Form

Florissant City Code 205.360 requires any property owner proposing to keep domestic animals, fowl or bees other than the usual children's pets to obtain a permit. As part of this process, applicants must advise immediate neighbors of their intentions and receive approval from any adjoining property owners. If neighbor is a renter then approval must be obtained from both the renter AND property owner.

APPLICANT NAME: Jason & Kelly Pokorny

SITE ADDRESS: 1275 Ensenada Dr., Florissant

TYPE OF ANIMAL BEING APPLIED FOR: Chickens (Hens)

I/we, being the abutting property owner(s), have no objections to the above named property owner keeping the animal(s) described above in accordance with Florissant City Code.

Abutting Property Owner Name & Signature	Address	Phone	Date
GARDNER K. HART	1295 Ensenada	n/a	4/12/16
Juanita Wallis	1285 Ensenada	n/a	4/12/16
Kent O'Neill	1290 ENSENADA	304-6047	4-14
Mare Rahat	1270 ENSENADA	314 307-6327	4/14

**Anyone with questions or concerns may call the Florissant
Health Department at 314-839-7655 Monday - Friday**

City of Florissant Permit Application- Section 205.360

Requestor: Jason & Kelly Pokorny

314-825-3939

314-265-3333

1. Address: 1275 Ensenada Drive, Florissant, MO 63031

2. Size of premises: 2500 Square Feet

3.

TRIXIE Pet Products

★★★★☆ 314

TRIXIE Pet Products Chicken Coop with Outdoor Run,
66.75 x 30.25 x 41.25 inches



Anchor's on all four corners



4 Colors:
Brown



Size:
66.75 x 30.25 x 41.25 inches



4. Animal: Two Hens (Chickens) for purpose of egg production and children's pet.

5. N/A

6. See Attached

Google Maps 1275 Ensenada Dr



Imagery ©2016 Google, Map data ©2016 Google 50 ft



1275 Ensenada Dr
Florissant, MO 63031



Google Maps

fence

fence

Backyard
n 1500 square ft

Chicken
coop

House

fence

CITY OF FLORISSANT

955 rue St. Francois
Phone: 314-921-5700

APPLICATION FOR LIQUOR LICENSE

TYPE OF LICENSE REQUESTED:

- Full Liquor by the Drink
- Malt Liquor & Wine by the Drink
- Full Liquor by Drink (Non-Profit)
- Full Package Liquor
- Malt Liquor & Wine Package
- Consumption of Liquor
- Tasting

To the City Clerk, City of Florissant, St. Louis County Missouri:

The undersigned hereby makes application for a liquor license issued under Chapter 600 of the Florissant City Code

TYPE OF OPERATION:

- Individual
- Partnership (Attach list of Partners)
- Corporation - Attach list of officers, addresses, phone no.
- Limited Liability Corp

Name of Business Paint it like you mean it LLC

Business Address 3357 N. Highway 67 Phone 314.801.7887

Names of Applicant, Corporation, or LLC Marcus Stewart

Address of Owner 12106 La Padera Ln Florissant MO Phone 314.853.5444
Street City State Zip

Name of Managing Officer Marcus Stewart

Home Address 12106 La Padera Ln Florissant MO 63033 Years at address 9 yrs
Street City/State Zip Home Phone 314.853.5444

Managing Officer Date & Place of Birth 11/23/74 - MO Cell Phone 314.853.5444

Managing Officer Driver's License No. _____ Social Security Number* _____
(Provide a copy of driver's license) * Social Security Number will be use for purposes of identification in running record check.

Managing Officer Personal Property Taxes 2015 Paid? Yes No (Attach most recent copy)

Managing Officer Register Voter of Missouri? Yes No (Attach a Voter Registration Certificate)

Have you ever been arrested?: NO What Charge? _____
Where? _____ Disposition? _____

Citizen of U.S.A.? Yes No Naturalized? Yes Date _____ No
If Naturalized, Give Number: _____ Dist. _____
(Provide naturalization documentation)

Do you have an interest in any liquor license which is now in force? NO
If so, give details _____

Have you previously held a liquor license of any type? NO
If so, when and where _____

*5/29/16
Council
+ Mayor*

Have you ever had a liquor license suspended or revoked? NO
If so, give details _____

Have you ever been convicted of any violation of any federal or state law? NO
If so, give details _____

Have you ever been convicted of any municipal or county ordinance violation? NO
If so, give details _____

Have you ever been convicted of any violation of a federal law, state statute or local ordinance relating to intoxicating liquor? NO
If so, give details _____

Has the location previously been occupied as a liquor establishment, liquor store or tavern? NO
If so, state name _____

Is the location within 200 feet of property used for church, school or public playground? NO

If Individual Applicant, sign below:

If Partnership, corporation or LLC complete the following:

Trade Name _____
M. Stewart
Signature of Managing Officer

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

Marcus Stewart, of lawful age, being first duly sworn upon Marcus Stewart oath
(Individual or **Managing Officer**)

deposes and states that he/she is the (applicant) (the managing officer of the corporation or partnership seeking the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations and rules adopted by the City relating to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.



Marcus Stewart
Signature of Individual or **Managing Officer**

Subscribed and sworn to before me this 24th day of February, 2016.

Katrina L. Neal
Notary Public

My Commission Expires: 4-25-2016

PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

EMERGENCY INFORMATION

OWNER OF PROPERTY Marcus Stewart PHONE 314.853.5444
ADDRESS 12106 La Sadera Ln CITY Floissant STATE MO ZIP 63033
NAME OF BUSINESS Print it like you Mean it PHONE 314.801.7887
ADDRESS 3357 N. Highway 67 CITY Floissant STATE MO ZIP 63033
BUSINESS HOURS 10:00 a.m. - 11:00 p.m. Monday - Sunday
OWNER/MANAGER _____ PHONE _____
HOME ADDRESS _____ CITY _____ STATE _____ ZIP _____

PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE.

CONTACT #1

NAME _____ ADDRESS _____
CITY & STATE _____ ZIP _____ PHONE _____
HAS KEY: YES () NO ()

CONTACT #2

NAME _____ ADDRESS _____
CITY & STATE _____ ZIP _____ PHONE _____
HAS KEY: YES () NO ()

ARE THERE LIGHTS LEFT ON AFTER BUSINESS HOURS: YES () NO ()
IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS: YES () NO ()
IF YES, WHO: _____
ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS: YES () NO ()
DESCRIBE: _____
(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? YES () NO ()
IF YES, WHERE IS IT LOCATED: _____

CAN IT BE SEEN FROM THE OUTSIDE? YES () NO ()
IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? YES () NO ()

IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.

SUPPLEMENT TO APPLICATION FOR LIQUOR LICENSE

CORPORATION & LIMITED LIABILITY COMPANY:

Copy of Certificate of Incorporation/ Registration &
Articles of Organization papers must be attached

To the Florissant City Council,
Florissant, St. Louis County, Missouri _____ DATE _____

**TO BE COMPLETED BY ALL PARTNERS, OR IF CORPORATION OR LIMITED
LIABILITY CORPORATION BY ALL OFFICERS OR MEMBERS:**

1. FULL NAME Marion James Stewart
SOC. SEC. NO. _____ PLACE OF BIRTH MO
DATE OF BIRTH _____ SEX M
PHONE NUMBER 314.853-5144
ADDRESS 12106 La Padera Ln Florissant MO. 63033
LAST PREVIOUS ADDRESS 3301 Cross Keys Dr. Florissant MO.
NO. OF YRS. 9yrs

2. FULL NAME Robin Kwanina Stewart
SOC. SEC. NO. _____ PLACE OF BIRTH MO
DATE OF BIRTH _____ SEX F
PHONE NUMBER 314.262-3838
ADDRESS 12106 La Padera Ln Florissant MO. 63033
LAST PREVIOUS ADDRESS 3301 Cross Keys Dr. Florissant MO
NO. OF YRS. 9yrs

3. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YRS. _____

4. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YRS. _____

STATE OF MISSOURI



Jason Kander
Secretary of State

CERTIFICATE OF ORGANIZATION

WHEREAS,

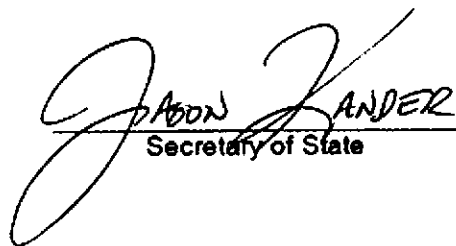
Paint it Like You Mean it LLC
LC001461831

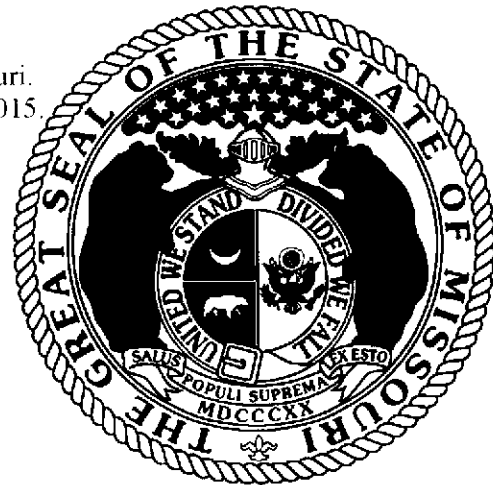
filed its Articles of Organization with this office on the 17th day of September, 2015, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, Jason Kander, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 17th day of September, 2015, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri.
Done at the City of Jefferson, this 17th day of September, 2015.

Effective Date: October 18, 2015


Secretary of State



CITY OF FLORISSANT

955 rue St. Francois
Phone: 314-921-5700

Beer & Wine

APPLICATION FOR LIQUOR LICENSE

TYPE OF LICENSE REQUESTED:

- Full Liquor by the Drink
- Malt Liquor & Wine by the Drink
- Full Liquor by Drink (Non-Profit)
- Full Package Liquor
- Malt Liquor & Wine Package
- Consumption of Liquor
- Tasting

To the City Clerk, City of Florissant, St. Louis County Missouri:

The undersigned hereby makes application for a liquor license issued under Chapter 600 of the Florissant City Code

TYPE OF OPERATION:

- Individual
- Partnership (Attach list of Partners)
- Corporation - Attach list of officers, addresses, phone no.
- Limited Liability Corp

Name of Business HRLH Inc dba Viet-Thai

Business Address 8458 N Lindbergh Blvd Phone 636-447-1883

Names of Applicant, Corporation, or LLC Viet-Thai

Address of Owner 1420 Heritage Landing unit 201, St. Charles MO 63303 Phone 314-971-8838
Street City State Zip

Name of Managing Officer Hung Cam Chau

Home Address 1420 Heritage Landing unit 201, St. Charles MO 63303 Years at address 1
Street City/State Zip Home Phone

Managing Officer Date & Place of Birth 5/6/1967, Vietnam Cell Phone 314-971-8838

Managing Officer Driver's License No. _____ **Social Security Number*** _____
(Provide a copy of driver's license) * Social Security Number will be used for purposes of identification in running record check.

Managing Officer Personal Property Taxes 2014 Paid? Yes No (Attach most recent copy)

Managing Officer Register Voter of Missouri? Yes No (Attach a Voter Registration Certificate)

Have you ever been arrested?: No **What Charge?** _____
Where? _____ **Disposition?** _____

Citizen of U.S.A.? Yes No **Naturalized?** Yes **Date** _____ No
If Naturalized, Give Number: _____ **Dist.** _____
(Provide naturalization documentation)

Do you have an interest in any liquor license which is now in force? No
If so, give details _____

Have you previously held a liquor license of any type? Yes
If so, when and where Thai Kitchen St. Peters MO

5/4/16 Council Ct to Council & Mayor

Have you ever had a liquor license suspended or revoked? No
If so, give details _____

Have you ever been convicted of any violation of any federal or state law? No
If so, give details _____

Have you ever been convicted of any municipal or county ordinance violation? No
If so, give details _____

Have you ever been convicted of any violation of a federal law, state statute or local ordinance relating to intoxicating liquor? No
If so, give details _____

Has the location previously been occupied as a liquor establishment, liquor store or tavern? No
If so, state name _____

Is the location within 200 feet of property used for church, school or public playground? No

If Individual Applicant, sign below:

If Partnership, corporation or LLC complete the following:

Viet-Thay
Trade Name
[Signature]
Signature of Managing Officer

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

HUONG CAM CHAU, of lawful age, being first duly sworn upon 11/19/15 oath
(Individual or **Managing Officer**)

deposes and states that he/she is the (applicant) (the managing officer of the corporation or partnership seeking the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations and rules adopted by the City relating to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.

[Signature]
Signature of Individual or **Managing Officer**

Subscribed and sworn to before me this 19th day of November, 2015.

A. WAYNE HARDING
Notary Public - Notary Seal
State of Missouri
Commissioned for St. Charles County
My Commission Expires: Dec. 16, 2017
13901938

[Signature]
Notary Public

My Commission Expires: 12/16/2017

TO THE CITY CLERK, CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI

APPLICATION FOR SUNDAY LIQUOR LICENSE

Authorizing the sale of retail liquor by the drink or package in Florissant on **Sunday** from 9:00 a.m. to Midnight

TYPE OF OPERATION: Individual _____ Partnership _____ Corporation X LLC _____

NAME OF BUSINESS: HRLH Inc dba Viet-Thai

LOCATION: 8458 N Lindbergh Blvd, Florissant Telephone: _____
MO. 63031

NAME OF APPLICANT (partnership or corporation, give exact trade, LLC or corporate name):
HRLH Inc dba Viet-Thai

TRADE NAME IF DIFFERENT: Viet-Thai

The undersigned (Individual) (Partnership) (Corporation) (LLC), hereby makes application to the City Clerk, City of Florissant, St. Louis County, Missouri for a By the drink/Package Liquor License authorizing the sale of retail liquor on Sundays from **9:00 a.m. to Midnight** for the period beginning _____, and expiring June 30, 20____, on the above described premises and agrees that if the license herein applied for is granted, and the licensee shall violate any provisions of the State Liquor Control Act or of the Florissant City Code and particularly any provision of Chapter 600 of the Florissant City Code pertaining to alcoholic beverages or permit any other person to do so upon the licensed premises, the City Council, by a majority vote, may suspend or revoke such license.

1) I/WE presently hold License No. _____ authorizing the sale of retail liquor by the drink/package in Florissant for premises described in this application.

STATE OF MISSOURI)SS
COUNTY OF ST CHARLES)

I/WE HUONG CAM CHAU of lawful age, being first duly sworn upon (my) (our) oath(s), name of managing officer (or owner or partner)

depose and say that (I) (we) have read this application and that (I) (we) fully understand the same; that (I) (we) know the contents thereof and the statements contained therein and that the same are true of (my) (our) own knowledge.

[Signature]
Signature of managing officer (or owner or partner)

SUBSCRIBED AND SWORN TO BEFORE ME THIS 19th DAY OF November 2015

MY COMMISSION EXPIRES 12/16/2017

[Signature]
Notary Public

A. WAYNE HARDING
Notary Public - Notary Seal
State of Missouri
Commissioned for St. Charles County
My Commission Expires: Dec. 16, 2017
13901938

STATE OF MISSOURI



Jason Kander
Secretary of State

CERTIFICATE OF INCORPORATION

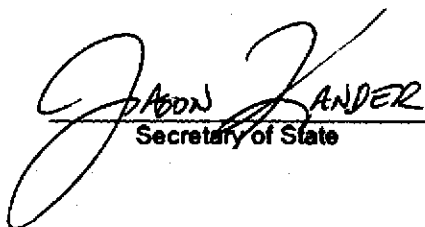
WHEREAS, Articles of Incorporation of

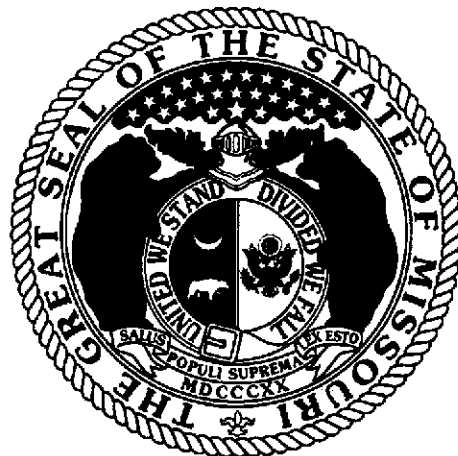
HRLH Inc
001366645

have been received and filed in the Office of the Secretary of State, which Articles, in all respects, comply with the requirements of General and Business Corporation Law.

NOW, THEREFORE, I, JASON KANDER, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do hereby certify and declare this entity a body corporate, duly organized this date and that it is entitled to all rights and privileges granted corporations organized under the General and Business Corporation Law.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri. Done at the City of Jefferson, this 6th day of July, 2015.


Secretary of State





State of Missouri
Jason Kander, Secretary of State
 Corporations Division
 PO Box 778 / 600 W. Main St., Rm. 322
 Jefferson City, MO 65102

001366645
Date Filed: 7/6/2015
Jason Kander
Missouri Secretary of State

Articles of Incorporation

Article One

The name of the corporation is: HRLH Inc

Article Two

The registered agent's name is: Tan Huynh

The address, including street and number for the registered agent's office in the state of Missouri is:
 (PO Box may only be used in addition to a physical street address)

<u>3899-B Veterans Memorial Pkwy</u>	<u>St. Peters</u>	<u>MO 63376</u>
<i>Street Address</i>	<i>City</i>	<i>State/Zip</i>

Article Three
 (Must complete 1 or 2)

1. If the aggregate number of shares in which the corporation shall have authority to issue DOES NOT exceed 30,000 shares or the par value DOES NOT exceed \$30,000 please check this box:

or

2. If the aggregate number of shares in which the corporation shall have authority to issue exceeds 30,000 shares or the par value exceeds \$30,000 dollars please indicate the number of shares of each class and the par value of each share. Also, indicate a statement of the preferences, qualifications, limitations, restrictions and the special or relative rights including convertible right, is any, in respect of the share of each class:

Article Four

The name and physical business or residence address of each incorporator:

Name	Address	City/State/Zip
<u>Huynh, Tan</u>	<u>3899-B Veterans Memorial Pkwy</u>	<u>St. Peters MO 63376</u>

(Please see next page)

Name and address to return filed document:	
Name:	<u>Mobile Accounting</u>
Address:	<u>Email: 1040ongo@gmail.com</u>
City, State, and Zip Code:	

Article Five

The date the corporation is to continue or perpetual: (Please select one)

Perpetual (check box) or State number of years _____

Article Six

The corporation is formed for the following lawful purpose(s):

ENGAGE IN FULL SERVICE RESTAURANT BUSINESS AND IN TRANSACTIONS OF ANY LEGAL ACTS PERMITTED BY CORPORATION LAW

Article Seven

The number of directors to constitute the board of directors: 1 (optional)

The effective date of this document is the date it is filed by the Secretary of State of Missouri unless a future date is otherwise indicated:

(Date may not be more than 90 days after the filing date in this office)

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

Tan Huynh
Signature of Incorporator(s)

TAN HUYNH
Printed or Typed Name of Incorporator

07/06/2015
Date of Signature

1 INTRODUCED BY COUNCILMAN HENKE
2 MAY 9, 2016

3
4 BILL NO. 9183 ORDINANCE NO.

5
6 **ORDINANCE TO REZONE FOR AUTO PROPERTIES, LLC THE**
7 **PROPERTY LOCATED AT 1350 N. HIGHWAY 67 FROM B-3,**
8 **EXTENSIVE COMMERCIAL DISTRICT TO B-5, PLANNED**
9 **COMMERCIAL DISTRICT TO ALLOW FOR THE CONSTRUCTION OF**
10 **A NEW SELF-STORAGE, TRUCK AND TRAILER RENTAL FACILITY.**

11
12 WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant
13 district classifications for the purpose of regulating their construction and use of land, buildings
14 and property within the said various districts, and said Ordinance provides the nature, kind and
15 character of buildings that may be erected in each of the said districts and the use to which the
16 land and buildings may be put; and

17 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
18 recommended to the City Council at their meeting of April 4th, 2016 that Ordinance No. 1625 be
19 amended to change the classification of the property at 1350 N. Highway 67 from B-3, Extensive
20 Commercial District to B-5 Planned Commercial District ; and

21 WHEREAS, due and lawful notice of a public hearing no. 16-04-012 on said proposed
22 zoning change was duly published, opened on April 26th, 2016 continued to and concluded on
23 Monday, May 9th, 2016 at 7:30 P.M. by the Council of the City of Florissant; and

24 WHEREAS, the Council, following said public hearing, and after due and careful
25 deliberation, has concluded that the amendment of Ordinance No. 1625, as amended, as
26 hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City
27 of Florissant; and

28 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
29 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

30
31 Section 1: Ordinance No. 1625, as amended, is hereby further amended by changing the
32 classification of the following described property from R-4 Single Family District to B-5
33 Planned Commercial District:

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Section 2: The property located 1350 N. Highway 67 is hereby rezoned to a ‘B-5’ Zoning District to allow for a new self-storage, truck and trailer rental facility at 1350 N. Highway 67 in a ‘B-3’ Zoning District, according to the proposal prepared by the petitioner as described in related documents presented and according to the attached drawings: SP1 dated 2/12/16, A-1 Floor Plan and A-2 Elevations dated 3/10/16, and Civil Plan 1, dated 3/29/16 by Doering Engineering. Approval is subject to the regulations of these ordinances, with permitted uses allowed being a self-storage, truck and trailer rental facility, those within the ‘B-3’ “Extensive Business District” without a Special Permit, and the following stipulations and additional requirements:

Stipulations:

1. The east and south walls of the structure to be full height, embossed tilt – up construction.
2. The north and west walls will be 3 foot masonry at the base.
3. The north wall at Lindbergh will be full masonry.
4. Ground sign will be deleted.

1. PERMITTED USES

The uses permitted for this property shall be limited to an Self-Storage, truck and trailer rental facility and those uses within the ‘B-3’ “Extensive Business District” without a Special Permit. Other uses than those permitted shall require approval by amendment to this Ordinance.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

The building space shall be limited to a three-story 79,330 s.f. Facility.

3. PERFORMANCE STANDARDS

In addition to all other requirements, uses within the "B-3" Extensive Business District shall conform to the most restrictive performance standards as follows:

- 66 1. Vibration. Every use shall be so operated that the maximum ground
67 vibration generated is not perceptible without instruments at any point on
68 the lot line of the lot on which the use is located.
- 69 2. Odor. Every use shall be so operated that no offensive or objectionable
70 odor is perceptible at any point on the lot line on which the use is located.
- 71 3. Smoke. Every use shall be so operated that no smoke from any source
72 shall be emitted of a greater density than the density described as No. 1 on
73 the Ringelmann Chart as published by the United States Bureau of Mines.
- 74 4. Toxic gases. Every use shall be so operated that there is no emission of
75 toxic, noxious or corrosive fumes or gases.
- 76 5. Emission of dirt, dust, fly ash and other forms of particulate matter.
77 Emission of dirt, dust, fly ash and other forms of particulate matter shall
78 not exceed eighty-five one-hundredths (0.85) pounds per one thousand
79 (1,000) pounds of gases of which amount not to exceed five-tenths (0.5)
80 pound per one thousand (1,000) pounds of gases shall be of such size as to
81 be retained on a 325-mesh U.S. standard sieve. In the case of emission of
82 fly ash or dust from a stationary furnace or a combustion device, these
83 standards shall apply to a condition of fifty percent (50%) excess air in the
84 stack at full load, which standards shall be varied in proportion to the
85 deviation of the percentage of excess air from fifty percent (50%).
- 86 6. Radiation. Every use shall be so operated that there is no dangerous
87 amount of radioactive emissions.
- 88 7. Glare and heat. Any operation producing intense glare or heat shall be
89 performed in an enclosure in such a manner as to be imperceptible along
90 any lot line.
- 91 8. Screening.
- 92 a. All mechanical equipment, air-handling units, cooling towers,
93 condensers, etc., on roof or grade shall be screened architecturally in such
94 a manner as to be a part of the design of the building.
- 95 b. Incinerators and stacks shall be enclosed in the same material as the
96 main exterior building material.

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4. TRASH ENCLOSURES

Any exterior trash container shall be screened from view from any r.o.w or residential property.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawing attached and shall include the entire property, trash enclosures, landscape, lighting, legal description and building setbacks.

6. SITE DEVELOPMENT PLAN CRITERIA:

a. Height, Area And Bulk Restrictions:

(1) Height, Area And Bulk Regulations. The height, area and bulk regulations for uses in the "B-3" Extensive Commercial District

b. Internal Drives:

(1) There shall be parking as shown on the Final Development Plan indicating existing parking.

c. Minimum Parking/Loading Space Requirements.

(1) There shall be a minimum of 10 required parking spaces provided on the property.

d. Road Improvements, Access and Sidewalks

(1) There shall be a modification of the sidewalk area to include burning bush plantings, trees, walks, tree wells and lighting per the Lindbergh Improvement Plan, provided on the highway frontage of the property.

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

(1) The light level for parking lot lighting shall be a minimum of 0.5 fc on the property and shall not project light or glare onto adjacent residentially zoned property.

(2) All site lighting and exterior building lighting shall be directed down and inward

128 f. Sign Requirements.

129 (1) All signage shall comply with the City of Florissant sign ordinance for
130 commercial district.

131 g. Landscaping and Fencing.

132 (1) Shall be as shown on Doering Engineering Sheet 1, dated 3/29/16,
133 attached. Any modifications to the landscaping plan shall be reviewed and
134 approved by the Planning and Zoning Commission.

135 (2) Additional landscaping meeting city ordinances shall be added to the
136 Landscape Plan.

137 a. Landscape, paving and light poles per Lindbergh Improvement plans as
138 recommended by the City Engineer.

139 b. Landscape Plantings per 405.245, including building plantings to
140 establish the number of shrubs.

141 h. Storm Water.

142 Storm Water and drainage facilities shall comply with the following standards and
143 requirements:

144 (1) The Director of Public Works shall review the storm water plans to assure
145 that storm water flow will have no adverse effect the neighboring
146 properties.

147 (2) No building permits shall be issued until the storm water plan has been
148 approved by the St. Louis Metropolitan Sewer District.

149 i. Miscellaneous Design Criteria.

150 (1) All applicable parking, circulation, sidewalks, and all other site design
151 features shall comply with the Florissant City Code.

152 (2) All dumpsters and grease containers shall be contained within a trash
153 enclosure with gates compatible with existing building.

154 (3) All storm water and drainage facilities shall be constructed, and all
155 landscaping shall be installed, prior to occupancy of the building, unless
156 remitted by the Director of Public Works due to weather related factors.

157 (4) All mechanical equipment, electrical equipment, and communication
158 equipment shall be screened in accordance with the Florissant Zoning
159 Code.

160 (5) The exterior design of the buildings shall be constructed in accordance
161 with the renderings as approved by the Florissant Planning and Zoning
162 Commission and attached hereto.

163 (6) All other requirements of the Florissant Municipal Code and other
164 ordinances of the city shall be complied with unless otherwise allowed by
165 this ordinance.

166

167 7. GENERAL DEVELOPMENT CONDITIONS.

168 a. Unless, and except to the extent, otherwise specifically provided herein,
169 development shall be effected only in accordance with all ordinances of
170 the City of Florissant.

171 b. The Department of Public Works shall enforce the conditions of this
172 ordinance in accordance with the Site Development Plan approved and all
173 other ordinances of the City of Florissant.

174

175 9. PROJECT COMPLETION.

176 Construction shall start within 90 days of the issuance of building permits for the
177 project and shall be developed in accordance of the approved final development plan
178 within 18 months of start of construction.

179

180 Section 3: The application and preliminary plans are returned to the Building
181 Commissioner for consideration of a Final Site Development Plan, pursuant to Title IV of the
182 Florissant Zoning Ordinance.

183 Section 4: Failure to develop the said Planned Commercial District in accordance with
184 the above-described procedures and restrictions shall be cause for revision of the zoning
185 of said property back to the previous zoning classification, in accordance with Title IV of the
186 Florissant Zoning Ordinance.

187

188 Section 5: This ordinance shall become in full force and effect immediately upon its
189 passage and approval.

190

191 Adopted this ____ day of _____, 2016.

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ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

Jackie Pagano
President of the Council
City of Florissant

Approved this ____ day of _____, 2016.

Thomas P. Schneider
Mayor, City of Florissant

1 INTRODUCED BY COUNCILMAN SIAM
2 MAY 9, 2016

3
4 BILL NO. 9184

ORDINANCE NO.

5
6 **AN ORDINANCE AMENDING B-5 ORDINANCE NO. 6266 ISSUED TO**
7 **LOWES COMPANIES, INC. TO ALLOW FOR ADDITIONS TO THE**
8 **EXISTING GROUND SIGNS FOR THE PROPERTY LOCATED AT**
9 **14070 NEW HALLS FERRY ROAD/3180 N. HWY 67.**

10
11 WHEREAS, the City Council passed and approved Ordinance No. 6266 as amended
12 authorizing a proposed development at 14070 New Halls Ferry Road and 3180 N. Hwy 67; and

13 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
14 recommended to the City Council at their meeting of April 18th, 2016 that Ordinance No. 6266
15 be amended to allow for additions to the existing ground signs; and

16 WHEREAS, due and lawful notice of public hearing no. 16-05-014 on said proposed
17 change was duly published, held and concluded on 19th of May, 2016 at 7:30 pm by the Council
18 of the City of Florissant; and

19 WHEREAS, the Council, following said public hearing, and after due and careful
20 deliberation, has concluded that the amendment of Ordinance No. 6266, as hereinafter set forth,
21 to be in the best interest of the public health, safety and welfare of the City of Florissant; and

22
23 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
24 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

25
26 Section 1: Ordinance No. 6266 heretofore granted to Lowes Companies, Inc. for a B-5
27 Planned Commercial District Development is hereby amended for Lowes/Dollar Tree to
28 allow for signage changes for an “out lot,” in a B-5 District, Lowe’s Ord. 6266, as shown
29 on the signage package prepared by Jones Sign, dated 12/30/2014:

30
31 Paragraph 5 SITE DEVELOPMENT PLAN GENERAL CRITERIA, sub-paragraph (f.)
32 shall be changed to read:

33 “All signs shall be internally lit as per the Site Lighting Plan drawing marked “SL-1”
34 attached hereto as part of Exhibit “A” and in accordance with the sign ordinance for the B-
35 3 Zoning District. Two ground signs shall be located on the property as per the drawing
36 marked “C-1” attached hereto, as part of Exhibit “A”, and signage package by Jones

37 Signs, dated 12/30/14, attached hereto. "Delivery Vehicles Only" signs or equivalent
38 signage to be located at approximately the left front corner of the building line."
39

40 **10)GENERAL DEVELOPMENT CONDITIONS.**

41 a.Unless, and except to the extent, otherwise specifically provided herein, development
42 shall be effected only in accordance with all ordinances of the City of Florissant
43

44 b.The Department of Public Works shall enforce the conditions of this ordinance in
45 accordance with the final site development plan approved by the Planning and Zoning
46 Commission and all other ordinances of the City of Florissant.

47 **11)PROJECT COMPLETION.**

48 Construction shall start within 90 days of the issuance of building permits for the project
49 and shall be developed in accordance of the approved final development plan within 18
50 months of start of construction.

51
52 Section 2: Except as herein amended Ordinance No. 6266 shall remain in full force and
53 effect.

54 Section 3: This ordinance shall become in full force and effect immediately upon its
55 passage and approval.

56
57 Adopted this _____ day of _____, 2016.

58
59 _____
60 Jackie Pagano
61 President of the Council
62

63 Approved this _____ day of _____, 2016.

64
65 _____
66 Thomas P. Schneider
67 Mayor, City of Florissant
68

69 ATTEST:

70 _____
71 Karen Goodwin, MMC/MRCC
72 City Clerk

1 INTRODUCED BY COUNCILMAN LEE
2 MAY 9, 2016

3
4 BILL NO. 9185

ORDINANCE NO.

5
6 **AN ORDINANCE AUTHORIZING AN APPROPRIATION OF \$7000**
7 **FROM THE GENERAL REVENUE FUND TO ACCOUNT NO. 062901**
8 **“BUILDING MAINTENANCE AND SUPPLIES” TO REIMBURSE THE**
9 **GOLF COURSE FOR THE MSD REPAIRS TO THE CREEK.**

10
11 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
12 COUNTY, MISSOURI, AS FOLLOWS:

13
14 Section 1: There is hereby appropriated and set apart from the General Revenue Fund of
15 the City of Florissant the sum of \$7000 to Budget Account No. 062901 “Building Maintenance
16 and Supplies” for reimbursement for the repairs MSD made to the creek for the Golf Course.

17 Section 2: This ordinance shall become in force and effect immediately upon its
18 passage and approval.

19
20 Adopted this ____ day of _____, 2016.

21
22
23 _____
24 Jackie Pagano
25 President of the Council
26 City of Florissant
27

28
29 Approved this ____ day of _____, 2016.

30
31
32 _____
33 Thomas P. Schneider
34 Mayor, City of Florissant
35

36
37 ATTEST:

38
39 _____
40 Karen Goodwin, MMC/MRCC
41 City Clerk
42

1 INTRODUCED BY COUNCIL AS A WHOLE

2 MAY 9, 2016

3 BILL NO. 9186

ORDINANCE NO.

4

5 **AN ORDINANCE AMENDING CHAPTER 600 OF THE FLORISSANT**

6 **CITY CODE RELATING TO LIQUOR LICENSES AND LICENSEES.**

7

8 WHEREAS, state regulations, 11 CSR 70-2.130(14), prohibit a retail licensees for sale of
9 alcoholic beverages from permitting acts substantially as described herein on any licensed
10 premises; and

11 WHEREAS, the Mayor and City Council wish to underscore the importance of all
12 licensees maintaining strict adherence to such standards at all times and enable the Florissant
13 Police Department, the administrative arms of the City and the City Council to use the regulatory
14 authority vested in them by state law and the charter and ordinances of the City to assure that all
15 licensed premises are operated in a safe and forthright manner; and

16 WHEREAS, the Florissant City Council also wishes to resolve potential ambiguities and/or
17 inconsistencies in the City’s licensing and enforcement processes.

18

19 NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF
20 FLORISSANT, MISSOURI, AS FOLLOWS:

21

22 **Section 1.**

23 Chapter 600 of the Code of Ordinances of Florissant, Missouri, is hereby amended by
24 adding a new Section, Section 600.081, to read as follows:

25

26 **Section 600.081. Certain Acts Prohibited in Premises Licensed To Sell At Retail**
27 **Intoxicating Liquor, Wine or Beer.**

28

29 A. It shall be unlawful for any retail licensee, licensed to sell intoxicating liquor,
30 wine or beer, or his/her employee to permit in, upon or about the licensed premises:

31

32 1. The performance of acts or simulated acts of sexual intercourse, masturbation,
33 sodomy, bestiality, oral copulation, flagellation or any sexual acts which are
34 prohibited by law;

35 2. The displaying of any portion of the areola of the female breast or failure to
36 cover the entire areola and front of the breast with opaque clothing;

37 3. The actual or simulated touching, caressing or fondling of the breast,
38 buttocks, anus or genitals;

39 4. The actual or simulated displaying of the pubic hair, anus, vulva or
40 genitals or failure to cover pubic hair, anus, vulva or genitals with opaque
41 clothing;

42 5. Any person to remain in or upon the licensed premises who exposes to public
43 view any portion of his/her genitals or anus or fails at any time to have and keep
44 opaque clothing over all parts of his/her genitals and anus; and

45 6. The displaying of films, video or DVD programs or pictures depicting acts, the
46 live performances of which are prohibited by this regulation or by any other law.
47

48 B. Additional unlawful acts for any retail licensee, licensed to sell intoxicating
49 liquor, wine or beer, or his/her employee:

50
51 1. At no time, under any circumstances, shall any licensee or his/her
52 employees immediately fail to prevent or suppress any violent quarrel,
53 disorder, brawl, fight or other improper or unlawful conduct of any person
54 upon the licensed premises, nor shall any licensee or his/her employees
55 allow any indecent, profane or obscene language, song, entertainment,
56 literature or advertising material upon the licensed premises.

57 2. In the event that a licensee or his/her employee knows or should have known,
58 that an illegal or violent act has been committed on or about the licensed
59 premises, they immediately shall report the occurrence to law enforcement
60 authorities and shall cooperate with law enforcement authorities and agents of
61 the Division of Liquor Control during the course of any investigation into an
62 occurrence.
63

64 C. In addition to the licensee and/or his/her employee being subject to all
65 penalties contained in Section 100.080 of this Code, violation of any act or any
66 provision contained herein shall be grounds for the license of the licensee to be
67 suspended or revoked.
68

69 Section 2: This ordinance shall become in full force and effect immediately upon its passage and
70 approval.

71 Adopted this ____ day of _____, 2016.

72
73 _____
74 Jackie Pagano
75 President of the Council
76 City of Florissant

77 Approved this ____ day of _____, 2016.

78
79 _____
80 Thomas P. Schneider
81 Mayor, City of Florissant

BILL NO. 9186

ORDINANCE NO.

82 ATTEST:

83

84 _____
Karen Goodwin, MMC/MRCC

85 City Clerk

1 INTRODUCED BY COUNCILMAN JONES

2 MAY 9, 2016

3 BILL NO. 9187

ORDINANCE NO.

4

5 **AN ORDINANCE OF THE CITY OF FLORISSANT ADOPTING A POLICY**
6 **AGAINST SWEATSHOP PRACTICES**

7

8 WHEREAS, the City Council of the City of Florissant abhors sweatshop practices and the
9 proliferation of such facilities around the world; and

10 WHEREAS, the reported tragedies and staggering loss of life in sweatshops is a reminder
11 that these deplorable and inhumane circumstances still exist; and

12 WHEREAS, the City of Florissant believes it is and should be the duty of all businesses to
13 ensure that their endeavors do not support or promote sweatshops and thereby perpetuate the
14 misery and deprivation they inflict on those most in need of protection.

15

16 NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF
17 FLORISSANT, MISSOURI, AS FOLLOWS:

18 Section 1. It shall be the policy of the City of Florissant to expect all those with whom it does
19 business and from whom it purchases apparel and textiles to be aware of the conditions in the
20 production facilities where such items were produced and to not deal in goods from production
21 facilities engaged in sweatshop practices.

22

23 Section 2. The City may require those with whom it does business to certify that they have made
24 due inquiry into the circumstances of production of the goods they propose to provide and that
25 apparel and textiles provided to the City were not produced in facilities that engage in sweatshop
26 practices. Vendors may, alternatively or in addition, provide a report from non-profit
27 independent agency generally recognized as credible and having expertise in monitoring
28 sweatshop practices attesting that such goods were not produced in facilities that engage in
29 sweatshop practices.

30

31 Section 3. As used in this Ordinance the following terms shall mean:

32 **“Apparel”** means clothes, shoes and garments and accessories thereto which
33 are acquired by or provided to the City of Florissant;

34 **“Production facility”** means the facility that manufactures the finished apparel or textiles
35 provided by a vendor with which the City has or intends to contract for the provision of apparel
36 or textiles. When the context so requires, “production facility” shall also mean the owners and
37 managers thereof;

38 **“Textiles”** means all items of cloth that are produced by weaving, knitting, felting, sewing or
39 similar production processes, including but not limited to cloth items such as sheets, pillows,
40 pillowcases, towels, blankets and upholstery;

41 **“Sweatshop practices”** means engaging in a pattern of conduct including any one or more of the
42 following and similar oppressive and unsafe practices:

43 a.) a failure to comply with domestic labor laws in the country where the apparel or
44 textiles were manufactured including those pertaining to wages, hours, forced and child labor,
45 and freedom of association;

46 b.) engaging in behavior that harasses or abuses a worker in a sexual psychological or
47 verbal manner; or subjects a worker to corporal punishment;

48 c.) exposing workers to toxic chemicals and conditions which endanger health while
49 failing to take appropriate measures to safeguard workers.

50

51 Section 4: This ordinance shall become in full force and effect immediately upon its passage and
52 approval.

53 Adopted this ____ day of _____, 2016.

54

55

56

57

58

Jackie Pagano
President of the Council
City of Florissant

59

Approved this ____ day of _____, 2016.

60

61

62

63

Thomas P. Schneider
Mayor, City of Florissant

64 ATTEST:

65

66

67 _____
Karen Goodwin, MMC/MRCC

BILL NO. 9187

ORDINANCE NO.

68 City Clerk

1 INTRODUCED BY COUNCILWOMAN PAGANO
2 MAY 9, 2016

3
4 BILL NO. 9188

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN APPROPRIATION OF \$12,000**
7 **FROM THE GENERAL REVENUE FUND TO ACCOUNT NO. 4015**
8 **“UNEMPLOYMENT CLAIM RESERVE” FOR REIMBURSABLE**
9 **UNEMPLOYMENT BENEFITS.**

10
11 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
12 COUNTY, MISSOURI, AS FOLLOWS:

13
14 Section 1: There is hereby appropriated and set apart from the General Revenue Fund of
15 the City of Florissant the sum of \$12,000 to Budget Account No. 4015
16 “Unemployment Claim Reserve” for reimbursable unemployment benefits.

17 Section 2: This ordinance shall become in force and effect immediately upon its
18 passage and approval.

19
20 Adopted this ____ day of _____, 2016.

21
22
23 _____
24 Jackie Pagano
25 President of the Council
26 City of Florissant
27

28
29 Approved this ____ day of _____, 2016.

30
31
32 _____
33 Thomas P. Schneider
34 Mayor, City of Florissant
35

36
37 ATTEST:

38
39 _____
40 Karen Goodwin, MMC/MRCC
41 City Clerk
42

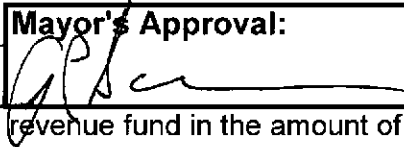
FLORISSANT CITY COUNCIL

AGENDA REQUEST FORM

Date: May 3, 2016

Mayor's Approval:

Agenda Date Requested: May 23, 2016



Description of request: An appropriation from the general revenue fund in the amount of \$12,000 to budget account #4015 Unemployment Claim Reserve for reimbursable unemployment benefits.

The city has received the second of four quarterly invoices from the Missouri Division of Employment Security for reimbursable unemployment benefits. The first invoice was for \$2,534 and the second for \$8,164 yielding a total of \$10,698 in benefits paid. The budget allocation for unemployment benefits is \$15,000 leaving a balance of \$4,302 in the account. There are two claimants who have 4 weeks of coverage remaining at an estimated expense of \$1,830. Two other claimants have 15 and 18 weeks left at the full benefit amount of \$320 per week for an estimated expense of \$10,560. Should these claimants all reach the maximum benefit payout this account would be short by \$8,088 without any benefits paid to other claimants. To prepare for this possibility, I respectfully request an additional \$12,000 be appropriated to cover the projected expense in this account.

Department: Administration

Recommending Board or Commission: N/A

Type of request:

*PM
050316*

Ordinances	X	Other	X
Appropriation	X	Liquor License	
Transfer		Hotel License	
Zoning Amendment		Special Presentations	
Amendment		Resolution	
Special Use Transfer		Proclamation	
Special Use		Subdivision	
Budget Amendment			
	Y/N		Y/N

Public Hearing needed: **Yes / No**

No

3 readings? : **Yes / No**

No

Back up materials attached:		Back up materials needed:	
Minutes		Minutes	
Maps		Maps	
Memo	see above	Memo	see above
Draft Ord.		Draft Ord.	

Note: Please include all attachments necessary for documents to be generated for inclusion on the Agenda. All agenda requests are to be turned in to the City Clerk by 5pm on Tuesday prior to the Council meeting.

For City Clerk Use Only:

Introduced by: _____

PH Speaker: _____

1 INTRODUCED BY COUNCIL AS A WHOLE
2 MAY 9, 2016

3
4 BILL NO. 9189 ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN APPROPRIATION OF \$35,000 FROM**
7 **THE PARK IMPROVEMENT FUND OF THE CITY OF FLORISSANT**
8 **TO ACCOUNT NO. 09-5-09-61470 “CAPITAL ADDITIONS” FOR THE**
9 **PURCHASE OF THE LAND AT 575 ST. CHARLES STREET.**

10
11 WHEREAS, the properties known and numbered as 575 St. Charles Street
12 became available for purchase through a court –monitored public auction; and

13 WHEREAS, the public auction process afforded the City with an opportunity to
14 purchase the properties at a very reasonable price; and

15 WHEREAS, the condition of the buildings on the properties have raised concern
16 about constituting a police nuisance that may negatively affect property values in the city;
17 and

18 WHEREAS, the Mayor and City Council believe that it is in the best interest of
19 the City to acquire the properties for a public purpose.

20
21 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
22 COUNTY, MISSOURI, AS FOLLOWS:

23
24 Section 1: There is hereby appropriated and set apart from the Park Improvement Fund
25 of the City of Florissant the sum of \$35,000 to Budget Account No. 09-5-09-61470 “Capital
26 Additions” for the purchase of the land at 575 St. Charles Street (Shark Property).

27 Section 2: This ordinance shall become in force and effect immediately upon its
28 passage and approval.

29
30 Adopted this _____ day of _____, 2016.

31
32 _____
33 Jackie Pagano
34 President of the Council
35 City of Florissant

36
37 Approved this _____ day of _____, 2016.

38
39
40 _____
41 Thomas P. Schneider
42 Mayor, City of Florissant

43 ATTEST:

44
45 _____
46 Karen Goodwin, MMC/MRCC
47 City Clerk

1 INTRODUCED BY COUNCIL AS A WHOLE
2 MAY 9, 2016

3
4 BILL NO. 9190

ORDINANCE NO.

5
6 **ORDINANCE AUTHORIZING AN APPROPRIATION OF \$25,000 FROM**
7 **THE CAPITAL IMPROVEMENT FUND OF THE CITY OF**
8 **FLORISSANT TO ACCOUNT NO. 03-5-03-61480 “CAPITAL**
9 **ADDITIONS” FOR THE PURCHASE OF THE BUILDINGS AT 575 ST.**
10 **CHARLES ST.**

11
12 WHEREAS, the properties known and numbered as 575 St. Charles Street became
13 available for purchase through a court –monitored public auction; and

14 WHEREAS, the public auction process afforded the City with an opportunity to purchase
15 the properties at a very reasonable price; and

16 WHEREAS, the condition of the buildings on the properties have raised concern about
17 constituting a police nuisance that may negatively affect property values in the city; and

18 WHEREAS, the Mayor and City Council believe that it is in the best interest of the City
19 to acquire the properties for a public purpose.

20
21 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
22 COUNTY, MISSOURI, AS FOLLOWS:

23
24 Section 1: There is hereby appropriated and set apart from the Park Improvement Fund
25 of the City of Florissant the sum of \$25,000 to Budget Account No. 03-5-03-61480 “Capital
26 Additions” for the purchase of the buildings at 575 St. Charles Street (Shark Property).

27 Section 2: This ordinance shall become in force and effect immediately upon its
28 passage and approval.

29
30 Adopted this _____ day of _____, 2016.

31
32 _____
33 Jackie Pagano
34 President of the Council
35 City of Florissant

36
37 Approved this _____ day of _____, 2016.

38
39
40 _____
41 Thomas P. Schneider
42 Mayor, City of Florissant

43 ATTEST:

44
45 _____
46 Karen Goodwin, MMC/MRCC
47 City Clerk

1 INTRODUCED BY COUNCILMAN HENKE

2 MAY 9, 2016

3 BILL NO. 9191

ORDINANCE NO.

4
5
6
7
8

AN ORDINANCE AMENDING CHAPTER 600 OF THE FLORISSANT CITY CODE BY ADDING THE DEFINITION OF BREWPUB AND ASSOCIATED LICENSING FEES.

9 WHEREAS, the City Council recently amended the zoning code to add Brewpubs as a
10 special use; and

11 WHEREAS, a fee and definition need to be added to the liquor code for consistent
12 enforcement; and

13

14 NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF
15 FLORISSANT, MISSOURI, AS FOLLOWS:

16

17 Section 1. Chapter 600, section 600.020 “License Required – Classes of Licenses” of the
18 Code of Ordinances of Florissant, Missouri, is hereby amended by adding the following:

19

20 9. *Brewpubs* - A microbrewery that brews beer for both on and off-premise
21 sale & consumption with an annual production of 10,000 barrels or less.

22

23 Section 2. Chapter 600, section 600.050 “Schedule of License Fees” is hereby amended by
24 adding the following:

25

26 i. Brewpub: \$22.50

27

28 Section 3: This ordinance shall become in full force and effect immediately upon its passage and
29 approval.

30 Adopted this ____ day of _____, 2016.

31

32

Jackie Pagano
President of the Council

33

34

35 Approved this ____ day of _____, 2016.

36

37

Thomas P. Schneider
Mayor, City of Florissant

38

39

ATTEST:

40

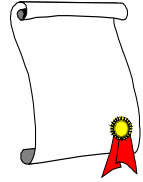
Karen Goodwin, MMC/MRCC
City Clerk

41

42



MEMORANDUM
CITY OF FLORISSANT, MISSOURI
OFFICE OF THE CITY CLERK



TO: Mayor and City Council

FROM: Karen Goodwin, City Clerk

SUBJECT: **Liquor Code amendment – Brewpubs**

Date: **5/6/16**

Bill no. 9191 on the May 9th agenda is an attempt to be consistent with the liquor code and the special use with regard to the recently passed “Brewpub” special use provision.

We would like add the definition of brewpub to the liquor code as well as add a minimal fee that mirrors the State of Missouri fee for a brewpub.

Respectfully submitted.