



FLORISSANT CITY COUNCIL AGENDA

City Hall

955 rue St. Francois

Monday, October 9, 2017

7:30 PM

Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. APPROVAL OF MINUTES

- Meeting minutes and executive minutes of September 25th, 2017

IV. HEARING FROM CITIZENS

(Speaker cards are available at the entrance to the Council Chambers)

V. COMMUNICATIONS

None

VI. PUBLIC HEARINGS

17-10-024	Public Hearing on the proposed Budget for the City of Florissant for the fiscal year beginning on December 1, 2017.	Randy McDaniel
17-10-025 (Ward 1) Application Staff Report Plans	Request to authorize a Special Use Permit to Mullanphy Gardens Acquisitions, LLC d/b/a Spot House Restaurant & Bar to allow for the operation of a restaurant and bar for the property located at 2&3 Mullanphy Gardens Shopping center. (Planning and Zoning recommended approval on 9/18/17)	Ron Hamm

VII. OLD BUSINESS

A. SECOND READINGS

9310 Application Staff Rpt Plans	Ordinance to rezone for Darin Tucker the property located at 22 Floweridge Lane from R-4 Single Family Dwelling District, to R-6 Multiple Family Dwelling District to allow for construction of a duplex. (Recommended Denial)	Eagan
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VIII. NEW BUSINESS

A. BOARD APPOINTMENTS

B. REQUESTS

(Ward 6) Application	Request for a full package liquor license for Save A Lot located at 468 N. Lindbergh.	Anna Vogel
(Ward 4) Application	Request for a Full Package Liquor license for A- Mart and Package Liquor located at 2875 Patterson Rd.	Vipul Bhagat

C. RESOLUTION

999	A resolution urging the St. Louis County Council and St. Louis Board of Aldermen to oppose any and all legislation authorizing a statewide vote regarding or mandating a change in the government structure of St. Louis City and St. Louis County and the municipalities therein.	Council as a whole
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D. BILLS FOR FIRST READING

9313 Application Staff Rpt Plans	Request to issue an amendment to B-5 Ordinance no. 8105 to allow for a retail establishment (Dollar General) for the property located at 15275 New Halls Ferry Road.	Caputa
9314 Application Staff Rpt Plans	Ordinance to authorize a Special Use Permit to Mullanphy Gardens Acquisitions, LLC d/b/a Spot House Restaurant & Bar to allow for the operation of a restaurant and bar for the property located at 2&3 Mullanphy Gardens Shopping center.	Lee
9315 Application	Ordinance authorizing the re-painting of masonry for Kabul V Center Commercial Properties, LLC located at 428 Howdershell.	Eagan
9316	Ordinance amending Chapter 340 “miscellaneous driving rules” by adding a new section 340.105 “golf cart regulations”.	Eagan
9317	Ordinance establishing a separate fund to account for the revenue received from Propositions “S” and “P” and a separate fund to account for the revenue received from Propositions “A” and “R” combined.	Jones
9318	Ordinance Amending Article XVII “Residential Rental Real Estate”	Pagano

IX. COUNCIL ANNOUNCEMENTS

X. MESSAGE FROM THE MAYOR

XI. ADJOURNMENT

THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL OCTOBER 6TH, 2017 AT 12:00 PM ON THE BULLETIN BOARD OUTSIDE THE COUNCIL CHAMBERS. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK'S OFFICE AT 839-7630 OR TDD 839-5142 BY NOON ON MONDAY, OCTOBER 9TH, 2017.

CITY OF FLORISSANT



COUNCIL MINUTES

September 25, 2017

The Florissant City Council met in regular session at Florissant City Hall, 955 rue St. Francois on Monday, September 25, 2017 at 7:30 p.m. with Council President Pagano presiding. The Chair asked everyone in attendance to stand and join in the Pledge of Allegiance.

On Roll Call the following Councilmembers were present: Lee, Jones, Eagan, Caputa, Schildroth, Henke, Pagano, Parson and Siam. Also present was Mayor Thomas P. Schneider, City Attorney John Hessel and City Clerk Karen Goodwin. A quorum being present the Chair stated that the Council Meeting was in session for the transaction of business.

Councilman Parson moved to correct the meeting minutes, line 138, from "Quasi Prince Foundation" to "Kwesi Prince Foundation," seconded by Schildroth. Motion carried. Councilman Lee moved to approve the amended Meeting Minutes and Executive Minutes of September 19, 2017, seconded by Schildroth. Motion carried.

The Chair stated the next item on the agenda was a Proclamation.

A Proclamation was awarded to Dr. Rance Thomas, co-founder and president of North County Churches United for Racial Harmony and Justice, by Mayor Schneider for all Dr. Rance's efforts in coordinating various activities with other civic organizations and promoting racial harmony in North County.

The Chair stated the next item on the agenda was Police Commendations. Chief Tim Lowery and Mayor Schneider awarded commendations to the following officers who went above and beyond in their efforts to keep Florissant a safe community:

- Detective Tim Green
- Detective Chris Easton, Detective Nick Osmer, Detective Josh Smith, Detective Brian Bussen and Detective Dewitt Edwards
- Officer Pat O'Fallon and K-9 Aresh

- Officer Richard Kohnen and Officer Kayla Fels
- Officer Mobin Malik, Detective Joshua Smith and Sgt. Tony Mocca
- Officer Benjamin Bathon
- Officer Alex Keim
- Detective Dustin Edwards
- Officer Pat O'Neil
- Detective Jo Monahan, Detective Brian Bussen and Dispatcher Matt Young

The Chair stated the next item on the agenda was a Certificate of Appreciation.

A Certificate of Appreciation was awarded to Greg Williams for assisting a Florissant Police Office in restraining a suspect.

Councilwoman Pagano moved to amend the Agenda in order for the Mayor to present the "2018 Budget Message," seconded by Henke. Motion carried.

Mayor Schneider gave an overview of the proposed 2018 Budget for the City of Florissant and distributed a copy to the Council. The Mayor presented a balanced budget and stressed that all Prop P funds will be used to improve and support the city's Police Department. He added that the entire budget would be posted on the City's website.

The Chair stated the next item on the agenda was Hearing from Citizens.

Mark Behlmann, 740 Lindsay Lane and longtime carpenter and contractor, expressed his concern about the contractor who was hired by the city for work to be done on the Weber building. Mr. Behlmann thought that the contractor was very disrespectful and rude to the Council and Mayor. He commended the Council on how they handled the situation.

John Engelmeyer, 1281 Graham Rd., stated that he hoped the Budget would be completed accurately and presented with full disclosure. The Council represents the citizens, not the administration, and he hoped they will due diligence. He, too, was shocked by the recent press received by Florissant regarding the changes in personnel. Councilwoman Pagano responded that the reason that the Weber building was not discussed at the recent Ward meeting was because she did not have any new information to present.

The next item on the Agenda was Communications.

Letter, dated September 13, 2017 from Mayor James Paunovich from Calverton Park thanking the Police Department for their assistance to the Calverton Park Police in apprehending a violent offender.

The next item on the Agenda was Public Hearings.

66 The City Clerk reported that Public Hearing #17-09-023 to be held this night on a request to
67 issue an amendment to B-5 Ordinance No. 8105 to allow for a retail establishment (Dollar General) for
68 the property located at 15275 New Halls Ferry Road had been advertised in substantially the same form
69 as appears in the foregoing publication and by posting the property. The Chair declared the Public
70 Hearing to be open and invited those who wished to be heard to come forward.

71 Robert Cissell, petitioner and preferred developer for Dollar General, appeared before the
72 Council and stated that they hoped to build on the middle parcel of the three lots. Once Dollar General
73 has been built, it will facilitate construction by the owner on the other two end lots. He stated that plan
74 changes have been made at the request of the Planning & Zoning Commission which include a concrete
75 approach and upgraded materials. Most Dollar Generals are constructed with ribbed panels with block.
76 The upgrade will include the entire front being brick veneer and wrapping both of the sides. There will
77 be metal panels instead of the ribbed metal panels. They will use a product that is similar to EIFS, but
78 much stronger and not ribbed.

79 In regard to the installation of a fence, Mr. Cissell informed the Council that their middle lot
80 does not abut residential property. Because of the utility lines and setbacks, any fence that they would
81 construct would have to be torn down when the other two end developments went in. The other
82 developments would be responsible for a fence.

83 In response to Councilman Caputa's question regarding why Dollar General did not build the
84 store in all brick as per the City's Masonry Code, Mr. Cissell stated that the return on the investment
85 and estimated sales would not be met "in this area" with full brick construction. He stated that they
86 were aware of other buildings having been constructed in Florissant without full masonry and that was
87 what they were proposing. In certain municipalities/states the size of the building might be smaller, so
88 these buildings might be constructed of brick, although most Dollar General's are not. Mr. Cissell
89 displayed a sample of the proposed brick veneer. Mr. Caputa stated that he would be supporting the
90 City's masonry code for a full brick building.

91 Councilwoman Pagano questioned the petitioner's use of the phrase "not in this area." She felt
92 that Dollar General might very well use all brick in another municipality and questioned why they
93 weren't in Florissant. The petitioner responded that it all had to do with sales.

94 Councilman Parson agreed with Councilwoman Pagano and added that any reason not to use
95 brick construction would have to be very significant in order to disregard the City's the masonry code.
96 Councilman Parson asked the petitioner how much more the project would cost if they abided by the

city's brick ordinance. The petitioner estimated that it would cost another \$75,000 – \$80,000 for full brick veneer.

Councilman Siam stated that there already existed a nearby Dollar General and asked the petitioner if they had taken that into consideration. The petitioner responded yes.

In response to Councilman Lee's question, the petitioner stated that the proposed Dollar General would be a larger Dollar General store because they anticipated more sales. Mr. Cissell stated that he would guess that about 35% of the building will be brick veneer and 65% will be non-masonry. Several Councilmembers also stated they would have a difficult time supporting this proposal.

The Chair asked if there were any citizens who would like to speak on said public hearing.

Paul Stock, Planning and Zoning Chairman, informed the Council that in the current form, Planning & Zoning could not support this building as presented. Mr. Stock stated that there were several things that can be done to lower the cost of the building, but that being said, the Commission was concerned with the consistency with other developments in Florissant that were required to abide by the masonry code.

Phil Lum, Building Commissioner, provided the calculations of the non-masonry portion of the building.

Being no citizens who wished to speak, Councilman Henke moved to close P.H. #17-09-023, seconded by Jones. Motion carried.

Councilman Schildroth moved that Bill No. 9308 An Ordinance authorizing an amendment to Special Permit No. 3472 to allow for an addition of a UPS business for the property located at 1545 S. New Florissant Road be read for a second time, seconded by Siam. Motion carried and Bill No. 9308 was read for a second time. Councilman Schildroth moved that Bill No. 9308 be read for a third time, seconded by Caputa. Motion carried and Bill No. 9308 was read for a third and final time and placed upon its passage. Before the final vote all interested persons were given an opportunity to be heard.

Before the final vote all interested persons were given another opportunity to be heard. On roll call the Council voted: Lee yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes and Siam yes. Whereupon the Chair declared Bill No. 9308 to have passed and said Bill became Ordinance No. 8347.

Councilman Pagano moved that Bill No. 9309 An Ordinance authorizing an appropriation of \$900,000 from the General Revenue Fund to Acct. No. 4050 "Professional Services" to cover expenses

127 from a class action agreement be read for a second time, seconded by Caputa. Motion carried and Bill
128 No. 9309 was read for a second time.

129 Mr. Hessel explained that the funds allocated in this bill resulted from a class action law suit
130 involving the court fees of several municipalities and their lack of specific statutory authority. The City
131 of Florissant was involved only in regards to the “warranty surcharge.” Mr. Hessel stated that this fee,
132 implemented in Florissant in 1965, was a reasonable surcharge and was in no way an attempt to take
133 advantage of anyone within the court process. After considerable discussion with judges, other
134 municipalities and the city council, it was determined that the city would be financially better off
135 settling this case rather than litigating it.

136 Councilwoman Pagano moved that Bill No. 9309 be read for a third time, seconded by Henke.
137 Motion carried and Bill No. 9309 was read for a third and final time and placed upon its passage.

138 Before the final vote all interested persons were given an opportunity to be heard.

139 John Engelmeyer, 1281 Graham Rd., expressed his opinion regarding the lack of responsibility
140 shown by the State Auditor’s Office in regards to this matter.

141 On roll call the Council voted: Lee yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes,
142 Henke yes, Pagano yes, Parson yes and Siam yes. Whereupon the Chair declared Bill No. 9309 to have
143 passed and said Bill became Ordinance No. 8348.

144 The next item on the agenda was Board Appointments of which there were none.

145 Councilman Eagan moved to approve a request for a Beer & Wine by the Drink Liquor License
146 for Happy Nails Sara 2, LLC d/b/a Happy Nails located at 360 N. Hwy 67, seconded by Lee. On roll
147 call the Council voted: Lee yes, Jones yes, Eagan yes, Caputa no, Schildroth yes, Henke yes, Pagano
148 yes, Parson yes and Siam yes. The Chair declared that the liquor license request was approved.

149 Councilman Eagan introduced Bill No. 9310 An Ordinance rezoning for Darin Tucker the
150 property located at 22 Floweridge Lane from R-4 Single Family Dwelling District, to R-6 Multiple
151 Family Dwelling District to allow for construction of a duplex and said Bill was read for the first time
152 by title only.

153 Councilwoman Pagano introduced Bill No. 9311 An Ordinance amending Miscellaneous
154 Revenue Acct. No. 03-40330 in the amount of \$12,396.50 and appropriate \$29,000 from the General
155 Revenue Fund to Acct. No. 03-6149 “Capital Additions” for the replacement of a totaled police
156 vehicle and said Bill was read for the first time. Councilmen Schildroth moved that Bill No. 9311 be
157 read for a second time, seconded by Pagano. Motion carried and Bill No. 9311 was read for a second

time. Councilman Schildroth moved that Bill No. 9311 be read for a third time, seconded by Pagano. On roll call the Council voted: Lee yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes and Siam yes. Having received the unanimous vote of all members present Bill No. 9311 was read for a third and final time and placed upon its passage.

Before the final vote all interested persons were given an opportunity to be heard. On roll call the Council voted: Lee yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes and Siam yes. Whereupon the Chair declared Bill No. 9311 to have passed and said Bill became Ordinance No. 8349.

Councilwoman Pagano introduced Bill No. 9312 An Ordinance transferring \$3,500 from Acct. No. 01-5-06-27000 "Gasoline-Golf" to Acct. No. 01-5-06-3000 "Golf Course Equipment Repairs" for unanticipated equipment repairs for the golf course and said Bill was read for the first time. Councilmen Lee moved that Bill No. 9312 be read for a second time, seconded by Schildroth. Motion carried and Bill No. 9312 was read for a second time. Councilman Lee moved that Bill No. 9312 be read for a third time, seconded by Schildroth. On roll call the Council voted: Lee yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes and Siam yes. Having received the unanimous vote of all members present Bill No. 9312 was read for a third and final time and placed upon its passage.

Before the final vote all interested persons were given an opportunity to be heard.

John Engelmeyer, 1281 Graham Rd., stated that he appreciated the fact that the explanation provided was thorough and he supported the bill.

On roll call the Council voted: Lee yes, Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Parson yes and Siam yes. Whereupon the Chair declared Bill No. 9312 to have passed and said Bill became Ordinance No. 8350.

The next item on the Agenda was Council Announcements.

Councilman Schildroth informed the residents that the 20th Annual Fall Festival will be held on Sunday, October 8th in Old Town. The Knights of Columbus Annual Tootsie Roll collection will be held at several Florissant locations and he encouraged residents to be supportive.

Councilman Henke announced that the Old Town Partners "Wednesday Night Out" will be held at Hendel's this upcoming Wednesday evening.

Councilman Jones thanked the residents who called him with concerns regarding the city's upcoming budget. Also he encouraged residents to volunteer/donate to the T.E.A.M. Food Pantry.

Councilman Eagan reminded everyone of the upcoming Food Truck Night on Friday, October 13th at the Knights of Columbus grounds. October 21st is the Race to the Shrine in Old Town.

Councilman Caputa stated October is Emergency Preparedness Month and he encouraged residents to go to St. Louis County's website regarding procedures to implement during times of disasters. Also, he encouraged residents to secure their firearms and not leave them in their vehicles. He added that there had been a very good turnout at the recent Neighborhood Watch Meeting.

Councilman Lee informed the residents about the upcoming combined ward meeting for Wards 1, 3, and 4 to be held next Wednesday, October 11th at 7 p.m.

The next item on the Agenda was Mayor Announcements.

The Mayor stated that before the "Wednesday Night Out" festivities begin, there will be a plaque dedication on the Walk of History to Gretchen Crank, Historic Florissant Inc. president. On October 6th, KMOV TV, Great Day St. Louis, will be hosting their show from the front of City Hall. The Missouri Transportation Task Force will hold their next meeting at Meramec Jr. College at 1 pm. on Oct. 18th.

The next City Council Meeting was scheduled for Monday, October 9, 2017 at 7:30 pm.

Councilman Schildroth moved to adjourn the meeting, seconded by Henke. Motion carried. The meeting was adjourned at 9:00 p.m.

Karen Goodwin, City Clerk

The following Bills were signed by the Mayor:

Bill No. 9308	Ord. 8347
Bill No. 9309	Ord. 8348
Bill No. 9311	Ord. 8349
Bill No. 9312	Ord. 8350

CITY OF FLORISSANT
CITY COUNCIL

OPEN EXECUTIVE SESSION

September 25th, 2017



The City Council of the City of Florissant met in open Executive Session on Monday, September 25th, 2017 at 6:30 pm. in the Council Conference Room at the Florissant City Hall, 955 rue St. Francois, with Council President Jackie Pagano presiding. On Roll Call the following Council members were present: Caputa, Schildroth, Henke, Pagano, Parson, Siam, Lee, Jones and Eagan. Also present was Mayor Schneider, City Clerk Karen Goodwin and City Attorney John Hessel, Finance Director Randy McDaniel, Building Commissioner Phil Lum and City Planner Aaron Tossey.

Councilwoman Pagano stated that the first item on the agenda was the discussion of Proposition P. Councilman Lee stated that he wants to be accountable to the public who voted for the Proposition P tax. He asked if the plan was to report the revenue and expenses the way that the Proposition S for streets is reported.

Councilman Jones stated that he bragged at the MML Conference that the Proposition P money was only going to the police department.

Councilman Caputa stated that he agrees with Mrs. Lee and Jones and feels that a separate fund needs to be set up for Proposition P.

Councilman Parson stated that he is not sure if he has enough information to require a separate fund until he has been through the budget process.

Mr. McDaniel stated that as of now the Proposition P money is in the General Fund. Proposition P as well as Proposition S were passed as general purpose sales taxes so a separate fund is not required by state statute.

Councilman Henke stated that there would be more accountability if the Proposition funds were in a separate fund.

Mr. McDaniel gave an example of why separating the funds would make things difficult. He referred to the pay increases for the police; the base pay is out of the general fund and the increase would be out of the Proposition P fund.

Mayor Schneider stated that he does not appreciate the criticism of the administration with regard to Proposition P. He worked very hard to promote this proposition.

Councilman Lee suggested the funds could be transferred from the fund to the general fund for appropriate expenses.

Mr. McDaniel stated that the council would need to pass an ordinance to require the Proposition P funds to be in a separate fund.

Councilman Lee asked how the Proposition P funds would be reported in the monthly reports if it were not placed in a separate fund.

Councilwoman Pagano said that Mr. McDaniel referred to consequences and asked him to explain. Mr. McDaniel stated that the city faces many financial consequences that he would prefer to discuss in more detail at the budget meetings.

Councilwoman Pagano stated she was in support of putting the Proposition P funds in a separate fund.

Councilman Eagan asked why Mr. McDaniel did not fight when the council separated the Proposition S funds. Mr. McDaniel answered that he was not consulted.

Councilwoman Pagano asked if the budget detail and line items would be included in the budget. Mr. McDaniel answered that there is an attachment to the budget that more clearly presents the staffing numbers.

Councilman Schildroth stated that he is proud of the work they did to pass Proposition S and he likes the way it is set up in a different fund. He feels they owe it to the residents to be able to account for where the money is spent.

Councilman Lee asked if the attachment is available to the public. He also stated that he has compared Florissant's budget to other cities and would like to see more detail in the budget.

Councilman Henke stated that the council will review the budget and do the right thing.

Councilman Jones stated that he attended a class at the MML Conference and feels that the budget format is not productive.

Building Code Updates

Mr. Lum explained the need for the update to the building codes and presented a copy of the proposed changes.

Councilwoman Pagano asked Mr. Hessel to explain the difference between a fee for service and a tax. Mr. Hessel stated that fees for service can be charged if the resident receives something for the fee. A tax is something that you have to pay but receive no direct service.

Aaron Tossey stated that they researched other cities and their fees to determine what they would recommend to the Council. Mr. Tossey reviewed the proposed bill that included the building code and references to the International Building Code. He highlighted some of the proposed changes to the code.

Councilman Lee asked about basing the fees on actual cost.

Councilman Eagan asked for a blacklined copy for reference so they could see the changes.

There being no further business to discuss, Councilwoman Pagano motioned to adjourn, seconded by Eagan. Motion carried and the meeting adjourned at 7:22 pm.

Karen Goodwin
City Clerk

CITY OF FLORISSANT



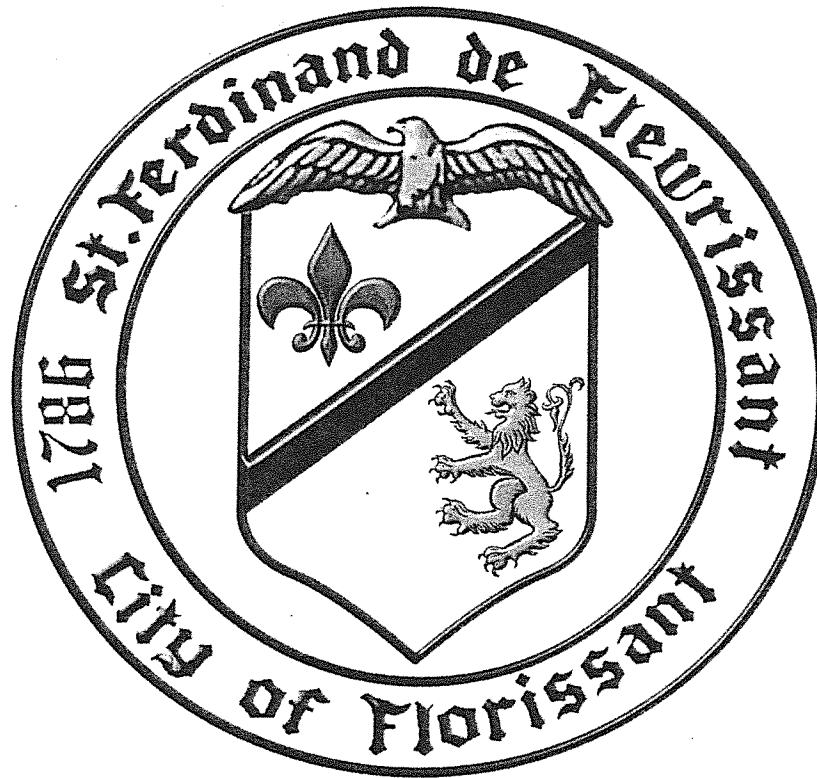
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN THAT THE CITY COUNCIL OF THE CITY OF FLORISSANT WILL HOLD A PUBLIC HEARING ON THE PROPOSED BUDGET FOR THE CITY OF FLORISSANT INCLUDING THE GENERAL REVENUE FUND, CAPITAL IMPROVEMENT FUND, PARK IMPROVEMENT FUND, STREET FUND, SEWER LATERAL FUND, PROPERTY REVITALIZATION FUND, AND COURT BUILDING FUND FOR THE FISCAL YEAR BEGINNING DECEMBER 1, 2017 IN THE COUNCIL CHAMBERS, 955 RUE ST. FRANCOIS, ON MONDAY, OCTOBER 9, 2017 AT 7:30 P.M.

ALL INTERESTED PERSONS ARE INVITED TO ATTEND THE PUBLIC HEARING AND MAY PRESENT THEIR VIEWS CONCERNING THE PROPOSED BUDGET. ANYONE WITH SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK AT LEAST 5 DAYS BEFORE SAID PUBLIC HEARING BY CALLING 839-7630 OR TDD 839-5142.

**BY ORDER OF THE CITY COUNCIL OF THE CITY OF FLORISSANT.
KAREN GOODWIN, MMC, CITY CLERK**

City of Florissant, Missouri



2018

Proposed Budget

(Amended September 28, 2017)

955 rue St. Francois
Florissant, Missouri 63031
314-921-5700
www.florissantmo.com



CITY OF FLORISSANT

Honorable Thomas P. Schneider, Mayor

September 28, 2017

Honorable Mayor Schneider, Council President Pagano and members of the City Council:

Submitted herewith is the fiscal year 2018 proposed budget for the City of Florissant. The proposed budget presents a budgetary framework outlining projected revenues and expenditures necessary to provide the programs and services recommended by the Mayor. The proposed budget is not designed to establish budgetary policy nor to establish departmental goals and objectives. Those issues are best discussed and refined in forums apart from the budget document. Once the proposed budget is delivered to the City Council by the Mayor it becomes the responsibility of the City Council to review the proposed budget and make any changes and adjustments they feel would best meet their vision for the City as a duly elected legislative body.

The proposed budget complies in all material respects with applicable City and state statutes governing the City's budget, including Article VI, Section 6.6 of the Florissant Charter, Article VI, Section 24 of the Missouri State Constitution and Title VI, Chapter 67 of the Revised Statutes of Missouri and complies with generally accepted accounting practices for municipal budgeting. The proposed budget is a balanced budget wherein the proposed expenditures for each fund do not exceed the estimated revenue plus estimated beginning fund balance.

The City utilizes governmental fund accounting to organize City finances and the budget is presented in that format. In fund accounting, City finances are divided into subsets or "funds," each with its own self-balancing set of accounts which reflect estimated revenues, expenditures and fund balances. Each fund has a designated purpose and associated revenue sources. The proposed budget provides a one year budgetary plan for the following funds:

- General Fund (01): This is the general operating fund of the City. It is used to account for all financial resources of the City except those which are restricted and required to be accounted for in another fund. The general fund includes the following departments; legislative, administration, senior services, media, municipal court, information technology, housing, culture and recreation, public safety, public works, and health.
- Capital Improvement Fund (03): This fund is used to account for the acquisition, improvement and maintenance of capital assets. The ½% capital improvement sales tax, a restricted revenue source, is specifically set aside for this fund.

CITY HALL	POLICE DEPARTMENT	PARKS DEPARTMENT	HEALTH DEPARTMENT	MUNICIPAL COURT
955 Rue St. Francois Florissant, MO 63031 314 / 921-5700 Fax: 314 / 921-7111 TDD: 314 / 839-5142	1700 North Highway 67 Florissant, MO 63033 314 / 831-7000 Fax: 314 / 830-6045	#1 James J. Eagan Drive Florissant, MO 63033 314 / 921-4466 Fax: 314 / 839-7672	#1 St. Ferdinand Drive Florissant, MO 63031 314 / 839-7654 Fax: 314 / 839-7656	1055 Rue St. Francois Florissant, MO 63031 314 / 921-3322 Fax: 314 / 839-7663

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- Park Improvement Fund (09): This fund is used to account for the acquisition, improvement and maintenance of property, building and assets throughout the City's parks and park facilities. The ½% park improvement sales tax, a restricted revenue source, is specifically set aside for this fund.
- Street Fund (08): This fund is used to account for proceeds from the ¼% general purpose sales tax approved by the voters on November 3, 2015. Proceeds are to be used specifically and exclusively for street replacement, repairs and maintenance.
- Sewer Lateral Fund (04): This fund is used to account for special assessments utilized for the maintenance of residential sewer lateral lines within the City. A voter approved special assessment not to exceed \$50 per covered property per year is specifically set aside for this fund. The assessment rate reflected in the 2017 budget is \$28 per covered property.
- Property Revitalization Fund (10): This fund is used to account for the Property Acquisition Program which allows the City to accept assignment of certain properties within the City limits that are delinquent in real estate property taxes and have been offered for sale by the St. Louis County Collector of Revenue at least three times and the property was not sold. The City will take title to the properties and seek to find buyers that will bring the properties into compliance with minimum housing standards.
- Court Building Fund (14): This fund is used to account for the acquisition of the municipal court building. The General fund advanced \$1,170,000 to the court building fund to facilitate the purchase of the former Dick Weber Lanes building at 4575 Washington to be used as a municipal court building. The advance will be repaid in semi-annual principal and interest payments from court cost revenues as authorized under RSMo 488.2245.
- Police Fund (xx): This fund will be used to account for funds to be received from the half-cent countywide sales tax as authorized under RSMo 67.547 and approved by the voters at the April 2017 election. Funds will be used to improve police and public safety in the City of Florissant.

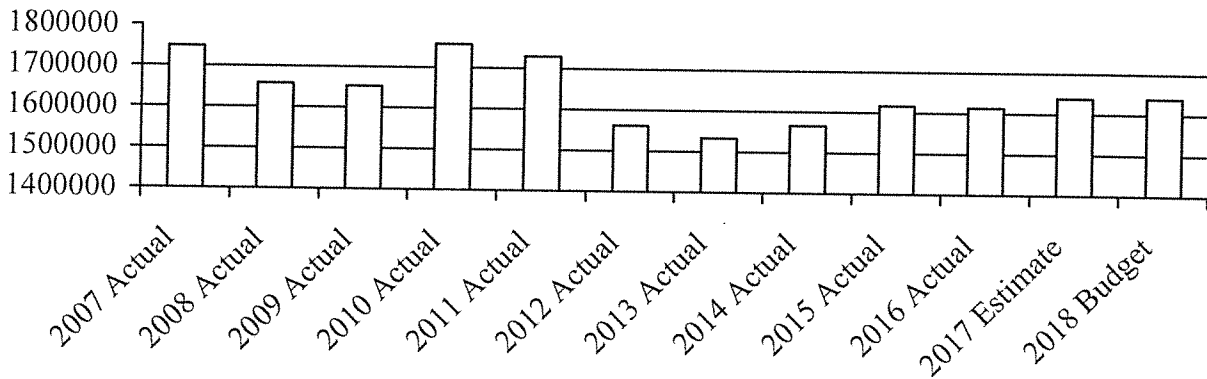
Revenues Highlights

Three sources of tax revenue, the gasoline tax, sales tax and utility tax, account for 63.9% of all revenue budgeted in the general fund. These three revenue sources plus the capital, park, street, and police sales taxes account for 69.1% of revenue budgeted for all funds combined. Total proposed revenue for the 2018 fiscal year is \$23,982,602 for the general fund, \$3,623,828 for the capital improvement fund, \$4,026,000 for the park improvement fund, \$3,411,608 for the street fund, \$514,000 for the sewer lateral fund, \$132,000 for the court building fund, and \$2,600,000 for the police fund for a combined total of \$38,290,038. General fund budgeted revenue is up \$1,149,522 or 5.0% from 2017. Capital improvement fund budgeted revenue is down \$340,786 from 2017 with sales tax revenue up \$50,000 and grant revenue down \$390,786. Park improvement fund budgeted revenue is down \$5,400. Street fund revenue is budgeted at \$3,411,608

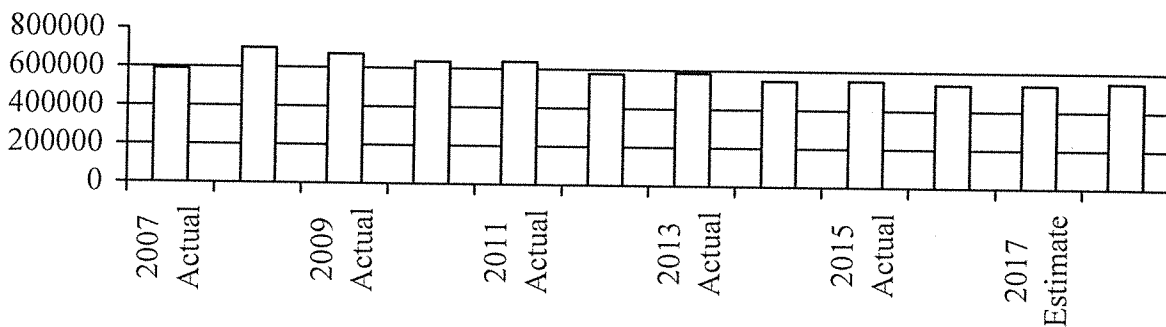
which includes \$1,550,000 in sales tax and \$1,861,608 in grant revenue. Police fund revenue is budgeted at \$2,600,000.

Highlights for selected revenue sources are as follows:

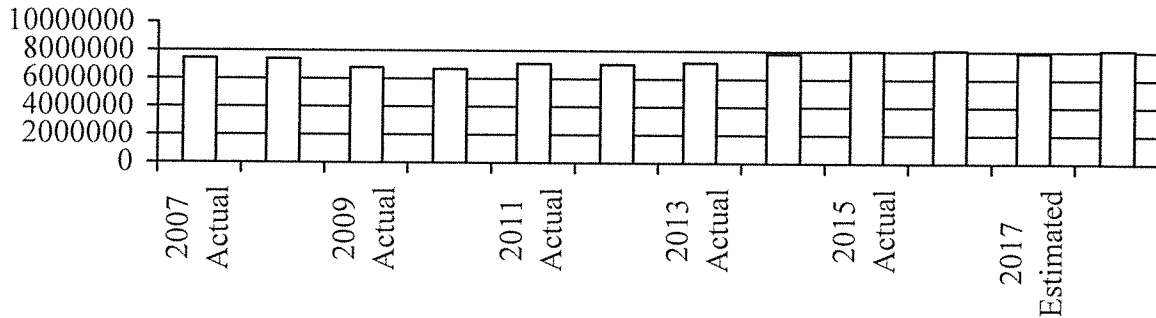
- **Gasoline Tax (Motor Vehicle Fuel Tax and Motor Vehicle Fee Increases):** The gasoline tax budget of \$1,640,000 is up \$15,000 from the 2017 budget and represents 6.8% of total general fund budgeted revenues. The following chart shows that gasoline tax revenues peaked in 2010. In 2012 the new census numbers were implemented which resulted in a revenue drop of \$170,000. Revenues have been slowly recovering since that time. Projections for 2018 reflect slight continued improvement.



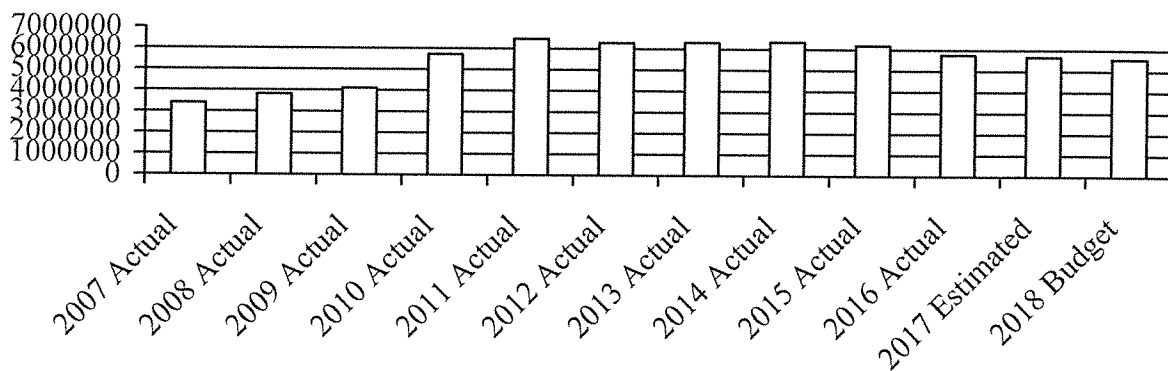
- **Road and Bridge Tax:** The road and bridge tax budget of \$550,000 is unchanged from the 2017 budget and represents 2.3% of general fund budgeted revenues. Road and bridge tax receipts closely follow the rise and fall of the city's overall assessed value which peaked in 2007. The following chart follows the history of road and bridge tax collections since 2007.



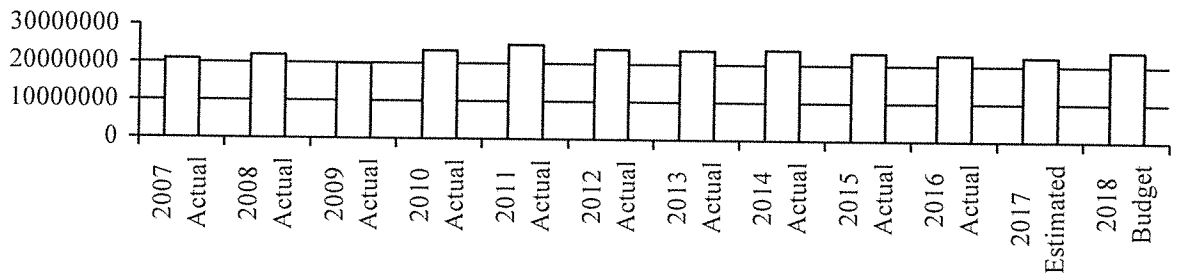
- **Sales Tax:** The proposed sales tax budget of \$8,100,000 is unchanged from the 2017 budget and represents 33.8% of the proposed general fund revenue budget. A change to the distribution formula for the countywide sales tax pool is estimated to divert \$175,000 from the city for the nine months of the 2017 fiscal year it was place. The following chart shows the recent history of the sales tax.



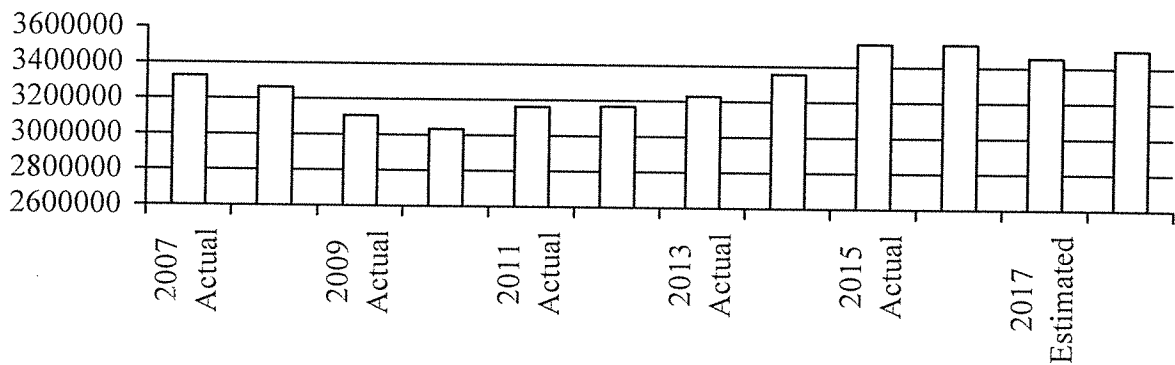
- **Utility Tax:** The utility tax budget of \$5,575,000 is down \$225,000 from the 2017 budget and represents 23.2% of general fund proposed revenues. The following chart shows the recent history of the utility tax. The significant increase in receipts between 2009 and 2010 is due to an increase in the underlying tax rate from 5% to 7%. Receipts fluctuated in the \$6,300,000 to \$6,400,000 range between 2011 and 2014. However, during this time the telephone utility license tax was steadily declining. In 2012 telephone receipts were down \$80,850, followed by a drop of \$134,823 in 2013, \$132,184 in 2014, \$210,133 in 2015, and \$104,438 in 2016. 2017 looks to continue this trend with receipts projected to decline \$188,000. This decline of over \$850,000 per year in annual revenue is having a significant impact on utility tax collections.



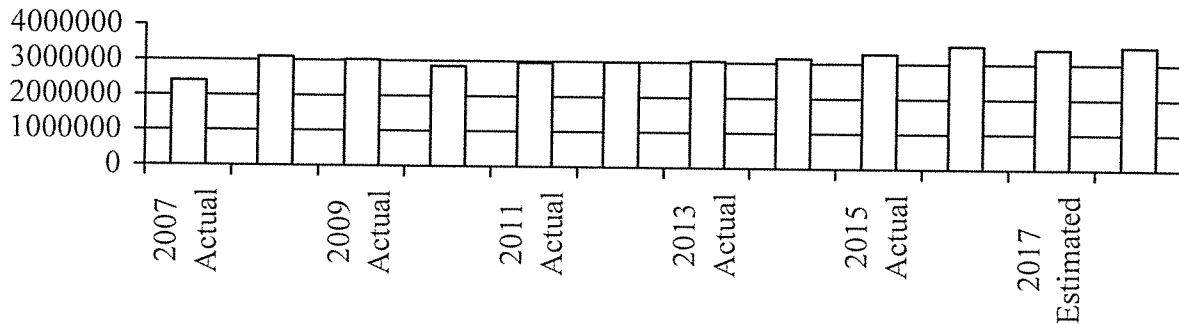
- **Total General Fund Revenue:** Total general fund revenue of \$23,982,602 is up \$1,149,522 from the 2017 budget. Without the administrative cross charge of \$1,638,302 from the police fund, general fund revenue would be down \$488,780. The following chart shows the recent history of total general fund revenues. Between 2009 and 2011 there was some revenue growth primarily due to the increase in the utility tax rate but since that time revenue has been relatively flat or declining.



- **1/2% Capital Improvement Sales Tax:** The capital improvement sales tax budget of \$3,500,000 is up \$50,000 from the 2017 budget. Actual revenue for 2017 is projected to finish at \$3,454,000. The proposed budget of \$3,500,000 reflects some growth from 2017 but is still less than actual receipts in 2015 and 2016. The following chart shows the history of sales tax receipts going back to 2007.



- **1/2% Park Improvement Sales Tax:** The park improvement sales tax revenue budget of \$3,500,000 is unchanged from the 2017 budget. The following chart shows that tax revenues had been slowly and steadily increasing since 2010 but will fall back slightly in 2017. The addition of the new Wal-Mart retail development at the corner of New Halls Ferry and Lindbergh has had a significant impact on Park Improvement sales tax receipts. This sales tax is the City's only sales tax received on a point-of-sale basis.



Expenditures Highlights

Expenditure highlights include the following:

- **Wages and Benefits:** \$15,462,263 of the general fund budget has been allocated for wages and \$5,563,804 for employee benefits for a combined total of \$21,025,067. Benefits include social security, pension, medical insurance, dental insurance, long-term disability, and life insurance. An additional \$1,016,594 has been allocated for wages and \$403,817 for benefits in the park improvement fund for a total of \$1,420,411. Total wages and benefits for all funds combined is \$22,445,478.
- **Medical Premiums:** The City pays 100% of employee medical premiums and 25% of dependent medical premiums. The budget reflects an increase of 5% for medical premiums which will take premiums to \$723.65 per month per employee (\$8,683.80 annually) and \$718.42 per month for dependent coverage. The City will pay 25% or \$179.61 per month per employee (\$2,155.32 annually) for those employees electing dependent coverage leaving the employee to pay \$538.81 per month (\$6,465.72 annually) for dependent medical coverage. The total budget allocation for medical premiums is \$2,183,986.
- **Insurance Coverages:** \$943,300 has been allocated for insurance coverage's other than medical insurance in the all funds combined. Coverages include general liability, automobile liability, employment practices liability, errors and omissions liability, law enforcement liability, property and inland marine, workers compensation, flood, accident and sickness, professional liability, and pollution liability.
- **Certificates of Participation Bonds:** In 2011 the City re-financed the 2003 Certificates of Participation bonds to take advantage of historically low interest rates. The issue included \$1.5 million in new money to provide funding for HVAC improvements to City buildings, improvements to the aquatic center and upgrades to the bandstand in St. Ferdinand Park. \$44,000 is allocated in the capital improvement fund and \$543,000 is allocated in the park improvement fund for a total of \$587,000 to cover principal, interest and fee payments. The remaining debt service schedule for this issue is as follows:

For the years Ended Nov. 30	Annual Debt Service			Allocation by Fund	
	Principal	Interest	Total	Capital	Park
	<u>Imp. Fund</u>	<u>Imp. Fund</u>			
2018	500,000.00	76,062.50	576,062.50	38,575.00	537,487.50
2019	500,000.00	64,812.50	564,812.50	32,900.00	531,912.50
2020	525,000.00	49,812.50	574,812.50	37,150.00	537,662.50
2021	535,000.00	34,062.50	569,062.50	31,250.00	537,812.50
2022	<u>555,000.00</u>	<u>17,343.76</u>	<u>572,343.76</u>	<u>180,468.76</u>	<u>391,875.00</u>
Total	2,615,000.00	242,093.76	2,857,093.76	320,343.76	2,536,750.00

- Special Obligation Bonds: In 2016 the City issued \$8,030,000 in Special Obligation bonds to finance HVAC upgrades to the James J. Eagan Civic Center and renovation of the municipal court building. \$355,000 is allocated in the capital improvement fund and \$339,000 is allocated in the park improvement fund for a total of \$694,000 to cover principal, interest and fee payments. The remaining debt service schedule for this issue is as follows:

For the years Ended Nov. 30	Annual Debt Service			Allocation by Fund	
	<u>Principal</u>	<u>Interest</u>	<u>Total</u>	<u>Capital Imp. Fund</u>	<u>Park Imp. Fund</u>
2018	440,000.00	247,793.76	687,793.76	351,837.50	335,956.26
2019	455,000.00	234,593.76	689,593.76	355,087.50	334,506.26
2020	470,000.00	220,943.76	690,943.76	353,037.50	337,906.26
2021	480,000.00	206,843.76	686,843.76	350,837.50	336,006.26
2022	495,000.00	192,443.76	687,443.76	353,487.50	333,956.26
2023	510,000.00	177,593.76	687,593.76	350,837.50	336,756.26
2024	525,000.00	162,293.76	687,293.76	353,037.50	334,256.26
2025	540,000.00	146,543.76	686,543.76	349,937.50	336,606.26
2026	560,000.00	128,993.76	688,993.76	351,000.00	337,993.76
2027	575,000.00	110,793.76	685,793.76	351,737.50	334,056.26
2028	595,000.00	90,668.76	685,668.76	351,412.50	334,256.26
2029	615,000.00	69,843.76	684,843.76	350,737.50	334,106.26
2030	645,000.00	48,318.76	693,318.76	354,712.50	338,606.26
2031	<u>665,000.00</u>	<u>24,937.50</u>	<u>689,937.50</u>	<u>352,750.00</u>	<u>337,187.50</u>
Total	7,570,000.00	2,062,606.38	9,632,606.38	4,930,450.00	4,702,156.38

- Police Department Budget: \$13,553,887 is allocated for the police department in the general fund. An additional \$409,000 is allocated in the capital improvement fund and \$544,000 in the police fund for capital additions for a total of \$953,000. \$11,545,937 is allocated in the police budget for wages and benefits.
- Streets, Bridges and Sidewalks: \$5,727,010 has been allocated for street, road, bridge, and sidewalk repairs. This includes \$5,527,010 for street contracts, \$150,000 for sidewalk repairs and \$50,000 for bridge repair and maintenance. Of this total, \$2,327,010 is for grant projects for which the city will receive \$1,861,608 in grant reimbursements.
- Sewer Lateral Fund: The sewer lateral fund assessment remains at \$28 per covered property and is expected to generate \$510,000 in revenue.
- Capital Additions: \$2,240,300 has been allocated for capital additions. This includes \$953,000 for the Police department and \$1,087,500 for the Park department.

Personnel

On July 14, 2014 the City Council adopted Ordinance #8059 which provided a new wage schedule for all full-time employees. All full-time employees are eligible, subject to a positive merit review, to advance to the next step within their pay grade on the anniversary of their date-of-hire. Each step represents an increase of 2.0%.

On May 9, 2017 the City Council adopted Ordinance #8318 which provided a new wage schedule for uniformed (police) employees only. All full-time uniformed employees are eligible, subject to a positive merit review, to advance to the next step within their pay grade on the anniversary of their date-of-hire or most recent promotion date. Each step represents an increase of 3.0%. The effective date of this new wage schedule is December 1, 2017.

The proposed 2018 budget includes a merit step increase for each eligible full-time employee as of their date-of-hire. No increase is proposed for part-time positions. Those employees currently at the top step within their pay grade will not receive any additional increase. As of December 1, 2017 there will be 40 non-uniformed employees in steps 11 – 15, 38 in steps 6 – 10 and 45 in steps 1 – 5. 20 non-uniformed employees will be at step 15, the top of their scale. No uniformed employees will be at the top of their scale.

The following table provides information on wage adjustments for full-time positions over the past ten years.

Year	Percent	Description
2009	0.0%	3% one-time lump sum pay adjustment.
2010	-3.0%	Across-the-board wage reduction for full-time and part-time
2011	2.0%	Wage increase on date-of-hire. New pay plan adopted.
2012	0.0%	No wage increase.
2013	2.0%/1%	2% across-the-board increase on 12/01/12 for all full-time and part-time employees. Additional 1% increase on anniversary of date-of-hire for all full-time employees.
2014	0.0%/1.0%	No wage increase initially given. New pay plan adopted July 14, 2014. 1% across-the-board increase effective 07/14/14.
2015	2.0%	Eligible employees receive a 2% merit increase effective on their date-of-hire.
2016	2.0%	Eligible employees receive a 2% merit increase effective on their date-of-hire.
2017	2.0%	Eligible employees receive a 2% merit increase effective on their date-of-hire.
2018	2.0%/3.0%	Eligible non-uniformed employees receive a 2% merit increase effective on their date-of-hire. Uniformed employees transition to a new pay schedule on December 1, 2017 with increases ranging from 8% to 13%. New plan includes eligibility for a 3% merit increase effective on their date-of-hire.

The following table provides information on staffing levels for the past ten years for full-time positions.

	<u>2009</u>	<u>2010</u>	<u>2011</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>
Information Technology	2	2	2	2	2	2	2	2	2	2.5
Housing Center	1	1	1	1	1	1	1	1	1	1
Senior Services	2	2	2	2	2	2	2	2	2	2
Administration	16	16	16	16	16	16	16	17	17	16
Court	5	5	6	6	6	6	6	6	6	5
Prosecutors	0	0	0	0	0	0	0	0	0	1
Health	8	8	7	7	7	7	9	9	9	0
Theater	3	3	3	3	3	3	3	3	3	3
Centers	13	13	11	11	12	12	12	12	12	12
Parks	4	0	0	3	3	3	3	3	3	3
Golf Course	5	0	0	0	0	6	6	3	4	4
Public Works	39	38	40	40	40	41	45	45	46	48
Police	112	112	114	111	111	111	111	111	112	118.5
Media	2	2	2	2	2	2	2	2	2	2
Park Imp.	16	20	20	17	17	17	17	17	17	17
Sewer Lateral	<u>4</u>	<u>4</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>
	231	225	224	221	222	229	235	233	236	235

Summary

The 2018 proposed budget provides a reasonable and responsible spending plan designed to continue the high level of programs and services to the residents of the City of Florissant as well as addressing specific needs and issues facing the city over the course of the next fiscal year. Every effort has been made to present the budget in an easily understood, clear and concise format.

Respectfully submitted,

RJ McDaniel

Randal J. McDaniel
Director of Finance

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

FUND SUMMARIES

	<u>Page</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
General Fund - 01				
Revenues	2	22,921,992	22,833,080	23,982,602
Expenditures				
Information Technology	4	370,507	380,563	389,050
Housing Resource Center	7	41,731	60,302	59,252
Legislative	9	151,863	160,535	162,647
Senior Services	11	165,414	198,285	212,851
Administrative	16	3,053,883	3,043,351	2,355,609
Municipal Court	21	642,473	705,182	499,866
Prosecuting Attorney	23	0	0	207,051
Health	25	786,176	927,530	0
Recreation-Theater	28	325,501	441,291	437,715
Recreation-Centers	31	1,783,378	1,974,434	1,870,538
Recreation-Playground	34	133,975	151,951	151,951
Recreation-Bangert	36	179,588	195,498	218,485
Recreation-Koch Aquatic	36	235,443	251,949	0
Recreation-Parks	39	520,984	496,906	513,418
Recreation-Golf Course	41	736,067	837,836	852,813
Public Works	45	4,130,910	3,895,362	4,423,453
Police	51	10,271,309	11,174,952	13,553,887
Media	70	<u>189,039</u>	<u>205,179</u>	<u>214,799</u>
Total General Fund Expenditures		23,718,241	25,101,106	26,123,385
Capital Improvement Fund - 03	72	3,605,732	5,353,020	3,812,485
Park Improvement Fund - 09	80	3,024,679	4,623,055	4,274,161
Street Fund - 08	91	0	1,700,000	4,027,010
Sewer Lateral Fund - 04	93	645,860	671,450	666,100
Property Revitalization Fund - 10	96	2,684	30,000	30,000
Court Building Fund - 14	98	69,825	132,000	132,000
Police Fund - XX	100	0	0	2,182,302
Total - All Funds		31,067,021	37,610,631	41,247,443
Expenditure Forecast	102	Estimate of future expenditures and personnel.		

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

01 - GENERAL FUND - REVENUES

	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
<u>TAXES</u>			
Cigarette	148,660	145,000	135,000
Gasoline	1,614,151	1,625,000	1,640,000
Road & Bridge Taxes	536,467	550,000	550,000
Sales Tax	8,095,500	8,100,000	8,100,000
Utility Tax	<u>5,772,997</u>	<u>5,800,000</u>	<u>5,575,000</u>
Total Taxes	16,167,775	16,220,000	16,000,000
<u>LICENSES</u>			
Business	825,165	1,100,000	1,150,000
Liquor & Other Licenses	<u>52,204</u>	<u>50,000</u>	<u>50,000</u>
Total Licenses	877,369	1,150,000	1,200,000
<u>PERMITS</u>			
Building	298,610	250,000	265,000
Minimum Housing	254,276	240,000	250,000
Signs & Other Permits	<u>42,225</u>	<u>40,000</u>	<u>40,000</u>
Total Permits	595,111	530,000	555,000
<u>RECREATION</u>			
Green Fees	213,808	230,000	235,000
Cart Fees	200,861	190,000	200,000
Pro Shop Sales	39,880	45,000	50,000
Concession Sales and Fees	104,394	100,000	120,000
Other Miscellaneous	<u>10,206</u>	<u>10,000</u>	<u>10,000</u>
Total Golf	569,149	575,000	615,000

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

01 - GENERAL FUND - REVENUES

	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
<u>RECREATION (CONTINUED)</u>			
Rentals-Nature Lodge/Gym	25,004	25,000	25,000
Center Activity	299,923	300,000	280,000
Rink	64,228	60,000	60,000
Outdoor Pool Receipts	134,077	130,000	85,000
Miscellaneous J.J.E.	165,180	160,000	196,000
Playground Program	83,111	87,300	107,300
Theater	97,331	160,000	160,000
Concession Sales	<u>57,738</u>	<u>70,000</u>	<u>50,000</u>
Total Recreation	<u>926,592</u>	<u>992,300</u>	<u>963,300</u>
Total Golf & Recreation	1,495,741	1,567,300	1,578,300
 <u>MISCELLANEOUS</u>			
Interest Income	78,489	60,000	40,000
Municipal Court	1,321,390	1,400,000	1,100,000
Other Miscellaneous	1,292,541	809,000	2,538,302
Cable TV	723,020	725,000	625,000
Senior Citizen Luncheon	24,707	25,000	46,000
Grants & Reimbursement	<u>345,849</u>	<u>346,780</u>	<u>300,000</u>
Total Miscellaneous	3,785,996	3,365,780	4,649,302
Total Budgeted Revenue	22,921,992	22,833,080	23,982,602
Less Total Budgeted Expenditure			<u>(26,123,385)</u>
Equal Revenue Over/(Under) Expenditure			(2,140,783)
Plus Estimated Beginning Fund Balance			<u>8,238,064</u>
Equal Estimated Ending Fund Balance			6,097,281

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

INFORMATION TECHNOLOGY DEPARTMENT

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
3610-Salaries	92,178	94,116	138,519
3613-Employees' Benefits	38,815	42,247	59,331
3621-Uniforms	300	300	300
3624-Telephone	145,742	140,000	76,000
3632-Office Supplies & Maint.	12,896	17,000	19,500
3633-Materials & Supplies	10,053	11,500	11,500
3642-Dues, Travel, Training	4,376	5,200	5,200
3650-Professional Services	<u>66,147</u>	<u>70,200</u>	<u>78,700</u>
Total	370,507	380,563	389,050

PERSONNEL SERVICES

Full-time	94,116	138,519
Part-time	0	0
Overtime	0	<u>0</u>
Total Personnel Services	94,116	138,519

PERSONNEL SCHEDULE

IT Director	0.50
IT Manager	1.00
IT System Support Technician	<u>1.00</u>
Total	2.50

Full-time 2.50

Total Personnel 2.50

Full-time Equivalent (Part-time) 0.00

Information Technology Department Budget: 2017

2017 2018

Account 3610 - Salaries		
Full-time Employees		
IT Director (wages split with Police Department budget)	0.0	0.5
Information Technology Manager	1.0	1.0
IT System Support Technician	<u>1.0</u>	<u>1.0</u>
Total full-time employees	2.0	2.5

Account 3621 - Uniforms	300	300
Clothing Allowance	300	300

Account 3624 - Telephone	Total	140,000	76,000
Telephone service for all City facilities including both local and long distance calling and mobile tablet devices (increase for new court location)			
		60,000	35,000
Lease and maintenance costs for the City's Inter-Tel telephone system			
		38,000	19,000
Cellular telephone service			
		32,000	17,000
Purchase of IP phones			
		10,000	5,000

Account 3632 - Office Supplies	Total	17,000	19,500
Miscellaneous Office Supplies and Software			
		2,500	2,500
Software Renewal:			
Anti-Virus Protection		2,400	2,800
Jatheon Email Mail Archiving		2,500	2,500
Baracuda Web Filter		1,200	1,200
Baracuda Spam Filter		1,200	1,200
Malwarebytes		3,200	2,800
E-Gov Website/Citizen Resource Management Support		4,000	4,000
KnowBe4 security training software		0	2,500

Account 3633 - Materials & Supplies	Total	11,500	11,500
Equipment Repair			
		7,000	7,000
Yearly Maintenance and Repair for Security Cameras at City Hall and Government Building			
		4,500	4,500

Account 3642 - Dues, Travel & Training	Total	5,200	5,200
Mileage			
		600	600
Training			
		2,500	2,500
GMIS International conference			
		2,000	2,000
Dues - GMIS International			
		100	100

Information Technology Department Budget: 2017

		<u>2017</u>	<u>2018</u>
Account 3650 - Professional Services	Total	70,200	78,700
Internet Access		3,500	3,500
Local Area Network- Charter Communications fiber optic connectivity at \$5,250 per month. (Increase for new court location approximately 850/mo)		63,000	69,000
Outside Consultant		2,500	5,000
Backup to Cloud (\$100 per month)		1,200	1,200

Account 0361 - Capital Additions	Total	39,000	45,000
Replace computers, laptops, tablets and monitors in various departments. Approximately 30 devices on 4 year replacement cycle @ 600 each plus monitors as needed			25,000
Replace two network switches purchased in 2008			8,000
Replace two servers on 4 year replacement cycle			12,000

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

HOUSING RESOURCE CENTER DEPARTMENT

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
3710-Salaries	29,485	44,450	44,881
3713-Employees' Benefits	9,798	13,402	11,921
3721-Uniforms	450	450	450
3732-Office Supplies & Maint.	998	1,000	1,000
3742-Dues, Travel, Training	<u>1,000</u>	<u>1,000</u>	<u>1,000</u>
Total	41,731	60,302	59,252

PERSONNEL SERVICES

Full-time	21,469	21,900
Part-time	22,981	22,981
Overtime	<u>0</u>	<u>0</u>
Total Personnel Services	44,450	44,881

PERSONNEL SCHEDULE

Administrative Assistant*	0.50
Community Development Specialist p/t*	0.36
Volunteer Coordinator p/t	<u>0.48</u>
Total	1.34

Full-time 0.50

Total Personnel 1.34

Full-time Equivalent (Part-time) 0.84

*50% of the wages and benefits for the full-time Administrative Assistant and the part-time Community Development Specialist are paid out of Community Development Block Grant Funds.

Housing Resource Center Department Budget: 2018

2017 2018

Account 3710 - Salaries		
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Full-time Employees

Administrative Assistant - wage split with Community Development Fund	<u>0.5</u>	<u>0.5</u>
Total full-time employees	0.5	0.5

Part-time Employees

Community Development Specialist: 1 each x 52 weeks x 29 hours per week = 1,508 hours (50% of wage paid by Community Development Fund)	0.4	0.4
Volunteer Coordinator: 1 each x 1,000 hours	<u>0.5</u>	<u>0.5</u>
Total part-time employees	0.9	0.9

Account 3721 - Uniforms	Total	450	450
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Clothing allowance for all Full-time and Part-time employees	450	450
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Account 3732 - Office Supplies	Total	1,000	1,000
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Miscellaneous office supplies	1,000	1,000
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Account 3742 - Dues, Travel & Training	Total	1,000	1,000
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Mileage reimbursement	1,000	1,000
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City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

LEGISLATIVE DEPARTMENT

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
3810-Salaries	105,612	105,612	105,612
3813-Legislative Benefits	23,922	23,923	26,035
3842-Dues, Travel, Training	<u>22,329</u>	<u>31,000</u>	<u>31,000</u>
Total	151,863	160,535	162,647

PERSONNEL SERVICES

Full-time	0	0
Part-time	105,612	105,612
Overtime	<u>0</u>	<u>0</u>
Total Personnel Services	105,612	105,612

PERSONNEL SCHEDULE

Councilmember's	<u>9.00</u>	
Total	9.00	Full-time 0.00
		Full-time Equivalent (Part-time) 0.00
Total Personnel	9.00	Elected Officials 9.00

Legislative Department Budget: 2018

2017 2018

Account 3810 - Salaries		
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Elected Officials

Council members

9

9

Account 3842 - Dues, Travel & Training	Total	31,000	31,000
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Mailings, news letters, printing, business cards, seminars, conferences, meetings,
mileage, city logo jackets and shirts, and other miscellaneous items.

27,000

27,000

Citywide ward picnics

4000

4,000

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

SENIOR SERVICES DEPARTMENT

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
3910-Salaries	90,040	96,321	95,881
3913-Employees' Benefits	37,470	39,764	41,910
3921-Uniforms	148	200	200
3926-Utilities	4,095	6,600	6,600
3929-Bldg., Maint. & Supply	5,382	7,500	7,400
3932-Office Supplies & Maint.	1,362	2,200	2,000
3942-Dues, Travel & Training	214	500	500
3950-Professional Services	8,076	14,900	19,900
3951-Senior Citizen Lunches	17,127	28,800	36,960
3954-Publicity	<u>1,500</u>	<u>1,500</u>	<u>1,500</u>
Total	165,414	198,285	212,851

PERSONNEL SERVICES

Full-time	77,520	79,085
Part-time	18,801	16,796
Overtime	<u>0</u>	<u>0</u>
Total Personnel Services	96,321	95,881

PERSONNEL SCHEDULE

Senior Citizen Coordinator	1.00	<u>Dining Center</u>	
Clerk Typist	<u>1.00</u>	Support Staff p/t	0.68
Total	2.00	Custodian p/t	0.15
		Total	0.83
		Full-time	2.00
Total Personnel	2.83	Full-time Equivalent (Part-time)	0.83

Senior Services Department Proposed Budget: 2018		2017	2018
Account 3910 - Salaries			
Full-time Employees			
Senior Citizen Coordinator		1	1
Clerk Typist		<u>1</u>	<u>1</u>
Total full-time employees		2	2
Part-time Employees			
Part-Time Senior Office Support 2 x 12.5 hrs/week x 52 weeks	hours	1,300	1,300
Part-Time Senior Office Support: trips, 2 x 10 trips x 6 hours per trip	hours	120	120
Custodian: 1 x 6 hrs/week x 52 weeks	hours	<u>520</u>	<u>312</u>
Total part-time hours		1,940	1,732
Account 3921 - Uniforms			
	Total	200	200
Uniform shirts for Dining Center Employees		200	200
Account 3926 - Utilities			
	Total	6,600	6,600
Sewer		900	900
Ameren		2,400	2,400
Water		260	260
Laclede Gas		2,500	2,500
Trash		540	540
Account 3929 - Building, Maintenance & Supplies			
	Total	7,500	7,400
Pest Control (\$600) & Termite Protections (\$100) at Dining Center		700	700
Microphone/Speaker for Dining Center		500	0
Regular Maintenance - Dining Center		1,500	1,500
Janitorial Supplies for Dining Center - cleaning supplies, batteries, air freshener refills, trash bags, light bulbs, etc.		700	700
Catering Supplies - Serving utensils, plates, trays, napkins, etc.		2,300	2,300
Food Purchases for Dining Center - birthday cakes, diabetic desserts, tea, coffee, lemon juice, sugar, creamer, etc.		750	750
Serving Equipment for Dining Center - tea dispenser, coffee pot, sterno, serving cart, microwave.		300	300
Mat and mat cleaning for lobby and kitchen		550	550
Decorations and Entertainment for Dining Center		200	600
Account 3932 - Office Supplies & Maintenance			
	Total	2,200	2,000
Office Supplies (\$700), film development (\$200), & computer supplies (\$500)		1,400	1,400
North County Gala Expenses		100	100
Paper supplies - New Years Eve brochures, tickets, special paper for events, flyers for parties, dances, etc.		700	500

Senior Services Department Proposed Budget: 2018		<u>2017</u>	<u>2018</u>
Account 3942 - Dues, Travel, Training	Total	500	500
Mileage - in town		500	500
Account 3950 - Professional Services	Total	14,900	19,900
Speakers & Program Expenses		600	800
Trips & Tours		14,000	18,850
Appreciation lunch for volunteer Tax Preparers		250	250
Appreciation donation to Spring & Twig Garden Club for Dining Center Plant			
Maintenance		50	0
Account 3951 - Senior Citizen Lunches	Total	28,800	36,960
Based on 3 days weekly catered by local restaurants @ \$7.00 each. 100 days with 30 guests = \$21,000, 57 days with 40 guests = \$15,960		28,800	36,960
Account 3954 - Publicity	Total	1,500	1,500
Senior citizen events and activities to be printed in the City of Florissant			
Parks and Recreation Guide		1,500	1,500

SENIOR CITIZEN PROPOSED 2018 BUDGET
EXPLANATION OF FUNDING OF SENIOR CITIZEN ACTIVITIES

Account 3951 Senior Citizen Lunches: *The majority of funds requested in this account are reimbursed in Revenue Account #3480 as diners pay the full cost of their lunch.* The meals that are not covered include certain cancellations and comped lunches for entertainers, guest speakers and employees at Holiday Parties only.

Account 3929 Building, Maintenance & Supplies: Besides pest control, catering, cleaning supplies and all operational costs of the Dining Center, entertainment and events at the dining center are paid for out of this account.

Senior Citizen Events and Programs: Funding is provided through the cooperation of the City of Florissant budget, the Florissant Senior Citizen Commission Account and the Silver Words Account. Also, to help defray the cost of some of the events, the Senior Office solicits donations and attendance prizes from local businesses. Listed below is a breakdown of which account handles which activities.

- **City of Florissant Account 3950 Professional Services:** This account funds six senior citizen trips, all speaking and special events. *The six Senior Trips are fully reimbursed in Revenue Account 3481 as guests pay for their trip.*
- **Senior Commission Advisory Account:** The Senior Commission Account funds five parties and four dances along with the Mayor's Town Hall Meeting and Resource Fair. The party and dance expenses are reimbursed with the purchase of a ticket for the event. The Senior Coordinator is the Secretary for this Commission and is a signatory on the Senior Commission Account. All of these events are planned and carried out by the Senior Office with the help of the Senior Commission.
- **Silver Words Account:** The Silver Words Club is a club for Widow/Widowers and Single Seniors. The Senior Coordinator attends and conducts all monthly meetings as well as plans all six trips and entertainment events for this club. The trips are fully reimbursed by the ticket price of the trip.

2018 Senior Citizen Trips – Professional Service Account #3950

Expenses for the following trips are paid for out of the Senior Citizen Professional Service Account #3950 and are totally reimbursed in revenue account #3481 as guests pay for their tickets. We calculate 50 guests on each trip.

January: Casino Trip/Buffer	
Ticket Price: \$27.00	BUDGET \$1,350
Buffer: \$20.50 Bus: \$5.50 Staff: \$1.00	
March: Cathedral Concerts – Ambassadors of Harmony/Dinner	
Ticket Price: \$56.00	BUDGET \$2,800
Concert: \$20.00 Bus: \$5.50 Dinner: \$28.50 Staff: \$2.00	
May: Glenn Miller at Lindenwood/ Lunch	
Ticket Price: \$69.00	BUDGET \$3,450
Concert: \$33.00 Bus: \$5.50 Lunch: \$28.50 Staff: \$2.00	
July: Muny Production/ Dinner	
Ticket Price: \$68.00	BUDGET \$3,400
Muny: \$35.00 Bus: \$5.50 Dinner: \$25.50 Staff: \$2.00	
September: Paddlewheel Boat /Lunch	
Ticket Price: \$52.00	BUDGET \$2,600
Paddleboat: \$20.00 Bus: \$5.50 Lunch: \$24.50 Staff: \$2.00	
November: Scott Air Force Base Tour/Lunch	
Ticket Price: \$42.00	BUDGET \$2,100
Tour: \$10.00 Bus: \$5.50 Lunch: \$24.50 Staff: \$2.00	
December: Fox, Sheldon or Peabody/Lunch	
Ticket Price: \$63.00	BUDGET \$3,150
Fox: \$30.00 Bus: \$5.50 Lunch: \$25.50 Staff: \$2.00	

Trips and Tours Total in Account #3950 Professional Services	\$18,850
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2018 Silver Words Senior Trips – funded by the Silver Words Account #1120190 (held by the City of Florissant) and totally reimbursed in the same acct as guests pay for their tickets.

February:	Peabody “Buddy Holly Story”/Dinner
April:	Bellefontaine Cemetery Tour/Lunch
June:	History Museum 100 th year of the Muny/Lunch
August:	Alton Little Theater/Lunch
October:	Stages/Lunch
December:	Christmas Light Tour/Dinner

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

ADMINISTRATIVE DEPARTMENT

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
4010-Salaries	983,070	1,007,904	1,040,966
4013-Employees' Benefits	380,285	409,277	418,753
4014-Residency Incentive Program	110,950	120,000	78,000
4015-Unempl. Claim Reserve	21,814	20,000	15,000
4021-Uniforms	0	0	100
4023-Postage & Printing	48,283	60,000	60,000
4031-Supplies - City Functions	698	5,500	3,500
4032-Office Supplies & Maint.	39,085	48,100	54,500
4033-Copy Equip. Rental & Supplies	51,136	47,400	47,400
4041-Mayor's Expense	9,981	10,000	10,000
4042-Travel & Training	7,040	10,300	10,800
4050-Professional Services	443,181	349,720	219,520
4053-Legal Notices & Advertising	3,767	12,000	8,000
4054-Service Awards	3,108	12,000	8,000
4055-Insurance, Fire & Liability	915,999	875,000	342,800
4056-Organization Dues	23,941	24,150	24,270
4058-Boards & Commissions	745	2,000	2,000
4059-Election Expense	<u>10,800</u>	<u>30,000</u>	<u>12,000</u>
Total	3,053,883	3,043,351	2,355,609

PERSONNEL SERVICES

Full-time	988,647	973,106
Part-time	15,924	64,527
Overtime	<u>3,333</u>	<u>3,333</u>
Total Personnel Services	1,007,904	1,040,966

PERSONNEL SCHEDULE

<u>Office of the Mayor</u>		<u>Office of the City Clerk</u>	
Mayor	1.00	City Clerk/Legislative Assistant	1.00
Executive Assistant to the Mayor	<u>1.00</u>	Deputy City Clerk	1.00
Total	2.00	Receptionist	1.00
<u>Finance Department</u>		Mailroom/Printing Clerk	1.00
Director of Finance	1.00	Duplicating Equipment Operator p/t	0.50
Assistant Director of Finance	1.00	Document Scanning Intern p/t	<u>0.29</u>
Accounting Clerk	4.00	Total	4.79
Cashier	<u>1.00</u>	<u>Economic Development Department</u>	
Total	7.00	Economic Dev. Coordinator	0.00
<u>Human Resources</u>		Economic Dev. Coordinator p/t	0.73
Director of Human Resources	1.00	<u>Community Development Office</u>	
Human Resource Specialist	<u>1.00</u>	Comm. Dev. Coordinator	1.00
Total	2.00		

Full-time 15.00
Full-time Equivalent (Part-time) 1.52
Full-time Elected Official 1.00

Total Personnel 17.79

Administration Budget: 2018

2017 2018

Account 4010 - Salaries			
Full-time Employees			
Mayor		1	1
Executive Assistant to the Mayor		1	1
Director of Finance		1	1
Assistant Director of Finance		1	1
Accounting Clerk		4	4
Cashier		1	1
Director of Human Resources		1	1
Human Resource Specialist - additional position		1	1
Economic Development Coordinator		1	0
Community Development Coordinator		1	1
City Clerk/Legislative Assistant		1	1
Deputy City Clerk		1	1
Receptionist		1	1
Mailroom/Printing Clerk		<u>1</u>	<u>1</u>
	Total full-time employees	17	16
Part-time Employees			
Duplicating Equipment Operator: 1 ea x 52 wks x 20 hrs/wk	hours	1,040	1,040
Economic Development Coordinator: 1 ea x 52 wks x 29 hrs/wk	hours	0	1,508
Intern for Document Scanning: 1 ea x 30 wks x 20 hrs/wk	hours	<u>600</u>	<u>600</u>
	Total part-time hours	1,640	3,148
Overtime: Audit, Month and Year End Reports, Other	dollars	5,000	3,333
Account 4013 - Employees' Benefits			
FICA, Pension, Medical, Dental, Life Insurance, Long-term disability			
Account 4014 - Residency Incentive Program			
	Total	120,000	78,000
Program to reward city employees for choosing to live in the City of Florissant: 65 employees x \$100 per month x 12 months			
Account 4015 - Unemployment Claim Reserve			
	Total	20,000	15,000
1993 state law requires the city to pay all unemployment claims regardless of fault. 2014 \$5,046, 2015 \$11,278, 2016 \$21,814, 2017 \$1,170 for 2 quarters			
Account 4021 - Uniforms			
	Total	0	100
City logo shirts for Human Resources department			
		0	100
Account 4023 - Postage & Printing			
	Total	60,000	60,000
Lease contract on postage machine and scale (\$250/mo x 12 months)		3,000	3,000
Supplies for Postage Machine		1,000	1,000
Fees for Bulk Rate Permit #65		24,500	24,500
Forms and supplies, postage supplies, ink cartridges		1,500	1,500
City Calendar postage		0	3,500
Postage		30,000	26,500

Administration Budget: 2018

		<u>2017</u>	<u>2018</u>
Account 4031 - Supplies - City Functions	Total	5,500	3,500
Materials and supplies for various ceremonies and receptions (flag retiring, etc.)		1,500	1,500
Miscellaneous: frames, safe repair, food, safe deposit box, Sam's Club membership (\$45), photos, pins, etc.		4,000	2,000
Account 4032 - Office Supplies & Maintenance	Total	48,100	54,500
Finance (01): \$5,000 misc. office supplies, \$500 envelopes, \$1,600 letterhead & envelopes, \$1,000 receipt forms, \$1,000 office chairs, \$1,000 toner		10,100	10,100
Software support for accounting software (includes Business License package)		28,000	29,000
Output Processor module to facilitate document distribution and access		0	5,400
City Clerk (02): Office supplies (includes microfilm)		6,500	6,500
Software support for aXs document management software		1,000	1,000
Human Resources (03): Office Supplies		1,500	1,500
Economic Development (04): \$200 office supplies, \$800 demographics package		1,000	1,000
Account 4033 - Copy Equipment & Supplies	Total	47,400	47,400
Monthly Copier Rental/Maintenance: includes Public Works, Administration, Government Building, Print Room, Housing, and the Park Department.		43,200	43,200
Paper Supplies		4,200	4,200
Account 4041 - Mayor's Expense	Total	10,000	10,000
Discretionary in town expenses, Rotary, auto, travel, and misc.			
Account 4042 - Travel & Training	Total	10,300	10,800
In town expenses and out of town travel for Department Heads and staff			
Director of Finance and Purchasing (11)		3,500	3,500
Director of Human Resources (12)		1,800	2,300
City Clerk (13)		3,500	3,500
Economic Development Director (14)		1,500	1,500
Account 4050 - Professional Services	Total	349,720	219,520
Audit - \$18,600 annual audit, \$5,000 GASB 45 & 75 OPEB (01)		19,400	23,600
City Attorney (01)		216,000	91,000
Annual maintenance fee for the city codebook (01)		2,500	2,500
Miscellaneous professional services (01)		4,000	4,000
Flexible Spending Account - exposure for un-reimbursed medical (01)		3,000	3,000
Flexible spending account fees (01)		8,100	3,700
Historic book restoration - restoring old minute and ordinance books (01)		2,500	2,500
Liquor license record checks - \$11 x 20 (01)		220	220
Legislative consulting services - Missouri legislature (01)		24,000	24,000
Employee service, recognition and cost saving suggestion awards (01)		5,000	0
Public Relations consultant (01)		12,000	12,000

Administration Budget: 2018

	2017	2018
Account 4050 - Professional Services (con't)		
Liens: File and release liens and easements with St. Louis County (01)	500	500
Bank Fees - \$500 x 12 mo. (02)	6,000	6,000
Human Resources: \$2,000 drug & alcohol testing, \$6,000 new employment physicals, drug, psychological and written testing, \$1,000 hepatitis vaccinations, \$1,000 employee seminars and training, \$3,000 employee record checks, \$1,500 health and wellness (05)	14,500	14,500
Advertising (062)	32,000	32,000
Account 4053 - Legal Notices and Advertising		
Total	12,000	8,000
City Clerk - public hearing ads (50 ads at \$30 each)	2,500	1,500
Purchasing - bid ads (75 ads at \$20 each)	2,500	1,500
Human Resources - help wanted ads for full and part-time positions. Includes purchase of Applicant Pro, a tool to provide for on-line applications.	7,000	5,000
Account 4054 - Service Awards		
Total	12,000	8,000
\$3,500 Boards & Commissions Appreciation Dinner, \$2,000 employee service awards, \$2,500 employee appreciation event		
Account 4055 - Insurance, Fire, & Liability		
Total	875,000	342,800
General liability, property, inland marine, crime, liquor, employee benefits, law enforcement, employment practices, public entity management, public entity employment related practices, and automobile	325,000	150,000
Excess liability	31,000	0
Excess earthquake liability	12,500	6,500
Deductible - general liability coverage	50,000	25,000
Workers Compensation Insurance	440,000	147,000
Flood Insurance	3,500	2,300
Accident & Sickness Policy	1,000	1,000
Pollution Liability - fuel storage tanks	4,000	6,000
Public Officials Liability Bond: Mayor, Director of Finance, City Clerk	1,000	1,000
Cyber Liability	7,000	4,000
Account 4056 - Organization Dues		
Total	24,150	24,270
<i>General</i>	Sub	<u>21,800</u>
North County, Inc. (2% automatic increase every year)	8,500	8,500
Florissant Old Town Partners	50	50
Greater North County Chamber of Commerce	350	350
Missouri Municipal League	5,700	5,700
Municipal League of Metro St. Louis	7,200	7,200
National League of Cities (\$4,500)	0	0
<i>Mayor Thomas P. Schneider</i>	Sub	<u>350</u>
Metro Mayors of St. Louis	350	350
Engineers Club of St. Louis	0	0

Administration Budget: 2018

2017 2018

Account 4056 - Organization Dues (con't)			
<u>Randal J. McDaniel: Director of Finance, Purchasing & Risk Mgmt.</u>	Sub	<u>760</u>	<u>885</u>
Government Finance Officers Association of the US & Canada (\$595)		0	0
Association for Financial Professionals		450	450
Missouri Association of Public Employee Retirement Systems (MAPERS)		100	100
Government Finance Officers Association of Missouri (GFOA of Missouri)		100	100
Florissant Valley Kiwanis		110	110
Missouri Notary Public Commission (Expires January 28, 2018)		0	125
<u>Sonya Brooks-White: Director of Personnel</u>	Sub	<u>450</u>	<u>445</u>
International Public Management Association for Human Resources (IPMA-HR)		150	0
IPMA-HR Greater St. Louis Chapter		0	145
Human Resource Management Association		300	300
<u>Karen Goodwin: City Clerk</u>	Sub	<u>490</u>	<u>490</u>
International Institute of Municipal Clerks		300	300
Missouri City Clerks & Finance Officers Association		65	65
Municipal Clerks & Finance Officers of Missouri Eastern Chapter		35	35
National Association of Parliamentarians		90	90
<u>Bob Russell: Director of Economic Development</u>	Sub	<u>300</u>	<u>300</u>
International Council of Shopping Centers		100	100
Missouri Economic Development Council		200	200
Account 4058 - Boards & Commissions			
	Total	2,000	2,000
Travel & expenses for boards and commissions, name plates		1,000	1,000
Subscriptions and publications		500	500
Planning & Zoning in-town training		500	500
Account 4059 - Election Expense			
	Total	30,000	12,000
City Council odd ward elections scheduled for 2018			12,000

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

MUNICIPAL COURT DEPARTMENT

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
4110-Salaries	464,795	492,825	305,678
4113-Employees' Benefits	128,741	134,957	119,538
4132-Office Supplies & Maint.	8,274	10,400	8,900
4142-Dues, Travel, Training	3,602	5,250	4,250
4150-Professional Service	<u>37,061</u>	<u>61,750</u>	<u>61,500</u>
Total	642,473	705,182	499,866

PERSONNEL SERVICES

Full-time	257,557	222,900
Part-time	235,268	82,778
Overtime	<u>0</u>	<u>0</u>
Total Personnel Services	492,825	305,678

PERSONNEL SCHEDULE

<u>Municipal Court</u>		<u>Elected Positions</u>	
Court Clerk	1.00	Judge	1.00
Assistant Court Clerk - Court	4.00	<u>Appointed Positions</u>	
Assistant Court Clerk p/t	<u>0.73</u>	Provisional Judge	
Total	5.73	Public Defender	
		Full-time	5.00
		Full-time Equivalent (Part-time)	0.73
Total Personnel	5.73	Elected Officials	1.00

Municipal Court Budget: 2018

2017

2018

Account 4110 - Salaries			2017	2018
Full-time Employees				
Court Clerk			1	1
Assistant Court Clerk - Municipal Court			4	4
Assistant Court Clerk - Prosecuting Attorney			<u>1</u>	<u>0</u>
Total full-time employees			6	5
Part-time Employees				
Regular or Call Dockets				
2 dockets per month with 2 Attorneys present	dockets	48	0	
Appointed Judge 1 docket per month	dockets	12	12	
DWS/DWR Dockets				
1 docket per month with 1 Attorney present	dockets	12	0	
Housing Dockets				
1 docket per month with 2 Attorneys present	dockets	24	0	
Trial Dockets				
1 dockets per month with 2 Attorneys present	dockets	24	0	
Appointed Judge 1 docket every other month	dockets	6	6	
Attorney Dockets				
1 docket per month with 2 Attorneys present	dockets	24	0	
Failure To Appear Dockets				
1 docket per month with 1 Attorney present	dockets	12	0	
Appointed Judge 1 docket every other month	dockets	6	6	
Prosecuting Attorney Office Hours: 30 hours/month	hours	204	0	
Assistant Prosecuting Attorney Office Hours: 2 hours/month	hours	60	0	
Public Defender: 10 hours total as needed	hours	10	10	
Reserve Police Officer (Bailiff): 0 x 29 hours x 52 weeks	hours	1,508	0	
Assistant Court Clerk: 1 x 29 hours x 52 weeks	hours	1,508	1,508	
Account 4132 - Office Supplies		Total	10,400	8,900
Printing supplies			2,000	1,500
Office machine maintenance			300	300
General office supplies			6,000	5,500
File cabinets (4)			2,100	1,600
Account 4142 - Dues, Travel and Training		Total	5,250	4,250
Judges Association dues/conferences/seminar training (in-state)			2,000	2,000
Court Clerk Association dues/conferences/seminar training (in-state). Increase to provide for an Assistant Court Clerk to work towards certification.			1,250	2,250
Prosecutors Association dues/conference/seminar training (in-state) (3)			2,000	0
Account 4150 - Professional Services		Total	61,750	61,500
Maintenance support, communications and network access fees			3,200	3,200
Shared server license, interface, software maintenance			50,000	50,000
Bank fees - \$200 per month x 12 mo.			2,400	2,400
Court ordered tests and expenses			1,250	1,000
Records destruction			900	900
Interpreter for the deaf as needed			1,000	1,000
Mental Health Court fees			3,000	3,000

City of Florissant Operating Budget
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PROSECUTING ATTORNEY DEPARTMENT

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
XX10-Salaries	0	0	176,103
XX13-Employees' Benefits	0	0	27,048
XX32-Office Supplies & Maint.	0	0	1,400
XX42-Dues, Travel, Training	<u>0</u>	<u>0</u>	<u>2,500</u>
Total	0	0	207,051

PERSONNEL SERVICES

Full-time	0	41,247
Part-time	0	134,856
Overtime	<u>0</u>	<u>0</u>
Total Personnel Services	0	176,103

PERSONNEL SCHEDULE

Municipal Court

Assistant Court Clerk - Prosecutor 1.00
Total 1.00

Appointed Positions

Prosecuting Attorney
Assistant Prosecuting Attorney

Full-time 1.00

Total Personnel 1.00

Full-time Equivalent (Part-time) 0.00

Prosecuting Attorneys Budget: 2018

2017 2018

Account xx10 - Salaries			
Full-time Employees			
Assistant Court Clerk - Prosecuting Attorney		0	1
	Total full-time employees	0	1
Part-time Employees			
Regular or Call Dockets			
2 dockets per month with 2 Attorneys present	dockets	0	48
DWS/DWR Dockets			
1 docket per month with 1 Attorney present	dockets	0	12
Housing Dockets			
1 docket per month with 2 Attorneys present	dockets	0	24
Trial Dockets			
1 dockets per month with 2 Attorneys present	dockets	0	24
Attorney Dockets			
1 docket per month with 2 Attorneys present	dockets	0	24
Failure To Appear Dockets			
1 docket per month with 1 Attorney present	dockets	0	12
Prosecuting Attorney Office Hours: 30 hours/month	hours	0	360
Assistant Prosecuting Attorney Office Hours: 2 hours/month	hours	0	24

Account xx32 - Office Supplies		Total	
Printing supplies		0	500
General office supplies		0	500
File cabinets (1)		0	400

Account xx42 - Dues, Travel and Training		Total	
Prosecutors Association dues/conference/seminar training (in-state)		0	2,500

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

HEALTH DEPARTMENT

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
4210-Salaries	514,262	552,866	0
4213-Employees' Benefits	157,939	188,664	0
4221-Uniforms & Allowance	3,431	3,600	0
4226-Utilities	7,850	11,000	0
4227-Gasoline & Oil	32,774	46,000	0
4229-Building & Equip.	22,322	29,400	0
4232-Office Supplies & Maint.	4,733	8,000	0
4233-Materials & Supplies	31,590	35,000	0
4242-Dues, Travel, Training	430	3,000	0
4250-Professional Service	<u>10,845</u>	<u>50,000</u>	<u>0</u>
Total	786,176	927,530	0

PERSONNEL SERVICES

Full-time	337,183	0
Part-time	192,350	0
Overtime	<u>23,333</u>	<u>0</u>
Total Personnel Services	552,866	0

PERSONNEL SCHEDULE

Health Department

Class "A" Foreman	0.00
Class "A" Person	0.00
Class "B" Person	0.00
Class "C" Person	0.00
Clerk Typist	0.00
Kennelman p/t	0.00
Summer Laborers p/t	<u>0.00</u>
Total	0.00

Transportation

FLERT Bus Driver	0.00
FLERT Bus Drivers p/t	0.00
Senior Citizen Bus Drivers p/t	<u>0.00</u>
Total	0.00

Full-time 0.00

Total Personnel 0.00 Full-time Equivalent (Part-time) 0.00

Health Department Budget: 2018

2017 2018

Account 4210 - Salaries

Full-time employees

Class "A" Foreman	1	0
Class "A" Person	1	0
Class "B" Person	1	0
Class "C" Person	2	0
Clerk Typist	2	0
FLERT Bus Driver	<u>2</u>	<u>0</u>
Total full-time employees	9	0

Part-time employees

0 ea. Part-time Kennelmen: 52 weeks @ 29 hrs/week	6,032	0
0 ea. Part-time Summer Help: 32 weeks @ 40 hrs/week	<u>5,120</u>	<u>0</u>
Sub-total Kennelmen and Summer Help hours	11,152	0

Flet Bus Drivers

0 ea. Part-time Bus Driver: 52 weeks @ 20 hrs/week	1,040	0
Weekend (Sat. & Sun.) 0 ea. @ 2 days @ 7 hrs/day x 52 weeks	<u>728</u>	<u>0</u>
Sub-total Flet Bus Driver Hours	1,768	0

Senior Citizen Bus Drivers

Kids Summer Program: 0 man x 6 hrs. x 6 weeks = 36 MH's	66	0
Fish Program: 0 man x 2 hrs. x 7 weeks = 14 MH's	14	0
Club Meetings (Mon & Wed): 2 days x 0 men x 4 hrs x 52	832	0
Sunday Church Services: 0 man x 4 hrs x 50 weeks	200	0
Trips: 0 men x 146 trips x 7 hrs.	2,044	0
Valley of Flowers: 0 men x 1 days x 7 hrs.	<u>14</u>	<u>0</u>
Sub-total Senior Citizen Bus Driver Hours	3,170	0
Total Part-time hours	16,090	0

Overtime Total 23,333 0

Court appearances, emergency Police call-outs, fire damaged structures, mosquito control and fogging, dog bite cases, storm damage events, foreclosures (clean-up junk at curb), Valley of Flowers, Fall Festival, Electronic Recycling Event, Document Shredding Event, EQC Commission, etc.

Account 4213 – Employees' Benefits

FICA, Pension, Medical, Dental, Life Insurance, Long-term Disability

Account 4221 – Uniform & Safety Shoes Total 3,600 0

Clothing allowance for all FT and PT employees ...	2,700	0
T-shirts for full-time, part-time and seasonal field employees	900	0

Account 4226 – Utilities Total 11,000 0

Electric, gas, water, sewer, trash collection, phone, cable TV ...

Health Department Budget: 2018

2017 2018

Account 4227 – Health/Buses Gasoline	Total	46,000	0
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Fuel for pickup trucks, vehicle ULV's, foggers, hand fogger, lawn mowers, walk-behinds, weed eaters, and other related equipment
Oil for pickups, ULV's, Grizzly foggers, mowers and weed eaters
Bus-1, Bus-2, Bus-3, Bus-4, and ADA Van-1
Gasoline, tires, fluids, lubricants, maintenance, parts, supplies, etc.

Account 4229 – Building Maintenance & Supplies	Total	29,400	0
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Radio repairs and maintenance for base, mobile and walkie/talkie units
ULV's repairs and maintenance for motors and blowers, as needed
Weed Eaters: parts for repairs
Dog, cat, raccoon and possum traps and cages as needed
Related small equipment repairs (hoses, tubing, tune-up kits, etc.)
Building maint., repairs, supplies and materials including paint, solvents, janitorial supplies,

Account 4232 – Office Supplies / Printing	Total	8,000	0
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Printing, office supplies, forms, typewriter and adding machine, cameras, computers, iPads, printers and copy machine maintenance, operating supplies and maintenance, ink cartridges

Account 4233 – Materials & Supplies	Total	35,000	0
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Anvil for ULV's mosquito fogging, flushing solvent for cleaning ULV's, Altoside or Aqua/Bac briquettes to treat stagnate water for mosquito control
Round-Up #5 for weed control. Pine-O-Lene disinfectant for kennel
Liqui-zyme Odor Eliminator, Bacterial/Enzyme Action
Rompum, Ketaset & Meticorton chemical used in animal control
Dog & cat food ... and supplies ...Rodent cakes for baiting residential and commercial properties, creeks and sewers ...Insecticide chemicals for roach's, wasps, bees, spiders, etc.

Account 4242 – Dues/Travel/Training	Total	3,000	0
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Flyers, publications and office training manuals
Pesticide license renewals and animal control training certification
Mileage, trip lunches, seminars, etc.

Account 4250 – Professional Services	Total	50,000	0
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Rat/rodent control in creeks and resident rodent control by contractor
Veterinarian treatment of injured animals and possible court cases, as needed
Veterinarian rabies shots for new adoptions
Trash/debris/junk removal, eviction cleanup, tree/brush/vegetation removal, grass/weed cutting on residential/commercial properties as needed ... by the City and/or by Contractor
Educational handouts and promotions for Recycling
Animal Disposal through St. Louis County
Electronic Recycling (spring) and Shredding (spring) Events
Contract for grass cutting

City of Florissant Operating Budget
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RECREATION DEPARTMENT-THEATER

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
4310-Salaries	140,927	149,047	151,760
4313-Employees' Benefits	48,001	63,937	65,720
4321-Uniforms & Allowance	208	250	250
4329-Bldg. Maint. & Supplies	5,491	7,700	7,700
4332-Office Supplies & Maint.	12,114	14,140	12,640
4342-Dues, Travel, Training	3,800	3,800	3,800
4350-Professional Services	7,371	6,000	6,000
4352-Theater Workshop	96,798	182,267	176,995
4354-Publicity	<u>10,791</u>	<u>14,150</u>	<u>12,850</u>
Total	325,501	441,291	437,715

PERSONNEL SERVICES

Full-time	134,404	137,117
Part-time	14,643	14,643
Overtime	<u>0</u>	<u>0</u>
Total Personnel Services	149,047	151,760

PERSONNEL SCHEDULE

Theater Manager	1.00
Assistant Theater Manager	1.00
Administrative Assistant	1.00
Clerk Typist p/t	<u>0.73</u>
Total	3.73

Full-time 3.00

Total Personnel 3.73

Full-time Equivalent (Part-time) 0.73

FCC Theatre Budget: 2017

2017 2018

Account 4310 - Salaries			
Full-time Employees			
Theater Manager		1	1
Assistant Theater Manager		1	1
Administrative Assistant		<u>1</u>	<u>1</u>
	Total full-time employees	3	3
Part-time Employees			
Clerk-Typists: 29 hrs/wk x 52 weeks x 2nd year rate	hours	1,508	1,508
	Total part-time hours	1,508	1,508

Account 4321 - Uniforms			
	Total	250	250
Sport coats, uniform shirts and cleaning as needed		250	250

Account 4329 - Theater Building Maintenance and Supplies			
	Total	7,700	7,700
General maintenance, repair and supplies for sound system		800	800
Bulbs, gel, light instrument repair and maintenance		3,100	3,100
Miscellaneous repair and hardware items		1,850	1,850
Light board service call contract		850	850
Floor care products		300	300
House and lobby carpet cleaning		800	800

Account 4332 - Office Supplies/Printing			
	Total	14,140	12,640
Books, subscriptions, and memberships		400	100
Paper and printing		3,000	2,800
Mailing supplies		3,000	3,000
Small office supplies		1,200	1,700
ThunderTix programming fees for twelve months		5,040	5,040
Ticket stock - purchase on a two year cycle		1,500	0

Account 4342 - Travel & Training			
	Total	3,800	3,800
Showcase of Performing Arts for Young People - Philadelphia, PA		1,300	1,300
Arts Midwest Conference - Indianapolis, Indiana		1,300	1,300
Outside expenses for Missouri Arts Council and MACAA		500	500
Mileage for local business calls and related functions		300	300
Dues/registration - Intl. Assoc. of Performing Arts for Young People		400	400

FCC Theatre Budget: 2017

		<u>2017</u>	<u>2018</u>
Account 4350 - Professional Services	Total	6,000	6,000
Bank fees, charge card fees, service fees - \$500 per month		6,000	6,000
Account 4352 - Theatre Workshop	Total	182,267	176,995
Contemporary outdoor concerts including technical needs (Music Under the Stars: Butch Wax & Hollywood's, Billy Peek, Bob Kuban, etc.)		16,000	15,000
Summer playground "Creative Dramatics Workshop" and Arts Assembly		16,500	13,800
St. Louis Family Theatre Series		85,180	81,610
Valley of Flowers Festival		49,000	49,000
Missouri Association of Community Arts Agencies (MACAA) membership		250	250
Family Theatre (Matching funds: grant from the Missouri Arts Council and Regional Arts Commission)		11,637	13,835
Entertainment for the Fall Festival		2,500	2,500
"Poetry Out Loud" regional competition (reimbursable)		1,200	1,000
Account 4354 - Publicity	Total	14,150	12,850
FCC Theatre schedules		4,200	3,150
Special PR, mailing list, box office PR		2,600	3,600
St. Louis Visitors & Convention Comm. and Arts & Education Council		450	450
Discover Florissant display ads around Metro St. Louis		1,500	1,600
Postage for four Theater mailings - Calendar of Events (3) and Valley of Flowers brochure (1) at \$1,350 per mailing		5,400	4,050
Account 096143 - Capital Additions	Total	0	0
Prior year capital additions		0	0

City of Florissant Operating Budget
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RECREATION DEPARTMENT - CIVIC AND COMMUNITY CENTERS

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
4410-Salaries	1,253,859	1,329,415	1,266,088
4413-Employees' Benefits	256,422	292,219	298,950
4426-Utilities	<u>273,097</u>	<u>352,800</u>	<u>305,500</u>
Total	1,783,378	1,974,434	1,870,538

PERSONNEL SERVICES

Full-time	507,331	515,350
Part-time	810,084	738,738
Overtime	<u>12,000</u>	<u>12,000</u>
Total Personnel Services	1,329,415	1,266,088

PERSONNEL SCHEDULE

Superintendent of Recreation	1.00	Recreation Leaders II & III p/t	8.30
Center Director I	2.00	Receptionists p/t	5.94
Recreation Specialist	2.00	Custodians p/t	4.95
Clerk Typist	3.00	Park Rangers p/t	3.21
Custodian I	<u>4.00</u>	Rink Mgrs, Guards, Cashiers p/t	2.93
Total	12.00	JJE Pool Manager, Head Guard p/t	1.88
		JJE Pool Lifeguards p/t	4.13
		Concession Stand Manager p/t	0.96
		Concession Stand Cashiers p/t	1.52
		Instructors	
		ADA Compliance	
		Total	33.82
		Full-time	12.00
Total Personnel	45.82	Full-time Equivalent (Part-time)	33.82

Civic and Community Centers Budget: 2018

2017 2018

JJE/JFK Building Hours for the General Public

Monday - Friday: 6 a.m. - 9 p.m. Saturday: 8 a.m. - 7 p.m. Sunday: 10 a.m. - 6 p.m.

Summer Hours: Memorial Day weekend to Labor Day

Monday - Friday: 6 a.m. - 8 p.m. Saturday: 8 a.m. - 5 p.m. Sunday: 10 a.m. - 5 p.m.

The Community Centers will be closed to the public in observance of the following holidays:

Christmas Eve	Easter	Labor Day	Independence Day
Christmas Day	Memorial Day	Thanksgiving Day	New Years Day

Account 4410 - Salaries		2017	2018
Full-time Employees			
Superintendent of Recreation		1	1
Center Director I		2	2
Recreation Specialist		2	2
Clerk Typist		3	3
Custodian		<u>4</u>	<u>4</u>
Total full-time employees		12	12
Part-time Employees			
Recreation Leader III	JJE Pool Manager		Park Rangers
Recreation Leader II - Fitness Center	JJE Pool Head Guards		Instructors
Concession Managers and Cashiers	JJE Pool Lifeguards		Rink Managers
Receptionists	Custodians		Rink Guards
ADA Compliance			Rink Cashiers

Overtime: \$12,000

Recreation Leader III (Supervisors)

JJE/JFK: 2,426 hours x 2 facilities = 4,852 hours x 2 nd year rate	hours	5,580	4,852
Theater: 1 x 25 hours/week x 52 weeks plus 1 x 12 hours/week x 52 weeks = 1,924 hours x 2 nd year rate	hours	1,924	1,924

Recreation Leader II

JJE/JFK Fitness Center: 4,514 hours x 2 facilities = 9,028 hours x 2 nd year rate	hours	9,756	9,028
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Receptionists

Customer Service Desk:

JFK: 4,136 hours x 2 nd year rate	hours	4,500	4,136
250 hours (special events/training) x 2 nd year rate	hours	500	250
JJE: 6,291 x 2 nd year rate	hours	6,655	6,291
350 hours (special events/training) x 2 nd year rate	hours	700	350

	<u>2017</u>	<u>2018</u>
1. Operating income	1,000	1,000
2. Depreciation and amortization	100	100
3. Provision for doubtful accounts	20	20
4. Change in accounts receivable	10	10
5. Change in accounts payable	10	10
6. Change in deferred income taxes	10	10
7. Change in other noncurrent assets and liabilities	10	10
8. Change in cash and cash equivalents	160	160
9. Net income	840	840
10. Dividends paid	100	100
11. Net change in cash and cash equivalents	60	60
12. Free cash flow	110	110
13. Capital expenditures	100	100
14. Acquisition of intangible assets	10	10
15. Disposal of intangible assets	10	10
16. Net change in cash and cash equivalents	60	60
17. Free cash flow	110	110
18. Capital expenditures	100	100
19. Acquisition of intangible assets	10	10
20. Disposal of intangible assets	10	10
21. Net change in cash and cash equivalents	60	60
22. Free cash flow	110	110
23. Capital expenditures	100	100
24. Acquisition of intangible assets	10	10
25. Disposal of intangible assets	10	10
26. Net change in cash and cash equivalents	60	60
27. Free cash flow	110	110
28. Capital expenditures	100	100
29. Acquisition of intangible assets	10	10
30. Disposal of intangible assets	10	10
31. Net change in cash and cash equivalents	60	60
32. Free cash flow	110	110
33. Capital expenditures	100	100
34. Acquisition of intangible assets	10	10
35. Disposal of intangible assets	10	10
36. Net change in cash and cash equivalents	60	60
37. Free cash flow	110	110
38. Capital expenditures	100	100
39. Acquisition of intangible assets	10	10
40. Disposal of intangible assets	10	10
41. Net change in cash and cash equivalents	60	60
42. Free cash flow	110	110
43. Capital expenditures	100	100
44. Acquisition of intangible assets	10	10
45. Disposal of intangible assets	10	10
46. Net change in cash and cash equivalents	60	60
47. Free cash flow	110	110
48. Capital expenditures	100	100
49. Acquisition of intangible assets	10	10
50. Disposal of intangible assets	10	10
51. Net change in cash and cash equivalents	60	60
52. Free cash flow	110	110
53. Capital expenditures	100	100
54. Acquisition of intangible assets	10	10
55. Disposal of intangible assets	10	10
56. Net change in cash and cash equivalents	60	60
57. Free cash flow	110	110
58. Capital expenditures	100	100
59. Acquisition of intangible assets	10	10
60. Disposal of intangible assets	10	10
61. Net change in cash and cash equivalents	60	60
62. Free cash flow	110	110
63. Capital expenditures	100	100
64. Acquisition of intangible assets	10	10
65. Disposal of intangible assets	10	10
66. Net change in cash and cash equivalents	60	60
67. Free cash flow	110	110
68. Capital expenditures	100	100
69. Acquisition of intangible assets	10	10
70. Disposal of intangible assets	10	10
71. Net change in cash and cash equivalents	60	60
72. Free cash flow	110	110
73. Capital expenditures	100	100
74. Acquisition of intangible assets	10	10
75. Disposal of intangible assets	10	10
76. Net change in cash and cash equivalents	60	60
77. Free cash flow	110	110
78. Capital expenditures	100	100
79. Acquisition of intangible assets	10	10
80. Disposal of intangible assets	10	10
81. Net change in cash and cash equivalents	60	60
82. Free cash flow	110	110
83. Capital expenditures	100	100
84. Acquisition of intangible assets	10	10
85. Disposal of intangible assets	10	10
86. Net change in cash and cash equivalents	60	60
87. Free cash flow	110	110
88. Capital expenditures	100	100
89. Acquisition of intangible assets	10	10
90. Disposal of intangible assets	10	10
91. Net change in cash and cash equivalents	60	60
92. Free cash flow	110	110
93. Capital expenditures	100	100
94. Acquisition of intangible assets	10	10
95. Disposal of intangible assets	10	10

Custodians

JJE/JFK:	2,864 hours x 2 facilities = 5,728 hours x 2 nd year rate	hours	6,456	5,728
	1,750 hours (special events / training) x 2 nd year rate	hours	1,750	1,750
Theater:	2,080 hours x 2 nd year rate	hours	2,080	2,080

Park Rangers

JFK (Rentals): 240 hours x Park Ranger Supervisor II 2 nd year rate	hours	240	240
896 hours x Park Ranger x 2 nd year rate	hours	896	896
JJE: Weekdays - 2,259 hours			
Weekends - 2,080 hours			
Special Events/Rink - 700 hours			
City Hall - 500 hours			
Total - 5,539 hours			
4,529 hours x Park Ranger x 2 nd year rate	hours	4,529	4,529
1,010 hours x Park Ranger Supervisor II 2 nd year rate	hours	1,010	1,010

Ice Rink

Rink Managers: 1,700 hours x 2 nd year rate	hours	1,700	1,700
Rink Guards: 2,600 hours x 2 nd year rate	hours	2,600	2,600
Rink Cashiers: 1,800 hours x 2 nd year rate	hours	1,800	1,800

JJE Pool

JJE Pool Managers: 1,560 hours x 2 nd year rate	hours	1,560	1,560
Head Guards: 2,340 hours x 2 nd year rate	hours	2,340	2,340
JJE Lifeguards: Public Sessions: 3,588 hours x LG 2 nd year rate	hours	3,588	3,588
Classes/Rentals: 5,000 hours x LG 2 nd year rate	hours	5,000	5,000

Concessions (St. Ferdinand Park, Bangert Pool, Koch Aquatic Center)

Managers: St. Ferdinand: 0 hours x 2 nd year rate	hours	500	0
Koch: 0 hours x 2 nd year rate	hours	751	0
Bangert: 751 hours x 2 nd year rate	hours	751	751
Cashiers: St. Ferdinand (includes Koch Cart Attendant):			
0 hours x 2 nd year rate	hours	900	0
KPFAC: 0 hours x 2 nd year rate	hours	1,502	0
Bangert: 751 hours x 2 nd year rate	hours	751	751

Total part-time hours	70,319	63,154
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Instructors:	80,000	80,000
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ADA Compliance:	1,500	1,500
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Account 4426 - Utilities	Total	352,800	305,500
Centers		347,300	300,000
Nature Lodge		5,500	5,500

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

RECREATION DEPARTMENT - PLAYGROUND

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
4510-Salaries	124,454	141,153	141,153
4513-F.I.C.A.	<u>9,521</u>	<u>10,798</u>	<u>10,798</u>
Total	133,975	151,951	151,951

PERSONNEL SERVICES

Full-time		0	0
Part-time		141,153	141,153
Overtime		<u>0</u>	<u>0</u>
Total Personnel Services		141,153	141,153

PERSONNEL SCHEDULE

Directors p/t	0.47
Assistant Directors p/t	0.64
Playground Recreation Leaders p/t	<u>6.48</u>
Total	7.59

Full-time 0.00

Total Personnel 7.59

Full-time Equivalent (Part-time) 7.59

Summer Playground Budget: 2018

2017 2018

Program Dates: June 4 - July 13, 2018

Program dates subject to change based on local school district schedules

The summer playground program is a six week program. There is no camp on July 4th.

Account 4510 - Part-time Seasonal

Directors

320 hours + 9 orientation hours = 329 hours

329 hours x 3 Directors = 987 hours x 2 nd year rate	hours	987	987
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Assistant Directors

264 hours + 9 orientation hours = 273 hours

273 hours x 4 Assistant Directors = 1,092 hours x 2 nd year rate	hours	1,092	1,092
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Playground Recreation Leaders

187.5 hours + 15 orientation hours & training hours = 202.5 hours

202.5 hours x 48 Playground Recreation Leaders =

9,720 hours x 2 nd year rate	hours	9,720	9,720
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202.5 hours x 13 Playground Recreation Leaders =

2,632 hours x 1 st year rate	hours	2,632	2,632
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Special Needs Recreation Leaders

187.5 hours + 15 orientation hours & training hours = 202.5 hours

202.5 hours x 2 Special Needs Recreation Leaders =

405 hours x 2 nd year rate	hours	405	405
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“BEFORE AND AFTER CARE” PROGRAM

Monday - Friday, 7:30am - 9:00am and 3:00pm - 5:30pm, 6 weeks

Assistant Directors

120 hours x 2 Assistant Directors = 240 hours x 2 nd year rate	hours	240	240
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Playground Recreation Leaders

120 hours x 6 Playground Recreation Leaders =

720 hours x 2 nd year rate	hours	720	720
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Total part-time hours	15,796	15,796
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The Summer Playground Program is held 9am - 3pm each weekday for a six week period. There is a nine hour orientation session for the entire staff before the program begins.

City of Florissant Operating Budget
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RECREATION DEPARTMENT - BANGERT POOL

<u>Account</u>	<u>Actual</u> <u>2016</u>	<u>Budget</u> <u>2017</u>	<u>Proposed</u> <u>2018</u>
4610-Salaries	136,550	149,092	170,446
4613-F.I.C.A.	9,701	11,406	13,039
4626-Utilities	<u>33,337</u>	<u>35,000</u>	<u>35,000</u>
Total	179,588	195,498	218,485

PERSONNEL SERVICES

Full-time	0	0
Part-time	149,092	170,446
Overtime	<u>0</u>	<u>0</u>
Total Personnel Services	149,092	170,446

PERSONNEL SCHEDULE

Pool Manager p/t	0.44	
Head Guard p/t	0.37	
Lifeguards p/t	5.86	
Cashiers p/t	<u>0.74</u>	
Total	7.41	Full-time 0.00
Total Personnel	7.41	Full-time Equivalent (Part-time) 7.41

RECREATION DEPARTMENT - KOCH AQUATIC CENTER

<u>Account</u>	<u>Actual</u> <u>2016</u>	<u>Budget</u> <u>2017</u>	<u>Proposed</u> <u>2018</u>
5610-Salaries	167,993	173,664	0
5613-F.I.C.A.	12,851	13,285	0
5626-Utilities	<u>54,599</u>	<u>65,000</u>	<u>0</u>
Total	235,443	251,949	0

PERSONNEL SERVICES

Full-time	0	0
Part-time	173,664	0
Overtime	<u>0</u>	<u>0</u>
Total Personnel Services	173,664	0

PERSONNEL SCHEDULE

Pool Manager p/t	0.00	
Head Guard p/t	0.00	
Lifeguards p/t	0.00	
Cashiers p/t	<u>0.00</u>	
Total	0.00	Full-time 0.00
Total Personnel	0.00	Full-time Equivalent (Part-time) 0.00

Bangert Pool Budget: 2018

2017 2018

Pool Season: May 26 - August 5, 2018 (72 days of operation)

Weekends Only: August 6 - September 3, 2018 (9 days of operation)

Hours of operation: Daily 12:30 - 7:30pm Holidays 12:30 - 5:00pm

Total Days of Operation in 2018: 81 (2017: 81 Days of Operation)

Account 4610 - Salaries: Part-time Seasonal

Pool Manager

9.5 hours x 81 days = 770 hours x 2 nd year rate	hours	770	770
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Head Guard

9.5 hours x 81 days = 770 hours x 2 nd year rate	hours	770	770
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Lifeguards

9.5 hours x 81 days = 770 hours x 14 Lifeguards = 10,780 hours			
10,780 hours x Lifeguard 2 nd year rate	hours	8,470	10,780

Cashiers (Admission)

9.5 hours x 81 days = 770 hours x 2 Cashiers = 1,540			
1,540 hours x 2 nd year rate	hours	1,540	1,540

Swim Team

4 hours x 35 days = 140 hours			
140 hours x Pool Manager 2 nd year rate	hours	140	140
4 hours x 35 days = 140 hours x 4 Lifeguards = 560 hours			
560 hours x Lifeguard 2 nd year rate	hours	560	560

Swim Team Coaches Salaries:		9,000	10,000
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Swim Lessons (youth)

2 hours x 16 days = 32 hours x 16 Lifeguards = 512 hours			
512 hours x Lifeguard 2 nd year rate	hours	768	512

Swim Lessons (adult)

1 hour x 16 days = 16 hours x 0 Lifeguards =	hours	32	0
0 hours x 2nd year rate (program discontinued)			

Playground Swim

2 hours x 12 days = 24 hours x 14 Lifeguards = 336 hours			
336 hours x Lifeguard 2 nd year rate	hours	264	336

Total part-time hours		13,314	15,408
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Pre-season training, prep-work and post-season winterizing:		5,000	5,000
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Special events, programs and rentals:		2,500	2,500
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Account 4626 - Utilities	Total	35,000	35,000
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Koch Park Family Aquatic Center Budget: 2018

2017 2018

Pool Season: Pool will not be opened during 2018 (0 days of operation)

Total Scheduled Days of Operation in 2018: 0 (2017: 65 Days of Operation)

Account 5610 - Salaries: Part-time Seasonal

Pool Manager

0 hours x 45 days = 0 hours x 2nd year rate

0 hours x 20 days = 0 hours x 2nd year rate

0 hours x 2 nd year rate	hours	573	0
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Head Guard

0 hours x 45 days = 0 hours

0 hours x 20 days = 0 hours

0 hours x 2 Head Guards = 0 hours x 2 nd year rate	hours	1,146	0
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Lifeguards

0 hours x 45 days = 0 hours

0 hours x 20 days = 0 hours

0 hours x 22 Lifeguards = 0 hours x 2 nd year rate	hours	12,606	0
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Cashiers (Admissions)

0 hours x 45 days = 0 hours

0 hours x 20 days = 0 hours

0 hours x 3 Cashiers = 0 hours x 2 nd year rate	hours	1,719	0
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Playground Swim

0 hours x 12 days = 0 hours x 0 Lifeguards = 0 hours

0 hours x Lifeguard 2 nd year rate	hours	528	0
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Total part-time hours		16,572	0
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Pre-season training, prep-work and post-season winterizing:		7,500	0
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Special events, programs and rentals:		2,500	0
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Account 5626 - Utilities

Total	65,000	0
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City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

RECREATION DEPARTMENT - PARKS

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
4710-Salaries	343,137	253,558	267,090
4713-Employees' Benefits	80,264	77,148	83,328
4726-Utilities	68,927	114,200	119,000
4750-Professional Services	<u>28,656</u>	<u>52,000</u>	<u>44,000</u>
Total	520,984	496,906	513,418

PERSONNEL SERVICES

Full-time	174,740	192,603
Part-time	76,818	72,487
Overtime	<u>2,000</u>	<u>2,000</u>
Total Personnel Services	253,558	267,090

PERSONNEL SCHEDULE

<u>Office of the Director</u>		<u>Park Rangers</u>	
Director of Parks & Recreation	1.00	Senior Park Ranger	1.00
Administrative Assistant	<u>1.00</u>	Park Rangers p/t	<u>2.42</u>
Total	2.00	Total	3.42
		<u>Part-time and Seasonal Staff</u>	
		Umpires and Referees - contract	<u>0.00</u>
		Total	0.00
		Full-time	3.00
Total Personnel	5.42	Full-time Equivalent (Part-time)	2.42

Parks Budget: 2018

		<u>2017</u>	<u>2018</u>
<u>Account 4710 - Salaries</u>			
<u>Full-time Employees</u>			
Director of Parks and Recreation		1	1
Administrative Assistant		1	1
Senior Park Ranger		<u>1</u>	<u>1</u>
Total full-time employees		3	3
Overtime: \$2,000			
<u>Part-time Employees</u>			
Park Rangers:			
All Parks: 35 hours x 52 weeks = 1,820 hours			
1,820 hours x 2nd year rate	hours	1,820	1,820
All Parks: 45.5 hours x 20 weeks (peak season) = 910 hours			
910 hours x 2nd year rate	hours	910	910
St. Ferdinand & Koch Parks: 45.5 hours x 22 weeks			
x 2 Ranger = 2,002 hours x 2nd year rate	hours	2,002	2,002
Nature Lodge: Weekday hours discontinued	hours	416	0
Special Activities and Rentals: 310 hours x 2nd year rate	hours	310	310
Total part-time hours		5,458	5,042
Field Supervisors and Referees:	dollars	20,000	20,000
<u>Account 4726 - Utilities</u>			
	Total	114,200	119,000
Parks		114,200	119,000
<u>Account 4750 - Professional Services</u>			
	Total	52,000	44,000
Umpires contracted through the ASA		40,000	32,000
Charge card fees		12,000	12,000

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

RECREATION DEPARTMENT - GOLF COURSE

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
0610-Salaries	311,297	302,746	307,092
0613-Employees' Benefits	72,739	91,314	93,745
0621-Uniforms & Allowance	814	1,000	1,000
0623-Postage & Printing	1,441	1,696	1,696
0626-Utilities	60,739	67,200	67,200
0627-Gasoline	8,295	20,000	20,000
0628-Merchandise	53,033	110,750	110,750
0629-Bldg., Maint., & Supplies	84,163	105,000	105,000
0630-Equipment Repairs	27,903	25,000	30,000
0632-Office Supplies & Maint.	3,261	3,500	3,500
0642-Dues, Travel, Training	3,423	4,080	4,080
0650-Professional Services	97,735	98,550	100,750
0654-Publicity	<u>11,224</u>	<u>7,000</u>	<u>8,000</u>
Total	736,067	837,836	852,813

PERSONNEL SERVICES

Full-time	162,995	164,295
Part-time	139,751	142,797
Overtime	<u>0</u>	<u>0</u>
Total Personnel Services	302,746	307,092

PERSONNEL SCHEDULE

<u>Course Operations</u>		<u>Course Maintenance</u>	
Golf Clubhouse Manager	1.00	Golf Course Superintendent	1.00
Asst. Golf Clubhouse Manager	1.00	Golf Course Mechanic	0.00
Pro Shop Staff p/t	1.14	Golf Course Laborer	1.00
Cart Attendants p/t	1.17	Laborer p/t	0.73
Food & Beverage Staff p/t	<u>1.42</u>	Groundskeeper I p/t	<u>2.25</u>
Total	5.73	Total	4.98

Full-time 4.00

Full-time Equivalent (Part-time) 6.71

Total Personnel 10.71

Golf Course Budget: 2018

	<u>2017</u>	<u>2018</u>
Revenue	575,000	615,000
Account 12010 - Green Fees	230,000	235,000
Account 12210 - Cart Fees	190,000	200,000
Account 12500 - Pro Shop Sales	45,000	50,000
Account 12600 - Concession Sales and Fees	100,000	120,000
Account 12910 - Other Miscellaneous	10,000	10,000

Expenditures

Account 0610 - Salaries		
Full-time Employees		
Golf Clubhouse Manager (reclassified from Grade 4 to Grade 5)	1	1
Assistant Golf Clubhouse Manager	1	1
Golf Course Superintendent	1	1
Golf Course Mechanic	1	0
Golf Course Laborer	<u>0</u>	<u>1</u>
Total full-time employees	4	4

Part-time Employees	Total hours	<u>13,948</u>	<u>13,948</u>
Pro Shop Manager: 1 emp. x 29 hours x 52 weeks	hours	1,508	1,508
Pro Shop Staff: 1 emp. x 30 hours x 29 weeks	hours	870	870
Cart Attendants: 6 emp. x 15 hours x 27 weeks	hours	2,430	2,430
Groundskeeper I: 6 emp. x 30 hours x 26 weeks	hours	4,680	4,680
Laborer: 1 emp. x 29 hours x 52 weeks	hours	1,508	1,508
Food & Beverage Manager: 1 emp. x 28 hours x 34 weeks	hours	952	952
Food & Beverage: 4 emp. x 20 hours x 25 weeks	hours	2,000	2,000

Account 0613 - Employee Benefits
F.I.C.A., Pension, Medical, Dental, Life Insurance, Long Term Disability

Account 0621 - Uniforms and Allowances	Total	1,000	1,000
Full-time and part-time employees		1,000	1,000

Account 0623 - Postage & Printing	Total	1,696	1,696
Postage		96	96
Printing scorecards, signage, miscellaneous items		1,600	1,600

Golf Course Budget: 2018

		<u>2017</u>	<u>2018</u>
Account 0626 - Utilities	Total	67,200	67,200
Electric		12,000	12,000
Gas/Propane		2,500	2,500
Water		45,000	45,000
Sewer		1,000	1,000
Cable TV		3,500	3,500
Trash		1,200	1,200
Alarm		2,000	2,000

Account 0627 - Gas and Oil	Total	20,000	20,000
Gasoline, oil, tires, fluids, lubricants, maintenance, parts, supplies, etc. for golf course vehicles and equipment.		20,000	20,000

Account 0628 - Merchandise	Total	110,750	110,750
Pro Shop merchandise for resale: includes balls, tees, shirts, hats, gloves, etc. (01)		30,750	30,750
Concession supplies: includes beer, liquor, food, snacks, soda, etc. (02)		80,000	80,000

Account 0629 - Building Maintenance and Supplies	Total	105,000	105,000
<u>00 Building Maintenance/Building Supplies</u>	Sub	<u>30,000</u>	<u>30,000</u>

Includes materials and supplies such as portable outhouse rental, pest control, minor maintenance supplies such as hardware, paint, caulk, plumbing, electrical materials and supplies, cleaning supplies, linens, backflow preventer inspection, and various other supplies. Includes replacement banquet tables as needed.

<u>01 Building Maintenance/Course Supplies</u>	Sub	<u>75,000</u>	<u>75,000</u>
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Includes materials and supplies such as sand, top soil, sod, seed, flags, ball washers, bag stand, cups, pesticides, fungicides, herbicides, fertilizers, and other supplies. Also includes materials and supplies such as pipe, fittings and other items necessary to maintain the course irrigation system. Includes soil testing and small equipment repairs and maintenance.

Account 0630 - Equipment Repairs	Total	25,000	30,000
Maintenance of course vehicles and equipment, including miscellaneous parts and supplies, tools, tire repairs, small engine parts and service, batteries, lights, radio work, upholstery, glass, etc.		25,000	30,000

Account 0632 - Office Supplies and Printing	Total	3,500	3,500
Pens, paper and various office supplies.		3,500	3,500

Golf Course Budget: 2018

		<u>2017</u>	<u>2018</u>
Account 0642 - Dues, Travel and Training	Total	4,080	4,080
GCSA dues - Golf Course Superintendent		375	375
MVGCSA dues		365	365
Course Supt.: PGA Show in San Antonio, Texas		1,500	1,500
Greater North County Chamber of Commerce		250	250
Northwest Chamber of Commerce		240	240
Certification expenses		200	200
Mileage for in-town travel		500	500
VGM Club - purchasing cooperative membership		500	500
Metropolitan Amateur Golf Association		150	150
Account 0650 - Professional Services	Total	98,550	100,750
<u>01 Miscellaneous</u>	Sub	<u>6,950</u>	<u>6,950</u>
Handicap Fees		1,000	1,000
Electric repair as needed		1,800	1,800
Tree removal		2,500	2,500
Hepatitis "A" Vaccinations		150	150
Operating Permits		1,500	1,500
<u>02 Bank Fees</u>	Sub	<u>6,800</u>	<u>6,800</u>
Bank and charge card fees		6,800	6,800
<u>06 Cart Lease and Rentals</u>	Sub	<u>84,800</u>	<u>87,000</u>
Cart Lease: 70,000 for the cart lease and 12,000 for property tax		79,800	82,000
Cart Rentals		5,000	5,000
Account 0654 - Publicity	Total	7,000	8,000
Advertising in newspaper, magazine, radio, and other media.		7,000	8,000
Account 0961 - Capital Additions (Park Improvement Fund)	Total	12,500	65,000
<u>Golf Course Equipment</u>	Sub	<u>7,500</u>	<u>60,000</u>
New articulated tractor			29,000
PrecisionCut Trim and Surrounds Mower			31,000
<u>Golf Course Improvements</u>	Sub	<u>5,000</u>	<u>5,000</u>
Various tee, bunker, fairway renovations		5,000	5,000

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

PUBLIC WORKS DEPARTMENT

<u>Account</u>	<u>Actual</u> <u>2016</u>	<u>Budget</u> <u>2017</u>	<u>Proposed</u> <u>2018</u>
4810-Salaries	2,373,018	2,524,137	2,659,027
4813-Employee's Benefits	927,576	1,013,090	1,085,520
4821-Uniforms & Allowance	9,442	9,900	10,900
4826-Utilities	90,905	101,000	101,000
4827-Gasoline	32,791	81,000	126,000
4832-Office Supplies & Maint.	20,437	22,500	26,250
4839-Ice/Snow Removal	119,296	0	117,750
4842-Dues, Travel, Training	24,963	36,735	31,006
4850-Professional Service	65,407	82,000	241,000
4851-Street Lighting	465,568	0	0
4875-Gasoline Control Account	<u>1,507</u>	<u>25,000</u>	<u>25,000</u>
Total	4,130,910	3,895,362	4,423,453

PERSONNEL SERVICES

Full-time	2,252,644	2,318,050
Part-time	174,826	241,977
Overtime	<u>96,667</u>	<u>99,000</u>
Total Personnel Services	2,524,137	2,659,027

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

PUBLIC WORKS DEPARTMENT

PERSONNEL SCHEDULE

Office of the Director

Director of Public Works	1.00
Executive Assistant	<u>1.00</u>
Total	2.00

Street Division

Street Superintendent	1.00
Permit/Inspection Clerk	1.00
Class "A" Foreman	1.00
Class "A" Person	2.00
Class "B" Person	2.00
Class "C" Person	3.00
Street Sweeper	1.00
Equipment Maintenance Supv.	1.00
Equipment Maint. Mechanic	2.00
Summer Laborers p/t	<u>1.15</u>
Total	15.15

Sewer Lateral

Permit/Inspection Clerk	1.00
Class "A" Person	1.00
Class "B" Person	1.00
Class "C" Person	<u>1.00</u>
Total	4.00

Engineering Division

City Engineer	1.00
Civil Engineer I	0.00
Engineering Intern p/t	0.00
Custodian	2.00
Custodian p/t	0.73
Chief Engineer	1.00
Building Maintenance	<u>2.00</u>
Total	6.73

Building Division

Building Commissioner	1.00
Plan Reviewer	1.00
Multi-Building Inspector	7.00
Inspector/Code Enforcement	1.00
Code Enforcement p/t	1.45
Lead Permit/Inspection Clerk	1.00
Permit/Inspection Clerk	8.00
Permit/Inspection Clerk p/t	1.45
Building/Housing Inspector p/t	<u>1.45</u>
Total	23.35

Transportation Division

Clerk Typist	1.00
FLERT Bus Driver	2.00
FLERT Bus Driver p/t	0.85
Senior Bus Driver p/t	<u>1.52</u>
Total	5.37

Full-time 48.00

Total Personnel 56.60

Full-time Equivalent (Part-time) 8.60

Public Works: Building/Engineering/Street Budget 2018

2017 2018

Account 4810 - Salaries		
Full-time employees		
Director of Public Works	1	1
Executive Assistant	1	1
City Engineer	1	1
Building Commissioner	1	1
Plan Reviewer	1	1
Multi-Building Inspector	7	7
Code Enforcement Inspector	1	1
Lead Permit Inspection Clerk ... new position	0	1
Permit Inspection Clerk ... eliminate one position	11	10
Street Superintendent	1	1
Class "A" Foreman	1	1
Class "A" Person	3	3
Class "B" Person	3	3
Street Sweeper	1	1
Class "C" Person ... eliminate one position	5	4
Equipment Maintenance Supervisor	1	1
Equipment Maintenance Mechanic	2	2
Chief Engineer	1	1
Building Maintenance	2	2
Custodian I	2	2
Clerk Typist - Transportation	0	1
FLERT Bus Driver	0	2
Total full-time employees	46	48
Part-time employees - Public Works		
Bldg./Housing Inspector: 2 ea @ 52 weeks @ 29 hrs/week	3,016	3,016
Code Enforcement: 2 ea @ 52 weeks @ 29 hrs/week	3,016	3,016
Permit Inspection Clerk: 2 ea. @ 52 weeks @ 29 hrs/week	3,016	3,016
Summer Laborer: 4 ea. @ 15 weeks @ 40 hrs/week	2,400	2,400
Engineering Summer Intern: 0 ea. @ 15 weeks @ 40 hours	0	0
Custodian: 1 ea. @ 52 weeks @ 29 hrs/week	1,508	1,508
Total Public Works Part-time hours	12,956	12,956
Part-time employees - Transportation		
1 ea. Part-time Bus Driver: 52 weeks @ 20 hrs/week	0	1,040
Weekend (Sat. & Sun.) 2 days @ 7 hrs/day x 52 weeks	0	728
Kids Summer Program: 1 man x 6 hrs. x 6 weeks = 36 MH's	0	36
Fish Program: 1 man x 2 hrs. x 7 weeks = 14 MH's	0	14
Club Meetings (Mon & Wed): 2 days x 2 men x 4 hrs x 52	0	832
Sunday Church Services: 1 man x 4 hrs x 50 weeks	0	200
Trips: 2 men x 146 trips x 7 hrs.	0	2,044
Valley of Flowers: 2 men x 1 days x 7 hrs.	0	14
Total Transportation Part-time hours	0	4,908
Total Part-time hours	12,956	17,864

Public Works: Building/Engineering/Street Budget 2018

2017 2018

Overtime

Street Department: snow removal, storm damage, tree removal, street flooding, some street work, Saturday mechanics, special projects, emergencies, festivals, etc.

Building Division: inspections, Boards and Commission meetings, public hearings, additional scheduling and data entry duties by clerical staff; Police and Fire call outs, night & weekend inspections, office work in general, and emergencies.

Engineering Division: 1) Street work surveying, layout, contractor supervision, commission meetings, office work in general and emergencies and 2) Start up and shut down of pools, ice and roller rink, special events/festivals, HVAC emergency call outs, electric power outages and managing construction projects.

Transportation Division: special events.

Total Overtime Amount 96,667 99,000

Account 4813 – Employees' Benefits

FICA, Pension, Medical, Dental, Life Insurance, Long-term Disability

Account 4821 – Uniforms & Safety Shoes	Total	9,900	10,900
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Clothing allowance for all Full-time and Part-time employees 9,300 10,200

T-Shirts for full-time, part-time and seasonal field employees and City logo shirts for City Engineer, Building Commissioner, Plan Reviewer and Director 600 700

Account 4826 – Utilities	Total	101,000	101,000
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Electric, natural gas, water, sewer, phone, trash collection, cable TV, etc.

Includes City Hall, Government Building, Sign Shop and City Garage

Account 4827 – Gasoline	Total	81,000	126,000
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Major/Minor Construction Equipment, trucks, buses, vehicles and tools in Public Works and Transportation Departments ... Fuel, oil, lubrication, and hydraulic fluids costs are forecasted to remain high ... includes inspector vehicles added to fleet ...

Fuel pump and tank repairs and maintenance

Account 4832 – Printing & Office Supplies	Total	22,500	26,250
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Supplies for City Hall, garage and transportation operations

Photos, film and developing

Printing, copy paper, printer ink cartridges, drafting supplies, supply closet

Printing of new residential "Welcome" packages

Printing of educational flyers for permits, residential and commercial guides

Code books/code update subscription services/NFPA

Equipment repairs and replacement (file cabinets, lamps, chairs, copier, computers, monitors, printers, cameras, typewriters, tables, iPads, etc.)

Public Works: Building/Engineering/Street Budget 2018

2017 2018Account 4832 – Printing & Office Supplies (con't)

Miscellaneous batteries, computer supplies, software, publications, etc.
 St. Louis County property records, maps and reports ...
 Inspection sheets, permits, door tags
 Minimum housing letters/envelopes, etc.
 Computer software and software updates

<u>Account 4839 – Ice/Snow Removal</u>	<u>Total</u>	<u>0</u>	<u>117,750</u>
Salt: 1,500 Tons @ \$70.00/Ton = \$105,000		0	105,000
Calcium Chloride: 15,000 Gals. @ \$0.85/Gal. = \$12,750		0	12,750

<u>Account 4842 – Dues/Travel/Training</u>	<u>Total</u>	<u>36,735</u>	<u>31,006</u>
<u>Dues</u>	<u>Sub</u>	<u>3,895</u>	<u>3,766</u>
Director: Missouri Society of Prof. Engineers (\$212), Engineers Club (\$180), APWA Local & International (\$169) ...		561	561
City Engineer: Engineers Club (\$180), APWA Local & International (\$169)		439	349
Building Commissioner: ICC (\$240), MABOI (\$40), SLACE (\$35), AIA (\$551)		866	866
Building Inspectors: MABOI (10 @ \$40), ICC (10 @ \$35), SLACE (10 @ \$35)		1,100	1,100
Plan Reviewer: MABOI (\$40), IAEI (\$120), SLACE (\$35), ICC (\$35)		230	230
Street Superintendent: APWA Local & International (\$169), ISSA (\$130)		299	260
Chief Engineer: Asbestos Certification Renewal, Stationary Engineer's License Fee		400	400
<u>Travel</u>	<u>Sub</u>	<u>20,000</u>	<u>15,000</u>
Plan Reviewer, P/T Inspector, Bldg. Commissioner, Director, City Engineer, and others ... less Inspector vehicles ...		20,000	15,000

Public Works: Building/Engineering/Street Budget 2018

2017 2018

Account 4842 – Dues/Travel/Training (con't)

<u>Training</u>	Sub	<u>12,840</u>	<u>12,240</u>
Director: Area Conferences and Seminars ...		400	400
APWA Conference and Equipment Show...		1,800	1,800
City Engineer: GIS, APWA and Area Seminars ...		800	800
Civil Engineer I: Local Seminars and Area Conferences ...		500	0
Building Commissioner: Area Code Conferences/Seminars, MABOI Fall Conference ...		1,300	1,300
Plan Reviewer: Area Code Conferences and Seminars, MABOI Fall Conference ...		1,300	1,300
Chief Engineer & Staff: Area Seminars, Conferences and Asbestos Classes/Certifications		900	800
Street Superintendent: Area Seminars		400	400
Street Personnel/Mechanics: Area Conferences		800	800
Building Inspectors: MABOI Fall Conference (3 @ \$680)		2,040	2,040
Area Code Seminars (3 @ \$400)		1,200	1,200
P/T Inspectors: Area Seminars		400	400
Exec. Asst. & Clerical Staff: Personal development classes		400	400
Computer & iPad Classes/Training		600	600

Account 4850 – Professional Services

Total 82,000 241,000

Public Works Database rebuild and reconfiguration - cost estimated at \$220,000
 Materials Testing
 Traffic Consultation
 Miscellaneous Public Works projects - design services
 Testing of fire sprinkler systems and backflow preventers
 Weather Service for Winter Storms \$3,200
 Pedestrian Traffic Signal Maintenance and Repair by St. Louis County

Account 4875 – Gasoline Control Account

Total 25,000 25,000

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

POLICE DEPARTMENT

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
4910-Salaries	6,870,509	7,234,090	8,353,592
4913-Employee's Benefits	2,546,170	2,751,082	3,161,145
4914-Residency Incentive Program	0	0	31,200
4921-Uniforms & Allowance	84,676	95,980	92,500
4924-Telephone	0	0	76,000
4926-Utilities	46,241	62,500	73,500
4927-Gasoline	121,021	256,500	256,500
4929-Bldg., Maint., & Supplies	52,725	72,000	140,000
4930-Equip. Repair-Vehicle	47,338	66,800	61,800
4932-Office Supplies & Maint.	39,288	42,000	48,750
4933-Copy Equip. Rental & Supply	10,194	22,000	22,000
4934-Communication Service	281,010	306,000	326,000
4935-Armory Supplies & Guns	26,966	28,700	32,100
4942-Dues, Travel, Training	57,806	87,300	92,300
4950-Professional Service	0	0	171,000
4955-Insurance	0	0	550,500
4961-Capital Additions	83,397	85,000	0
4975-Gasoline Control Account	<u>3,968</u>	<u>65,000</u>	<u>65,000</u>
Total	10,271,309	11,174,952	13,553,887

PERSONNEL SERVICES

Full-time	6,422,692	7,272,250
Part-time	248,699	483,854
Overtime	309,000	334,000
Holiday Pay	<u>253,699</u>	<u>263,488</u>
Total Personnel Services	7,234,090	8,353,592

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

POLICE DEPARTMENT

PERSONNEL SCHEDULE

Office of the Chief

Chief of Police	1.00
Administrative Assistant	<u>1.00</u>
Total	2.00

Bureau of Support Services

Major	1.00
Sergeant	1.00
Police Officer	3.00
IT Director	0.50
IT Manager	1.00
Dispatcher	9.00
Dispatcher p/t	2.90
Administrative Assistant	1.00
Clerk Typist	3.00
Custodian	0.00
Class "C" Person	1.00
Custodian p/t	<u>0.73</u>
Total	24.13

Bureau of Health

Class "A" Foreman	1.00
Class "A" Person	1.00
Class "B" Person	1.00
Class "C" Person	2.00
Clerk Typist	1.00
Kennelman p/t	2.90
Summer Laborers p/t	<u>2.46</u>
Total	11.36

Bureau of Field Operations

Captain	1.00
Lieutenant	5.00
Sergeant	6.00
Police Officer	58.00
Reserve Officer p/t	2.90
Clerk Typist	<u>1.00</u>
Total	73.90

Bureau of Investigations

Captain	1.00
Sergeant	2.00
Police Officer	10.00
Transportation Correction Officers and Corrections Officers	<u>6.00</u>
Total	19.00

Total Personnel 130.39

Full-time 118.50

Full-time Equivalent (Part-time) 11.89

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 491001: SALARIES

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 6,676,391	\$ 7,535,738	Full-time Salaries (including holidays)
\$ 309,000	\$ 334,000	Overtime
\$ 248,699	\$ 483,854	Part-time Salaries
\$ 7,234,090	\$ 8,353,592	TOTAL

FULL-TIME EMPLOYEES

<u>2017</u>	<u>2018</u>	
1.0	1.0	Chief of Police
1.0	1.0	Major
2.0	2.0	Captains
5.0	5.0	Lieutenants
9.0	9.0	Sergeants
71.0	71.0	Police Officers
0.0	0.0	Police Officer Grant Positions (Unfilled)/Academy Recruit
0.0	0.5	Information Technology Director (wage split with IT Dept.)
1.0	0.0	Information Technology Administrator
0.0	1.0	Information Technology Manager (new position)
1.0	2.0	Administrative Assistant (one additional position)
5.0	4.0	Clerks Typists (one less position)
1.0	0.0	Custodian (position eliminated)
0.0	1.0	Class "C" (new position)
6.0	6.0	Corrections/Transport Officers
9.0	9.0	Dispatchers
0.0	1.0	Class "A" Foreman - Health and Safety
0.0	1.0	Class "A" - Health and Safety
0.0	1.0	Class "B" - Health and Safety
0.0	2.0	Class "C" - Health and Safety
<u>0.0</u>	<u>1.0</u>	Clerk Typist - Health and Safety
112.0	118.5	TOTAL FULL-TIME EMPLOYEES

Information Technology Director: New position to oversee all information technology operations for the city. Wages will be split between the Police Department and the Information Technology Department.

Administrative Assistant: Proposed change to eliminate one Clerk Typist position and add one additional Administrative Assistant position.

Custodian: Proposed change to eliminate the Custodian position and add one Class "C" position to handle the job duties currently being handled by the Custodian .

Health: The Health Department has been eliminated and the duties and functions of that department associated with health and safety have been transferred to the oversight and control of the Police Department.

Florissant Police Department
Fiscal Year 2018 Budget

PART-TIME EMPLOYEES

Reserve Officers: The City has hired part-time Police Officer/Rangers to patrol the city parks. These part-time Officers are fully commissioned police officers working 29 hours a week. The Officers will patrol the city parks, recreation centers and nature lodge enforcing the ordinances and keeping the peace.

Part-time Dispatchers: Allows for better scheduling and helps save overtime paid to full-time dispatchers. These hours help to reduce the amount of paid overtime needed to cover vacations, illnesses, training, and other uncovered shifts in the schedule. The budget reflects the total number of hours requested without limiting the number of actual part-time dispatchers needed in order to maximize the utility of the part-time dispatchers.

Part-time Health and Safety: With the elimination of the Health Department, the part-time Kennelmen and summer help positions have been transferred to the oversight and control of the Police Department.

<u>2017</u>	<u>2018</u>	
-	-	Dispatchers: 116 hours/week x 52 weeks = 6,032 hours
1	1	Custodian: 1 x 29 hours/week x 52 weeks = 1,508 hours
4	6	Reserve Officers (Police Park Rangers and Bailiffs): 6 x 29 hours/week x 52 weeks = 9,048 hours
0	8	Kennelmen: 4 x 29 hours/week x 52 weeks plus summer help at 4 x 40 hours/week x 32 weeks
4,524	6,032	Dispatcher hours
6,032	9,048	Reserve Officer hours
<u>0</u>	<u>11,152</u>	Kennelmen
10,556	26,232	TOTAL PART-TIME HOURS

ACCOUNT 491002: OVERTIME

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 230,000	\$ 255,000	General Overtime
\$ 20,000	\$ 20,000	DEA Reimbursed Overtime
\$ 20,000	\$ 20,000	FBI Reimbursed Overtime
\$ 39,000	\$ 39,000	Grant Reimbursed Overtime
\$ -	-	Mid-Year Appropriation
\$ 309,000	\$ 334,000	TOTAL

Overtime funding for 2018 reflects the following items.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 491002: OVERTIME (con't)

General Overtime: This overtime includes court appearances and court security; investigation of serious crimes; unusual occurrences; holiday foot patrols; surveillances; special details including the Valley of Flowers Festival, Fourth of July Program, Old Town Fall Festival, the Veteran's Parade; and staffing vacation and sick-time relief, especially in communications. We will continue to utilize compensatory time in lieu of overtime where possible.

DEA Reimbursed Overtime: The Department has one detective assigned to the U. S. Drug Enforcement Administration's St. Louis Drug Task Force. The task force agreement requires that the detective be paid a fixed overtime differential that is reimbursed to the City by the DEA. This item is adjusted based on the salary of the officers assigned

FBI Reimbursed Overtime: The Department was able to place one Detective in this violent crime task force. The task force agreement requires that the detective be paid a fixed overtime differential that is reimbursed to the City by the FBI. This item is adjusted based on the salary of the officers assigned

Grant Reimbursed Overtime: The Department has received traffic grant awards for overtime projects for 2018.

ACCOUNT 4914: RESIDENCY INCENTIVE PROGRAM

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ -	\$ 31,200	Residency Incentive Program
\$ -	\$ 31,200	TOTAL

Residency Incentive Program: Program designed to reward city employees for choosing to live in the City of Florissant:

ACCOUNT 4921: UNIFORMS

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 17,200	\$ 18,500	Uniform Cleaning & Repair
\$ 49,000	\$ 51,000	Uniform Purchase & Replacement
\$ 16,000	\$ 16,000	Detective Clothing Allowance
\$ 4,000	\$ 4,500	Badge Replacement and Repair
\$ -	\$ 2,500	Health
\$ 86,200	\$ 92,500	TOTAL

Uniform Cleaning & Repair: The department provides dry cleaning of uniforms and detective clothing. An increase of \$1,300 for 2018 is requested.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4921: UNIFORMS (con't)

Uniform Purchase & Replacement: This covers the cost of replacing uniforms and body armor. A United States Department of Justice BVP 50/50 match grant was awarded in 2017 but no funds have been awarded to the Department for 2018. New grants have been applied for. However, it is unknown as to whether the department will receive those. A \$ 2,000 increase for 2018 is requested.

Detective Clothing Allowance: No increase is requested for 2018.

Badge Replacement and Repair: These funds provide for the repair and replacement of badges. Requested increase of \$500 for 2018

Health: Clothing allowance for all full-time and part-time Health employees.

ACCOUNT 4924: TELEPHONE

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ -	\$ 76,000	Telephone service
\$ -	\$ 76,000	TOTAL

Telephone service: This item reflects the cost for local, long distance and mobile telephone service. Includes a portion of the lease and maintenance cost for the Inter-Tel telephone system as well as the purchase of IP phones.

ACCOUNT 4926: UTILITIES

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 42,000	\$ 47,400	Electricity
\$ 11,000	\$ 14,300	Natural Gas
\$ 5,000	\$ 6,600	Water
\$ 2,500	\$ 3,200	Sewer
\$ 2,000	\$ 2,000	Trash
\$ 62,500	\$ 73,500	TOTAL

Utilities: This account reflects the various utilities used by the police department. Includes utilities for the Health building.

ACCOUNT 4927: GASOLINE

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 255,000	\$ 255,000	Gasoline
\$ 1,000	\$ 1,000	Pump Repair
\$ 500	\$ 500	Pump Inspections
\$ 256,500	\$ 256,500	Total

Gasoline: The cost of regular unleaded gasoline fluctuates wildly. The average cost is currently around \$2.10 for 2017. At this time it is anticipated that current funding is sufficient.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4929: BUILDING and JAIL MAINTENANCE

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 1,500	\$ 1,500	Rug Rental
\$ 500	\$ 500	Fire Extinguisher Service
\$ 21,500	\$ 21,500	Prisoner Supplies
\$ 8,000	\$ 8,000	Janitorial Supplies
\$ 500	\$ 500	Pest Control
\$ 37,500	\$ 37,500	Building Repairs (HVAC/ Electrical/Plumbing)
\$ 2,500	\$ 2,500	Furniture and Fixtures
\$ -	\$ 32,000	Health Building Maintenance and Supplies
\$ -	\$ 36,000	Health Materials and Supplies
\$ 72,000	\$ 140,000	Total

Rug Rental: This item reflects the rental cost of runners and rugs for slip and fall protection. No increase for 2018.

Fire Extinguisher Service: This item reflects the annual inspection, service and if necessary, replacement of fire extinguishers in the police department headquarters. No increase for 2018.

Prisoner Supplies: This item covers the cost of prisoner meals and medications as well as the periodic replacement of jumpsuits, mattresses and blankets. No increase for 2018.

Janitorial Supplies: This item includes the supplies necessary to clean and maintain the police building including janitorial supplies, paint, hardware, and miscellaneous small repair parts. Based on the increasing level of maintenance required to maintain an aging building. No increase for 2018.

Pest Control: This item covers the cost of our monthly pest control service and will be unchanged for 2018.

Building Repairs: These funds cover the costs associated with both routine and emergency maintenance of electrical, mechanical, plumbing, and the heating and cooling systems of the 33 year old police building. There is constant maintenance, painting, replacing of flooring, ceiling tiles and a number of light fixtures throughout the building. No increase for 2018.

Furniture and Fixtures: This item covers the cost of miscellaneous furniture and fixtures of a minor nature that require replacing as needed. No increase for 2018.

Health Building Maintenance and Supplies: Radio repairs and maintenance for base, mobile and walkie/talkie units. ULV repairs and maintenance or motors and blowers as needed. Weed eater repairs and maintenance. Dog, cat, raccoon and possum traps and cages as needed, small equipment repairs, building maintenance repairs, supplies and materials including paint, solvents, janitorial supplies, etc. Three week eaters at \$500 each, two handheld blowers at \$430 each, one commercial 30" push mower at \$1,600, and one backpack blower at \$500.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4929: BUILDING and JAIL MAINTENANCE (con't)

Health Material and Supplies: Anvil for ULV's mosquito fogging, flushing solvent for cleaning ULV's, Altoside or Aqua/Bac briquettes to treat stagnate water for mosquito control. Round-Up #5 for weed control. Pine-O-Lene disinfectant for kennel area. Liqui-zyme Odor Eliminator, Bacterial/Enzyme Action, Rompum, Ketaset and Meticorton chemical used in animal control. Dog and cat food and supplies. Rodent cakes for baiting residential properties, creeks and sewers. Insecticide chemicals for roach's, wasps, bees, spiders and other insects.

ACCOUNT 4930: VEHICLE MAINTENANCE & REPAIRS

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 4,800	\$ 4,800	Vehicle Washes
\$ 45,000	\$ 45,000	Vehicle Repair
\$ 800	\$ 800	First Aid Supplies
\$ 600	\$ 600	Fire Extinguisher Service
\$ 2,000	\$ 2,000	Flares
\$ 600	\$ 600	Inspections & Licenses
\$ 8,000	\$ 8,000	Miscellaneous Vehicle Parts
\$ 61,800	\$ 61,800	TOTAL

Vehicle Washes: This line covers the cost of regular washes and periodic detailing of police vehicles. It also covers decontamination of blood or other biohazards that occur.

Vehicle Repair: This line covers the cost to repair vehicles resulting from crashes, including repairs to windshields and other repairs not normally made by the City garage. Due to changes to accounting procedures, more funds have been appropriated into this line item in FY 2017 to cover vehicle accidents. No increase is requested for 2018.

First Aid Supplies: This item covers the cost of first aid supplies including bandages, rubber gloves, breathing airways, and hand sanitizers. No increase for 2018.

Fire Extinguisher Service: This item covers the recharging or replacement of fire extinguishers carried in the police vehicles. No increase for 2018.

Flares: This covers the cost of flares used for controlling traffic at crashes and road closures. No increase for 2018.

Inspections & Licenses: This is the cost of titling all department vehicles as well as the inspection and licensing of unmarked vehicles. No increase for 2018.

Miscellaneous Vehicle Parts: The item covers the cost of replacing graphics on cars, replacing lost wheel covers, replacement weapons racks or radio mounts, and other miscellaneous repair parts for vehicles and bicycles. We found this year that none of the prior radio mounting equipment, computer mounts or gun racks fit in the new police vehicles, forcing the department to purchase these items for every new vehicle. No Increase for 2018.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4932: OFFICE AND EVIDENCE SUPPLIES
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<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 3,000	\$ 3,000	Citations and Mobile Printer Paper
\$ 9,000	\$ 9,000	Computer/Server/Soft ware/Printer Parts and Repairs
\$ 1,500	\$ 1,500	Crime Prevention Supplies
\$ 10,000	\$ 10,000	Evidence Supplies
\$ 1,000	\$ 1,000	Microfilm Reader Maintenance Agreement
\$ 500	\$ 500	Drug Test Kits
\$ 15,000	\$ 15,000	Office Supplies
\$ 1,000	\$ 1,000	Intoxilyzer Repair and Supplies
\$ 1,000	\$ 1,000	Printing Services
\$ -	\$ 6,750	Health
\$ 42,000	\$ 48,750	TOTAL

Citations and Mobile Printer Paper: This reflects the cost of having citation and warning books printed to state requirements. Most citations are now generated on the mobile computers and this item also covers the cost of thermal printer paper used to print the violator's copy of citations on the mobile computers. No increase for 2018.

Computer/Printer Parts and Repairs: This covers the cost of repairing or purchasing replacement parts for computers, printers and other small office machines. No Increase for 2018.

Crime Prevention Supplies: This line funds the cost of public relations, educational materials and promotional items for the department. No increase for 2018.

Evidence Supplies: This covers the cost of crime scene processing supplies such as fingerprinting materials, photographic media and replacement of filters and parts on technical equipment in the processing room. No increase for 2018.

Microfilm Reader Maintenance Agreement: This is an annual maintenance and service agreement for the Record Room microfilm reader. No increase for 2018.

Office Supplies: There have been increases in supply costs. We carefully monitor consumption. No increase for 2018.

Intoxilyzer Repair and Supplies: This includes the costs of maintenance and equipment for the alcohol breath testing instrument. No increase for 2018.

Printing Services: This includes the costs for printing flyers and brochures that cannot be printed in-house. No increase for 2018.

Health: Printing, office supplies, forms, typewriter and adding machine, cameras, computers, iPads, printers and copy machine maintenance, operating supplies and maintenance, ink cartridges to support Health operations.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4933: COPIER EQUIPMENT AND SUPPLIES

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 8,000	\$ 8,000	Copier Lease/Supplies
\$ 11,500	\$ 11,500	Printer Management Lease Toner and Supplies
\$ 2,500	\$ 2,500	Paper and Toner
\$ 22,000	\$ 22,000	TOTAL

Copier Lease: This item covers the cost of leasing and maintaining the department's one copying machine and all of the computer printers located throughout the department. No Increase for 2018.

Printer Management Lease: This item covers the continued Maintenance/Repair/Toner of all printers located with in the department. No increase for 2018.

Paper and Toner: This item covers the cost of toner for the copier and paper used for the department's one copying machine and all of the computer printers located throughout the department. No increase for 2018.

ACCOUNT 4934: COMMUNICATIONS SERVICES

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 7,500	\$ 7,500	CCTV Maintenance Agreement
\$ 14,000	\$ 14,000	Radio Repair & Maintenance
\$ 2,000	\$ 2,000	Existing Federal Requirements 2 factor authentication
\$ 125,000	\$ 125,000	REJIS Subscription & Network Charges
\$ 2,000	\$ 2,000	REJIS Record Checks for Human Resources
\$ 20,000	\$ 20,000	Wireless Data Service for Patrol Vehicles.
\$ 24,000	\$ 30,000	REJIS Professional Services
\$ -	\$ 40,000	ITI CAD Computer Aided Dispatch/Mobil/GPS/ Syste
\$ 48,000	\$ 20,000	Global RMS and Computer Services
\$ 2,000	\$ 2,000	Audiolog Maintenance Agreement
\$ 13,000	\$ 13,000	Live Scan System Maintenance Agreement
\$ 7,000	\$ 9,000	Speed Warning Systems Data Package
\$ 1,000	\$ 1,000	Liberty Interview Systems
\$ 5,000	\$ 5,000	Dictation System Maintenance Agreement
\$ 4,000	\$ 4,000	Investigative Databases
\$ 7,500	\$ 7,500	Evidence-On-Q Software Maintenance Agreement
\$ 2,200	\$ 2,200	Oceans Systems Maintenance Agreement
\$ 2,000	\$ 2,000	Walkie-Talkie Battery Replacement
\$ 1,000	\$ 1,000	CellBrite Investigation Maintenance Agreement
\$ 2,200	\$ 2,200	Illegal Sign Project support software and auto dialer
\$ 4,000	\$ 4,000	PlanIT Scheduling Software Maintenance Agreement
\$ 5,100	\$ 5,100	Power DMS Systems Maintenance Agreement
\$ 7,500	\$ 7,500	RCCEG Forensic Computer Analysis
\$ 306,000	\$ 326,000	TOTAL

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4934: COMMUNICATIONS SERVICES (con't)

Closed Circuit TV Maintenance Agreement: This item covers the 12 month service agreement that includes the server, software, monitors, and cameras for the police department's closed circuit TV system used to monitor the safety and security of the holdover and the perimeter of the building. No increase for 2018.

Radio Repair and Maintenance: This item covers the cost of repair and service for the base radio system, mobile radios, emergency lighting, radar equipment, and the like. The department has a service agreement. No increase for 2018.

REJIS Subscription and Network Services: This is the cost for the Regional Justice Information Services (REJIS) used by the department to input and query arrest histories including the NCIC database, the Missouri Department of Revenue license and registration files and the regional mug shot system. Continue REJIS Professional Services an increase of \$6,000 is requested for 2018.

ITI Computer Aided Dispatch System: The Department switched from Global CAD to ITI CAD due to the Global system no longer being supported or updated.

Global RMS and Computer Services: This covers the maintenance and support of the Global Software for our records management, maintenance and system support on our Dell server.

Audiolog Communications Recorder Maintenance and Support: This covers the cost of the department's service agreement to provide maintenance and support for the digital recorder and software used to record, archive and playback all radio and telephone lines in the communications center.

Live Scan Maintenance and Support: This is the annual maintenance agreement for the digital fingerprinting system that links the department with state and national fingerprint files. No increase for 2018.

Speed Warning Systems: The department has Six speed warning units. These units are portable and can be moved to various locations throughout the city. The units provide the traffic unit with important data regarding speed and traffic volume. An increase of \$2000 is requested for 2018.

Dictation System Maintenance and Support: This is the cost of the maintenance agreement for the dictation system used for the dictation and transcription of police reports. Based on the current agreement, this will be unchanged in 2018.

Investigative Databases: The Bureau of Investigation utilizes several investigative databases. The Accurant and Leads-on-Line services are priced based on investigative transactions. No increase for 2018.

Evidence-On-Q Software Maintenance Agreement: This covers the cost of maintaining the software used to barcode and track evidence and property. This cost also covers the department inventory tracking system. No increase for 2018.

Oceans Systems Software and Maintenance and Support: This covers the cost of maintaining the software used to enhance and copy security videos to better identify suspects when utilizing video taped at crime scenes.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4934: COMMUNICATIONS SERVICES (con't)

Walkie Talkie Battery Replacement: This covers the cost of periodically replacing batteries for officer's portable radios. No increase for 2018.

CellBrite Investigative Maintenance and Support: Investigative equipment used for cell phone down loading. No increase for 2018.

Illegal Sign Project Support: This is the computer software and dialing support needed for the illegal sign removal project. No increase for 2018.

PlanIT Scheduling Program: Software and maintenance agreement, No Increase for 2018.

Power DMS: CALEA Document and Training Management Program maintenance and support agreement, No Increase for 2018.

RCCEEG: Regional Computer Crimes Education and Enforcement Group: Used for the forensic analysis of computers for criminal investigations. No increase for 2018.

ACCOUNT 4935: ARMORY SUPPLIES & GUNS

2017	2018	LINE ITEM
\$ 12,000	\$ 12,000	Ammunition, Targets & Firearms Repairs
\$ 5,000	\$ 5,000	Less Lethal Munitions
\$ 1,000	\$ 1,000	Range Maintenance
\$ 10,100	\$ 13,500	Taser Replacement Program
\$ 600	\$ 600	Replacement of shot gun
\$ 28,700	\$ 32,100	TOTAL

Ammunition, Targets, and Firearms Repairs: This item covers the cost of ammunition used for both duty and semi-annual firearms training. It includes .40 caliber duty ammunition, .40 caliber practice ammunition, .223 caliber rifle ammunition, and 12 gauge shotgun ammunition. It also covers the cost of targets and range supplies as well as the small arms parts necessary to maintain the weaponry. No increase for 2018.

Less Lethal Munitions: This item includes the on-duty and training cartridges for the Taser Electronic Control Devices, Oleoresin Capsicum (pepper spray) and the .12 gauge "bean bag" munitions. No increase for 2018.

Range Maintenance: This covers the annual cost to replace the backstop in the range trailer at Koch Park as well as any small parts necessary to maintain the trailer. No increase for 2018.

Tasers: Numerous departments tasers were running out of warranty and useful-life. The Department switched to a more cost effective taser program which allowed the buy back of our old tasers, replacement of current tasers and extends the repair warranty. An increase of \$3,400 is requested for 2018 .

Shotgun: The department has three shotguns manufactured in 1974 which need to be replaced. I recommend replacing 1 per year at a cost of \$600. The shot gun taken out of service will be retained and used for training.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4942: DUES, TRAVEL, & TRAINING
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<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 16,000	\$ 16,000	St. Louis County & Municipal Academy
\$ 2,000	\$ 2,000	Police Canine Training
\$ 15,000	\$ 15,000	Training Seminars/Travel Expenses
\$ 7,500	\$ 7,500	Command Level Management Training
\$ 6,000	\$ 6,000	Organizational Memberships
\$ 1,000	\$ 1,000	Special/Liquor Investigations
\$ 8,000	\$ 8,000	Training Materials and Computer Based Training
\$ 2,000	\$ 2,000	Chief's Expense Account
\$ 1,000	\$ 1,000	Miscellaneous Petty Cash
\$ 3,000	\$ 3,000	Canine Expenses
\$ 1,400	\$ 1,400	Major Case Squad Training
\$ 1,500	\$ 1,500	Random Drug Testing
\$ 1,600	\$ 1,600	Lab Testing for DWI and Forensic investigative cases
\$ 500	\$ 500	Valley of Flowers Festival Expense
\$ 1,000	\$ 1,000	Explorer Post
\$ 2,000	\$ 2,000	Polygraph Certification Conference
\$ 2,000	\$ 2,000	CALEA Conference
\$ 2,000	\$ 2,000	IACP Conference
\$ 4,800	\$ 4,800	Accreditation Fees
\$ 500	\$ 500	Citizens Emergency Response Team, CERT
\$ 2,000	\$ 2,000	Police Fitness Trainer Recertification/Training
\$ 500	\$ 500	SRO program supplies
\$ 6,000	\$ 6,000	Community Outreach
\$ -	\$ 5,000	Health
\$ 87,300	\$ 92,300	TOTAL

St. Louis County & Municipal Police Academy: The department is a member of the County & Municipal Police Academy (CMPA) which provides recruitment and in-service training programs. No increase for 2018.

Police Canine Training: This covers the cost of in-service training for our four canine teams. No increase for 2018.

Training Seminars/Travel Expenses: This funds the training of officers and staff at locations other than the academy as well as the cost of transportation and lodging for out of town travel. No Increase for 2018.

Command Level Management Training Academy: For a Commander to attend one of the following management training institutions: FBI National Academy, Southern Police Institute or Missouri Police Chiefs Association Command College (MOPCA).

Organizational Memberships: This line item includes the cost of memberships for our officers and staff in organizations that benefit the agency and the community. No increase for 2018.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4942: DUES, TRAVEL, & TRAINING (con't)
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Special Investigations Fund: These funds cover the cost of narcotics and liquor investigations as well as informant funds. No increase for 2018.

Training Materials and Computer Based Training: This item provides funding for computer based legal training. The city's liability insurance carrier recognizes the value of this each year with premium rebates that offset much of the cost of the training. No increase for 2018.

Chief's Expense Account: This line is used to fund meetings and various incidental expenses relative to my position. No Increase for 2018.

Canine Expenses: The department has four canine teams and this item covers food, equipment and supplies necessary to insure the care and training of the four animals. No increase for 2018.

Major Case Squad Training: The funding covers the membership and training of our officers in the Major Case Squad of Greater St. Louis. No increase for 2018.

Random Drug Testing: The city contracts for random drug screening of all sworn officers and civilian employees as well as reserve officers. In addition to the actual testing, the contractor arranges the random draw. No increase for 2018.

Laboratory Testing for DWI and Forensic Investigative Cases: The department has an agreement with a local provider for the forensic analysis of samples in investigations. No increase for 2018.

Valley of Flowers Festival Expenses: This expenditure is the cost of meals for officers working the fair grounds during the Valley of Flowers festival. No increase for 2018.

Explorer Post: This amount, combined with their fund raisers, covers the cost of our Explorer Scouts to attend the national conference. No increase for 2018.

Polygraph Certification Conference: The department has two certified polygraph examiners who must attend bi-annual certification by the American Polygraph Association. One examiner attends each year. No increase for 2018.

CALEA & IACP Conference: These conferences provide valuable information on new technology, legal issues and training on many issues concerning law enforcement and the community. Increase of \$200 for CALEA for 2018.

Accreditation Fees: The department received it's Sixth consecutive three year accreditation by CALEA in 2016. Accreditation has resulted in a discount in our liability insurance premium, more than offsetting the accreditation fees. Increase of \$700 for 2018.

CERT Training: This expenditure is the cost of training materials and equipment necessary for the Citizen Emergency Response Team (CERT). No increase for 2018.

Training for Polygraph Examiner: This training is to certify a member of the department as a certified Polygraph Examiner. No funds are needed in this years budget.

SRO Program Supplies: This expenditure covers miscellaneous materials and supplies for the School Resource Officers. No increase for 2018.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4942: DUES, TRAVEL, & TRAINING (con't)

Community Outreach: This item will be used for community outreach programs that will foster positive law enforcement relationships with the youth and general public. No increase for 2018.

Health: Various travel and training expenditures associated with the Health operations including flyers, publications and training manuals, pesticide license renewals, animal control training certifications, mileage and seminars.

ACCOUNT 4950: PROFESSIONAL SERVICES

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ -	\$ 125,000	Legal Fees
\$ -	\$ 4,000	Flexible Spending Fees
\$ -	\$ 2,000	Legal Notices
\$ -	\$ 40,000	Health
<u>\$ -</u>	<u>\$ 171,000</u>	TOTAL

Legal Fees: Costs related to having legal representation resulting from daily activities in the department.

Flexible Spending Fees: Costs associated with providing the ability for departmental personnel to utilize the flexible spending program in order to save both the city and the employees costs related to medical services.

Legal Notices: Costs to advertise personnel openings in the Police department.

Health: Rat/rodent control in creeks and resident rodent control by contractor. Veterinarian treatment of injured animals and possible court cases. Veterinarian rabies shots for new adoptions. Trash, debris, junk removal, eviction cleanup, tree, brush and vegetation removal, grass and weed cutting on residential and commercial properties as needed. Educational handouts and recycling promotions, animal disposal through St. Louis County, electronic recycling and shredding events, and contracts for grass cutting.

ACCOUNT 4955: INSURANCE, FIRE & LIABILITY

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ -	\$ 250,000	General liability
\$ -	\$ 6,500	Excess earthquake liability
\$ -	\$ 29,500	Deductible - general liability coverage
\$ -	\$ 253,000	Workers Compensation Insurance
\$ -	\$ 1,500	Flood Insurance
\$ -	\$ 6,000	Pollution Liability - fuel storage tanks
\$ -	\$ 4,000	Cyber Liability
<u>\$ -</u>	<u>\$ 550,500</u>	TOTAL

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4955: INSURANCE, FIRE & LIABILITY (con't)

General Liability: General liability, property, inland marine, crime, liquor, employee benefits, law enforcement, employment practices, public entity management, public entity employment related practices, and automobile.

Excess earthquake liability: Additional coverage in case of earthquake.

Deductible: Deductible for general liability coverage.

Workers Compensation Insurance: Workers compensation coverage to provide coverage in case an employees is hurt on the job.

Flood Insurance: Insurance coverage in case of flooding and flood damage.

Pollution Liability: Insurance covering in-ground fuel storage tanks.

Cyber Liability: Insurance coverage in case of cyber attacks or other intrusions to the departments cyber network.

ACCOUNT xx61: CAPITAL ADDITIONS (Police Fund)

<u>2017</u>	<u>2018</u>	LINE ITEM
\$ -	\$ 250,000	Purchase in car video system for police patrol vehicles
\$ -	\$ 79,000	Police Officer Protective Equipment
\$ -	\$ 40,000	License Plate Reader System
\$ -	\$ 125,000	Firearm Training Shooting Simulator
\$ -	\$ 50,000	Replacement Records Management System
\$ -	\$ 544,000	TOTAL

In Car Video System for Police Patrol Vehicles: The Department would like to purchase in car video system for Police Patrol vehicles and related servers, equipment and services.

Police Officer Protective Equipment: Need to replace worn out equipment. Provide each Officer a helmet, gas mask, filters, and equipment bag. Additional equipment to equip 50 Officers includes shield, baton, protective leg guards, and related items.

License Plate Reader System: Purchase a license plate reader system to enhance the ability to locate and identify stolen vehicles and vehicles used in the commission of crimes.

Firearms Training Shooting Simulator: The Department would like to purchase a firearms training shooting simulator which would be use to continually train officers of the department. This can also be used as a public relations tool to inform the public on how officer may react in these situations. This simulator would be used in the citizen law enforcement academy.

Replacement Records Management System: The Department needs to replace its Records Management System as the current vendor is stopping the support for the system and it is starting to fail.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 4975: GASOLINE CONTROL ACCOUNT
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<u>2017</u>	<u>2018</u>	LINE ITEM
\$ 65,000	\$ 65,000	Unleaded Gasoline Control Account
\$ 65,000	\$ 65,000	TOTAL

This is the account used only by the Finance Department to conduct internal transactions or cross charges between each department using the unleaded gasoline supply at the police department. All gasoline ultimately used by the police department is purchased under account 4927. No increase for 2018.

ACCOUNT 0361: CAPITAL IMPROVEMENTS (Capital Improvement Fund)

VEHICLES:

<u>2017</u>	<u>2018</u>	
\$ -	\$ 177,000	Purchase of six new vehicles and related equipment at \$29,500 each
\$ -	\$ 70,000	Purchase of two new Chevrolet Tahoe Police Vehicles and related equipment at 35,000 each
\$ -	\$ -	Trade in value of eight patrol vehicles - those vehicles in reasonably good shape will be retained and utilized in other departments
\$ -	\$ 14,800	Radio/Emergency equipment installation at \$1,850 each for eight new vehicles.
\$ 300,000	\$ 261,800	Net Cost of New Vehicles

Vehicle Replacement: The department has a fleet of 45 automobiles ranging in age from 2010 to 2017. In 2018 we need to replace eight Police vehicles.

Radio/Emergency Equipment: I am requesting \$14,800 to cover the cost of installation of the radios and emergency equipment.

Trade-in Value: The eight vehicles taken out of service will not be disposed of unless they are deemed to be in extremely poor condition. The vehicles will be transferred to other city departments in an effort to maximize the city's investment in these vehicles.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 0361: CAPITAL IMPROVEMENTS (con't)
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MISCELLANEOUS CAPITAL ITEMS:

<u>2017</u>	<u>2018</u>	
\$ -	\$ 16,000	Upgrade 2 Existing Bathrooms in building
\$ -	\$ 15,000	Office reconfigure and work station update
	\$ 45,000	Replacement of mobile car computers/printers/devices
\$ -		and related equipment.
\$ -	\$ 16,000	Replacement of desktop computers and related items
\$ -	\$ 10,000	Replace and upgrade security cameras and equipment
\$ -	\$ 20,000	Networking Infrastructure Upgrade
\$ -	\$ 5,000	Replace Servers and related equipment.
\$ -	\$ 5,000	Computer Systems Backup/Related security software
\$ -	\$ 6,200	Walk Behind mower with velkie
\$ -	\$ 9,000	Zero turn 54" mower
<u>\$ 105,000</u>	<u>\$ 147,200</u>	Total Miscellaneous Items

Restroom Upgrade: The Department needs to upgrade its 2 main bathrooms located in main hallway.

Police Building Offices: Several offices need to be reconfigured and the work stations updated.

Replacement Mobile Car Computers: The annual replacement of mobile car computers, printers, electronic devices, and related equipment.

Replacement of Desk Top Computers: The department utilizes 65 desk top personal computers and small servers through the station. These are used for everything from operating maps and radios, tracking evidence and storing photographs, to transcribing and retrieving reports. It is necessary to periodically update the computers and operating systems. To avoid a mass purchase of hardware and software in any one year, I propose a regular replacement cycle of one fifth of these computers each year.

Video Security Cameras: Currently the police station has numerous video cameras that need to be replaced or upgraded along with related equipment on an annual basis.

Networking Infrastructure Upgrade: Continuing the network cabling and switching project which was started in 2017. Continue to upgraded and replace in order for computers, phones and other related equipment to function properly.

Florissant Police Department
Fiscal Year 2018 Budget

ACCOUNT 0361: CAPITAL IMPROVEMENTS (con't)
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Replace Servers/laptops and related equipment: The department utilizes several servers that need to periodically upgraded or replaced.

Computer Systems Backup/Related Security Software: Hardware and Software maintenance for various backup systems.

Mowers: For use in addressing health and safety issues with residential properties.

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

MEDIA DEPARTMENT

<u>Account</u>	<u>Actual 2016</u>	<u>Budget 2017</u>	<u>Proposed 2018</u>
7010-Salaries	117,142	120,837	124,375
7013-Employees' Benefits	42,335	44,942	46,024
7030-Equipment Repair	413	3,000	8,000
7032-Office Supplies & Maint.	59	2,000	2,000
7033-Materials & Supplies	847	2,500	2,500
7042-Dues, Travel, Training	549	3,000	3,000
7050-Professional Service	<u>27,694</u>	<u>28,900</u>	<u>28,900</u>
Total	189,039	205,179	214,799

PERSONNEL SERVICES

Full-time	93,469	95,340
Part-time	24,035	24,035
Overtime	<u>3,333</u>	<u>5,000</u>
Total Personnel Services	120,837	124,375

PERSONNEL SCHEDULE

Media/TV Station Manager	1.00
Video Specialist	1.00
Contract Employees	
Total	2.00

Full-time 2.00

Total Personnel 2.00 Full-time Equivalent (Part-time) 0.00

Media Department Budget Request: 2018

2017 2018

Account 7010 - Salaries			
Full-time Employees			
Media/TV Station Manager		1	1
Video Specialist		<u>1</u>	<u>1</u>
Total full-time employees		2	2
Contract employees			
		24,035	24,035
Council Meetings	Total	6,960	6,960
Director - \$75 @ 24 productions		1,800	1,800
Assistant Director - \$50 @ 24 productions		1,200	1,200
2 Camera Persons - \$45 @ 24 productions		2,160	2,160
Host - \$75 @ 24 productions		1,800	1,800
Valley of Flowers	Total	1,075	1,075
3 Videographers - @ \$125 each		200	200
Director - @ \$200		150	150
Asst. Director @ \$150		375	375
Audio Engineer @ \$150		150	150
2 Production/Office Assistants @ \$100		200	200
Additional Contract Help As Needed	Total	16,000	16,000
Location Videographer		5,000	5,000
Contract Editor		5,000	5,000
Contract Producer - special programs		6,000	6,000
Account 7010 - Salaries - overtime			
		3,333	5,000
Account 7030 - Equipment Repair			
	Total	3,000	8,000
Account 7032 - Office Supplies and Maintenance			
	Total	2,000	2,000
Account 7033 - Materials and Supplies			
	Total	2,500	2,500
Account 7042 - Dues, Travel and Training			
	Total	3,000	3,000
Account 7050 - Professional Services			
	Total	28,900	28,900
Mailing costs for "Florissant Focus" - \$1,500 x 5 issues		7,500	7,500
Postage for 5 issues of the "Florissant Focus" x \$4,250 per issue		21,250	21,250
Electronic Bulletin Board Music		150	150
Account 0361 - Capital Additions			
	Total	0	0
Prior year capital additions		0	0

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

03 - CAPITAL IMPROVEMENT FUND

	Actual <u>2016</u>	Budget <u>2017</u>	Proposed <u>2018</u>
<u>REVENUE</u>			
Capital Improvement Sales Tax	3,527,963	3,450,000	3,500,000
Interest	758	0	0
Grants & Reimbursements	<u>83,740</u>	<u>514,614</u>	<u>123,828</u>
Total Budgeted Revenue	3,612,461	3,964,614	3,623,828
			<u>(3,812,485)</u>
Less Total Budgeted Expenditure			
Equal Revenue Over/(Under) Expenditure			(188,657)
Plus Estimated Beginning Fund Balance			<u>313,757</u>
Equal Estimated Ending Fund Balance			125,100
<u>EXPENDITURES</u>			
0320-Debt Payment	322,763	581,770	399,000
0329-Building Maint. & Supplies	58,021	61,000	58,500
0330-Equip. Repairs - Vehicles	129,938	130,000	125,000
0333-Materials & Supplies	94,606	110,000	100,000
0334-Street Markings	11,481	9,000	12,500
0339-Ice/Snow Removal	0	149,130	0
0350-Professional Service	490,770	922,418	390,485
0351-Street Lighting	0	555,000	500,000
0352-Street Contracts	1,606,009	1,650,000	1,500,000
0353-Bridge Repair & Maint.	2,234	60,000	50,000
0354-Sidewalk Repairs	149,960	150,000	150,000
0361-Capital Additions	<u>739,950</u>	<u>974,702</u>	<u>527,000</u>
Total	3,605,732	5,353,020	3,812,485

03 - CAPITAL IMPROVEMENT FUND CAPITAL ADDITIONS

	Proposed <u>2018</u>
Information Technology	
Replace computers, laptops, monitors, tablets, printers and related software	25,000
Replace two network switches	8,000
Replace two servers	<u>12,000</u>
Information Technology Total	45,000
Administrative	
No items requested	<u>0</u>
Administrative Total	0
Court	
No items requested	<u>0</u>
Court Total	0
Media	
No items requested	<u>0</u>
Media Total	0
Health	
No items requested	<u>0</u>
Health Total	0
Public Works	
Streets	
No items requested	
Streets Sub-Total	0
Building	
Furnishings for Public Works office remodeling	60,000
20 iPads to replace existing iPads for Inspectors	<u>13,000</u>
Building Sub-Total	73,000

03 - CAPITAL IMPROVEMENT FUND CAPITAL ADDITIONS

	Proposed <u>2018</u>
Public Works (con't)	
Engineering	
No items requested	<u>0</u>
Engineering Sub-Total	0
Engineering Sub-Total	<u>0</u>
Transportation	
No items requested	<u>0</u>
Transportation Sub-Total	<u>0</u>
Public Works Total	73,000
Police	
Vehicles	
Six Police vehicles with related equipment at \$29,500 each	177,000
Two new Tahoe police vehicles and related equipment as \$35,000 each	70,000
Radio/Emergency equipment installation on eight new vehicles	<u>14,800</u>
Police Vehicle Sub-Total	261,800
Miscellaneous Items	
Upgrade two existing bathrooms in building	16,000
Office reconfiguration and work station update	15,000
Replace mobile computers/printers and related equipment	45,000
Replace desktop computers and related equipment	16,000
Replace and upgrade security cameras and equipment	10,000
Networking infrastructure upgrade	20,000
Replace servers and related equipment	5,000
Computer system backup and related security software	5,000
One 48" walk behind mower with velkie	6,200
One zero turn 54" mower	<u>9,000</u>
Police Miscellaneous Sub-Total	<u>147,200</u>
Police Total	409,000
Grand Total	527,000

Capital Improvement Fund Budget: 2018

		<u>2017</u>	<u>2018</u>
Account 0320 - Debt Payment	Total	581,770	399,000
2011 Certificates of Participation: Principle, interest and misc. fees			44,000
2016 Special Obligation Bonds: Principle, interest and misc. fees			355,000

Account 0329 – Building Maintenance & Supplies	Total	61,000	58,500
Janitorial Supplies for City Hall, Government Building and City Garage ...			
HVAC maintenance and repairs at City Hall, Government Building and City Garage buildings: includes air-handler filters, belts, dryers, Freon, compressors, motors, bearings, replace emergency light batteries, roof Overhead door maintenance and repairs at City Garage, as needed			
Garage hoist maintenance and repairs, fuel pump maintenance and repairs, waste disposal, as needed yearly ...			
Carpet cleaning and new entryway mats; elevator maintenance contract ...			
Miscellaneous building maintenance materials: lumber, nails, paint, glass, sealants, electrical and plumbing supplies, Christmas / Seasonal			
1 each Vacuum Cleaner at \$1,100			

Account 0330 – Equipment Repairs – Vehicles	Total	130,000	125,000
Includes maintenance of major equipment and trucks for the Street Department, minor pieces of equipment for the Street Department, Police Department cars, motorcycles, and equipment, Health Department, Park Department, and Golf Course vehicles and equipment ... also old police vehicles that are now PW Inspector vehicles ...			
Miscellaneous automotive parts and supplies, brakes, tune-up kits, tools, etc.			
Tire repairs, purchase, service; dealer parts & service; small engine parts & service; heavy equipment parts, service & supplies; street sweeper parts & supplies; transmission parts, service & supplies; radio, radiator and A/C service ...			
Miscellaneous: mufflers, exhaust work, batteries, lights, radio work, upholstery, glass, parts, service and supplies, lubricants and fluids, towing, etc. ...			
Major equipment and vehicle repairs, accident repairs ...			
Emission testing per Department of Natural Resources Clean air Regulations			
Diagnostic equipment and software system updates ...			

Account 0333 – Materials & Supplies	Total	110,000	100,000
Concrete pavement replacement: ready mix, rock, expansion joint material, reinforcing steel, wire mesh, curing compound, plastic, dowels, etc. ...	70,000	70,000	
Mudjacking: Portland Cement and Aggregate Lime ...	3,000	3,000	
Asphalt pavement replacement: 200 tons surface mix, 200 tons curb mix, 150 tons black-crete, 1,500 gallons SS1H asphalt emulsion, other asphalt products and supplies ...	16,000	15,000	
Crack sealing: 10,000 gallons Asphalt emulsion, 100 tons rock ...	5,000	2,500	
Replacement chain saws, vibrators, minor tools and equipment ...	3,000	2,000	

Capital Improvement Fund Budget: 2018

2017 2018

Account 0333 – Materials & Supplies (con't)			
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Miscellaneous: grass seed, fertilizer and sod; sand for sandblasting, lumber, nails, plastic, concrete saw blades and drill bits, traffic safety flagging, lights, rain gear, batteries, etc., barricades, barrels, lights, hand tools (brooms, shovels, rakes, etc.), ice (summer water coolers), fence materials, concrete form materials, pins, tie-rods, etc.; equipment and tool rental ...	13,000	7,500
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Account 0334 – Street Markings	Total	9,000	12,500
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Channel posts, street name posts, die cutters for numbers
 Sign faces - reflective material, sign blanks – aluminum, sign brackets
 Street marking paint, reflective marking beads
 Construction/traffic control signs
 Miscellaneous materials (delineators, batteries, tape, keel, traffic count tape, spray traffic paint for marking)
 Seasonal (Christmas/Spring/Summer/Fall) decorations & banners on North Lindbergh, rue St. Francois, Civic Centers and other locations ...
 Adopt-A-Street Program: signs, vests, misc. supplies ...

Account 0339 – Ice/Snow Removal	Total	149,130	0
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Salt	136,380	0
Calcium Chloride	12,750	0

Account 0350 – Professional Services	Total	922,418	390,485
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Audit	2,050	2,100
Bank Fees	600	600
REJIS Commission GANet Subscription & Service	4,000	4,500
GIS (Geographic Information System) Web-Based Mapping Project ...	60,000	40,000
General Engineering and Design Services	20,000	10,000
RFP's for Redevelopment Projects	5,000	0
Annexation Projects (Research, Maps, Copying Costs, Application Fees)	5,000	0
Old Town and N. Hwy 67 Enhancement Maintenance / Mowing ...	60,000	65,000
I-270 Mowing	25,000	25,000
East-West Gateway Grant Applications	10,000	10,000
Troubleshooting & repairs to Electrical & HVAC Energy Controls at various city buildings (service, upgrades, repairs, inspections)	25,000	25,000
Emergency Asbestos Removal by Contractor (all City buildings)	15,000	10,000
Plaques for "Walk Through History"	3,000	2,500
Consulting services: PW special projects, security system inspections, etc.	4,000	4,500

Capital Improvement Fund Budget: 2018

2017 2018

Account 0350 – Professional Services (con't)
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Cleanup, repair and/or demolition of derelict/dangerous residential/commercial properties, including graffiti removal, trash/debris/junk removal, grass/weed cutting, tree/brush/vegetation removal, various landscaping/building repairs/work as needed ... by the City and/by Contractor (i.e. Annual Handyman Services contractor, Annual Tree Services contractor, etc.) ...	35,000	35,000
St. Anthony Lane bridge replacement	463,925	0
Records & Document Destruction	500	1,500
North Lafayette Street Reconstruction - Phase I ROW acquisition	81,575	0
North Lafayette Street Reconstruction - Phase II ROW acquisition	81,575	0
Pedestrian Signal Replacement on Derhake at Robinwood Elementary School ... this is an 80% grant reimbursement project ... Construction in 2018 budget year... (\$91,828 grant/\$22,957 city)	16,193	114,785
Bike & Pedestrian Master Plan ... a joint project with Trailnet	5,000	0
St. Ferdinand & N. Hwy 67 Improvements to St. Ferdinand Park: Engineering, Planning, & Environmental Study (an E-W Gateway 80% reimbursement grant project) ...(\$32,000 grant/\$8,000 city)	0	40,000

Account 0351 – Street Lighting	Total	555,000	500,000
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Average annual street light charge ...	480,000	470,000
New and Replacement Streetlights in areas as needed	20,000	15,000
Clean and Paint 75ea. Decorative Street Lights on N. Hwy 67	18,000	0
Clean and Paint 70ea. Decorative Street Lights on rue St. Francois	17,000	0
Decorative Streetlight Repair/Replacement in all areas as needed	20,000	15,000

Account 0352 – Street Contracts	Total	1,650,000	1,500,000
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Slurry Seal Maintenance Work	850,000	950,000
Concrete Pavement Replacement Work	500,000	450,000
Major Street Repairs and Asphalt Overlay	300,000	100,000

Account 0353 – Bridge Repair & Maintenance	Total	60,000	50,000
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Miscellaneous Bridge Repairs by Contractor	50,000	45,000
Bridge Repairs/Maintenance by City	10,000	5,000

Capital Improvement Fund Budget: 2018

		<u>2017</u>	<u>2018</u>
Account 0354 – Sidewalk Replacement	Total	150,000	150,000
Sidewalk Program by Contractor		145,000	145,000
Tree Removals		5,000	5,000
Account 0361 – Capital Additions	Total	974,702	527,000
Account 036136 – Capital Additions/Information Technology	Total	39,000	45,000
Replace computers, laptops, monitors, tablets, printers and related software in various departments			25,000
Replace two network switches			8,000
Replace two servers			12,000
Account 036140 – Capital Additions/Administration	Total	0	0
Account 036141 – Capital Additions/Court	Total	0	0
Account 036170 – Capital Additions/Media	Total	0	0
Account 036142 – Capital Additions/Health Department	Total	77,800	0
Account 036148 – Capital Additions/Public Works	Total	335,800	73,000
<u>Streets</u>		<u>S/T</u>	<u>0</u>
<u>Engineering</u>		<u>S/T</u>	<u>0</u>
<u>Building</u>		<u>S/T</u>	<u>73,000</u>
Furnishings for PW office remodeling			60,000
20 each iPads to replace existing iPads for inspectors at \$650/each = \$13,000			13,000
<u>Transportation</u>		<u>S/T</u>	<u>0</u>

Capital Improvement Fund Budget: 2018

		<u>2017</u>	<u>2018</u>
Account 036149 – Capital Additions/Police	Total	522,102	409,000
<u>Vehicles</u>		<u>S/T</u>	<u>261,800</u>
Six Police vehicles and related equipment at \$29,500 each			177,000
Two new Chevrolet Tahoe Police vehicles and related equipment at \$35,000 each			70,000
Radio/emergency equipment installation for eight vehicles at \$1,850 each			14,800
<u>Miscellaneous</u>		<u>S/T</u>	<u>147,200</u>
Upgrade 2 Existing Bathrooms in building			16,000
Office reconfigure and work station update			15,000
Replace mobile computers/printers and related equipment			45,000
Replace desktop computers and related items			16,000
Replace and upgrade security cameras and equipment			10,000
Networking infrastructure upgrade			20,000
Replace servers, laptops and related equipment			5,000
Computer systems backup and related security software			5,000
1 each 48" Walk Behind Mower w/velkie			6,200
1 each Zero Turn 54" Mower, John Deere or equal			9,000

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

09 - PARK IMPROVEMENT FUND

	Actual <u>2016</u>	Budget <u>2017</u>	Proposed <u>2018</u>
<u>REVENUE</u>			
Park Improvement Sales Tax	3,518,032	3,500,000	3,500,000
Interest	506	0	0
Miscellaneous Revenue	<u>425,567</u>	<u>531,400</u>	<u>526,000</u>
Total Budgeted Revenue	3,944,105	4,031,400	4,026,000
Less Total Budgeted Expenditure			<u>(4,274,161)</u>
Equal Revenue Over/(Under) Expenditure			(248,161)
Plus Estimated Beginning Fund Balance			<u>795,817</u>
Equal Estimated Ending Fund Balance			547,656

<u>EXPENDITURES</u>			
0910-Salaries	867,841	1,002,614	1,000,994
0913-Employee Benefits	363,507	386,006	403,817
0914-Residency Incentive Program	14,500	15,600	15,600
0920-Debt Payment	573,999	1,013,310	882,000
0921-Uniforms & Allowances	18,581	19,125	15,975
0927-Gas & Oil	40,119	64,000	64,000
0928-Merchandise	47,264	54,750	31,750
0929-Bldg., Maint., & Supplies	135,432	156,850	134,600
0930-Maintenance/Supplies	132,098	112,850	78,125
0931-Recreation Supplies	32,680	44,600	43,000
0932-Office Supplies & Maint.	31,322	40,800	40,800
0933-Materials & Supplies	125,404	148,750	123,300
0942-Dues, Travel, Training	10,360	13,660	19,160
0950-Professional Services	183,394	240,240	247,240
0951-Pavement Repairs	10,000	20,000	20,000
0954-Publicity	10,165	16,300	16,300
0956-Insurance	0	60,000	50,000
0961-Capital Additions	<u>428,013</u>	<u>1,213,600</u>	<u>1,087,500</u>
Total	3,024,679	4,623,055	4,274,161

PERSONNEL SERVICES

Full-time	839,155	837,535
Part-time	130,126	130,126
Overtime	<u>33,333</u>	<u>33,333</u>
Total Personnel Services	1,002,614	1,000,994

PERSONNEL SCHEDULE

<u>Park Maintenance - full-time</u>		<u>Part-time and Seasonal Staff</u>	
Park Superintendent	1.00	Park Maint. p/t	1.45
Class "A" Foreman	1.00	Park Maint. - Summer Laborers p/t	4.10
Forester I	1.00	Total	5.55
Class "A" Person	5.00		
Class "B" Person	4.00		
Class "C" Person	<u>5.00</u>		
Total	17.00		
Total Personnel	22.55		
		Full-time	17.00
		Full-time Equivalent (Part-time)	5.55

09 - PARK IMPROVEMENT FUND CAPITAL ADDITIONS

	Proposed <u>2018</u>
Theater	
No items requested	<u>0</u>
Theater Total	0
Golf Course	
Golf Course Equipment	
Articulated tractor	29,000
PrecisionCut Trim and Surrounds Mower	<u>31,000</u>
Total Golf Course Equipment	60,000
Golf Course Improvements	
Various tee, bunker and fairway renovations	<u>5,000</u>
Total Golf Course Improvements	5,000
Total Golf Course Equipment and Improvements	65,000
James J. Eagan Center	
Replace "easy access" step unit system in swimming pool	6,000
Replace 1972 ceramic flooring in two upper level restrooms	12,000
Convert 1972 pool water inlets to standard controllable inlets	10,000
Installation of additional surveillance camera	3,500
Purchase and installation of storage rack system and video surveillance server workstation	<u>18,000</u>
James J. Eagan Center Total	49,500
John F. Kennedy Center	
Replace commercial garbage disposal in catering kitchen	3,500
Replace tile floor in two meeting rooms	18,000
Installation of an outdoor, double-sided electronic message sign	30,000
Installation of additional surveillance camera	<u>3,500</u>
John F. Kennedy Center Total	55,000

City of Florissant Operating Budget
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09 - PARK IMPROVEMENT FUND CAPITAL ADDITIONS

	<u>Proposed 2018</u>
Bangert Pool	
New lifeguard stand	4,500
Sandblast and paint pool floor and walls	36,000
Pressure wash and paint SCS play structure/water feature	<u>6,500</u>
Bangert Pool Total	47,000
Koch Park Aquatic Center	
No items requested	<u>0</u>
Koch Park Aquatic Center Total	0
Parks Equipment	
Replace dump/salt truck with accessories and radio installation	102,000
Replace 1980 Massey Ferguson tractor with new tractor	20,000
Replace 1995 Woods rotary cutter with new pull-behind rotary cutter	7,000
Replace 2 mowers with two 72" zero-turn mowers	25,000
Bucket for skid steer	2,000
Replace 1994 John Deere backhoe with new compact excavator	42,000
Replace 2011 Smithco infield groomer with new Field Pro	<u>20,000</u>
Parks Equipment Total	218,000
Parks Improvements	
Replace damaged roof and fascia on Pavilion #1 at St. Ferdinand Park	25,000
Replace Pavilion #5 in St. Ferdinand Park	80,000
St. Louis County Municipal Park Grant to construct Phase 2 of the Manion Park Master Plan (reimbursement up to \$520,000)	548,000
Parks Equipment Total	653,000
Parks Equipment and Improvements Total	871,000
Grand Total	1,087,500

Park Improvement Fund Budget: 2018

2017 2018

Account 0910 - Salaries

Full-time employees

Park Superintendent	1	1
Class "A" Foreman	1	1
Forester I	1	1
Class "A" Person	5	5
Class "B" Person	4	4
Class "C" Person	<u>5</u>	<u>5</u>
Total full-time employees	17	17

Part-time Employees

Park Maintenance (Part-time):

29 hours x 52 weeks = 1,508 hours x 2 Laborers = 3,016 hours

3,016 hours x 2nd year rate hours 3016 3,016

Park Maintenance (Seasonal):

40 hours x 15 weeks = 600 hours x 11 Laborers = 6,600 hours

6,600 hours x 2nd year rate hours 6,600 6,600

32 hours x 30 weeks = 960 hours x 2 Laborers = 1,920 hours

1,920 hours x 2nd year rate hours 1,920 1,920

Total part-time hours 11,536 11,536

Overtime dollars 33,333 33,333

Account 0913 - Employee Benefits

F.I.C.A., Pension, Medical, Dental, Life Insurance, Long Term Disability

Account 0914 - Residency Incentive Program

Total 15,600 15,600

Thirteen employees at \$100 per month

Account 0920 - Debt Payment

Total 1,013,310 882,000

2011 Certificates of Participation: Principle, interest and misc. fees 543,000

2016 Special Obligation Bonds: Principle, interest and misc. fees 339,000

Account 0921 - Uniforms and Allowances

Total 19,125 15,975

44 Centers Sub 3,950 3,950

Full-time Custodial Uniforms (4 employees @ \$300) 1,200 1,200

Staff T-Shirts/Polo Shirts 2,000 2,000

JJE Lifeguard T-Shirts and Swimsuits 750 750

45 Summer Playground Sub 975 975

Staff T-Shirts 975 975

Park Improvement Fund Budget: 2018

2017

2018

Account 0921 - Uniforms and Allowances (con't)				
<u>46 Bangert Pool</u>	Sub	<u>2,000</u>	<u>2,350</u>	
Staff T-Shirts		700	850	
Swimsuits		1,300	1,500	
 <u>56 Koch Pool</u>	 Sub	 <u>3,500</u>	 <u>0</u>	
Staff T-Shirts		900	0	
Swimsuits		2,600	0	
 <u>47 Parks</u>	 Sub	 <u>8,700</u>	 <u>8,700</u>	
Full-time Park Uniforms (17 employees @ \$300)		5,100	5,100	
Staff T-Shirts (seasonal staff)		1,650	1,650	
Ranger Uniforms		1,950	1,950	
Account 0927 - Gas and Oil		Total	64,000	64,000
<u>44 Centers</u> - Propane for Zamboni and gasoline/diesel for various equipment			3,000	3,000
<u>47 Parks</u>			61,000	61,000
Account 0928 - Merchandise		Total	54,750	31,750
<u>40 Skate Shop</u> - Resale of skate and pro shop items	Sub	<u>500</u>	<u>500</u>	
 <u>44 Centers</u>	 Sub	 <u>19,250</u>	 <u>19,250</u>	
Resale items for Customer Service Desk		500	500	
Beer for facility functions and concessions		500	500	
Beverages for Rink concessions and vending machines		17,000	17,000	
Special city sponsored or theatrical events		500	500	
Miscellaneous supplies		750	750	
 <u>47 Parks</u>	 Sub	 <u>35,000</u>	 <u>12,000</u>	
St. Ferdinand Park and Koch Park Cart operations		3,000	0	
Bangert Park and Pool		7,000	12,000	
Koch Park and Pool		25,000	0	
Account 0929 - Building Maintenance and Supplies		Total	156,850	134,600
Water treatment and cooling-tower treatment		10,000	10,000	
Backflow preventer inspection and repair for JJE and JFK		1,200	1,200	
Elevator inspection, service and maintenance		2,500	2,500	
Electrical and plumbing maintenance and supplies		4,500	4,500	
Miscellaneous building maintenance and hardware		5,000	5,000	
Pool and spa chemicals and supplies		5,000	5,000	
HVAC maintenance		5,000	5,000	
Fire extinguisher equipment, replacement & maintenance		2,000	2,000	
Dowtherm, paint, custodial supplies, pest control		8,300	8,300	
Spectator shielding and dasher board equipment for Rink		2,000	2,000	
Wind tarps for Rink		2,000	2,000	

Park Improvement Fund Budget: 2018

2017

2018

Account 0929 - Building Maintenance and Supplies (con't)		
Repair, replacement and service on windows and window accessories	5,000	5,000
Zamboni supplies and blade sharpening/replacement	2,000	2,000
Water softener materials	1,000	1,000
Replacement tables and chairs for JJE and JFK	10,000	10,000
Hydro-flushing of sanitary lines at JJE and JFK	2,500	2,500
Replacement of broken and damaged pool filter elements and covers	2,000	2,000
Fitness Center equipment, maintenance and supplies	10,000	10,000
Gymnasium equipment, repairs and supplies	1,600	1,600
Roof repair and maintenance	7,500	7,500
Repair, troubleshoot and service fire alarm system	4,000	4,000
Security video system maintenance, materials and supplies	2,500	2,500
Nature Lodge maintenance, repairs and supplies	4,000	4,000
Asbestos abatement	25,000	15,000
Water slide, slide tower, and bridge maintenance and repairs	0	20,000
Various fitness equipment, furniture, maintenance items, etc.	32,250	0

Account 0930 - Maintenance and Supplies	Total	112,850	78,125
<u>46 Bangert Pool</u>	Sub	<u>24,925</u>	<u>28,725</u>
Miscellaneous hardware, paint, caulk		1,600	1,600
Plumbing maintenance materials & supplies		1,200	1,200
Hydro flushing of sanitary lines		750	750
Electrical maintenance and supplies		1,250	1,250
Janitorial supplies, locker maintenance, pest control		1,325	1,325
First-aid supplies		400	400
Pool equipment and supplies, test kits, deep water bracelets		1,900	1,900
Rescue and staff training supplies		600	600
Office supplies		100	100
Pool deck lounges		2,400	2,400
Pump and chemical feeding system maintenance		1,400	1,400
Swim Team supplies		500	0
U.V. system maintenance and supplies		2,500	2,500
Supplies and maintenance for filtration and chlorination systems		4,000	4,000
Convert chlorinating system from calcium to sodium hypochlorite		0	3,000
Replace broken section of water slide		0	1,300
Refurbish grate around entire gutter system		0	5,000
Replace/repair 3 meter diving board system		5,000	0
<u>56 Koch Pool</u>	Sub	<u>38,525</u>	<u>0</u>
Miscellaneous hardware, paint, caulk		2,000	0
Plumbing maintenance and supplies		1,200	0
Hydro flushing of sanitary lines		750	0
Backflow preventer inspection and repair		1,000	0
Electrical maintenance and supplies		500	0

Park Improvement Fund Budget: 2018

2017 2018

Account 0930 - Maintenance and Supplies (con't)			
Miscellaneous janitorial supplies		1,950	0
First-aid supplies		400	0
Locker maintenance		200	0
Pool test kits		500	0
Pest control		125	0
Pool equipment and supplies		1,200	0
Rescue and staff training supplies		900	0
Office supplies		100	0
Deep water bracelets		1,000	0
Pool deck lounges		2,400	0
Pump and chemical feeding system maintenance		1,400	0
Otter Slide maintenance		500	0
Water feature maintenance		1,000	0
Lily Pad Area maintenance and supplies		3,400	0
Lazy River tube replacement		1,000	0
Supplies and maintenance for filtration and chlorination systems		5,000	0
Replace broken filter baskets		2,500	0
Replace sight-obstructing, high maintenance vegetation with landscaping rock		2,000	0
Various replacement parts and repair work, water wheelchair		7,500	0

<u>47 Parks</u>	Sub	<u>49,400</u>	<u>49,400</u>
Equipment repair and various maintenance services, parts and supplies		35,000	35,000
Backflow preventer inspection and repair in parks and on Greenway Trail		1,400	1,400
Maintenance and repairs on 2001 Showmobile		10,000	10,000
Maintenance on water features at St. Ferdinand Lake		2,000	2,000
Fire extinguisher equipment, replacement & maintenance		1,000	1,000

Account 0931 - Recreation Supplies			
	Total	44,600	43,000
<u>44 Centers</u>	Sub	<u>34,100</u>	<u>32,500</u>
Splash-Splash Summer Bash		1,000	1,000
Project Lift-Off		1,000	1,000
Halloween Event		1,000	1,000
Party on the Ice Event		1,000	1,000
Supplies for city sponsored leagues		15,000	15,000
Miscellaneous supplies for classes, programs, activities and special events		6,000	6,000
Miscellaneous athletic and recreation equipment		2,000	2,000
Swim Team supplies		0	500
Replace damaged and unusable rental ice skates		5,000	5,000
Replace damaged/torn gymnastic tumbling mats		2,100	0
<u>45 Summer Playground</u>	Sub	<u>10,500</u>	<u>10,500</u>

Park Improvement Fund Budget: 2018

		<u>2017</u>	<u>2018</u>
Account 0932 - Office Supplies and Printing	Total	40,800	40,800
<u>44 Centers</u>	Sub	<u>10,800</u>	<u>10,800</u>
Printing and office supplies		2,200	2,200
RecPro software subscription service		7,000	7,000
Parks & Recreation receipts		1,600	1,600
<u>47 Parks</u>	Sub	<u>30,000</u>	<u>30,000</u>
Printing and office supplies		7,000	7,000
Photo ID supplies		18,000	18,000
Video server surveillance software service		5,000	5,000
Account 0933 - Materials and Supplies	Total	148,750	123,300
<u>46 Bangert Pool</u>	Sub	<u>23,500</u>	<u>17,300</u>
Sodium Hypochlorite		3,000	10,000
Co2		4,000	4,000
Muriatic Acid		250	250
Cyanuric Acid		600	600
Calcium Hypochlorite		14,000	800
Algaecide		500	500
Filter Aids		500	500
Sodium Bicarbonate		500	500
Chlorine (for Splash Pad)		150	150
<u>47 Parks</u>	Sub	<u>104,100</u>	<u>106,000</u>
Dirt for athletic fields		6,500	10,000
Sports equipment		1,000	1,000
Playground and pavilion parts and equipment		30,000	30,000
Playground and landscaping mulch		10,000	10,000
Field marking supplies		3,000	3,000
Field and pavilion lighting supplies		2,000	4,000
Top caps for outfield fencing		1,500	1,500
Building and construction materials		12,000	12,000
Maintenance supplies and materials for park facilities		5,000	5,000
Sand for athletic fields and volleyball pits		4,000	4,000
Landscaping supplies		4,000	4,000
Chemical and cleaning supplies		4,500	4,500
Metal products		3,000	3,000
Calcium Chloride		3,000	3,000
Fish for stocking St. Ferdinand lake		4,000	4,000
Trash cans and lids		500	500
Picnic table and park bench parts and materials		500	500
Park restroom supplies		1,000	1,000
Memorial trees		2,000	2,000
Miscellaneous materials, supplies and small tools		3,000	3,000
Purchase beer coolers at St. Ferdinand and Koch		3,600	0

Park Improvement Fund Budget: 2018

2017 2018

Account 0933 - Materials and Supplies (con't)				
<u>56 Koch Pool</u>	Sub	<u>21,150</u>	<u>0</u>	
Sodium Hypochlorite		12,000	0	
Co2		5,000	0	
Muriatic Acid		250	0	
Cyanuric Acid		600	0	
Calcium Hypochlorite		800	0	
Algaecide		500	0	
Filter Aids		500	0	
Sodium Bicarbonate		500	0	
Other chemicals and supplies as needed		1,000	0	
Account 0942 - Dues, Travel and Training		Total	13,660	19,160
<u>44 Centers</u>	Sub	<u>7,500</u>	<u>7,500</u>	
Auto allowance		3,500	3,500	
Aquatic Facility Operator and Certified Pool/Spa Operator certification fees and additional aquatic professional courses		1,200	1,200	
Municipal Swim League membership dues		800	800	
Miscellaneous dues, training, and re-certifications		2,000	2,000	
<u>45 Summer Playground</u>	Sub	<u>960</u>	<u>5,460</u>	
Auto allowance			960	
Bus service to transport Koch Summer Playground children to swimming pool			4,500	
<u>47 Parks</u>	Sub	<u>5,200</u>	<u>6,200</u>	
Missouri Park and Recreation Assn. membership dues and convention fee		3,500	4,500	
Certified Park and Recreation Professional (CPRP) certification fees		900	900	
Pesticide applicator's license		100	100	
Metro Park and Recreation Directors and Board meetings/seminars		700	700	
Account 0950 - Professional Services		Total	240,240	247,240
<u>01 Miscellaneous</u>	Sub	<u>14,050</u>	<u>24,050</u>	
Tree Planting		7,500	7,500	
Audit		2,050	2,050	
Inclusion Coordinator		4,500	4,500	
Consulting and design services for future aquatic facility		0	10,000	
<u>02 Bank Fees</u>	Sub	<u>10,000</u>	<u>10,000</u>	
<u>44 Centers</u>	Sub	<u>19,290</u>	<u>18,690</u>	
Liquor licenses - all facilities		3,500	3,500	
Operating Permits - Bangert, Koch, JJE		800	600	
Ice Machine Rental - Bangert		2,150	750	
Hepatitis "A" Vaccinations (for employees)		1,700	1,700	
JJE Pool Operational Safety Audit		1,200	1,200	

Park Improvement Fund Budget: 2018

2017 2018

Account 0950 - Professional Services (con't)			
Charter converter boxes for fitness centers		1,440	1,440
Professional fees for pool operation		1,500	1,500
Ellis & Associates annual retainer fee (aquatic safety provider)		0	1,000
Contracts for DJ services		2,000	2,000
RecPro IP Charge Card processing annual fee		800	800
Contracts for program instructors and services		4,200	4,200
 <u>46 Bangert Pool</u>	Sub	<u>2,400</u>	<u>2,400</u>
Operational Safety Audit		900	900
Professional fees for pool operation		1,500	1,500
 <u>56 Koch Pool</u>	Sub	<u>2,400</u>	<u>0</u>
Operational Safety Audit		900	0
Professional fees for pool operation		1,500	0
 <u>47 Parks</u>	Sub	<u>192,100</u>	<u>192,100</u>
Grinding service and mulch/chip removal from Koch Park		20,000	20,000
Tree trimming and tree removal		75,000	75,000
Ash tree service due to Emerald Ash Borer blight		25,000	25,000
Tree trimming at the golf course		2,500	2,500
Electric repair and lighting for pavilions and ball fields		15,000	15,000
Fireworks and related items		28,000	28,000
Rental and service of portable toilets		5,000	5,000
Music copyright fees (ASCAP, SESAC, etc.)		2,200	2,200
Monitoring service for remote alarm devices in the parks		1,000	1,000
Service and Product Maintenance Agreement on surveillance cameras		8,000	8,000
Band concerts		900	900
St. Ferdinand Park lake pump cleaning		500	500
Boom-truck inspection		1,000	1,000
St. Louis County Municipal Park Planning Grant: Reimbursed at 80% for the first \$8,000 (\$6,400 grant).		8,000	8,000
Account 0951 - Parking Lot, Driveway and Walkway Repairs		Total	20,000 20,000
Miscellaneous repair work on dangerous/hazardous concrete and asphalt areas.			
Removal of trip hazards and uneven/cracking sections of walkways, pool decking, etc.		20,000	20,000
Account 0954 - Publicity		Total	16,300 16,300
Parks and Recreation Department guides/brochures		13,000	13,000
Miscellaneous advertising media, tri-folds, posters, fliers, etc.		3,300	3,300
Account 0955 - Insurance		Total	60,000 50,000
Workers Compensation Insurance		60,000	50,000

Park Improvement Fund Budget: 2018

		<u>2017</u>	<u>2018</u>
Account 0961 - Capital Additions	Total	1,213,600	1,087,500
<u>Florissant Civic Center Theater</u>	Sub	<u>0</u>	<u>0</u>
<u>44 James J. Eagan Center</u>	Sub	<u>77,200</u>	<u>49,500</u>
Replace "easy access" step unit system in swimming pool			6,000
Replace 1972 ceramic flooring in two upper level restrooms			12,000
Convert 1972 pool water inlets to standard controllable inlets			10,000
Installation of additional surveillance camera			3,500
Purchase and installation of high density mass storage rack system and video surveillance server workstation (to be compliant with Secretary of State's records retention schedule for local governments. (Page 14, GS 088 - Security Camera Video Recordings in Public Facilities			18,000
<u>44 John F. Kennedy Center</u>	Sub	<u>5,000</u>	<u>55,000</u>
Replace commercial garbage disposal in catering kitchen			3,500
Replace tile flooring in meeting room			18,000
Installation of an outdoor, double-sided, electronic message sign			30,000
Installation of additional surveillance camera			3,500
<u>46 Bangert Pool</u>	Sub	<u>0</u>	<u>47,000</u>
New lifeguard stand			4,500
Sandblast and paint pool floor and walls			36,000
Pressure wash and paint SCS play structure/water feature			6,500
<u>56 Koch Park Aquatic Center</u>	Sub	<u>24,000</u>	<u>0</u>
<u>06 Golf Course Equipment</u>	Sub	<u>7,500</u>	<u>60,000</u>
New articulated tractor			29,000
PrecisionCut Trim and Surrounds Mower			31,000
<u>06 Golf Course Improvements</u>	Sub	<u>5,000</u>	<u>5,000</u>
Various tee, bunker and fairway renovations			5,000
<u>47 Parks Equipment</u>	Sub	<u>152,600</u>	<u>218,000</u>
Replace 2004 dump/salt truck			102,000
Replace 1980 Massey Ferguson tractor with new tractor			20,000
Replace 1995 Woods rotary cutter with new pull-behind rotary cutter			7,000
Replace two mowers with two 72" zero-turn mowers			25,000
Bucket for skid steer			2,000
Replace 1994 John Deere backhoe with new compact excavator			42,000
Replace 2011 Smithco infield groomer with new Field Pro			20,000
<u>47 Park Improvements</u>	Sub	<u>942,300</u>	<u>653,000</u>
Replace damaged roof and fascia on Pavilion #1 at St. Ferdinand Park			25,000
Replace Pavilion #5 in St. Ferdinand Park			80,000
Park Master Plan. Project will include a new ADA restroom, new sewer line and electric service, walking trails, landscaping, erosion control, and other park amenities. Project funds are reimbursed by the Park Grant Commission up to \$520,000. Net expense \$28,000.			548,000

City of Florissant Operating Budget
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08 - STREET FUND

	Actual <u>2016</u>	Budget <u>2017</u>	Proposed <u>2018</u>
<u>REVENUE</u>			
Revenue	746,927	1,500,000	1,550,000
Interest	0	0	0
Miscellaneous Revenue	<u>0</u>	<u>0</u>	<u>1,861,608</u>
Total Budgeted Revenue	746,927	1,500,000	3,411,608
			Less Total Budgeted Expenditure
			<u>(4,027,010)</u>
			Equal Revenue Over/(Under) Expenditure
			(615,402)
			Plus Estimated Beginning Fund Balance
			<u>941,003</u>
			Equal Estimated Ending Fund Balance
			325,601
<u>EXPENDITURES</u>			
0852-Street Contracts	<u>0</u>	<u>1,700,000</u>	<u>4,027,010</u>
Total	0	1,700,000	4,027,010

Street Fund Budget: 2018		<u>2017</u>	<u>2018</u>
Account 0852 - Street Contracts		0	4,027,010
Street replacement, repairs and maintenance ... to include major repairs, new curb and gutters, asphalt overlays, new PCC pavement replacement to maintain curb heights, etc. ...			1,700,000
North Lafayette Street Reconstruction - Phase I ROW acquisition ... this is an 80% grant reimbursement project ... construction in 2018 budget year... (\$892,792 grant/\$223,198 city)		0	1,115,990
North Lafayette Street Reconstruction - Phase II ROW acquisition ... this is an 80% grant reimbursement project ... construction in 2018 budget year... (\$968,816 grant/\$242,204 city)		0	1,211,020

City of Florissant Operating Budget
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04 - SEWER LATERAL FUND
REVENUE

	Actual <u>2016</u>	Budget <u>2017</u>	Proposed <u>2018</u>
Revenue	509,661	500,000	510,000
Interest	5,808	5,000	4,000
Miscellaneous Revenue	<u>0</u>	<u>0</u>	<u>0</u>
Total Budgeted Revenue	515,469	505,000	514,000
Less Total Budgeted Expenditure			<u>(666,100)</u>
Equal Revenue Over/(Under) Expenditure			(152,100)
Plus Estimated Beginning Fund Balance			<u>1,458,923</u>
Equal Estimated Ending Fund Balance			1,306,823

EXPENDITURES

8021-Uniforms	900	900	900
8027-Gasoline	6,484	15,000	14,000
8030-Equipment Repair	21,789	14,000	23,000
8032-Office Supplies & Maint.	1,909	2,500	2,500
8033-Materials and Supplies	27,798	38,000	37,000
8042-Dues, Travel & Training	1,371	2,000	1,800
8050-Professional Service	547,694	574,050	480,100
8055-Insurance, Fire & Liability	18,015	25,000	25,000
8061-Capital Additions	<u>19,900</u>	<u>0</u>	<u>81,800</u>
Total	645,860	671,450	666,100

04 - SEWER LATERAL FUND CAPITAL ADDITIONS

One 3/4 ton Pickup Truck with radio, bedliner and hazard lights	32,800
One mini-excavator	<u>49,000</u>
Total	81,800

Sewer Lateral Fund Budget: 2018

		<u>2017</u>	<u>2018</u>
Account 8021 - Uniforms	Total	900	900
Clothing allowance for all Full-time and Part-time employees		900	900
Account 8027 - Gasoline	Total	15,000	14,000
Gasoline cross charges for SLIP equipment		15,000	14,000
Account 8030 - Equipment Repair	Total	14,000	23,000
Includes maintenance equipment, miscellaneous automotive parts and supplies; brakes, tune-up kits, etc., tire repairs, purchase and service; dealer parts and service; small engine parts and service; heavy equipment parts, service and supplies; transmission parts, service and supplies; radiator and a/c service mufflers, exhaust work, batteries, lights, radio work, upholstery, glass, parts, service and supplies, lubricants and fluids, towing,			
Account 8032 - Printing & Office Supplies	Total	2,500	2,500
Miscellaneous office supplies (paper, printer cartridges, printing, etc.)		2,000	2,000
Misc. replacement of office equipment/furniture/cameras/video tapes ...		500	500
Account 8033 - Materials & Supplies	Total	38,000	37,000
Concrete pavement and sidewalk replacement		10,000	10,000
Asphalt pavement replacement		10,000	10,000
Various small tools & supplies ...		1,000	1,000
Miscellaneous – top soil, grass seed, sod, lumber, sand, rock, small tools, forms, etc.		17,000	16,000
Account 8042 - Dues, Travel, Training	Total	1,831	1,800
City Engineer: Dues: Association of State Flood Plain Managers (ASFPM) - \$110, American Society of Civil Engineers - \$225		335	335
Travel – Mileage for use of personal vehicle		1,496	1,465
Account 8050 - Professional Services	Total	574,050	480,100
Audit		2,050	2,100
Bank Fees		1,000	1,000
Sewer Lateral Repairs by Contractor		100,000	110,000
Video inspection fee reimbursement		32,000	30,000
Tree Removal		10,000	10,000
Computer Consultant/Maintenance/Upgrades/Supplies (CAD Programs)		5,000	5,000
Administrative Cross Charge		424,000	322,000

Sewer Lateral Fund Budget: 2018

		<u>2017</u>	<u>2018</u>
Account 8055 - Insurance	Total	25,000	25,000
General Liability, Workers Compensation, Property, etc.		25,000	25,000
Account 8061 - Capital Additions/Improvements	Total	0	81,800
1 each 3/4 Ton Pickup Utility Truck to replace SL-1 (2006 Chevy w/65,461 miles)			
to include radio, bedliner and hazard lights ...			32,800
1 each Mini-Excavator for rear yard repairs (addition)			49,000

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

10 - PROPERTY REVITALIZATION		Actual	Budget	Proposed
<u>REVENUE</u>		<u>2016</u>	<u>2017</u>	<u>2018</u>
Revenue		500	0	0
Interest		<u>0</u>	<u>0</u>	<u>0</u>
Total Budgeted Revenue		500	0	0
Less Total Budgeted Expenditure				<u>(30,000)</u>
Equal Revenue Over/(Under) Expenditure				<u>(30,000)</u>
Plus Estimated Beginning Fund Balance				<u>41,007</u>
Equal Estimated Ending Fund Balance				11,007
 <u>EXPENDITURES</u>				
1050-Professional Service		<u>2,684</u>	<u>30,000</u>	<u>30,000</u>
Total		2,684	30,000	30,000

Property Revitalization Fund Budget: 2016

	<u>2015</u>	<u>2016</u>
Account 1050 - Professional Services	30,000	30,000
02 - Property Acquisition Program	Total 30,000	30,000

The Property Acquisition Program allows the City to accept assignment of certain properties within the City limits that are delinquent in real estate property taxes and have been offered for sale by the St. Louis County Collector of Revenue at least three times and the property was not sold. The City will stabilize the properties and seek to find buyers that will bring the properties up to code compliance and occupancy standards. This program is intended to foster greater community stability and strengthen the tax base of the City by preserving and improving single-family home values. Any proceeds from the sale of properties will be returned to this fund.

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

14 - COURT BUILDING FUND
REVENUE

	Actual <u>2016</u>	Budget <u>2017</u>	Proposed <u>2018</u>
Revenue	83,891	132,000	132,000
Interest	<u>0</u>	<u>0</u>	<u>0</u>
Total Budgeted Revenue	83,891	132,000	132,000
Less Total Budgeted Expenditure			<u>(132,000)</u>
Equal Revenue Over/(Under) Expenditure			0
Plus Estimated Beginning Fund Balance			<u>0</u>
Equal Estimated Ending Fund Balance			0

EXPENDITURES

1420-Debt Service	<u>69,825</u>	<u>132,000</u>	<u>132,000</u>
Total	69,825	132,000	132,000

Court Building Fund: 2018

		<u>2017</u>	<u>2018</u>
Account 1420 - Debt Service	Total	132,000	132,000

Debt service payments utilizing the available balance from the imposition of a court cost authorized by HB 1231 and approved by Governor Nixon on July 9, 2014. HB 1231 amended RSMo 488.2245 and authorized the imposition of a court cost for each municipal ordinance violation case filed before the Municipal Division Judge or Associate Circuit Judge of the City of Florissant Municipal Court. Proceeds can be used for land assemblage and purchase, construction, maintenance, and upkeep of a municipal courthouse.

\$1,170,000 was advanced from the General Fund to purchase the property at 4575 Washington Street for use as a municipal court building as authorized by Ord. #8119 adopted on February 23, 2015.

City of Florissant Operating Budget
December 1, 2016 through November 30, 2017

XX - POLICE FUND	Actual	Budget	Proposed
<u>REVENUE</u>	<u>2016</u>	<u>2017</u>	<u>2018</u>
Revenue (Proposition P sales tax)	0	0	2,600,000
Interest	0	0	0
Miscellaneous Revenue	<u>0</u>	<u>0</u>	<u>0</u>
Total Budgeted Revenue	0	0	2,600,000
Less Total Budgeted Expenditure			<u>(2,182,302)</u>
Equal Revenue Over/(Under) Expenditure			417,698
Plus Estimated Beginning Fund Balance			<u>0</u>
Equal Estimated Ending Fund Balance**			417,698
 <u>EXPENDITURES</u>			
xx50-Professional Service	0	0	1,638,302
xx61-Capital Additions	<u>0</u>	<u>0</u>	<u>544,000</u>
Total	0	0	2,182,302

XX - POLICE FUND CAPITAL ADDITIONS

Police Officer Protective Equipment	79,000
License plate reader system	40,000
In-car video system for police patrol vehicles	250,000
Firearm Training Shooting Simulator	125,000
Replacement Records Management System	<u>50,000</u>
Total	544,000

**Balance available for appropriation as necessary and prudent in the 2018 or subsequent fiscal years.

Police Fund Budget: 2018

		<u>2017</u>	<u>2018</u>
Account xx50 – Professional Services	Total	0	1,638,302
Administrative Cross Charge for the following:			
Residency Incentive Program			33,587
Telephone service			76,000
Legal Fees			125,000
Flexible Spending Fees			4,000
Legal Notices			2,000
Insurance			550,500
Wages:			
Incremental wage and benefit increase for all full-time uniformed employees.			
Accounts for the difference between pay rates under Ord. #8059 adopted July 14, 2014 and Ord. #8318 adopted May 9, 2017.			
One additional Reserve Police Officer (part-time)			776,988
Additional Dispatcher hours (part-time)			41,396
			28,831
Account xx61 – Capital Additions	Total	0	544,000
Police Officer Protective Equipment			79,000
License Plate Reader System			40,000
In-car video system for police patrol vehicles			250,000
Firearm Training Shooting Simulator			125,000
Replacement Records Management System			50,000

Article I. Section 105.070 - Estimates of future expenditures and personnel needs.

GENERAL FUND REVENUE

	2019	2020	2021	2022
Income	23,074,300	23,420,414	23,771,720	24,128,296
Reserve	1,803,842	1,808,119	1,813,601	1,820,332
Total	24,878,142	25,228,533	25,585,321	25,948,628

GENERAL FUND EXPENDITURES

	2019			2020			2021			2022		
	f/t	Capital Add	Amount	f/t	Capital Add	Amount	f/t	Capital Add	Amount	f/t	Capital Add	Amount
Legislative	0	0	160,760	0	0	160,760	0	0	160,760	0	0	160,760
Administration	17	0	3,061,302	17	0	3,087,653	17	0	3,114,458	17	0	3,141,727
Municipal Court	6	0	657,140	6	0	667,633	6	0	678,323	6	0	689,214
Health	9	0	925,199	9	0	938,804	9	0	952,658	9	0	966,767
Senior Services	2	0	200,671	2	0	203,100	2	0	205,572	2	0	208,089
Recreation	22	0	4,130,960	22	0	4,185,332	22	0	4,240,713	22	0	4,297,123
Public Works	46	0	3,908,143	46	0	3,969,364	46	0	4,031,701	46	0	4,095,176
Police	112	0	11,173,637	112	0	11,348,808	112	0	11,527,187	112	0	11,708,833
Media	2	0	215,891	2	0	219,004	2	0	222,175	2	0	225,403
Information Tech.	2	0	383,112	2	0	385,703	2	0	388,337	2	0	391,015
Housing Center	<u>1</u>	<u>0</u>	<u>61,327</u>	<u>1</u>	<u>0</u>	<u>62,372</u>	<u>1</u>	<u>0</u>	<u>63,436</u>	<u>1</u>	<u>0</u>	<u>64,520</u>
Total	219	0	24,878,142	219	0	25,228,533	219	0	25,585,321	219	0	25,948,628

CAPITAL IMPROVEMENT FUND

	2019			2020			2021			2022		
	f/t	Capital Add	Amount	f/t	Capital Add	Amount	f/t	Capital Add	Amount	f/t	Capital Add	Amount
Income			3,250,000			3,250,000			3,250,000			3,250,000
Cap Imp. Exp.	0	450,000	4,841,842	0	450,000	4,846,684	0	450,000	4,846,684	0	450,000	4,846,684

PARK IMPROVEMENT FUND

	2019			2020			2021			2022		
	f/t	Capital Add	Amount	f/t	Capital Add	Amount	f/t	Capital Add	Amount	f/t	Capital Add	Amount
Income			3,400,000			3,400,000			3,400,000			3,400,000
Park Imp. Exp.	17	400,000	4,064,049	17	400,000	4,091,409	17	400,000	4,119,228	17	400,000	4,147,513

STREET FUND

	2019			2020			2021			2022		
	f/t	Capital Add	Amount	f/t	Capital Add	Amount	f/t	Capital Add	Amount	f/t	Capital Add	Amount
Income			1,500,000			1,500,000			1,500,000			1,500,000
Street Contracts	0	0	1,500,000	0	0	1,500,000	0	0	1,500,000	0	0	1,500,000

SEWER LATERAL FUND

	2019			2020			2021			2022		
	f/t	Capital Add	Amount	f/t	Capital Add	Amount	f/t	Capital Add	Amount	f/t	Capital Add	Amount
Income			500,000			500,000			500,000			500,000
Sewer Lateral Exp.	0	0	679,453	0	0	686,248	0	0	693,110	0	0	700,041

CITY OF FLORISSANT

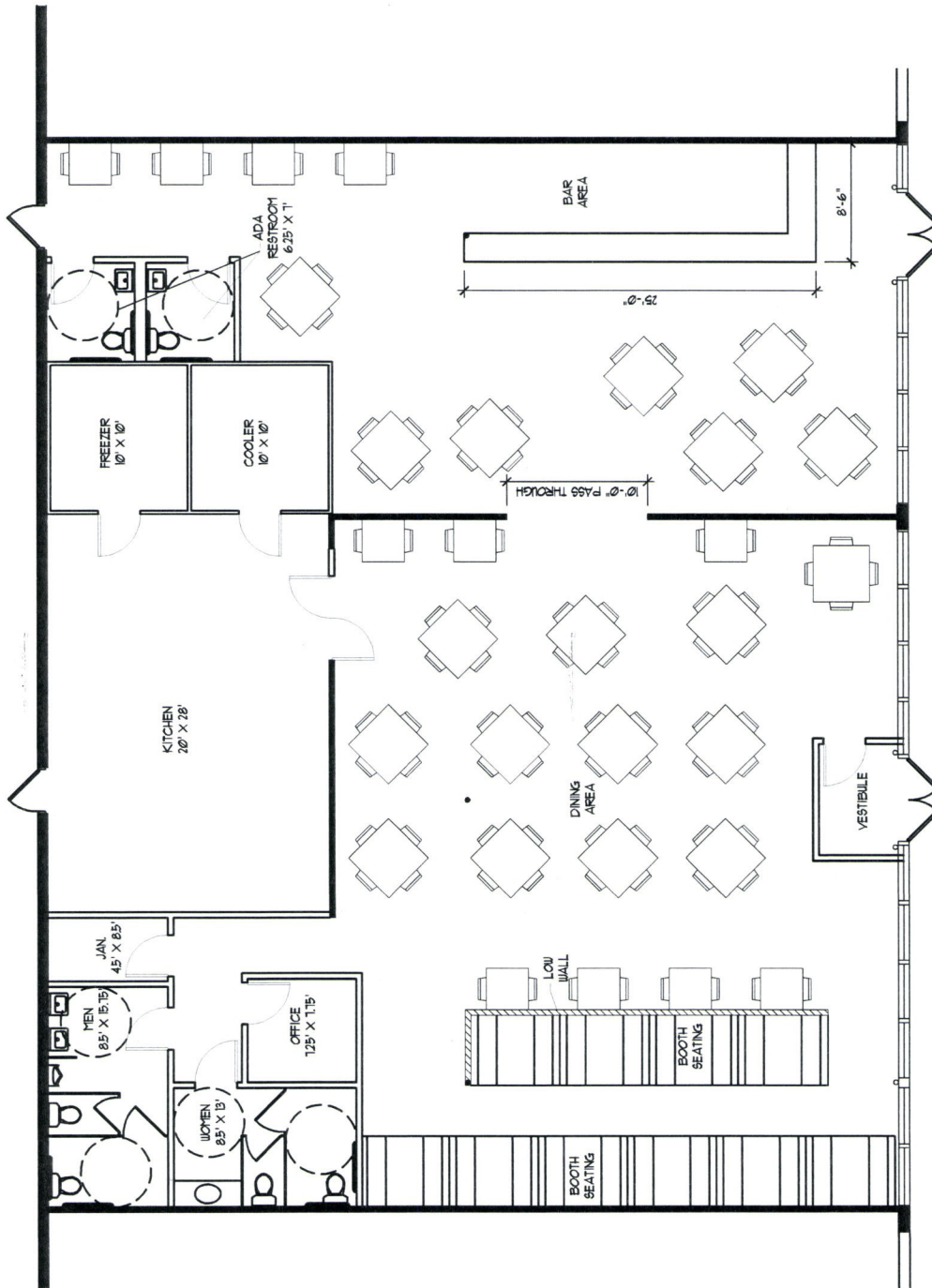
Public Hearing



In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, October 9, 2017 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit to Mullanphy Gardens Acquisitions, LLC d/b/a Spot House Restaurant & Bar to allow for the operation of a restaurant and bar in a B-3 Zoning District for the property located at 2 & 3 Mullanphy Gardens Shopping Center (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

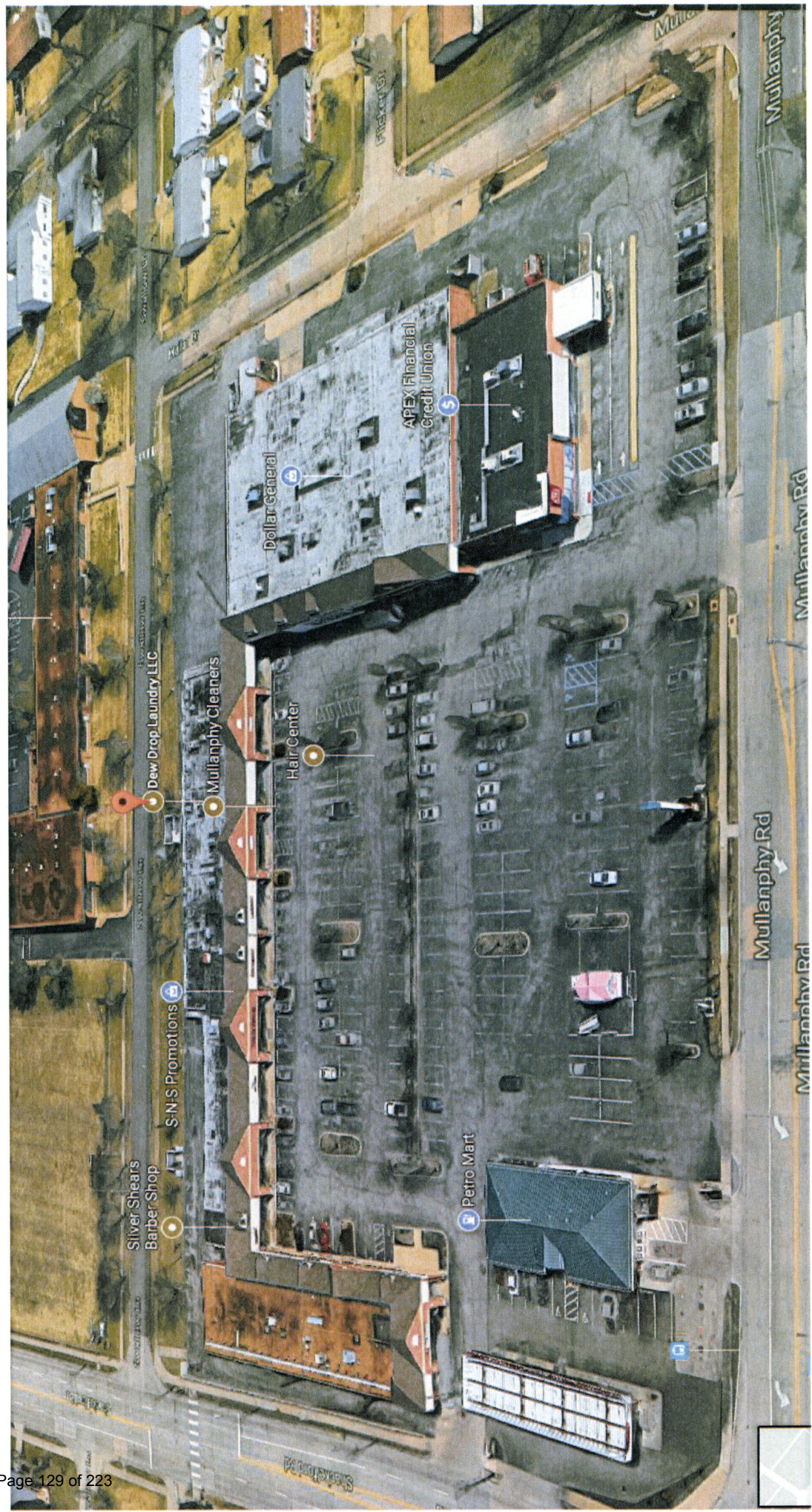


4,724 SF

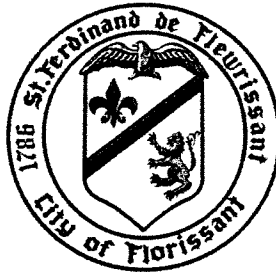
Preliminary Plan
SCALE 1/8"=1'-0"

Suites 2-3
Mullanphy Garden Shopping Center
Florissant, Missouri 63031

PRELIM: 07.24.17
REV. PRELIM: 08.15.17



FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 233 Mullanphy Gardens Shopping Center, Florissant MO 63031
Property Owners Name: Mullanphy Gardens Acquisitions, LLC Phone/email: _____
Property Owners Address: P.O. Box 1345, St. Louis MO 63188
Business Owners Name: Spot House Restaurant & Bar Phone/email: 314 766 4609 / akuennner@civitasreal
Business Owners Address: 105 Castle Drive, Florissant MO 63034 estateservices.com
DBA (Doing Business As) General Contractor for Business Owner
Authorized Agents Name: Icon Contracting, Inc. Co. Name: Ron Hamp
(Authorized Agent to Appear Before The Commission)
Agents Address: 1590 Ashby Rd., St. Louis MO 63132 Phone/email: 314 962 2211 / ron@iconcontractinginc.com
Request Re-zoning in order to open a new restaurant facility

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Ron Hamp
Applicant's Signature

9/7/17
Date

OFFICE USE ONLY

Received by: _____ Receipt # _____ Amount Paid: _____ Date: _____

STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION
Planning & Zoning Application
Page 1 of 1 – Revised 7/15/15

RECOMMENDED APPROVAL
PLANNING & ZONING

CHAIRMAN

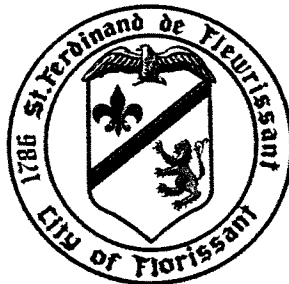
SIGN.

Paul [Signature]

DATE:

9/10/2017

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION

Council Ward _____ Zoning _____

RECOMMENDED APPROVAL

**PLANNING & ZONING
CHAIRMAN**

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN.

DATE:

9/18/2017

SPECIAL PERMIT FOR

Operation of a Restaurant

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT #-

ordinance #

TO ALLOW FOR

operation of a restaurant
Statement of what the amendment is for.

LOCATION

233 Mullanphy Gardens Shopping Center, Florissant MO 63031

Address of property.

1) Comes Now

DBA Icon Contracting, Inc.

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property)

General Contractor for Business Owner

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for vacant and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit: see drawings
(If more space is needed, separate sheets maybe attached)

Ron Hampp Ron Hampp / 314 9622211 Ron@iconcontractinginc.com
PRINT NAME SIGNATURE email and phone

FOR Icon Contracting, Inc.
(company) corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property. 10x
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Ron Hampp

ADDRESS 1500 Ashby Rd. St. Louis MO 63132
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 314 9622211 / Ron@iconcontractinginc.com
BUSINESS

I (we) the petitioner (s) do hereby appoint Ron Hampp as
my (our) duly authorized agent to represent me (us) in regard to this petition.
Print name of agent.

Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

- 1) Type of Operation: ☒ Individual ☐ Partnership ☐ Corporation

(a) If an individual:

- (1) Name and Address Spot House Restaurant & Bar, 109 Castle Drive, 63034
(2) Telephone Number 314 766 4609
(3) Business Address 233 Mullanphy Shopping Center, Florissant MO 63031
(4) Date started in business _____
(5) Name in which business is operated if different from (1) N/A
(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration. N/A

(b) If a partnership:

- (1) Names & addresses of all partners _____
(2) Telephone numbers _____
(3) Business address _____
(4) Name under which business is operated _____
(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration. _____

(c) If a corporation:

- (1) Names & addresses of all partners _____
(2) Telephone numbers _____
(3) Business address _____
(4) State of Incorporation & a photocopy of incorporation papers _____
(5) Date of Incorporation _____
(6) Missouri Corporate Number _____
(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
(8) Name in which business is operated _____
(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Spot House Restaurant & Bar
Address 233 Mullanphy Gardens Shopping Center, Florissant MO 63031
Property Owner Mullanphy Garden Acquisitions, LLC
Location of property Mullanphy Rd between Schackelford Rd & Mullan Drive.
Dimensions of property 4724 SF
Property is presently zoned vacant Requests Rezoning To Restaurant
Proposed Use of Property Restaurant
Type of Sign _____ Height _____
Type of Construction _____ Number Of Stories _____
Square Footage of Building _____ Number of Curb Cuts _____
Number of Parking Spaces _____ Sidewalk Length _____
Landscaping: No. of Trees _____ Diameter _____
No. of Shrubs _____ Size _____
Fence: Type _____ Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION
Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

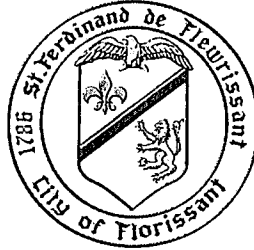
Date Application reviewed _____

STAFF REMARKS: _____

Building Commissioner or Staff Signature

1

MEMORANDUM



2

3

4

5

6

7

CITY OF FLORISSANT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

8 To: Planning and Zoning Commissioners Date: September 14, 2017

9

10 From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr. PE PWLF

11 Director of Public Works

12 Applicant

13 File

14

15 Subject: Request recommended approval of a Special Use to allow a

16 Restaurant/Bar (**Spot House**) at 2 and 3 Mullanphy Gardens in a 'B-3'

17 Zoning District.

18

19

20

21

22

23

STAFF REPORT

CASE NUMBER PZ-091817-3

24

25

I. PROJECT DESCRIPTION:

26 This is a request for recommended approval of a Special Use to allow a Restaurant/Bar

27 (**Spot House**) at 2 and 3 Mullanphy Gardens in a 'B-3' Zoning District.

28

29

30

II. EXISTING SITE CONDITIONS:

31 The existing property at 2 and 3 Mullanphy Gardens is Commercial space within a

32 57,502 s.f. Shopping Center of multiple tenants adjacent to a cleaners and laundry space.

33

34 The subject property contains 4724 square feet and has a separation wall between it and

35 other tenants. The existing building is aluminum and glass storefront with masonry.

36

37 The petitioner has prepared an application, attached, which states intended usage and a

38 preliminary floor plan for the restaurant/bar.

39

40
41 **III. SURROUNDING PROPERTIES:**
42

43 The property occupies a block bounded by Mullanphy to the South, Shackelford to the
44 West, Swallow to the North and Mullan Drive to the East. Therefore, the property has 4
45 front yards.
46

47 There is a lot at the corner, 1200 Shackelford, occupied by a Sinclair service station in a
48 B-5 Zoning District. There are no side yard setbacks between the properties.
49
50

51 **IV. STAFF ANALYSIS:**
52

53 The application is accompanied by an aerial in lieu of a Site Plan. The following are staff
54 comments:

- 55 1. Parking Calculation: 230 spaces required at the ratio of 4/1000 and 292 exist after
56 removal of a net 8 spaces by the drive-through bank.
- 57 2. Aerial Site photo: location of unit next to cleaners.
- 58 3. Floor Plan: is included for convenience and shows general space locations in the
59 building and flow of interior with approximate dimensions.
- 60 4. Elevations: unchanged.
- 61 5. Landscape: unchanged.
- 62 6. Sign: Proposed face change.
- 63 7. Occupants: There is no seating shown at the bar +/- 16 stools, a table diagram
64 shows 24x4 seats. Assuming this the occupant load for parking will be 104 plus
65 staff on the max. shift.
66

67 The current zoning allows for a "restaurant/bar" as a Special use, therefore, a review of
68 plans by P&Z for approval is requested.
69

70 **VI. STAFF RECOMMENDATIONS:**
71

72 There are no hours of operation stipulated, nor number of employees on the maximum
73 shift. These items are left open on the suggested motion:
74

- 75 1. Staff informed the applicant that conformance with the current International
76 Existing Building Code, 2009 would apply to any new applicant including
77 occupant load driven requirements, entrance access, ventilation. Separate other
78 requirements will be by the St. Louis County Health Department regulating
79 kitchens.
80

81 **Suggested Motion 2 and 3 Mullanphy Gardens:**

82 I move to recommend approval for a Special Use to allow a restaurant/bar at 2
83 and 3 Mullanphy Gardens, subject to the conditions set forth below with these
84 conditions being part of the record:
85

86
87
88
89
90
91

1. PROJECT COMPLETION.

Construction shall start within 60 days issuance of building permits and the project and shall be developed in accordance of the approved amendments to the final development plan within 180 days of start of construction

92
93

(end of report and suggested motion)

1 INTRODUCED BY COUNCILMAN EAGAN
2 SEPTEMBER 25, 2017
3

4 BILL NO. 9310

ORDINANCE NO.

5
6 **ORDINANCE TO REZONE FOR DARIN TUCKER THE PROPERTY**
7 **LOCATED AT 22 FLOWERIDGE LANE FROM R-4 SINGLE FAMILY**
8 **DWELLING DISTRICT, TO R-6 MULTIPLE FAMILY DWELLING**
9 **DISTRICT TO ALLOW FOR CONSTRUCTION OF A DUPLEX**
10
11

12 WHEREAS, Title IV, Land Use as amended, establishes within the City of Florissant
13 district classifications for the purpose of regulating their construction and use of land, buildings
14 and property within the said various districts, and said Ordinance provides the nature, kind and
15 character of buildings that may be erected in each of the said districts and the use to which the
16 land and buildings may be put; and

17 WHEREAS, the Planning and Zoning Commission has recommended denial at their
18 meeting on August 21, 2017 that 22 Floweridge be rezoned from R-4 Single Family District to
19 R-6 Multiple Family Dwelling district for the construction of a duplex; and

20 WHEREAS, due and lawful notice of a public hearing no. 17-09-021 on said proposed
21 zoning change was duly published and held on Tuesday, September 19, 2017 at 7:30 P.M. by the
22 Council of the City of Florissant; and

23 WHEREAS, the Council of the City of Florissant, after careful and due deliberation, has
24 concluded that the amendment of the Land Use Ordinance, as hereinafter set forth, to be in the
25 best interest of the City of Florissant.
26

27 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
28 COUNTY, MISSOURI, AS FOLLOWS:
29

30 Section 1: The zoning classification for the property known as 22 Floweridge Lane and
31 described by the survey and legal description attached hereto is hereby changed from R-4
32 "Single Family Dwelling District" to R-6 "Multiple Family Dwelling District" to allow for the
33 construction of a duplex.
34

35 Section 2: This ordinance shall become in force and effect immediately upon its passage
36 and approval.
37

Adopted this _____ day of _____, 2017.

Jackie Pagano
President of the Council
City of Florissant

Approved this _____ day of _____, 2017.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk



CITY OF FLORISSANT

PUBLIC HEARING NOTICE

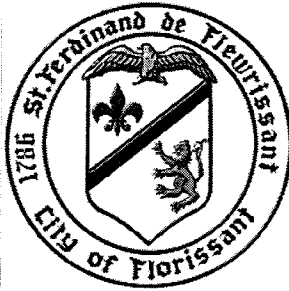
A Public Hearing will be held by the Florissant City Council in the Council Chambers, 955 rue St. Francois, Florissant, MO., on Tuesday, September 19, 2017 at 7:30 p.m. on the following proposition, to-wit:

To rezone for Darin Tucker the property located at 22 Floweridge Lane from R-4 Single Family Dwelling District, to R-6 Multiple Family Dwelling District, to allow for construction of a duplex.

Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, City Clerk.

RE-ZONING APPLICATION TO THE PLANNING AND ZONING
COMMISSION CITY OF FLORISSANT, MISSOURI



PLANNING & ZONING ACTION:

RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

SIGN.

DATE: 8/21/17

Address of Property:

22 Floweridge Lane

Council Ward 3 Zoning R4

Initial Date Petitioner Filed _____
(Building Commissioner complete)

PETITION FOR REZONING FROM A CURRENTLY ZONED R4 DISTRICT TO
Enter current zoning district
A R6 ZONING DISTRICT IN COUNCIL WARD 3
Enter zoning classification request

- 1) Comes Now DARIN Tucker
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property) owner of property
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

If other than title, give date of contract _____ and expiration date of Contract _____

- A. The petitioner(s) hereby state that he (she) (they) is (are) hereby submitting a description of the entire parcel or tract of land owned by the holder of the fee simple title, giving bearing and distances.
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned, giving bearings & distances (metes and bounds). Not required if description is identical to "A".
- C. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property described in "A" above, drawn to scale of 100 feet or less to the inch, referenced to point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions (bearings and distances) of property, north point and scale. If property is being described in "A" above, designate said property and show dimensions of same.

7/17/17 599463 125.00



* 2 0 1 5 1 0 1 4 0 0 6 4 8 *

GERALD E. SMITH, RECORDER OF DEEDS
ST. LOUIS COUNTY MISSOURI
41 SOUTH CENTRAL, CLAYTON, MO 63105

TYPE OF
INSTRUMENT
WD

GRANTOR
BANK OF AMERICA NA

TO

GRANTEE
TUCKER DARIN

PROPERTY
DESCRIPTION:

FLOWERIDGE L: 22 PB: 86 PG: 26WOP

Lien Number

Notation

Locator

NOTE: I, the undersigned Recorder of Deeds, do hereby certify that the information shown on this Certification Sheet as to TYPE OF INSTRUMENT, the NAMES of the GRANTOR and GRANTEE as well as the DESCRIPTION of the REAL PROPERTY affected is furnished merely as a convenience only, and in the case of any discrepancy of such information between this Certification Sheet and the attached Document, the ATTACHED DOCUMENT governs. Only the DOCUMENT NUMBER, the DATE and TIME of filing for record, and the BOOK and PAGE of the recorded Document is taken from this CERTIFICATION SHEET.

RECORDER OF DEEDS DOCUMENT CERTIFICATION

STATE OF MISSOURI)
SS.
COUNTY OF ST. LOUIS)

Document Number

00648

I, the undersigned Recorder of Deeds for said County and State, do hereby certify that the following and annexed instrument of writing, which consists of 6 pages, (this page inclusive), was filed for record in my office on the 14 day of October 2015 at 02:30PM and is truly recorded in the book and at the page number printed above.

In witness whereof I have hereunto set my hand and official seal the day, month and year aforesaid.

T1
Deputy Recorder



Gerald E. Smith
Recorder of Deeds
St. Louis County, Missouri

Mail to:

ServiceLink Aliquippa Title Company
4000 Industrial Blvd
Aliquippa, PA 15001

Destination code: 4002

RECORDING FEE 36.00
(Paid at the time of Recording)

Page 2

3. I have given a lot of thought about building on this property even long before I had purchased it. My wife's grandparents are Paul and Laverne Callahan, they own the property at 675/677 Rosetta Drive in which borders 22 Floweridge Lane on the east side. Paul has now passed away, but Laverne still lives at 677 Rosetta. I spent a lot of time with them over the years and we talked about the possibilities of purchasing the property and what I could build if I was able to own it. Both of them were in the business of renting and owning several homes in the Florissant and Ferguson areas. They purchased the property at Rosetta as their home as an investment in their retirement portfolio. I have the same drive and ambition as they had and the vision of what I believe this property can and will be if given the opportunity to do so. Since I purchased this property I have spent a lot of time working on cleaning up the over grown trees, brush, and debris. This has not only improved my property and its appearance, but also the neighboring property as well. I have received a lot of praise from neighboring apartment owners, home owners and also some of the tenants in the area as well on how great the property looks now. I say all this hoping you will see how much this means to me and know that what I build on this property will only help and improve the area. Please consider the rezoning this property on 22 Floweridge from a zone R4 to a zone R6 that already rest against existing R6 properties. Thank you!

Darin Tucker – owner of 22 Floweridge Lane property

Darin Tucker July 17, 2017

GRANTEE RIDER

In Witness Whereof, the said Grantor(s) has executed these presents the day and year first above written.

Darin Tucker
Grantee: DARIN TUCKER

STATE OF *Missouri*
COUNTY OF *ST. LOUIS* } ss.

On this 12 day of October, 2015, Personally appeared to me known to be the person(s) described herein and who executed the forgoing instrument, and acknowledged that he executed the same as his free act and deed, as the Grantee(s), party of second part.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County of St. Louis, and the State of Missouri, the day and year first written above.

Maggie Singleton
Notary Public

My Commission Expires:
July 15, 2018

Commission # 14432658
St. Louis County
July 15, 2018
My Commission Expires
MAGGIE SINGLETON



Type of Document: SPECIAL WARRANTY DEED

Date of Document: 8/25/2015

Grantor (s): BANK OF AMERICA, N.A.

Grantor (s) Mailing Address: 2505 W CHANDLER BLVD, AZ 85224

Grantee (s)(lender): DARIN TUCKER

Grantee (s) Mailing Address: 1365 NIGHT DR. FLORISSANT, MO 63031

Legal Description: PARCEL NO. 1: LOT 22 OF FLOWERIDGE, A SUBDIVISION IN ST. LOUIS COUNTY, MISSOURI. PARCEL NO: 2 A TRACT OF LAND IN SURVEYS 166, 167, 168, 169 AND 170 OF ST. FERDINAND COMMON FIELDS IN TOWNSHIP 47 NORTH, RANGE 6 EAST AND DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST WESTERN CORNER OF A 20 ACRE, TRACT CONVEYED TO BERNARD KLAAS AND WIFE, BY DEED RECORDED IN BOOK 921, PAGE 76 OF THE ST. LOUIS COUNTY RECORDS.

Reference Book and Pages (s): BOOK 86 PAGE 26

Prepared By/Return To:

ServiceLink, LLC
400 Corporation Drive
Aliquippa, PA 15001
Servicelink # 3346429

SPECIAL WARRANTY DEED

This Deed, made and entered into this 25th day of August, 2015, by and between **Bank of America, N.A.**, whose mailing address is 2505 W Chandler Blvd (Mail Code: AZ1-805-03-03) Chandler, AZ 85224, of the County of Maricopa, State of Arizona, **Grantor(s)**, and **DARIN TUCKER, a (an)** _____ **person**, whose mailing address is 1365 Night Dr, Florissant, MO 63031, of the County of St. Louis, State of Missouri, **Grantee(s)**.

Witnesseth, that the said Grantor(s), for and in consideration of the sum of **One Thousand One and 00/100 Dollars (\$1001.00)** and other valuable considerations paid by the said Grantee(s), the receipt of which is hereby acknowledged, does by these presents Grant, Bargain, Sell, Convey and Confirm unto the said Grantee(s), the following described Real Estate, situated in the County of Saint Louis and State of Missouri, to-wit:

All that certain parcel of land situate in the County of St. Louis, State of Missouri, being more particularly described as follows:

Parcel No. 1:

Lot 22 of Floweridge, a subdivision in St. Louis County, Missouri, according to the plat thereof recorded in Plat Book 86, Page 26 of the St. Louis County Records.

Parcel No. 2:

A tract of land in Surveys 166, 167, 168, 169 and 170 of St. Ferdinand Common Fields in Township 47 North, Range 6 East and described as follows: Beginning at the most Western corner of a 20 acre, tract conveyed to Bernard Klaas and wife, by deed recorded in Book 921, Page 76 of the St. Louis County Records; thence North 37 degrees 45 minutes East along the Northwest line of said Bernard Klaas Tract 77.57 feet to a point; thence South 52 degrees 15 minutes East along the Northwest line of said Bernard Klaas Tract 77.53 feet to a point in the Southwest line of said Bernard Klaas tract thence North 52 degrees 16 minutes West by survey (North 52 degrees 17 minutes West by deeds) along the Southwest line of said Bernard Klaas tract 149.33 feet to the point of beginning, according to the survey executed by Bangert and Kaller Surveying and Engineering Company on May 25, 1964.

Tax/Parcel ID: 08K540315

Commonly Known as: 22 FLOWERIDGE LN FLORISSANT MO 63031

Subject to Building lines, easements, restrictions and conditions of record, if any, and to any zoning law or ordinance affecting the herein described property.

Prior reference: Book 21088, Page 1

"Seller makes no representations or warranties, of any kind or nature whatsoever, whether expressed, implied, implied by law, or otherwise, concerning the condition of the title to the property prior to the date the seller acquired title."

To Have and to Hold the same, together with all rights and appurtenances to the same belonging, unto the said Grantee(s), and to their heirs and assigns, forever.

The said Grantor(s) hereby covenants that it and its heirs, executors and administrators shall and will *Warrant and Defend* the title to the premises unto the said Grantee(s), and to their heirs and assigns, forever, against the lawful claims of all persons claiming by, through or under Grantor(s) but none other, excepting, however, the general taxes for the calendar year 2015 and thereafter, and special taxes becoming a lien after the date of this deed.

In Witness Whereof, the said Grantor(s) has executed these presents the day and year first above written.

Bank of America, N.A.

By:

Kelly M. Sorenson

Name:

Kelly M. Sorenson

Title:

AVP

STATE OF Arizona
COUNTY OF Maricopa

} ss.

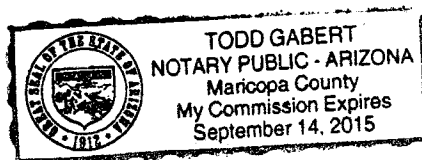
On this 25th day of August, 2014, before me personally appeared Kelly M. Sorenson, to me personally known, who, being by me duly sworn, did say that she is the AVP of **Bank of America, N.A.**, a Corporation of the State of Arizona, and that said instrument was signed in behalf of said corporation, by authority of its Board of Directors; and said Kelly M. Sorenson, AVP acknowledged said instrument to be the free act and deed of said corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid, the day and year first above written.

Todd Gabert

Notary Public.

My term expires: 09/14/2015



GRANTEE RIDER

In Witness Whereof, the said Grantor(s) has executed these presents the day and year first above written.

Darin Tucker
Grantee: DARIN TUCKER

STATE OF *Missouri*
COUNTY OF *ST. LOUIS* } ss.

On this *12* day of *October*, 2015, Personally appeared to me known to be the person(s) described herein and who executed the forgoing instrument, and acknowledged that he executed the same as his free act and deed, as the Grantee(s), party of second part.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County of St. Louis, and the State of Missouri, the day and year first written above.

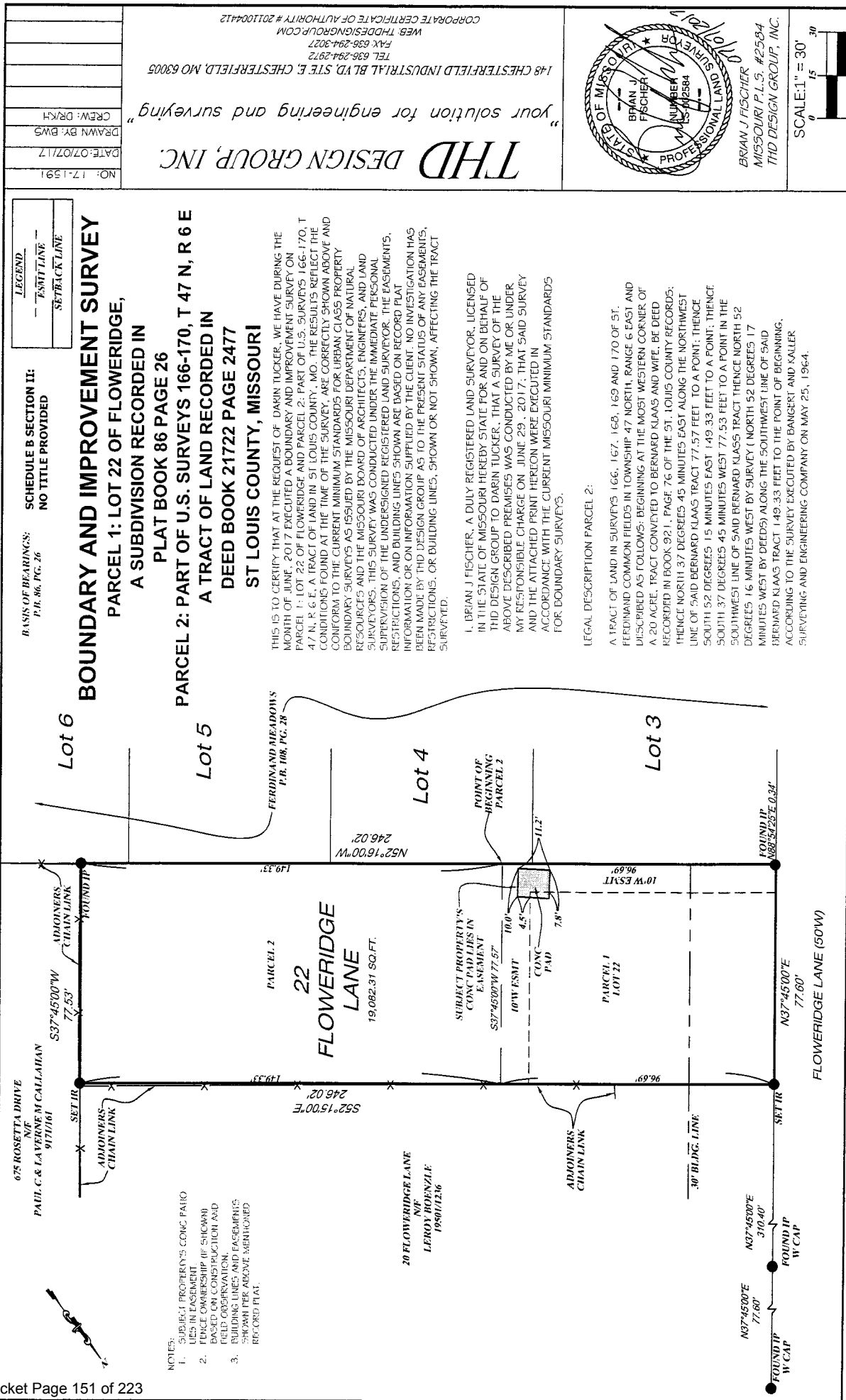
Maggie Singleton
Notary Public

My Commission Expires:

July 15, 2018

MAGGIE SINGLETON
My Commission Expires
July 15, 2018
St. Louis County
Commission #14432558





NO: 17-1591

DATE: 07/07/17

DRAWN BY: BWS

CRAW: DR/KH

THD DESIGN GROUP, INC.

"your solution for engineering and surveying"

148 CHESTERFIELD INDUSTRIAL BLD., STE E, CHESTERFIELD, MO 63005

TEL: 636-294-2972

FAX: 636-294-3027

WEB: THDDSGROUP.COM

CORPORATE CERTIFICATE OF AUTHORITY # 2011004412

STATE OF MISSOURI

BRIAN J. FISCHER

PROFESSIONAL LAND SURVEYOR

NUMBER 02584

BRIAN J. FISCHER

MISSOURI P.L.S. #2584

THD DESIGN GROUP, INC.

SCALE: 1" = 30'

0 15 30

"your solution for
engineering and
surveying"

FOR THE BENEFIT AND USE OF:

ORDER # 17-1591

DARIN TUCKER

DATE 7/7/17

ADDRESS: 22 FLOWERIDGE LANE, ST LOUIS COUNTY, MISSOURI

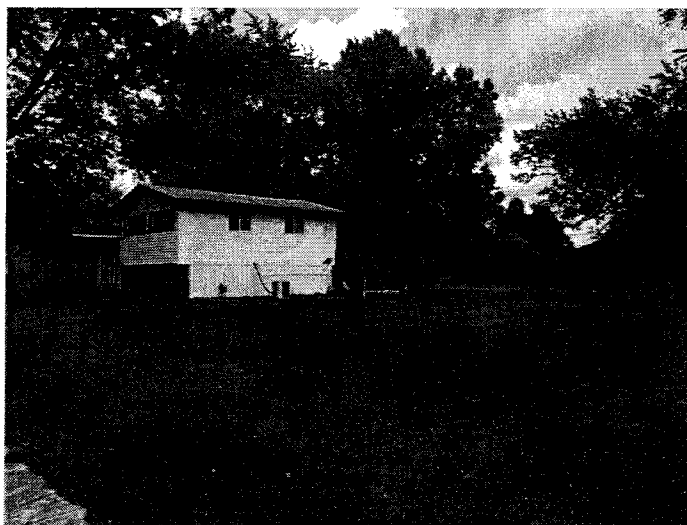
PROPERTY DESCRIPTION

SEE SURVEY FOR PROPERTY DESCRIPTION

RECORDED IN: ST LOUIS COUNTY, MISSOURI

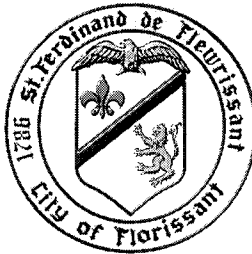
NOTES/ENCROACHMENTS & VIOLATIONS

SUBJECT PROPERTY'S CONC PAD LIES IN EASEMENT BY W 11.2' & 4.5' & L 10.0' & 7.8'



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MEMORANDUM



CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners

Date: August 2, 2017

From: Philip E. Lum, AIA-Building Commissioner c:

Louis B. Jearls, Jr. - P.E.,
PWLF Director Public Works
Deputy City Clerk
Applicant
File

*See -
Revised
memo
8/15/17*

Subject: Request Recommended Approval of a **Rezoning to a 'R-6' at 22 Floweridge** in an existing 'R-4' Zoning District.

STAFF REPORT
CASE NUMBER PZ-080717-3

I. PROJECT DESCRIPTION:

The request before the commission is to rezone the property located to a **'R-6' at 22 Floweridge** in an existing 'R-4' Zoning District to allow the future development of a duplex. The property is approximately 19,082 s.f. **Survey included by THD Design Group, Inc. dated 7/7/17.**

BUILDING:

There is no existing residential structure on the property.

II. SURROUNDING PROPERTIES:

The properties to the West are in a 'R-6' District, the properties to the North are in the 'R-4' Single Family Dwelling District.

III. STAFF ANALYSIS:

The change in zoning as proposed is adjacent to the 'R-6' District. In addition, the petitioner owns some of the adjacent properties

VI. STAFF RECOMENDATIONS:

40

41

1. The City Comprehensive Plan does not specifically address small lot rezoning.

42

2. The re-zoning does not constitute spot zoning with 'R-6' adjacency.

43

44

Suggested Motion

45

I move to recommend approval of a rezoning of **22 Floweridge** from 'R-4' to 'R-6' Multiple Family District to allow redevelopment of a duplex subject to the conditions set forth below with these conditions being part of the record:

46

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1. Survey attached dated 7/7/17 shall be duly filed with St. Louis County Recorder's office for the purpose of re-zoning.

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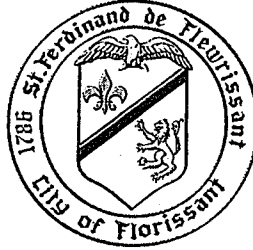
54

(End of report and suggested motion)

1st - Start
2nd - Pub
Motion fails
6/9 notes from

1

MEMORANDUM



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CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

7 To: Planning and Zoning Commissioners

Date: August 15, 2017

8

9 From: Philip E. Lum, AIA-Building Commissioner c:

Louis B. Jearls, Jr. - P.E.,
PWL Director Public Works
Deputy City Clerk
Applicant
File

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15 Subject: Request Recommended Approval of a **Rezoning to a 'R-6' at 22**
16 **Floweridge** in an existing 'R-4' Zoning District.
17

18

STAFF REPORT

19

20 **CASE NUMBER PZ-080717-3**

21 **VI. STAFF RECOMENDATIONS:**

- 22
- 23 1. The City Comprehensive Plan does not specifically address small lot rezoning.
- 24 2. The re-zoning does not constitute spot zoning with 'R-6' adjacency.
- 25 3. **Staff discussed minutes of the last meeting where members of the**
26 **Commission expressed the desire to see favorable support by the neighbors.**
27 **John Hessel commented that he agrees with staff and advises the commission**
28 **that re-zoning is not a popularity contest, but consideration of the uses and**
29 **surrounding uses. Since the site is contiguous and/or near to properties that**
30 **are already zoned multi-family or appear to be legal non-conforming and are**
31 **already used for multi-family are more meaningful factors.**

32

33 **Suggested Motion**

34 I move to recommend approval of a rezoning of **22 Floweridge** from 'R-4' to 'R-
35 **6' Multiple Family District to allow redevelopment of a duplex subject to**
36 **the conditions set forth below with these conditions being part of the record:**

- 37
- 38 1. **Survey attached dated 7/7/17 shall be duly filed with St. Louis County Recorder's**
39 **office for the purpose of re-zoning.**

40 (End of report and suggested motion)

CITY OF FLORISSANT

955 rue St. Francois
314-921-5700

APPLICATION FOR LIQUOR LICENSE

TYPE OF LICENSE REQUESTED:

- () Full Liquor by the Drink (☒) Full Package Liquor () Consumption of Liquor
() Malt Liquor & Wine by the Drink () Malt Liquor & Wine Package () Tasting
() Full Liquor by Drink (Non-Profit)

To the City Clerk, City of Florissant, Saint Louis County Missouri:

The undersigned hereby makes application for a liquor license issued under Chapter 600 of the Florissant City Code

TYPE OF LICENSE REQUESTED:

- () Individual () Partnership () Corporation (☒) Limited Liability Corp
(Attach list of Partners) (Attach list of officers, addresses)

Name of Business SAVE-A-LOT, LTD STORE #419

Business Address 468 NORTH LINDBERGH, ST. LOUIS, MO 63031 Phone 314-830-1086

Names of Applicant, Corporation, or LLC MORAN FOODS, LLC

Address of Owner 11840 VALLEY VIEW ROAD, EDEN PRAIRIE, MN 55344 Phone 952-294-7371
Street City State Zip

Name of Managing Officer ANNA R. VOGEL

Home Address 2900 RIDGEVIEW DRIVE, ST. LOUIS, MO 63121 314-226-9603 Years at address 8
Street City/State Zip Home Phone

Managing Officer Date & Place of Birth 2/2/1977, ST. LOUIS, MO Cell Phone 314-592-9377

Managing Officer Driver's License No. _____
(Provide a copy of driver's license)

Social Security Numbe _____

* Social Security Number used
for purposes of identification in running record check.

Managing Officer Personal Property Taxes 20____ Paid? (☒) Yes () No (Attach most recent copy)

Managing Officer Register Voter of Missouri? (☒) Yes () No (Attach a Voter Registration Certificate)

Have you ever been arrested? NO What Charge? _____
Where? _____ Disposition? _____

Citizen of U.S.A.? (☒) Yes () No Naturalized? () Yes Date _____ () No
If Naturalized, Give Number: _____ Dist. _____
(Provide naturalization documentation)

Do you have an interest in any liquor license which is now in force? NO

If so, give details _____

Have you previously held a liquor license of any type? NO

If so, when and where _____

cc to Council
10/5/17
Kd

SUPPLEMENT TO APPLICATION FOR LIQUOR LICENSE

CORPORATION & LIMITED LIABILITY COMPANY:
Copy of Certificate of Incorporation/ Registration &
Articles of Organization papers must be attached

To the Florissant City Council,
Florissant, St. Louis County, Missouri _____

DATE _____

TO BE COMPLETED BY ALL PARTNERS, OR IF CORPORATION OR LIMITED LIABILITY CORPORATION BY ALL OFFICERS OR MEMBERS:

1. FULL NAME DANIEL L. KARPEL
SOC. SEC. NO. _____ PLACE OF BIRTH ST. LOUIS, MO
DATE OF BIRTH _____ SEX MALE
PHONE NUMBER _____
ADDRESS 707 HESEMANN RIDGE COURT, WILDWOOD, MO 63021
LAST PREVIOUS ADDRESS 968 KYLEMORE DRIVE, BALLWIN, MO 63021
NO. OF YEARS 11

2. FULL NAME JOHN P. BREEDLOVE
SOC. SEC. NO. _____ PLACE OF BIRTH MINNEAPOLIS, MN
DATE OF BIRTH 9-16-1957 SEX MALE
PHONE NUMBER 314-592-9100
ADDRESS 298 HERWORTH DRIVE, CHESTERFIELD, MO 63005
LAST PREVIOUS ADDRESS 860 FOX COURT, CHANHASSEN, MN 55317
NO. OF YEARS 10

3. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YEARS _____

4. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YEARS _____

PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

EMERGENCY INFORMATION

OWNER OF PROPERTY AN WG Florissant, LP c/o Nightingale Properties
ADDRESS 1430 BROADWAY, SUITE 1605 CITY NEW YORK PHONE 212-742-2800
STATE NY ZIP 10018
NAME OF BUSINESS SAVE-A-LOT, STORE # 419 PHONE 314-830-1086
ADDRESS 468 NORTH LINDBERGH CITY ST. LOUIS STATE MO ZIP 63031
BUSINESS HOURS M-SATURDAY 8:00 AM - 10:00 PM; SUNDAY 9:00 AM - 8:00 PM
OWNER/MANAGER RAFANEA MOORE PHONE 314-830-1086
HOME ADDRESS 468 N. LINDBERGH CITY FLORISSANT STATE MO ZIP 63031

**PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY
OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE**

CONTACT #1

NAME RAFANEA MOORE ADDRESS 468 NORTH LINDBERGH
CITY & STATE ST. LOUIS, MO ZIP 63031 PHONE 314-830-1086
HAS KEY: YES (X) NO ()

CONTACT #2

NAME PHIL AUCHLY ADDRESS 100 CORPORATE OFFICE DRIVE
CITY & STATE EARTH CITY, MO ZIP 63045 PHONE 636-592-9100
HAS KEY: YES () NO (X)

ARE THERE LIGHTS LEFT ON AFTER BUSINESS HOURS: YES (X) NO ()

IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS: YES () NO (X)
IF YES, WHO: _____

ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS: YES () NO (X)

DESCRIBE: _____
(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? YES (X) NO ()

IF YES, WHERE IS IT LOCATED: IN FRONT OF MANAGER'S OFFICE

CAN IT BE SEEN FROM THE OUTSIDE? YES () NO (X)

IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? YES (X) NO ()

IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.

APPLICATION FOR SUNDAY LIQUOR LICENSE

To the City Clerk, City of Florissant, Saint Louis County Missouri

Authorizing the sale of retail liquor by the drink or package in the city of Florissant on **Sunday** from 9:00 a.m. to midnight

TYPE OF OPERATION:

() Individual () Partnership () Corporation (X) Limited Liability Corp

Name of Business SAVE-A-LOT, LTD. STORE #419

Location 468 NORTH LINDBERGH, ST. LOUIS, MO 63031 **Phone** 314-830-1086

Exact Trade Name, LLC or Corporation MORAN FOODS, LLC

The undersigned (Individual, Partnership, Corporation, LLC), hereby makes application to the City Clerk, City of Florissant, St. Louis County, Missouri for a "By the Drink/Package Liquor License" authorizing the sale of retail liquor on Sundays from 9:00 a.m. to midnight for the period beginning on _____ and expiring on June 30, 2017, on the above described premises and agrees that if the license herein applied for is granted, and the licensee shall violate any provisions of the State Liquor Control Act or of the City of Florissant Code and particularly any provision of Chapter 600 of the Florissant City Code pertaining to alcoholic beverages or permit any other person to do so upon the licensed premises, the City Council, by a majority vote, may suspend or revoke such license.

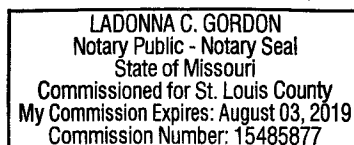
1) I/WE presently hold Florissant License Number _____ authorizing the sale of retail liquor by the drink or package in Florissant for premises described in this application.

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

I ANNA R. VOGEL of lawful age, being first duly sworn upon my oath, depose and say that I
(Print Name of Managing Officer)
have read this application and that I fully understand the same; that I know the contents thereof and the statements contained therein and that the same are true of my own knowledge.

Anna Vogel
Signature of Individual or Managing Officer

Subscribed and sworn to before me this 25th day of September, 2017.



Ladonna C. Gordon
Notary Public

My Commission Expires: _____

CITY OF FLORISSANT



FLORISSANT, MISSOURI

WAIVER

Authorization to complete record check

I, ANNA R. VOGEL
RESIDING AT 2900 RIDGEVIEW DRIVE
IN THE CITY OF BEL-NOR
STATE MISSOURI

I do hereby authorize the City Clerk of the City of Florissant, Missouri to make a full and complete check of my record in the Metropolitan St. Louis area, state of Missouri, all prior areas of residence, and through the National Criminal Information Center in Washington, D.C.

Anna R. Vogel
Witness

Anna R. Vogel
Signature

9-35-17
Date

02/02/1977
Date of Birth

** Social Security Number

**Driver's License Number & State

*** Social Security & Driver's License Numbers will be used for purposes of identification in completing record check.*

State of Missouri
Missouri Retail Sales License

LICENSEE:

SAVE A LOT #424-6442
1631 S JEFFERSON AVE
ST LOUIS MO 63104
MORAN FOODS LLC

LICENSE ISSUED:

MAY 02, 2017

MISSOURI TAX IDENTIFICATION NUMBER: 21712794

THE ISSUANCE OF THIS LICENSE IS CONTINGENT UPON THE LICENSEE'S COMPLIANCE IN ALL RESPECTS WITH THE REQUIREMENTS OF CHAPTER 144 RSMO, AND THE RULES PROMULGATED THEREUNDER.

THIS LICENSE IS VALID UNTIL CANCELLED AND SURRENDERED BY THE LICENSEE OR REVOKED BY THE DIRECTOR OF REVENUE.

THIS LICENSE MUST BE PROMINENTLY DISPLAYED IN THE PLACE OF BUSINESS.

**LIQUOR CONTROL
COPY**

MISSOURI DEPARTMENT OF REVENUE
TAXATION DIVISION

THIS BUSINESS IS REGISTERED INSIDE THE CITY LIMITS OF
ST LOUIS IN THE COUNTY OF ST LOUIS CITY AND YOU ARE
LIABLE TO COLLECT AND REMIT ALL APPLICABLE STATE AND LOCAL SALES
TAXES.

THIS LICENSE IS NOT ASSIGNABLE OR TRANSFERABLE

(DT6021)



No Match Notification

A statewide search of the identifiers below has revealed no criminal conviction or sex offender information on file. Fingerprints were not provided and thus the result of the search cannot be guaranteed.

Date of Search: 10/04/2017

Name (1): ANNA VOGEL

Name (2):

Name (3):

Date Of Birth: 02/02/1977

Control Number: 3963777

If you have any questions, please do not hesitate to contact our office at 573-526-6312.

Missouri State Highway Patrol
Criminal Justice Information Services Division
PO BOX 9500
Jefferson City, MO 65102



State of Missouri

Jason Kander, Secretary of State

Corporations Division

PO Box 778 / 600 W. Main St., Rm. 322

Jefferson City, MO 65102

X001249061
Date Filed: 4/21/2016
Expiration Date: 4/21/2021
Jason Kander
Missouri Secretary of State

Registration of Fictitious Name

(Submit with filing fee of \$7.00)

(Must be typed or printed)

This information is for the use of the public and gives no protection to the name being registered. There is no provision in this Chapter to keep another person or business entity from adopting and using the same name. The fictitious name registration expires 5 years from the filing date. (Chapter 417, RSMo)

Please check one box:

☒ New
Registration ☐ Renewal _____ ☐ Amendment _____ ☐ Correction _____
Charter number Charter number Charter number

The undersigned is doing business under the following name and at the following address:

Business name to be registered: SaveALot #419

Business Address: 468 N Lindbergh Blvd

(PO Box may only be used in addition to a physical street address)

City, State and Zip Code: Florissant, MO 63031

Owner Information:

If a business entity is an owner, indicate business name and percentage owned. If all parties are jointly and severally liable, percentage of ownership need not be listed. Please attach a separate page for more than three owners. The parties having an interest in the business, and the percentage they own are:

Name of Owners, Individual or Business Entity	Charter # Required If Business Entity	Street and Number	City and State	Zip Code	If Listed, Percentage of Ownership Must Equal 100%
Moran Foods, LLC	LC1235424	120 South Central Ave	Clayton, MO	63105	

All owners must affirm by signing below

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties of a false declaration under Section 575.060 RSMo)

Moran Foods, LLC - Anna R Vogel

Owner's Signature or Authorized Signature of Business Entity

MORAN FOODS, LLC - ANNA R VOGEL

Printed Name

04/21/2016

Date

Name and address to return filed document:

Name: SAVEALOT

Address: Email: licensegroup@supervalu.com

City, State, and Zip Code: _____

CITY OF FLORISSANT

955 rue St. Francois
314-921-5700

APPLICATION FOR LIQUOR LICENSE

TYPE OF LICENSE REQUESTED:

- () Full Liquor by the Drink (X) Full Package Liquor () Consumption of Liquor
() Malt Liquor & Wine by the Drink () Malt Liquor & Wine Package () Tasting
() Full Liquor by Drink (Non-Profit)

To the City Clerk, City of Florissant, Saint Louis County Missouri:

The undersigned hereby makes application for a liquor license issued under Chapter 600 of the Florissant City Code

TYPE OF LICENSE REQUESTED:

- () Individual () Partnership () Corporation (X) Limited Liability Corp
(Attach list of Partners) (Attach list of officers, addresses)

Name of Business A-1 Mart & Pkg. Liquor

Business Address 2875 Patterson Rd. Phone (314) 546-9229

Names of Applicant, Corporation, or LLC Patterson Retail LLC

Address of Owner 7311 N. Hanley STL Mo. 63042 Phone (314) 546-9229
Street City State Zip

Name of Managing Officer Vipul Bhagat

Home Address 4733 Briarcroft Dr. 63304 (314) 546-9229 Years at address 7
Street City/State Zip Home Phone

Managing Officer Date & Place of Birth 4/8/1973 Gujarat, India Cell Phone (314) 546-9229

Managing Officer Driver's License No. _____
(Provide a copy of driver's license)

Social Security Number* _____

* Social Security Number used _____

for purposes of identification in running record check.

Managing Officer Personal Property Taxes 20 16 Paid? (X) Yes () No (Attach most recent copy)

Managing Officer Register Voter of Missouri? (X) Yes () No (Attach a Voter Registration Certificate)

Have you ever been arrested? NO What Charge? _____
Where? _____ Disposition? _____

Citizen of U.S.A.? (X) Yes () No Naturalized? (X) Yes Date _____ () No
If Naturalized, Give Number: A048020196 Dist. St. Louis Mo Aug 01 2014
(Provide naturalization documentation)

Do you have an interest in any liquor license which is now in force? - No -
If so, give details _____

Have you previously held a liquor license of any type? - No -
If so, when and where _____

C.C. Council
10/5/17 ps

Have you ever had a liquor license suspended or revoked? -No-
If so, give details _____

Have you ever been convicted of any violation of any federal or state law? -No-
If so, give details _____

Have you ever been convicted of any municipal or county ordinance violation? -No-
If so, give details _____

Have you ever been convicted of any violation of a federal law, state statute or local ordinance relating to intoxicating liquor? -No-
If so, give details _____

Has the location previously been occupied as a liquor establishment, liquor store or tavern? -No-
If so, state name _____

Is the location within 200 feet of property used for church, school or public playground? yes

If Individual Applicant, sign below:

If Partnership, corporation or LLC complete the following:

Patterson Retail LLC

Trade Name

[Signature]

Signature of Managing Officer

STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

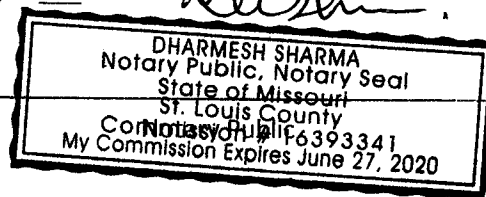
Vipul Bhagat, of lawful age, being first duly sworn upon _____ oath
(Individual or Managing Officer)

deposes and states that he/she is the (applicant) (the managing officer of the corporation or partnership seeking the license hereunder), that he/she has read this application and fully understands same, that said license will be subject to all of the ordinances of the City pertaining to the operation of said business and agrees that he will abide by all lawful ordinances, regulations and rules adopted by the City relating to the conduct of said business, that he is in all respect qualified in law to receive such license, and that the answers and statements set out in the above application are true.

[Signature]
Signature of Individual or Managing Officer

Subscribed and sworn to before me this 3rd day of Oct, 2017 [Signature]

My Commission Expires: 6/27/2020



NOTE: APPLICATION MUST BE SWORN TO BEFORE A NOTARY PUBLIC

PLEASE FILL OUT THIS FORM AND RETURN WITH YOUR LICENSE APPLICATION

In order for the Police Department to provide you with the best possible service, it is necessary for them to have certain information concerning your business:

EMERGENCY INFORMATION

OWNER OF PROPERTY Patterson Retail LLC PHONE (314) 546-9229
ADDRESS 7311 N. Hanley Rd. CITY ST. Louis STATE MO ZIP 63042

NAME OF BUSINESS A-1 Mart & Pkg. Liquor PHONE (314) 546-9229
ADDRESS 2875 Patterson CITY ST. Louis STATE MO ZIP 63031

BUSINESS HOURS 10 To 10 pm Mm - To Sat. 10 To 8 pm Sunday

OWNER/MANAGER Vipul Bhagat PHONE (314) 546-9229
HOME ADDRESS CITY ST. Charles STATE MO ZIP 63304

4733 Briarcroft Dr.

**PLEASE LIST PERSONS TO BE CONTACTED AFTER BUSINESS HOURS IN CASE OF AN EMERGENCY
OR IF THERE IS A DOOR OR WINDOW FOUND INSECURE**

CONTACT #1
NAME Vipul Bhagat ADDRESS 4733 Briarcroft Dr.
CITY & STATE ST. Charles ZIP MO PHONE (314)
HAS KEY: YES ☒ NO ☐ 63304

CONTACT #2
NAME Vinny Bhagat ADDRESS 4734 Briarcroft 63304
CITY & STATE ST. Louis, MO ZIP 63304 PHONE (314) 255-5560
HAS KEY: YES ☒ NO ☐

ARE THERE LIGHTS LEFT ON AFTER BUSINESS HOURS: YES ☒ NO ☐

IS ANYONE AUTHORIZED TO BE ON THE PREMISES AFTER BUSINESS HOURS: YES ☐ NO ☒
IF YES, WHO: _____

ARE ANY VEHICLES PARKED AT YOUR BUSINESS AFTER HOURS: YES ☐ NO ☒

DESCRIBE: _____
(YEAR) (MAKE/MODEL) (COLOR) (LICENSE NO.)

DO YOU HAVE A SAFE OF ANY KIND? YES ☐ NO ☒

IF YES, WHERE IS IT LOCATED: _____

CAN IT BE SEEN FROM THE OUTSIDE? YES ☐ NO ☒

IS YOUR BUSINESS PROTECTED WITH AN ALARM SYSTEM? YES ☒ NO ☐

IF AT ANY TIME THERE IS A CHANGE IN THE ABOVE INFORMATION, PLEASE NOTIFY THE POLICE DEPARTMENT IMMEDIATELY, ESPECIALLY IN THE CASE OF THOSE PERSONS TO NOTIFY IN CASE OF AN EMERGENCY. THANK YOU.

APPLICATION FOR SUNDAY LIQUOR LICENSE

To the City Clerk, City of Florissant, Saint Louis County Missouri

Authorizing the sale of retail liquor by the drink or package in the city of Florissant on **Sunday** from 9:00 a.m. to midnight

TYPE OF OPERATION:

() Individual () Partnership () Corporation (X) Limited Liability Corp

Name of Business A-1 Mart & Pkg. Liquor

Location 2875 Patterson Rd. Phone (314) 546-9229

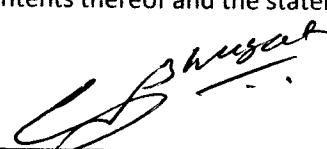
Exact Trade Name, LLC or Corporation Patterson Retail LLC

The undersigned (Individual, Partnership, Corporation, LLC), hereby makes application to the City Clerk, City of Florissant, St. Louis County, Missouri for a "By the Drink/Package Liquor License" authorizing the sale of retail liquor on Sundays from 9:00 a.m. to midnight for the period beginning on _____ and expiring on June 30, 2017, on the above described premises and agrees that if the license herein applied for is granted, and the licensee shall violate any provisions of the State Liquor Control Act or of the City of Florissant Code and particularly any provision of Chapter 600 of the Florissant City Code pertaining to alcoholic beverages or permit any other person to do so upon the licensed premises, the City Council, by a majority vote, may suspend or revoke such license.

1) I/WE presently hold Florissant License Number _____ authorizing the sale of retail liquor by the drink or package in Florissant for premises described in this application.

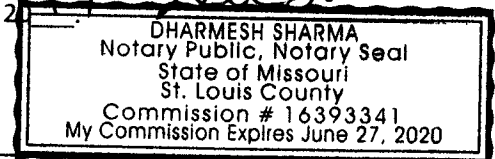
STATE OF MISSOURI) SS
COUNTY OF ST. LOUIS)

I Vipul Bhagal of lawful age, being first duly sworn upon my oath, depose and say that I
(Print Name of Managing Officer)
have read this application and that I fully understand the same; that I know the contents thereof and the statements contained therein and that the same are true of my own knowledge.



Signature of Individual or Managing Officer

Subscribed and sworn to before me this 3rd day of Oct., 2017



Notary Public

My Commission Expires: 6/27/2020

SUPPLEMENT TO APPLICATION FOR LIQUOR LICENSE

CORPORATION & LIMITED LIABILITY COMPANY:
Copy of Certificate of Incorporation/ Registration &
Articles of Organization papers must be attached

To the Florissant City Council,
Florissant, St. Louis County, Missouri _____

DATE _____

**TO BE COMPLETED BY ALL PARTNERS, OR IF CORPORATION OR LIMITED
LIABILITY CORPORATION BY ALL OFFICERS OR MEMBERS:**

1. FULL NAME Vipul Bhagat
SOC. SEC. NO. _____ PLACE OF BIRTH Orizurut, India
DATE OF BIRTH 4/8/1973 SEX male
PHONE NUMBER (314) 546-9229
ADDRESS 4733 Briarcroft Dr. St. Charles 63304
LAST PREVIOUS ADDRESS 1793 Michaelwood Ct. 63303
NO. OF YEARS 7
2. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YEARS _____
3. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YEARS _____
4. FULL NAME _____
SOC. SEC. NO. _____ PLACE OF BIRTH _____
DATE OF BIRTH _____ SEX _____
PHONE NUMBER _____
ADDRESS _____
LAST PREVIOUS ADDRESS _____
NO. OF YEARS _____



State of Missouri

John R. Ashcroft, Secretary of State

Corporations Division

PO Box 778 / 600 W. Main St., Rm. 322

Jefferson City, MO 65102

X001300620
Date Filed: 10/2/2017
Expiration Date: 10/2/2022
John R. Ashcroft
Missouri Secretary of State

Registration of Fictitious Name

(Submit with filing fee of \$7.00)

(Must be typed or printed)

This information is for the use of the public and gives no protection to the name being registered. There is no provision in this Chapter to keep another person or business entity from adopting and using the same name. The fictitious name registration expires 5 years from the filing date. (Chapter 417, RSMo)

Please check one box:

☒ New Registration ☐ Renewal ☐ Amendment ☐ Correction
Charter number Charter number Charter number

The undersigned is doing business under the following name and at the following address:

Business name to be registered: A-1 MART & PKG LIQUOR

Business Address: 2875 PATTERSON ROAD

(PO Box may only be used in addition to a physical street address)

City, State and Zip Code: ST LOUIS, MO 63031

Owner Information:

If a business entity is an owner, indicate business name and percentage owned. If all parties are jointly and severally liable, percentage of ownership need not be listed. Please attach a separate page for more than three owners. The parties having an interest in the business, and the percentage they own are:

Name of Owners, Individual or Business Entity	Charter # Required If Business Entity	Street and Number	City and State	Zip Code	If Listed, Percentage of Ownership Must Equal 100%
Patterson Retail LLC	LC001557492	7311 NORTH HANLEY RD	HAZELWOOD, MO	63042	100.00

All owners must affirm by signing below

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties of a false declaration under Section 575.060 RSMo)

Patterson Retail LLC - VIPUL BHAGAT

Owner's Signature or Authorized Signature of Business Entity

PATTERSON RETAIL LLC - VIPUL
BHAGAT

Printed Name

10/02/2017

Date

Name and address to return filed document:

Name: VADILAL BHAGAT

Address: Email: alpager@swbell.net

City, State, and Zip Code: _____



State of Missouri

John R. Ashcroft, Secretary of State
Corporations Division
PO Box 778 / 600 W. Main St., Rm. 322
Jefferson City, MO 65102

LC001557492
Date Filed: 9/28/2017
Effective: 10/1/2017
John R. Ashcroft
Missouri Secretary of State

Articles of Organization

(Submit with filing fee of \$105.00)

1. The name of the limited liability company is
Patterson Retail LLC

(Must include "Limited Liability Company," "Limited Company," "LC," "L.C.," "L.L.C.," or "LLC")

2. The purpose(s) for which the limited liability company is organized:
own and operate retail buisness

3. The name and address of the limited liability company's registered agent in Missouri is:

VIPUL KARSHAN

BHAGAT

7311 NORTH HANLEY RD

HAZELWOOD MO 63042

Name

Street Address: May not use PO Box unless street address also provided

City/State/Zip

4. The management of the limited liability company is vested in: ☐ managers ☒ members (check one)
5. The events, if any, on which the limited liability company is to dissolve or the number of years the limited liability company is to continue, which may be any number or perpetual: Perpetual
- (The answer to this question could cause possible tax consequences. you may wish to consult with your attorney or accountant)

6. The name(s) and street address(es) of each organizer (PO box may only be used in addition to a physical street address):

(Organizer(s) are not required to be member(s), manager(s) or owner(s))

Name

Address

BHAGAT, VIPUL

7311 N HANLEY ROAD

City/State/Zip

ST LOUIS MO 63042

7. ☐ Series LLC (OPTIONAL) Pursuant to Section 347.186, the limited liability company may establish a designated series in its operating agreement. The names of the series must include the full name of the limited liability company and are the following:

New Series:

- ☐ The limited liability company gives notice that the series has limited liability.

New Series:

- ☐ The limited liability company gives notice that the series has limited liability.

New Series:

- ☐ The limited liability company gives notice that the series has limited liability.

(Each separate series must also file an Attachment Form LLC 1A.)

Name and address to return filed document:

Name: VADILAL BHAGAT

Address: Email: alpagcr@swbell.net

City, State, and Zip Code: _____

LLC-1 (08/2013)

8. The effective date of this document is the date it is filed by the Secretary of State of Missouri unless a future date is otherwise indicated: : 10/1/2017

(Date may not be more than 90 days after the filing date in this office)

In Affirmation thereof, the facts stated above are true and correct:

(The undersigned understands that false statements made in this filing are subject to the penalties provided under Section 575.040, RSMo)

All organizers must sign:

VIPUL BHAGAT

Organizer Signature

VIPUL BHAGAT

Printed Name

09/28/2017

Date of Signature

STATE OF MISSOURI



John R. Ashcroft
Secretary of State

CERTIFICATE OF ORGANIZATION

WHEREAS,

Patterson Retail LLC
LC001557492

filed its Articles of Organization with this office on the 28th day of September, 2017, and that filing was found to conform to the Missouri Limited Liability Company Act.

NOW, THEREFORE, I, John R. Ashcroft, Secretary of State of the State of Missouri, do by virtue of the authority vested in me by law, do certify and declare that on the 28th day of September, 2017, the above entity is a Limited Liability Company, organized in this state and entitled to any rights granted to Limited Liability Companies.

IN TESTIMONY WHEREOF, I hereunto set my hand and cause to be affixed the GREAT SEAL of the State of Missouri.
Done at the City of Jefferson, this 28th day of September, 2017.

Effective Date: October 01, 2017


Secretary of State



CITY OF FLORISSANT



FLORISSANT, MISSOURI

WAIVER

Authorization to complete record check

I, Vipul Bhagat
RESIDING AT 4733 Briarcroft Dr.
IN THE CITY OF St. Charles.
STATE MO. 63303

I do hereby authorize the City Clerk of the City of Florissant, Missouri to make a full and complete check of my record in the Metropolitan St. Louis area, state of Missouri, all prior areas of residence, and through the National Criminal Information Center in Washington, D.C.

Dharmesh Sharma
Witness

Vipul Bhagat
Signature

10 | 03 | 2017
Date

4 | 8 | 1973
Date of Birth

** Social Security Number

** Driver's License Number & State

** Social Security & Driver's License Numbers will be used for purposes of identification in completing record check.

**No Match Notification**

A statewide search of the identifiers below has revealed no criminal conviction or sex offender information on file. Fingerprints were not provided and thus the result of the search cannot be guaranteed.

Date of Search: 10/04/2017

Name (1): VIPUL BHAGAT

Name (2):

Name (3):

Date Of Birth: 04/08/1973

Control Number: 3963776

If you have any questions, please do not hesitate to contact our office at 573-526-6312.

Missouri State Highway Patrol
Criminal Justice Information Services Division
PO BOX 9500
Jefferson City, MO 65102

A RESOLUTION URGING THE ST. LOUIS COUNTY COUNCIL AND ST. LOUIS BOARD OF ALDERMEN TO OPPOSE ANY AND ALL LEGISLATION AUTHORIZING A STATEWIDE VOTE REGARDING OR MANDATING A CHANGE IN THE GOVERNMENT STRUCTURE OF ST. LOUIS CITY AND ST. LOUIS COUNTY AND THE MUNICIPALITIES THEREIN.

WHEREAS, certain legislators and other individuals seek to impose significant and potentially damaging changes to the governmental structure of St. Louis City and St. Louis County, including the municipalities in the County; and

WHEREAS, such persons believe that their scheme would not be favorably received by the voters of the City or the County; and

WHEREAS, such persons may seek a statewide vote on a constitutional amendment, or some form of legislative mandate, to accomplish their scheme and dilute the votes of or totally bypass the voters of the City and County; and

WHEREAS, the Missouri Constitution outlines a process for the residents of the City and County to vote on their governmental structure through the establishment of a Board of Freeholders by petition or appointment by the County Executive, Mayor of St. Louis and Governor of Missouri; and

WHEREAS, the officials of the member municipalities of the Municipal League of Metro St. Louis believe that all discussions and votes on any plans to change their local government structure should be held only by residents of the City and County; and

WHEREAS, the St. Louis County Council, which governs the largest County in the state of Missouri with nearly one million residents, and the Board of Aldermen of the City of St. Louis should have a major voice in all discussions of regional governance; and

WHEREAS, the governing bodies of all municipalities in St. Louis County should also have significant involvement in any such discussions to advance the best interests of their residents;

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT, MISSOURI, AS FOLLOWS:

Section 1. The City Council and Mayor of the City of Florissant hereby opposes any statewide vote or legislative mandate on governmental reorganization regarding the City of St. Louis and St. Louis County and the municipalities therein; and

Section 2. The City Council and Mayor of the City of Florissant urges the St. Louis County Council, and the St. Louis Board of Aldermen, on behalf of their respective residents, to pass a similar resolution opposing a statewide vote or legislative mandate; and

Section 3. The City Council and Mayor of the City of Florissant recommends local discussions and local votes on any reorganization or consolidation plan that may be developed through such discussions.

Section 4. This Resolution shall be in full force and effect from and after its passage.

PASSED THIS 9th DAY OF OCTOBER, 2017.

Jackie Pagano
Council President

Thomas P. Schneider
Mayor

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN CAPUTA
2 OCTOBER 9, 2017

3
4 BILL NO. 9313

ORDINANCE NO.

5
6
7 **REQUEST TO ISSUE AN AMENDMENT TO B-5 ORDINANCE NO.**
8 **8105 TO ALLOW FOR A RETAIL ESTABLISHMENT (DOLLAR**
9 **GENERAL) FOR THE PROPERTY LOCATED AT 15275 NEW**
10 **HALLS FERRY ROAD.**

11
12 WHEREAS, the Planning and Zoning Commission of the City of Florissant
13 has recommended to the City Council at their meeting of September 5, 2017 that an
14 amendment to Ordinance No. 8105 be denied to allow for a retail establishment for
15 the property located at 15275 New Halls Ferry Road; and

16 WHEREAS, the Planning and Zoning Commission recommended denial of the
17 amendment to Ordinance No. 8105 because the building plans did not meet the
18 masonry code requirements; and

19 WHEREAS, due and lawful notice of public hearing no. 17-09-023 on said
20 proposed change was duly published, held and concluded on 25TH day of September,
21 2017 by the Council of the City of Florissant; and

22 WHEREAS, the Council, following said public hearing, and after due and
23 careful deliberation, has concluded that the amendment of Ordinance No. 8105, as
24 hereinafter set forth, to be in the best interest of the public health, safety and welfare of
25 the City of Florissant; and

26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE
27 CITY OF FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
28
29

30 Section 1: B-5 Ordinance No. 8105 is hereby amended to allow for a new retail
31 establishment (Dollar General) located at 15275 New Halls Ferry Road according to
32 the attached plans including Sheets A01LD, **A02 revised 8/11/17**, and A07 dated
33 12/14/16. Preliminary Development Plan 1, **revised 8/14/17**, 2 and 3 of 3 dated
34 **revised 8/2/17**, depicting the new development, subject to the regulations of the 'B-5'
35 "Planned Commercial District", with the following amendments to Ordinance No.
36 8105 and the following stipulations:
37

38 **1. PERMITTED USES**

39 No change.

40

41 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**42 The total gross floor area of the retail center shall not exceed 7450 square
43 feet.
4445 **3. PERFORMANCE STANDARDS**46 No change.
4748 **4. TRASH ENCLOSURES**49 Trash shall be kept within an enclosure made of complimentary
50 materials, 6' height with a 20' concrete apron area in front of the
51 screened locking gate, **located as shown on Preliminary**
52 **Development Plan 1, revised 8/14/17.**
5354 **5. PLAN SUBMITTAL REQUIREMENTS**55 No change.
5657 **6. SITE DEVELOPMENT PLAN CRITERIA:**58
59 a. Structure Setbacks:60 (1) All setbacks shall be as shown on drawing **Preliminary**
61 **Development Plan 1, revised 8/14/17, attached.**
6263 b. Internal Drives:64 (1) There shall be internal drives **as shown on Preliminary**
65 **Development Plan 1, revised 8/14/17, attached.**
6667 c. Minimum Parking/Loading Space Requirements.68 (1) There shall be **30 required parking spaces** provided on the
69 property, which includes accessible spaces.
7071 d. Road Improvements, Access and Sidewalks72 (1) There shall be new sidewalks and curb ramps provided as shown on
73 **Preliminary Development Plan 1, revised 8/14/17, attached.**
7475 e. Lighting Requirements.76
77 (1) Location of lighting standards shall be **as shown on Preliminary**
78 **Development Plan 2 of 3, revised 8/2/17 attached.**
7980 f. Sign Requirements.81
82 (1) **There shall be one post sign located as shown on Preliminary**
83 **Development Plan 1, revised 8/14/17. Building signs limited to**
84 **Prototypical Main Building Sign shown on A07, 12/14/16,**
85 **attached.**

86

(2) All other signage shall comply with the City of Florissant sign ordinance for commercial districts.

g. Landscaping and Fencing.

(1) Landscaping provided shall be as shown on **Preliminary Development Plan 1, revised 8/14/17**, attached.

h. Miscellaneous Design Criteria.

(1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.

(2) **The façades of the building shall be clay fired brick, meeting the masonry ordinance of the City, 500.040 and 'Kingspan' stucco finish in Light Stone Color as shown on A02, dated 11 August, 2017.**

i. Off-Street Loading Regulations. The off-street loading facilities required with respect to the establishment shall comply with section 405.135 of the City Code.

7. FINAL SITE DEVELOPMENT PLAN

No change.

8. AMENDMENTS TO THE SITE AND EXTERIOR BUILDING PLANS:

No change.

9. GENERAL DEVELOPMENT CONDITIONS.

No change.

10. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within **360** days of start of construction.

Section 2: Except as herein amended Ordinance No. 8105 shall remain in full force and effect.

Section 3: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2017.

129

130

131

Jackie Pagano

132

President of the Council

133

134 Approved this _____ day of _____, 2017.

135

136

137

Thomas P. Schneider
Mayor, City of Florissant

138

139

140

141 ATTEST:

142

143

Karen Goodwin, MMC/MRCC
City Clerk

144

145

CITY OF FLORISSANT



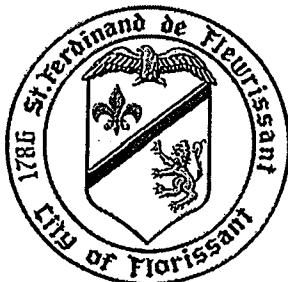
PUBLIC HEARING NOTICE

Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, September 25, 2017 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 8105 to allow for a retail establishment (Dollar General) for the property located at 15275 New Halls Ferry Road (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 15275 & 15267 New Halls Ferry Road
Property Owners Name: New Halls Ferry Real Estate, LLC Phone #: 314-605-4757
Property Owners Address: P.O. Box 762, Florissant, MO 63032
Business Owners Name: New Halls Ferry Real Estate, LLC Phone #: 314-605-4757
Business Owners Address: 1346 Fairmount Ct., St. Louis, MO 63139

DBA (Doing Business As) _____
Authorized Agents Name: Robert D. Cissell CO. Name: Cissell Mueller, LLC
(Authorized Agent to Appear Before The Commission)

Agents Address: 5530 Salt River Rd., St. Peters, MO 63376 Phone #: 636-970-0330

Request Approval of a preliminary development plan.

'B-5' Amendment

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Applicant's Signature

Date

6/27/17

Received by: 6/29/17 Receipt # 602436 Amount Paid: 100.00 Date: 6/29/17

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: 7/4/17

COMMISSION ACTION TAKEN:

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

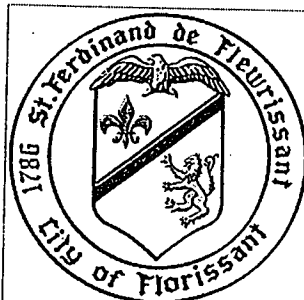
RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

Planning & Zoning Application
Page 1 of 1 – Revised 9/28/10

SIGN.

DATE: 9/5/2017

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO AMEND THE PROVISIONS OF AN EXISTING B-5
PLANNED COMMERCIAL DISTRICT ORDINANCE



PLANNING & ZONING ACTION:

Address of Property:

15275& 15267 New Halls Ferry Road

RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

Council Ward 4 Zoning B-5

SIGN.

DATE: 9/5/2017

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

PETITION TO AMEND B-5 ORDINANCE # 8105

Enter ordinance number or number requesting to amend.

1) Comes Now New Halls Ferry Real Estate, LLC

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property owner

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 5.0
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for vacant

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:
A change in the proposed layout and addition of a retail store

List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME New Halls Ferry Real Estate, LLC

Print Name

PETITIONER(S) SIGNATURE (S) _____

FOR limited liability company

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
- () I (we) have a legal interest in the herein above described property.
- (X) I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE _____

ADDRESS 5530 Salt River Rd. St. Peters

STREET CITY

MO

STATE

63376

ZIP CODE

TELEPHONE NUMBER 636-970-0330

BUSINESS

I (we) the petitioner (s) do hereby appoint Robert Cissell

Print name of agent.

as

my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐ Partnership: ☐ Corporation: ☐ X_LL C

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation: LLC

- (1) Names & addresses of all partners Cary Corbett, Bill Jennings
- (2) Telephone numbers 314-605-4757
- (3) Business address 1346 Fairmount Ct.; St. Louis, MO 63139
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name New Halls Ferry Real Estate, LLC
Address 1346 Fairmount Ct.; St. Louis, MO 63139
Property Owner New Halls Ferry Real Estate, LLC
Location of property 15275 & 15267 New Halls Ferry Road
Dimensions of property 5.0 Ac
Property is presently zoned B-5 per ordinance # 8105
Current & Proposed Use of Property Currently vacant - proposed retail/restaurant
Type of Sign pylon Height _____
Type of Construction masonry and metal panel Number Of Stories 1
Square Footage of Building 7,450 Number of Curb Cuts 2
Number of Parking Spaces 30 Sidewalk Length 170
Landscaping: No. of Trees 6 Diameter 2.5"
No. of Shrubs 72 Size 18" height
Fence: Type N/A Length _____ Height _____

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY _____ CURRENT ZONING B-5'
PROPERTY OWNER OF RECORD _____ PHONE NO. _____
AUTHORIZED AGENT _____ PHONE NO. _____
PROPOSAL _____

- 1) a. Uses - Are uses stipulated _____
b. What current District would this proposal be a permitted use: _____
c. Proposed uses for out lots: _____

✓ Yes / No

2) Performance Standards: ✓

- a) Vibration: Is there any foreseen vibration problems at the property line? _____
b) Noises: Will the operation or proposed equipment exceed 70 decibels? _____
c) Odor is there any foreseen problem with odor? _____
d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? _____
e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? _____
f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? _____
g) Is there any dangerous amount of radiation produced from the operation? _____
h) Is there any glare or heat which would be produced outside of an enclosure? _____
i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? _____
j) Is buildings screened from adjoining residential? _____

Yes / No

Yes / No

Yes / No

Yes / No

Yes / No

Yes / No

Yes / No

Yes / No

Yes / No

Yes / No

3) Are height of structures shown? ✓

Yes / No

4) Are all setbacks shown? ✓

Yes / No

5) Are building square footages shown? ✓

Yes / No

6) What is the exterior construction of the buildings? metal!

7) Is off street loading shown?

✓ Yes / No

8) Parking:

- a) Does parking shown meet the ordinance? _____
b) Is a variance required in accordance with the ordinance? _____
c) Ratio shown _____
d) Total Number 4 to 1000 SF
e) Will cross access and cross parking agreements be required? _____
f) Is the parking lot adequately landscaped? _____

✓ Yes / No

Yes / No ✓

✓ Yes / No ✓

✓ Yes / No

9) Are there any signs?

Number of signs shown _____

Type of Signs _____

Are sizes, heights, details, and setbacks shown? _____

✓ Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals?

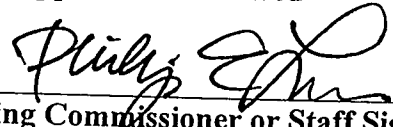
✓ Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown?

✓ Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? ☒ Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? ☒ Yes / No
- 14) Was a traffic study submitted? ☐ Yes / No ☒
Does the City Staff recommend a traffic study? ☐ Yes / No ☒
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? ☒ Yes / No
- 16) Is a legal description of the property shown? ☒ Yes / No
Does legal description appear to be proper? ☒ Yes / No
- 17) Is an out-boundary plat of the property submitted? ☒ Yes / No
- 18) Suggested time limitations of construction: Start 90 Finish 3/60
- 19) Is parking lot lighting shown? ☒ Yes / No
- 20) Are new walkways required? ☒ Yes / No
- 21) Is there sufficient handicapped access? ☒ Yes / No
- 22) a) Are there proposed curb-cuts? ☒ Yes / No
b) Do the curb-cuts meet the City ordinances? ☒ Yes / No
- 23) Will this project require any street improvements? ☐ Yes / No ☒
- 24) Staff recommendations for site development plans: _____

- 25) Staff Comments: _____

7/12/17
Date Application reviewed

Building Commissioner or Staff Signature

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

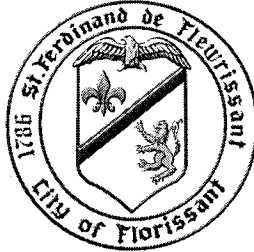
(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION
Provide a drawing of a location map showing the nearest major intersection or include on plans.

1
2
3
4

MEMORANDUM



6
7
8

CITY OF FLORISSANT

9 To: Planning and Zoning Commissioners Date: July 12, 2017 **rev. 8/31/17**
10
11 From: Philip E. Lum, AIA-Building Commissioner cc: Louis B. Jearls, Jr. - P.E.
12 Director of Public Works,
13 Tom Goldkamp, EIT
14 City Engineer
15 Applicant,
16 File
17
18 Subject: Request recommended approval to amend a 'B-5' to allow for a retail
19 establishment (**Dollar General**) at **15275 New Halls Ferry** in an existing
20 'B-5' Zoning District.
21

22
23
24

STAFF REPORT
CASE NUMBER PZ-071717-1

25
26

I. PROJECT DESCRIPTION:

27 This is a request for recommended approval to amend a 'B-5' to allow for a retail
28 establishment (**Dollar General**) at **15275 New Halls Ferry** in an existing
29 'B-5' Zoning District
30

31
32

II. EXISTING SITE CONDITIONS:

33 The existing address at **15275 and 15267 New Halls Ferry** have been vacant for
34 approximately the last 4 years as the former Wedgewood Bath and Tennis Club and both
35 sites were re-zoned to 'B-5' in anticipation of a restaurant development.
36

37 The structures existing on the site are removed.
38
39

40 **III. SURROUNDING PROPERTIES:**

41
42 The properties adjacent and to the North are to remain in an 'R-4' District. The addresses
43 adjacent are 5, 6, 7 & 8 Weymouth Ct. and 603 Shadow Rock Dr.
44

45 **IV. STAFF ANALYSIS:**

46 The application is accompanied by professionally completed plans sealed and signed Alta
47 Survey 1 and 2 of 2 dated 10/7/14, Sheets A01LD, **A02 revised 8/11/17**, and A07 dated
48 12/14/16. Preliminary Development Plan 1, 2 and 3 of 3 dated **revised 8/2/17**.
49

50 The following are staff comments:
51

52 **Consolidation Plan or Subdivision Process:** There are 3 lots previously re-zoned. This
53 plan is shown to occur on Lot 2, which is a part of 15275 New Halls Ferry.
54

55 **Sheet 1 and 2 of the ALTA Survey Comments:**

- 56 1. Site plan indicates site conditions prior to demo of the sign, pool, building and
57 indicates remaining paved areas.
58

59 **Sheet 1 of 3 Preliminary Development Plan Comments:**

- 60 1. The size of the overall development is 5 acres for all 3 Lots.
61 2. The lot size shown for the Dollar General is 1.63 acres.
62 3. The new building is shown out of the flood zone 'x'.
63 4. Landscape calculation table meets City requirements for minimum landscaping.
64 5. Greenspace minimum for 1.63 acre is 30% per 405.245 para. 9, appears to be met.
65 6. **Trash enclosure is shown with vinyl gates, needs 20'x10' front apron per**
66 **Ordinance No. 8323**
67 7. Note 20 indicates that irrigation of landscape will be installed.
68 8. No 6' vinyl privacy screen is shown along the north property line, although
69 ordinance 8105 includes a portion of the property line to have a 6' vinyl fence, a
70 landscaped buffer, and a detail of the fence.
71 9. 30 parking spaces are shown with accessible parking, meeting code requirements.
72 10. Parking compliance and screening compliance is indicated in a note by the
73 engineer's seal.
74 11. **There is a freestanding sign shown on the site plan behind the front setback**
75 **line, south edge of lot.**
76 12. A segmental block wall is shown in the front stormwater area.

77 **Sheet 2 of 3 Comments:**

- 78 1. Lighting photometric plan, 25' light standards and details shown.
79 2. No Dumpster enclosure details shown.

80 **Sheet 3 of 3 Cross Sections Comments:**

- 81 1. Plan indicates topographic, traffic flow, Floodplain location and building height
82 information.
83 2. Building height approximately 21 feet tall, well under the 45' max.

84 **Sheet A01LD Comments:**

- 85 1. The plan indicates an on-grade loading entrance at the south corner of the
86 building, single exit door to the north and main entry vestibule on the east.
87 2. The plan and details indicate a steel building about 85'x85'

88 **Sheet A02 Comments:**

- 89 1. **The building is shown to be constructed of Belden brick 503-505 and metal**
90 **insulated 'Kingspan' panels with stucco finish in 'light stone' color.**

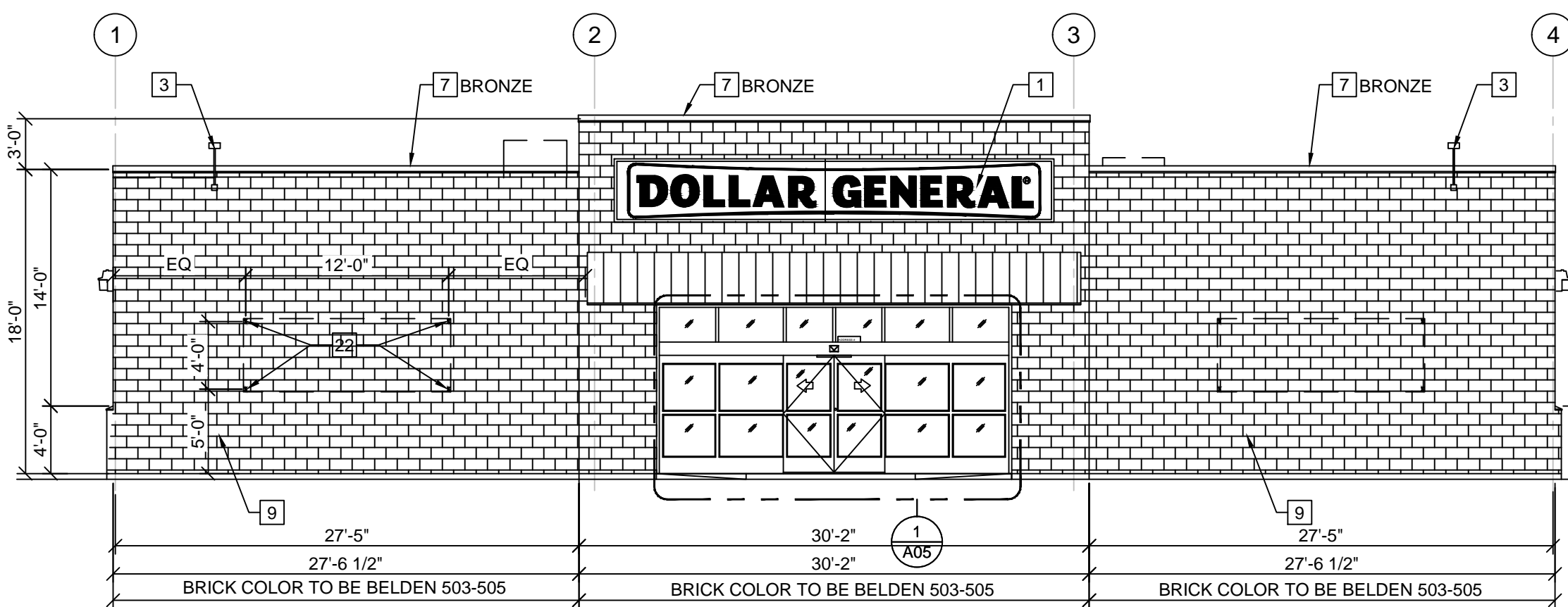
91 **Sheet A07 Comments:**

- 92 1. The coming soon sign is shown 8x4, however needs to be limited to 6 feet in
93 overall height as a temporary sign under 500.050.
94 2. The prototypical main sign is shown at 26'x 3'-9"= 97.5 s.f.
95 3. The typical post sign is shown as 6'x16'-1"= 97 s.f., however no location is
96 shown. The site plan 1 of 3 clearly shows the 40' front setback line. One suitable
97 location in the front that appears to be within the entry island shown striped. The
98 center of this island is about 35' behind the setback line, otherwise, the parking
99 interferes with any other front location

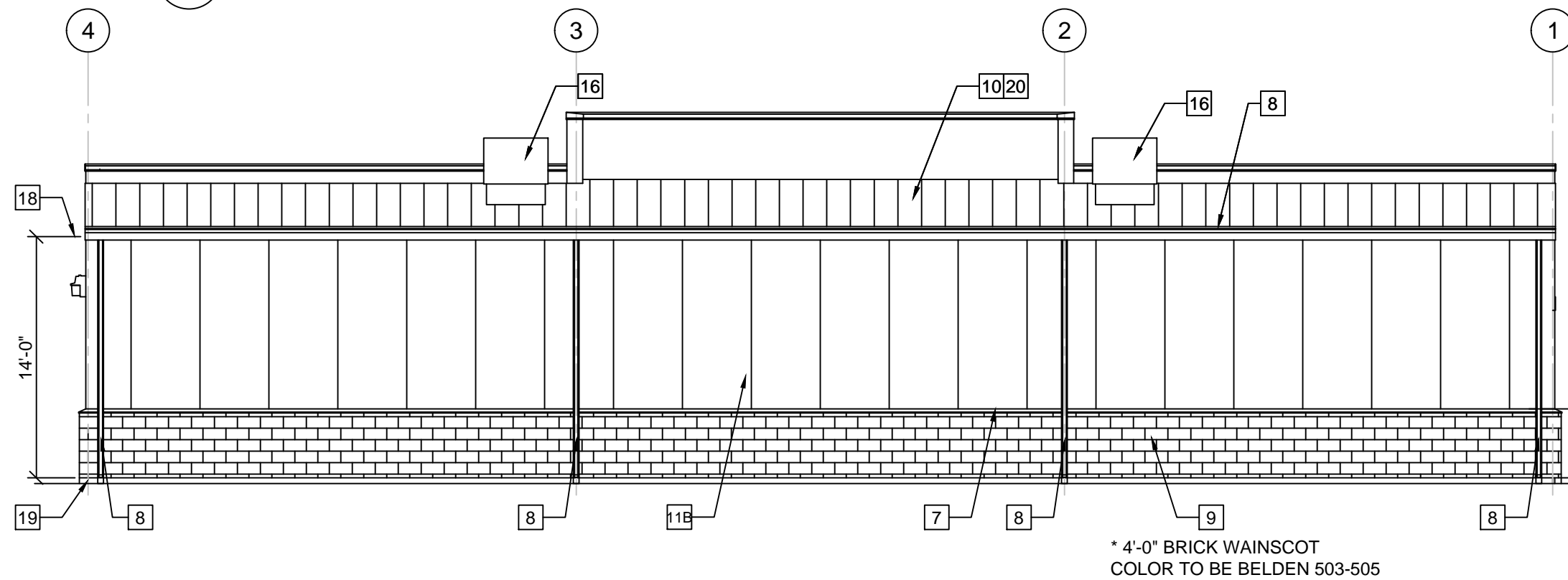
100
101
102 **VI. STAFF RECOMMENDATIONS:**

103
104 See attached suggested motion.

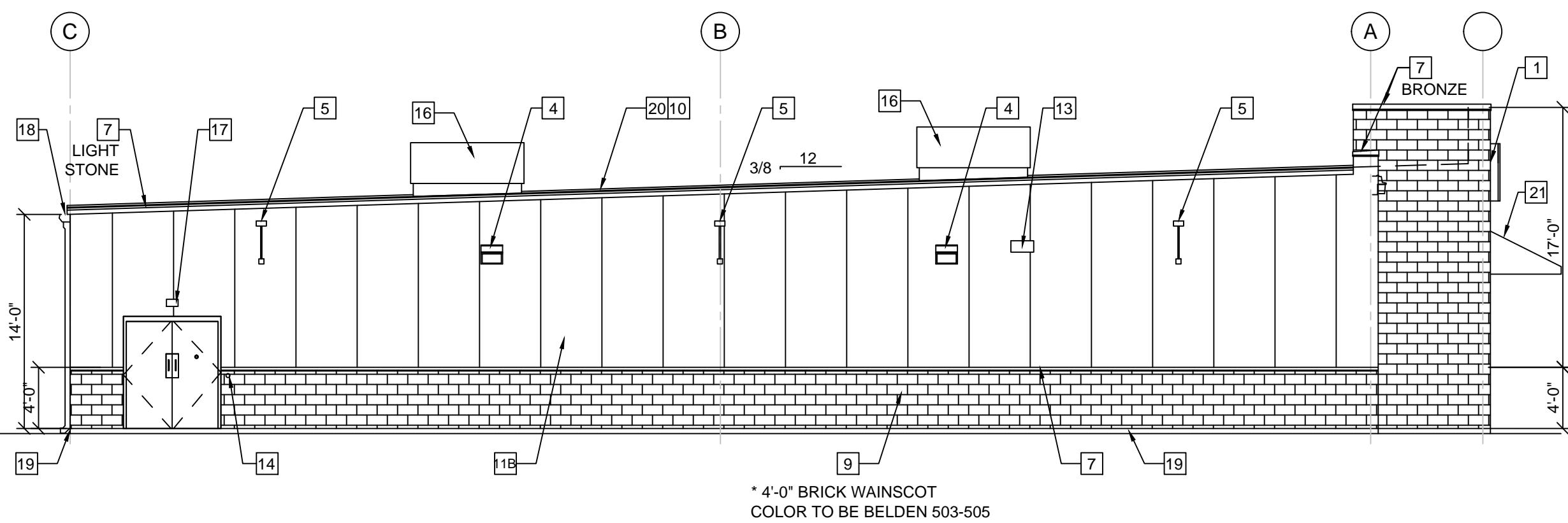
105
106 (end report)



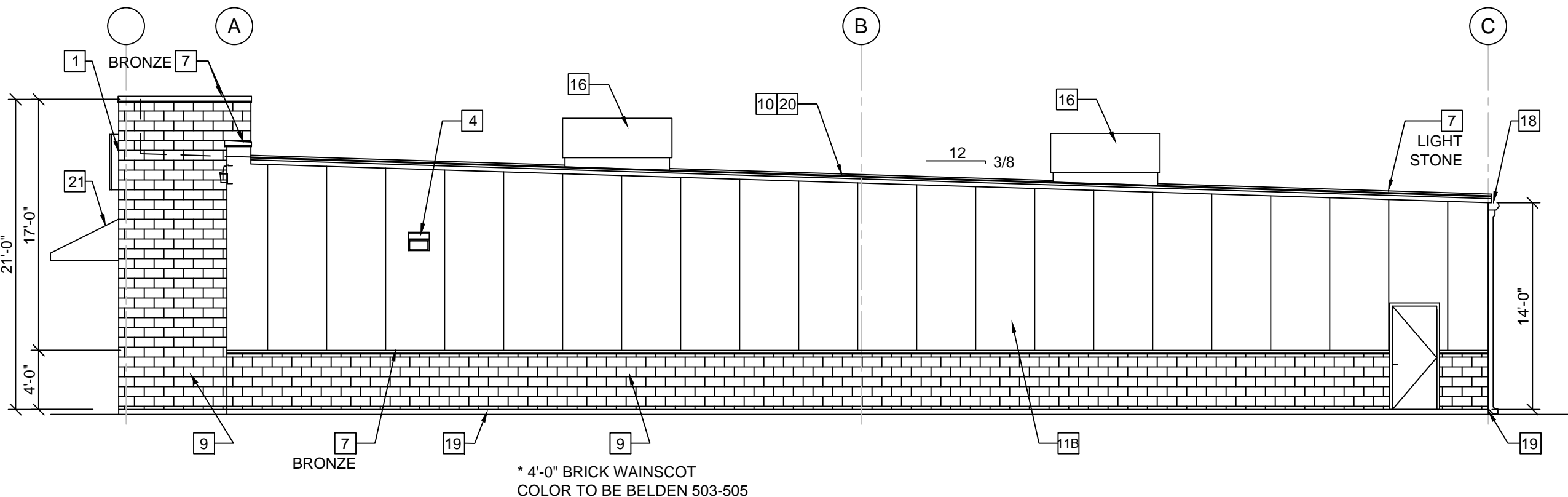
1-LD
A02 FRONT ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"



2-LD
A02 REAR ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"



3-LD
A02 LEFT SIDE ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"



4-LD
A02 RIGHT SIDE ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"

ELEVATION KEYED NOTES

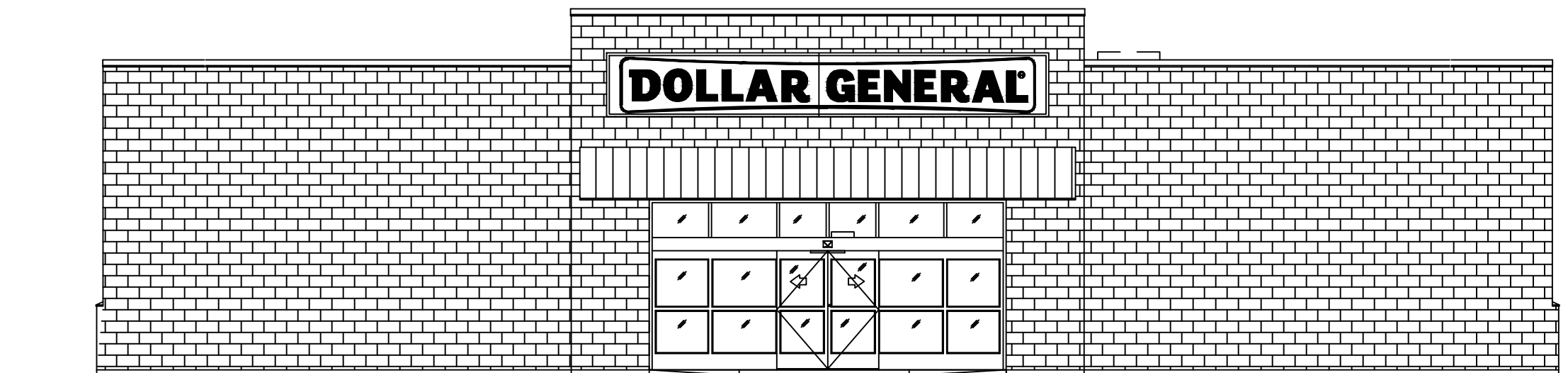
- SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF THE CANOPY. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- NOT USED.
- FLOOD LIGHT 16'-6" A.F.F. AT CENTERLINE OF CONNECTION TO WALL. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- WALL PACK 12'-0" A.F.F. TO TOP OF WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- FLOOD LIGHT 12'-0" A.F.F. AT CENTERLINE OF CONNECTION TO WALL. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- NOT USED.
- TRIM/COPING/FLASHING - COLOR AS NOTED OR REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
- GUTTER AND DOWNSPOUT - SEE EXTERIOR FINISH SCHEDULE FOR COLOR.
- 4" SMOOTH FACED ECONOMY SIZED BRICK, COLOR TO BE BELDEN 503-505.
- STANDING SEAM METAL ROOF. GALVALUME FINISH.
- NOT USED.
- KINGSPAN® SANDWICH PANELS WITH STUCCO FINISH. COLOR TO BE LIGHT STONE
- NOT USED.
- VENT FOR BATHROOM EXHAUST. REFER TO M01 FOR ADDITIONAL INFORMATION.
- DOOR BUZZER. REFER TO E01 FOR ADDITIONAL INFORMATION.
- WALL HYDRANT. REFER TO P01 FOR ADDITIONAL INFORMATION.
- HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
- MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
- FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON PAVED AREAS.
- NOT USED.
- METAL AWNING BY PEMB MANUFACTURER. REFER TO STRUCTURAL SHEETS FOR COLOR.
- 1/2" DIAMETER x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.

DOLLAR GENERAL®

FLORISSANT, MISSOURI

STORE # - 18943

(7,500 S.F. - CENTER ENTRY-LEFT DELIVERY)



CODE INFORMATION:

CODES USED:

2009 INTERNATIONAL BUILDING CODE

2009 INTERNATIONAL MECHANICAL CODE

2009 INTERNATIONAL ENERGY CODE

2009 INTERNATIONAL PLUMBING CODE

2008 NATIONAL ELECTRICAL CODE

CITY OF FLORISSANT AMENDMENTS

NOTE: VERIFY CITY HAS NOT ADOPTED NEWER CODES

USE GROUP:	"M" MERCANTILE
CONSTRUCTION TYPE:	2 B
ACTUAL BUILDING SIZE:	7,500 SF
ALLOWABLE SIZE:	12,500 SF
ACTUAL HEIGHT:	18'-6"
ALLOWABLE HEIGHT:	55'-0"
SPRINKLERS REQUIRED:	NO
FIRE RATED ASSEMBLIES:	NONE @ BEARING WALLS AND CEILING/ROOF ASSEMBLY
OCCUPANT LOADS:	
SALES AREA	5,956 SF ÷ 30 = 199 OCCUPANTS
RECEIVING AREA	888 SF ÷ 300 = 3 OCCUPANTS
EXIT LOADS:	
3'-0" DOOR	180 OCCUPANTS
6'-0" DOORS	360 OCCUPANTS
PLUMBING FIXTURE COUNT:	
202 OCCUPANTS	
101 MALE	1 WC, 1 LAVATORY
101 FEMALE	1 WC, 1 LAVATORY

PROJECT TEAM:

CONSTRUCTION MANAGER:	
CISSELL MUELLER 5530 SALT RIVER ROAD ST. PETERS, MO 63376	GREGG SPARKS, P.E. greggsparks@cissellmueller.com 636-970-0330 phone 636-970-2116 fax
ARCHITECT:	
PFAFF PARTNERSHIP, INC. 180 WEIDMAN ROAD SUITE 218 MANCHESTER, MO 63021	JOHN PFAFF, R.A. johnp@pfaffinc.com 636-256-0109 phone 636-256-0525 fax
CIVIL ENGINEER:	
ARC DESIGN RESOURCES, INC. 5291 ZENITH PARKWAY LOVES PARK, IL	RYAN SWANSON www.arcdesign.com 815-484-4300 phone
STRUCTURAL ENGINEER:	
MCNEALY ENGINEERING INC. 11457 OLDE CABIN ROAD SUITE 350 ST. LOUIS, MO 63141	BILL MCNEALY bmcnealy@sbcglobal.net 314-997-7310 phone 314-997-4287 fax
MEP ENGINEERING:	
AEDIFICA CASE 782 MERUS COURT FENTON, MO 63026	MATT CASE mcase@aedifica.com 636-349-1600 ext. 227 phone 636-349-1730 fax

REQUIRED NATIONAL ACCOUNT VENDORS

COMPANY	CONTACTS	PHONE #	REQUIRED ITEMS
MC CUE CORPORATION	PRICING - BRAD ROBINSON ORDERING - BRETT JOHNSON	404-293-7758 brobinson@mcuecorp.com 800-800-8503 EXT. 268	TRIM KIT INCLUDES BUMPER GUARDS AND CART STOP
YORK	NATIONAL ACCOUNTS	800-481-9738 york-dollargeneral-be@jci.com	HVAC UNITS AR, CO, IL, IN, KY, KS, MO, OH, OK, WV
CARRIER	ANDREW BROWNELL	315-432-6444 andrew.brownell@carrier.utc.com	HVAC UNITS CT, IA, MA, ME, MI, MN, ND, NE, NH, NJ, NY, PA, RI, SD, VT, WI
LENNOX	MICHAEL JOHNSTON	972-497-6884 dollargeneral@lennoxind.com	HVAC UNITS AL, AZ, CA, DE, FL, GA, LA, MD, MS, NC, NM, NV, OR, SC, TN, TX, VA
ROOF CURB SYSTEMS	GREG SMYTH	800-683-5848 gsmyth@roofcurb.com	RTU CURB
CURBS PLUS INC.	ALLAN THRAILKILL	888-639-2872 alan.thrailkill@curbs-plus.com	RTU CURB
KCC INTERNATIONAL INC.	GREG CONRAD	800-382-2872 gconrad@kcccurbs.com	RTU CURB
SHERWIN WILLIAMS	LOCAL SHERWIN WILLIAMS STORE		PAINT, PRIMER, CONCRETE SEALER AND BLOCK FILLER
RECORD DOOR SYSTEMS	MICHAEL VINNIK	704-290-0234 dollargeneral@recorddoors.com	MODEL #GT1175-02
STANLEY ACCESS TECHNOLOGIES	DENNIS WEBB	256-776-8902 DGdoors@sbdinc.com	AR,AZ,CA,CO,CT,DE,IL,IA,KS,LA,MA,ME,MI,MN,MO, ND,NE,NH,NJ,NM,NV,NY,OK,OR,RI,SD,TX,VT,WI
ASSA ABLOY ENTRANCE SYSTEMS	ROSS MERKLING	609-528-2580 dollargeneral.besam.us@assaalboy.com	AL, FL, GA, MS, NC, SC, TN
D&P CUSTOM LIGHTING	NATIONAL ACCOUNT SALES	800-251-2200	CUSTOM POWER POLES
EMERSON CLIMATE TECHNOLOGIES	WEBSITE: http://dollargeneralbid.ectolutions.net	USER NAME: dollargeneralbid PASSWORD: dollargeneralbid	EMS SUPPLIER NOTE: CUSTOMIZED DOLLAR GENERAL EMS PANEL REQUIRES STORE #, CITY, STATE, ZIP CODE & QTY. OF HVAC UNITS OF THE INSTALL SITE WHEN ORDERING.
EUCLID CHEMICAL COMPANY	PHIL BRANDT	877-438-3826 PBrandt@euclidchemical.com	CONCRETE POLISHING SYSTEMS
RETRO-PLATE SYSTEMS	CURTIS TURNBULL	888-942-3144 corporateaccounts@retroplatesystem.com	CONCRETE POLISHING SYSTEMS
ETI	MICHAEL STRINGER	920-915-4010 DGorders@led-llc.com	ELECTRICAL LIGHTING SUPPLIES AR,AZ,CA,IL,LA,KS,MN,MO,MS,ND, NE,NM,NV,OK,OR,SD,TX,WI
LSG	MICHAEL STRINGER	920-915-4010 DGorders@led-llc.com	ELECTRICAL LIGHTING SUPPLIES AL,CA,CT,DE,FL,GA,IN,KY,MA,MD,ME,MI, NC,NH,NJ,NY,OH,PA,RI,SC,TN,VA,VT,WV
CED - CONSOLIDATED ELECTRICAL DISTRIBUTORS	ROBERT DECKER	270-781-2229 robertd@cedbgky.com	ELECTRICAL SWITCH GEAR AR,AZ,CA,CO,IA,IN,IL,LA,KS,KY,MI,MN, MO,MS,ND,NE,NM,NV,OK,OR,SD,TX,WI
NESCO	CHRIS TRACY	800-244-6980 dollargeneral@needhamelectric.com	ELECTRICAL SWITCH GEAR AL,CT,DE,FL,GA,MA,MD,ME,NC,NH,NJ, NY,OH,PA,RI,SC,TN,VA,VT,WV
GIRTMAN AND ASSOCIATES	MIKE MOYNAHAN	615-350-6000 dgconstruction@bass-security.com	INTERIOR DOORS AND FRAMES AND RESTROOM ACCESSORIES AL,AR,AZ,CA,CO,FL,GA,IA,KS,LA,MS,MN, MO,NE,NM,NV,OK,OR,SC,SD,TN,TX,WI
COOK & BOARDMAN GROUP	JOE HARRELL	336-837-0673 nationalsales@cookandboardman.com	INTERIOR DOORS AND FRAMES AND RESTROOM ACCESSORIES CT,DE,IL,IN,KY,MA,MD,ME,MI,NC,NH,NJ, NY,OH,PA,RI,VA,VT,WV
STANLEY CONVERGENT SECURITY SOLUTIONS	DAN GOLDSMITH	740-215-8913	INTERIOR FIRE ALARM PANELS
CROSSCOM NATIONAL	ANDREA LEMAY	847-850-6297 dollargeneral@crosscomnational.com	LOW VOLTAGE & VOICE/DATA CO,CT,DE,FL,IA,IL,IN,KS,MA,MD,ME,MI,MN, MO,ND,NE,NH,NJ,NY,OH,PA,RI,SD,VT,WI,WV
ASD	CHRIS RUDNITSKI	826-624-1044 crudnitski@asd-usa.com	LOW VOLTAGE & VOICE/DATA AL,AR,AZ,CA,GA,KY,LA,MS,NC,NM,NV, OK,OR,SC,TN,TX,VA
GRAYBAR	JEROME BANNISTER	615-743-3202 office, 615-924-2135 cell DollarGeneral@graybar.com	CABLE TRAY
RAINBIRD IRRIGATION	LOCAL RAIN BIRD DISTRIBUTER	WWW.RAINBIRD.COM	IRRIGATION SYSTEMS

REQUIRED NATIONAL ACCOUNTS FOR ENGINEERING AND CONSTRUCTION MATERIAL TESTING

COMPANY	CONTACTS	PHONE #	
ATC ASSOCIATES, INC.	LESLIE GREENWOOD	205-733-8775 dollargeneral@atcassociates.com	www.atcassociates.com
BUILDING AND EARTH SCIENCES, INC.	MATT ADAMS	205-836-6300 dollargeneral@buildingandearth.com	www.buildingandearth.com
EAS PROFESSIONALS, INC.	JERRY MARRONE	864-234-7368 dollargeneral@eas-pro.com	www.eas-pro.com
PROFESSIONAL SERVICE INDUSTRIES, INC. (PSI)	TERESA HEBNER	770-424-6200 #3030 teresa.hebner@psiusa.com	www.psiusa.com
TERRACON	JOHN MEADOW	770-623-0755 #353 dollargeneral@terracon.com	www.terracon.com

NOTE: MATERIAL TESTING IS REQUIRED ON ALL TRIPLE NET LEASES.

PROTOTYPE MANAGEMENT TEAM

COMPANY	CONTACTS	PHONE #	
MJM ARCHITECTS	GARY CONWAY	615-244-8170 dg@mjmarch.com	www.mjmarch.com
ENTECH	MITCH SIMPSON	615-373-2640 email@entechtn.com	www.entechtn.com

NATIONAL ACCOUNT & CONTACT INFORMATION SUBJECT TO CHANGE

DRAWING LIST

GENERAL:

T01 TITLE SHEET

CIVIL:

C01-LD SITE PLAN CRITERIA - LEFT DELIVERY
C01-RD SITE PLAN CRITERIA - RIGHT DELIVERY
C02-LD GRADING PLAN - LEFT DELIVERY
C02-RD GRADING PLAN - RIGHT DELIVERY
C03 GENERAL SITE NOTES
C04 DETAILS
L01-LD LANDSCAPE PLAN - LEFT DELIVERY
L01-RD LANDSCAPE PLAN - RIGHT DELIVERY

OWNER:

F01 FIXTURE PLAN

ARCHITECTURAL:

A01-LD FLOOR PLAN, DETAILS & INTERIOR PARTITIONS
A01-RD FLOOR PLAN, DETAILS & INTERIOR PARTITIONS
A02 EXTERIOR ELEVATIONS
A03-LD SECTIONS & DETAILS
A03-RD SECTIONS & DETAILS
A04 ROOM FINISH SCHEDULE & SALES FLOOR ELEVATIONS
A05 DOOR SCHEDULE & DETAILS
A06 TOILET ROOM PLAN & DETAILS
A07 SIGN DETAILS
A08 SIGN BRACING DETAILS
A09-LD REFLECTED CEILING PLAN
A09-RD REFLECTED CEILING PLAN

STRUCTURAL:

S01 ROOF PLAN & METAL BUILDING NOTES
S02 CONCRETE SPECS & CONCRETE FINISH SPECS
S03 CONCRETE ANALYSIS & MISC NOTES

ELECTRICAL:

E1-LD POWER PLAN
E1-RD POWER PLAN
E2-LD LIGHTING PLAN
E2-RD LIGHTING PLAN
E3 POWER POLE DETAILS
E5.1 PANEL SCHEDULES - THREE PHASE
E5.2 PANEL SCHEDULES - SINGLE PHASE

EMS1-LD EMS LOW VOLTAGE PLAN
EMS1-RD EMS LOW VOLTAGE PLAN
EMS2 EMS PANEL & CONTROLS

ES1 SITE LIGHTING PLAN

MECHANICAL:

M1-LD HVAC LAYOUT & SCHEDULE
M1-RD HVAC LAYOUT & SCHEDULE

PLUMBING:

P1-LD PLUMBING PLANS & SCHEDULES
P1-RD PLUMBING PLANS & SCHEDULES
P2-LD PLUMBING DETAILS & DIAGRAMS
P2-RD PLUMBING DETAILS & DIAGRAMS

SQUARE FOOTAGE LEGEND

TOTAL SQUARE FOOTAGE	7,512 S.F.
TOTAL LEASABLE AREA	7,512 S.F.
OVERALL BUILDING DIMENSIONS	85'-0" X 85'-0"
SALES FLOOR DIMENSIONS	83'-0" X 68'-6"
SALES AREA	5,956 S.F.
RECEIVING AREA	888 S.F.
BREAK ROOM & OFFICE AREA	154 S.F.
TOILET ROOMS & HALLWAY AREA	193 S.F.
TOTAL NET AREA (BLDG AREA PER CODE)	7,191 S.F.

NOTES:

- BUILDING MUST COMPLY WITH ALL BUILDING (FEDERAL, STATE AND LOCAL), FIRE, ACCESSIBILITY AND HEALTH DEPARTMENT CODES.
- NO TAPERED COLUMNS ALLOWED.
- MAINTAIN INTERIOR CLEAR SALES SPACE AS REQUIRED ON PLANS.

DOLLAR GENERAL

STORE NO. 18943

XX

FLORISSANT

MO

DG PARTNERS, LLC

5530 SALT RIVER ROAD

ST. PETERS, MO 63376



CISSELL MUELLER
CONSTRUCTION, INC.
5530 SALT RIVER RD.,
ST. PETERS, MO 63376

ARCHITECTS
& PLANNERS

PFAFF
PARTNERSHIP?

PROJECT NUMBER

1716

DATE

11 AUG. 2017

REVISIONS

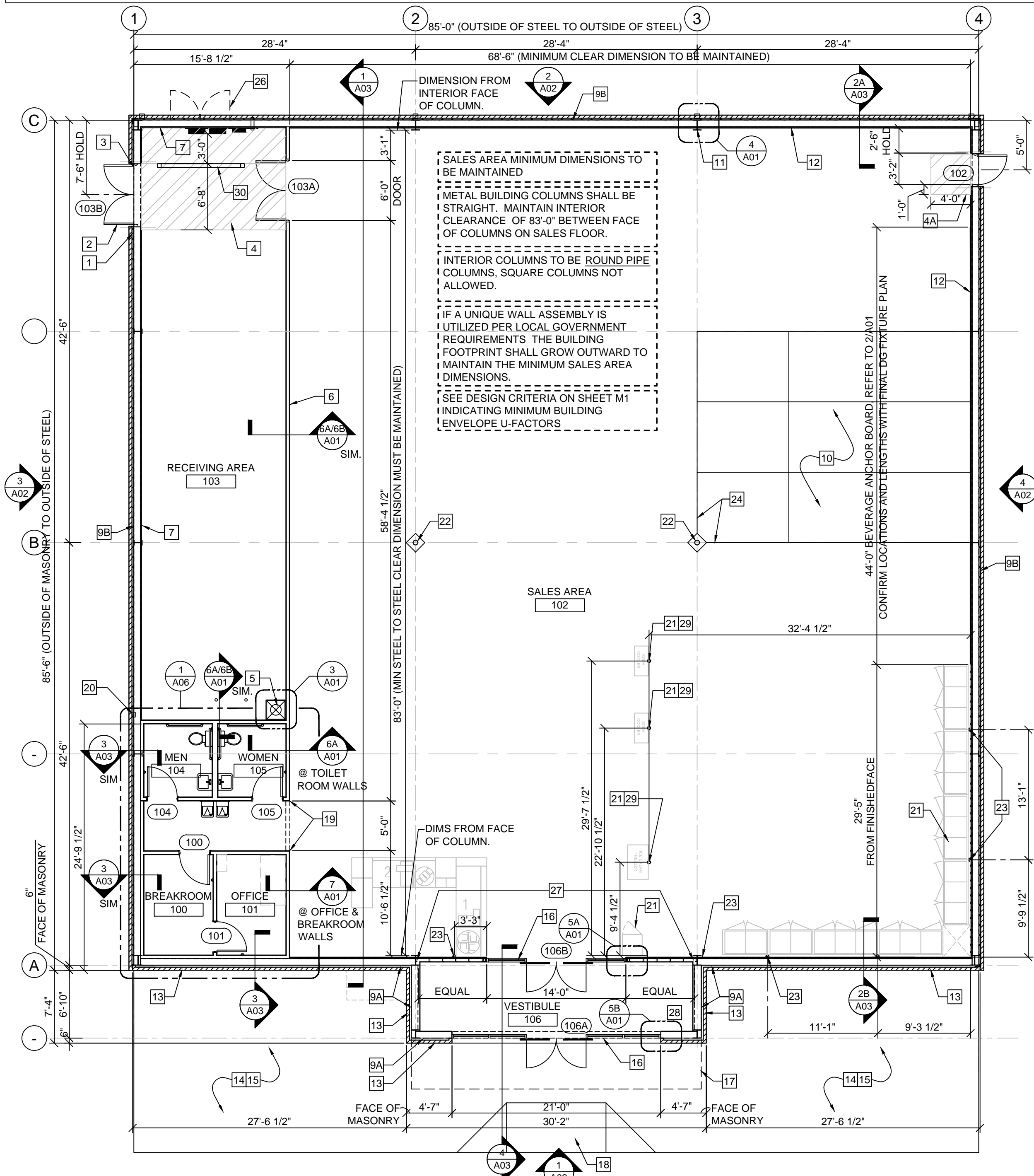
SHEET NAME

TITLE SHEET
CODE

SHEET NUMBER

T1

- FLOOR PLAN KEYED NOTES**
- RECEIVING DOOR BUZZER - TORK MDL #TA725 OR EQUAL
 - DOOR SCOPE, PROVIDED BY BASS SECURITY. REFER TO T01 AND DOOR SCHEDULE.
 - WEATHER STRIP & LOW PROFILE THRESHOLD PROVIDED BY BASS SECURITY. SEE TO T01 AND DOOR SCHEDULE.
 - STRIPE FLOOR FOR DESIGNATED EGRESS PATH (PAINT YELLOW) AND DESIGNATED EMS PANEL CLEARANCE (PAINT RED).
 - STRIPE FLOOR FOR DESIGNATED ADA EGRESS PATH (PAINT YELLOW).
 - PROVIDE AND INSTALL A TEN GALLON WATER HEATER (OR LARGER IF REQUIRED BY CODE) ABOVE THE MOP SINK.
 - 3 5/8" METAL STUD WITH 1/2" MINIMUM GYPSUM BOARD (BOTH SIDES). REFER TO NOTED WALL SECTION. REFER TO ROOM FINISH SCHEDULE FOR GYPSUM BOARD HEIGHT AT ANY PARTICULAR WALL.
 - METAL LINER PANELS TO 8'-0" A.F.F. AT RECEIVING AREA. (BY PRE-ENGINEERED BUILDING MANUFACTURER).
 - DIMENSIONS ARE TO COLUMN LINE UNLESS OTHERWISE NOTED.
 - METAL BUILDING PANELS (BY PEMB), REVERSE-RIB PROFILE AT FRONT ELEVATION. REFER TO ELEVATIONS FOR COLOR.
 - METAL BUILDING PANELS (BY PEMB). REFER TO ELEVATIONS FOR COLOR.
 - CONC. SLAB WITH MIN. 6x6xW1.4 WELDED WIRE MESH OVER POLYETHYLENE VAPOR BARRIER (MIN. 10 MM THICK) OVER CRUSHED STONE BASE, TYPICAL, OR EQUIVALENT. SEE STRUCTURAL DWGS. PROVIDE CONTROL JOINTS AS SHOWN ON S03.
 - METAL BUILDING FRAME. REFER TO NOTED WALL SECTION FOR ADDITIONAL INFORMATION.
 - 1/2" MIN GYPSUM BOARD (TO 10'-0" A.F.F.) OVER METAL LINER PANELS AND INSULATION WITH VAPOR BARRIER. REFER TO INTERIOR SALES AREA ELEVATIONS.
 - SMOOTH, ECONOMY SIZED BRICK WAINSCOT, PAINTED. SEE ELEVATIONS FOR SPECIFIED COLOR. REFER TO WALL SECTION FOR ADDITIONAL INFORMATION.
 - SLOPE CONCRETE 1/8" PER FOOT AWAY FROM BUILDING.
 - BROOM FINISH CONCRETE SIDEWALK, TYPICAL.
 - BRONZE STOREFRONT SYSTEM. REFER TO NOTED WALL SECTION FOR ADDITIONAL INFORMATION.
 - LINE OF METAL AWNING ABOVE (BY PEMB). REFER TO REFLECTED CEILING PLAN AND NOTED SECTION.
 - A.D.A. COMPLIANT ACCESSIBLE RAMP WITH YELLOW PAINTED SIDES TO ACCESSIBLE PARKING STALLS.
 - MC CUE CART AND BUMPER GUARDS. TOP INSTALLED @ 3'-5" A.F.F. ORDER TRIM KIT FOR THIS PROTOTYPE.
 - WALL HYDRANT. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
 - REFRIGERATION BY DOLLAR GENERAL.
 - STEEL COLUMN, ROUND (BY PEMB) WITH RECESSED BASE- PLATE. PAINT SW7005 PURE WHITE. WRAP STEEL COLUMN WITH TIGHT LOOP CARPET (BLACK) FROM BASE TO 48" A.F.F.
 - POWER POLE. COORDINATE FINAL LOCATION WITH FINAL DOLLAR GENERAL FIXTURE PLAN (F01).
 - CONTROL JOINTS ARE TO BE PLACED ALONG COLUMN LINES AND DIVIDING COLUMN BAYS AS INDICATED. COORDINATE WITH STRUCTURAL DRAWINGS.
 - FLOOR AREA AT BASE OF COLUMNS, WITHIN THE CONSTRUCTION JOINTS, TO BE PAINTED BLACK MAGIC TINT.
 - ALTERNATE LOCATION FOR DELIVERY DOORS. MOVE ELECTRICAL EQUIPMENT TO OTHER WALL.
 - 20 GA. METAL STUD FRAMING TO DECK ABOVE BETWEEN COLUMNS AT INTERIOR ENTRY DOORS. STUDS TO BE INSTALLED FLUSH WITH THE INTERIOR FACE OF THE ADJACENT COLUMNS. FINISH AS NOTED.
 - CART AREA. REFER TO 5 & 6/A06 FOR ADDITIONAL DETAILS.
 - ENDCAP COOLER/FREEZER TO BE HARDWIRED THROUGH SO CORD WITH DUPLEX AT END. GC TO LEAVE BOTTOM OF CORD HANGING AT 80" A.F.F. (SEE ELECTRICAL), SO CORD TO BE ANCHORED TO PURLINS ABOVE. COORDINATE LOCATION WITH FINAL DOLLAR GENERAL PLAN.
 - MC CUE RAILING IN FRONT OF ELECTRICAL PANELS. 8'-0" LONG WITH TWO TOP RAILS WITH NO MIDDLE POST.

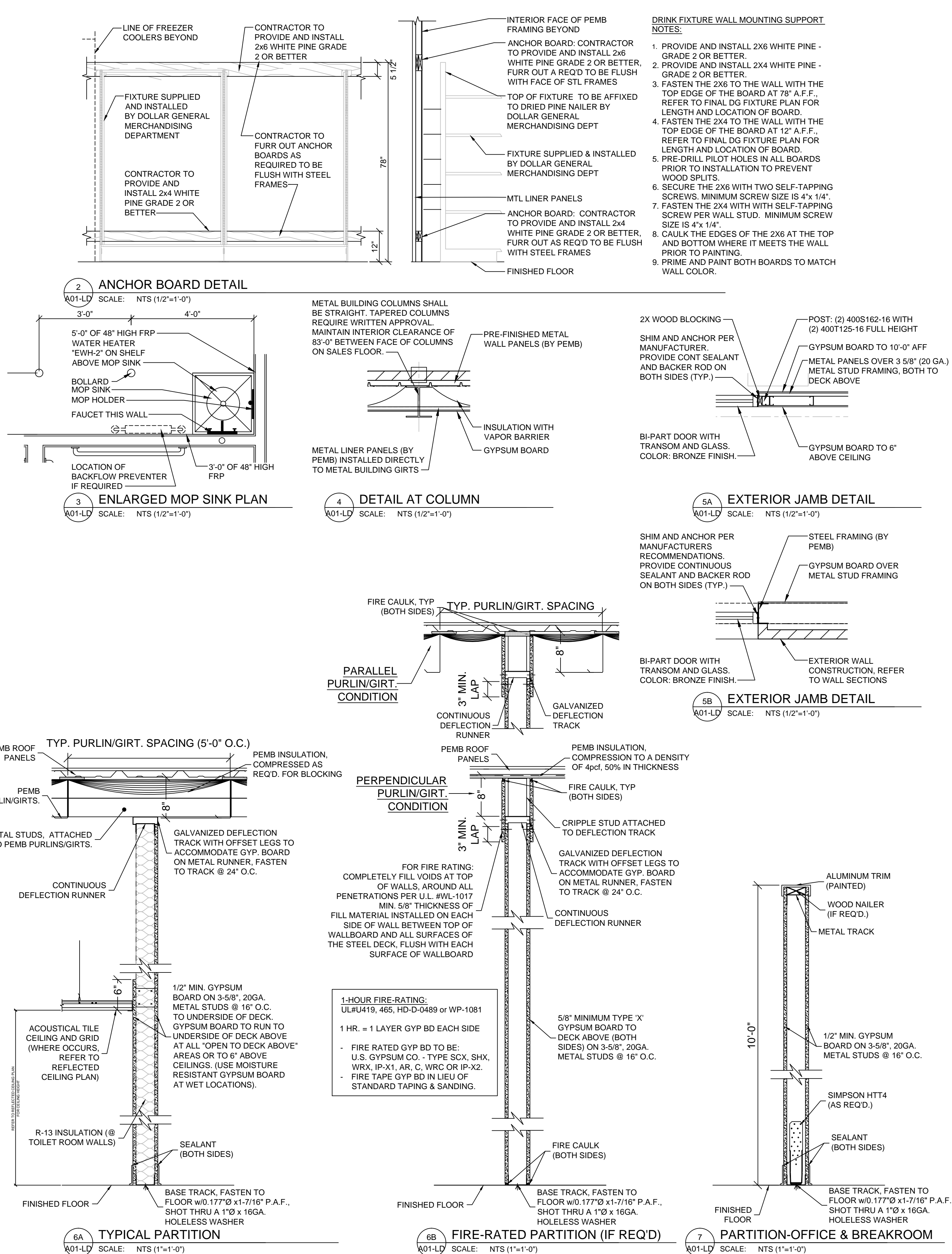


1 FLOOR PLAN - LEFT DELIVERY

A01-LD SCALE: NTS (1/8"=1'-0")



PLAN NORTH



CISSELL MUELLER
CONSTRUCTION, INC.
5530 SALT RIVER RD.,
ST. PETERS, MO 63376

PROJECT NUMBER

1716

DATE

11 AUG. 2017

REVISIONS

SHEET NAME

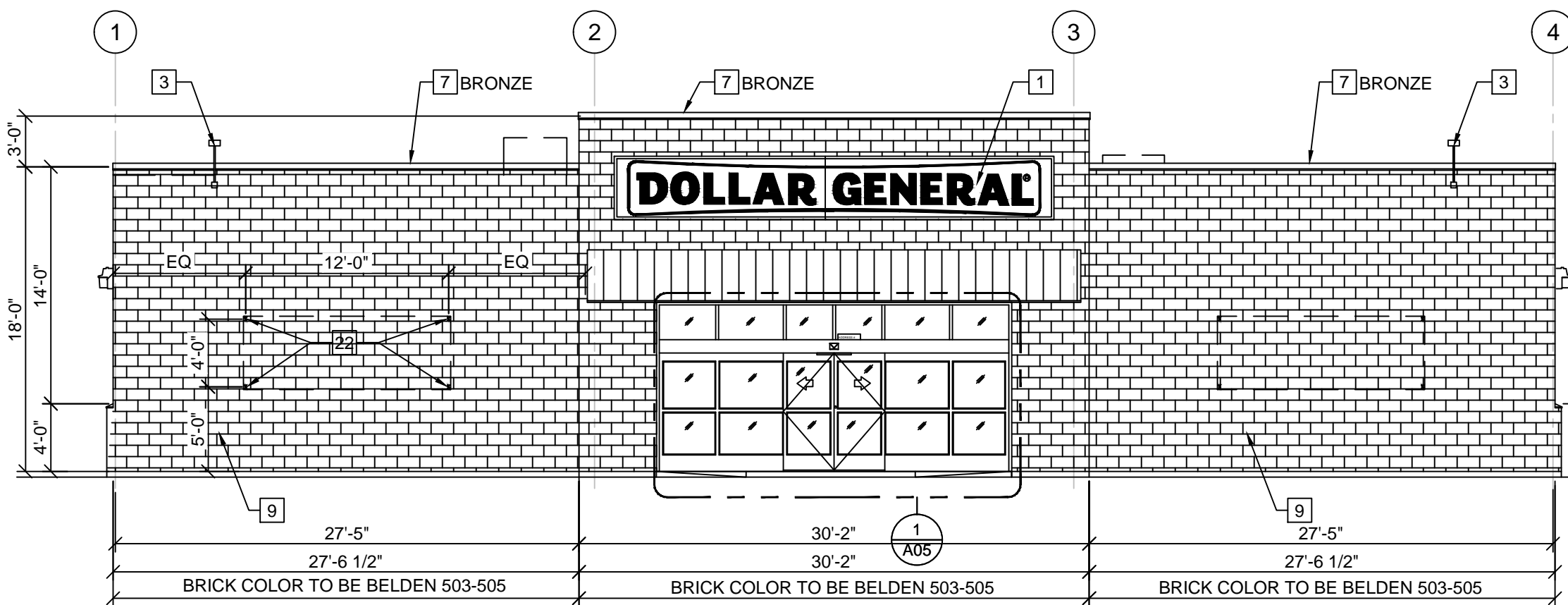
FLOOR PLAN,

DETAILS & INT.

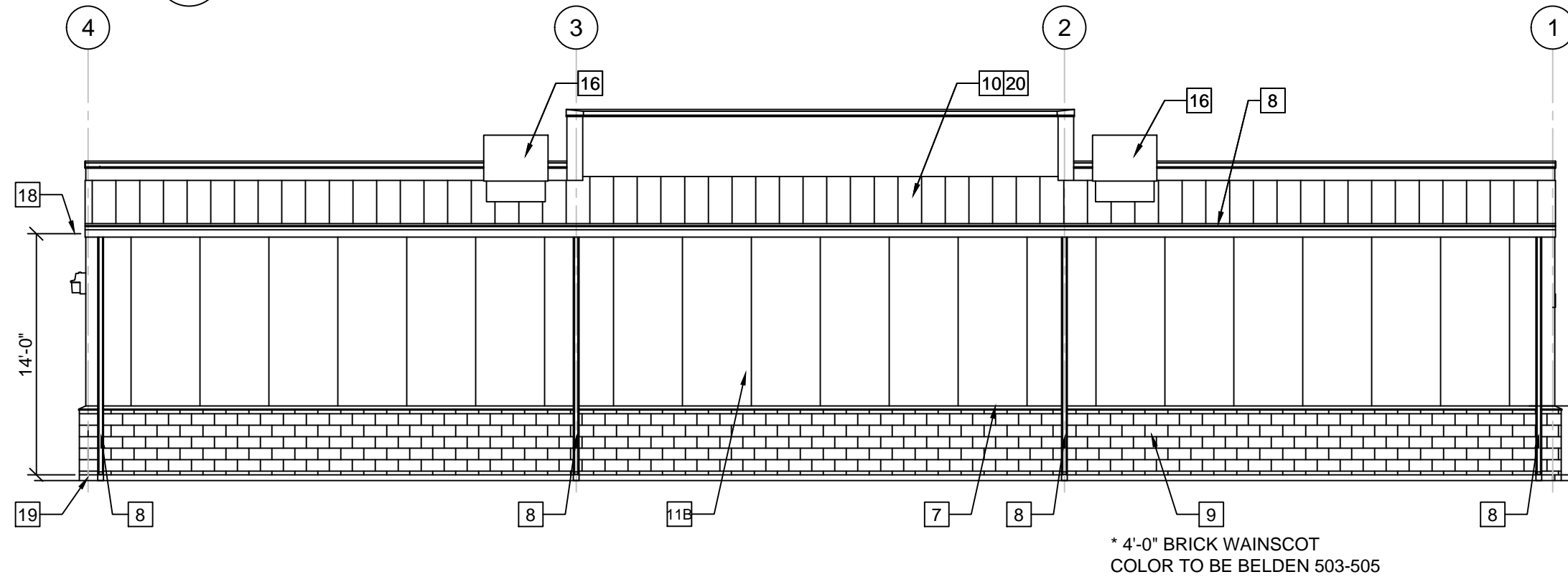
P-TYPES

SHEET NUMBER

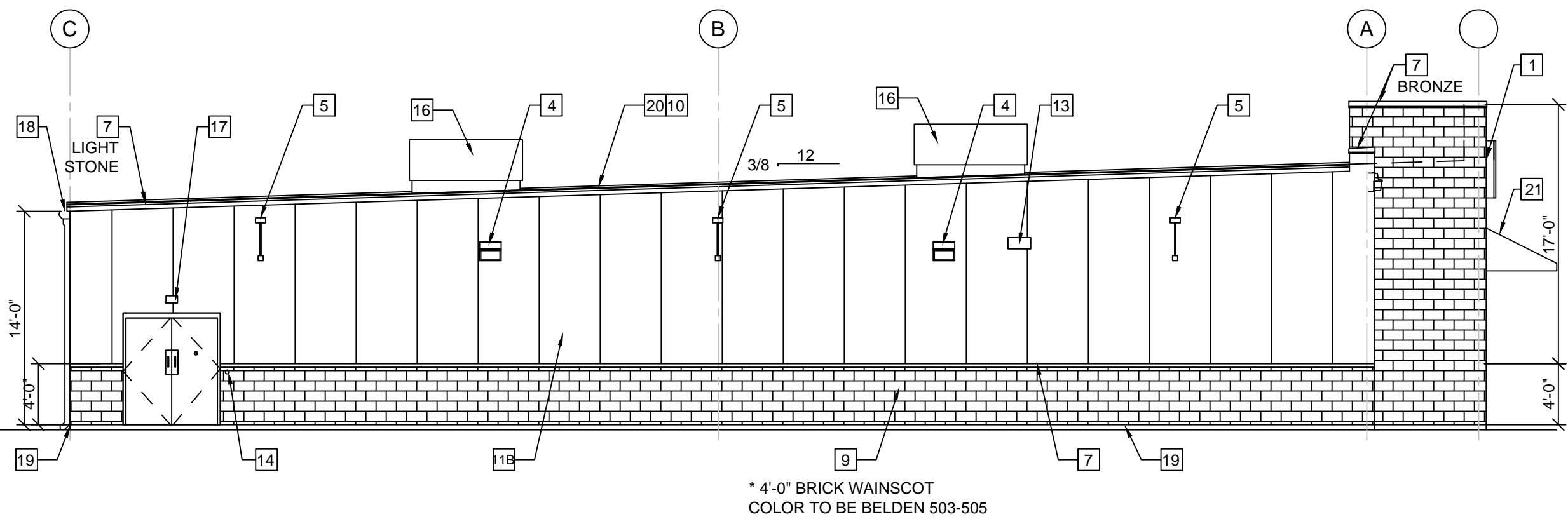
A01



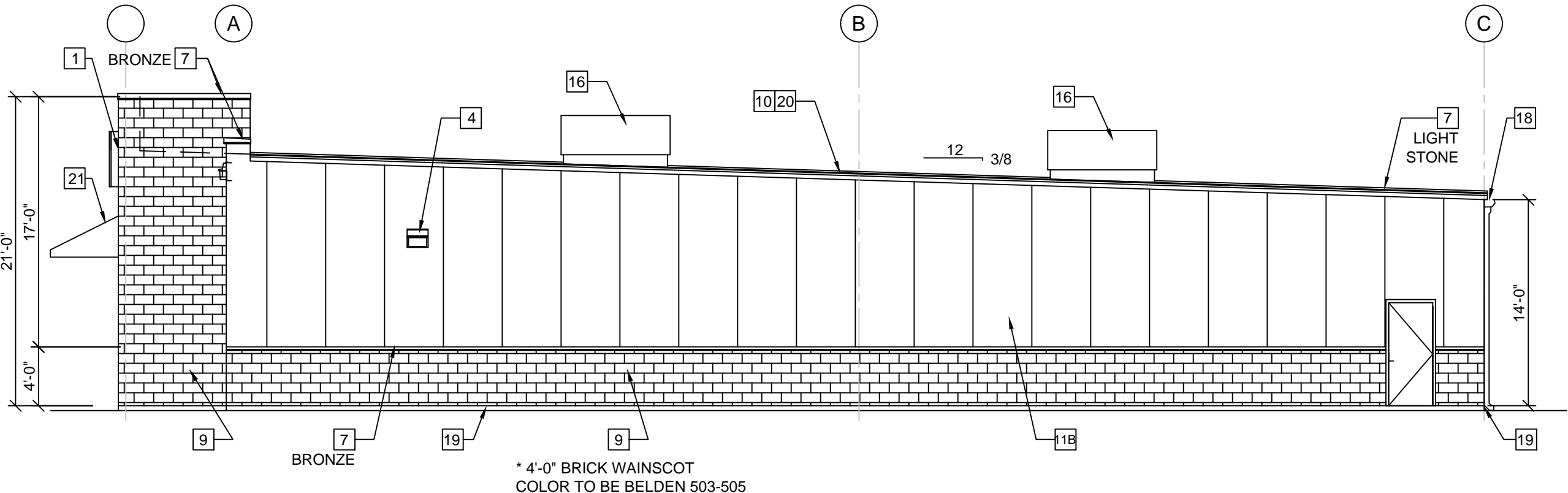
1-LD
A02
FRONT ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"



2-LD
A02
REAR ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"



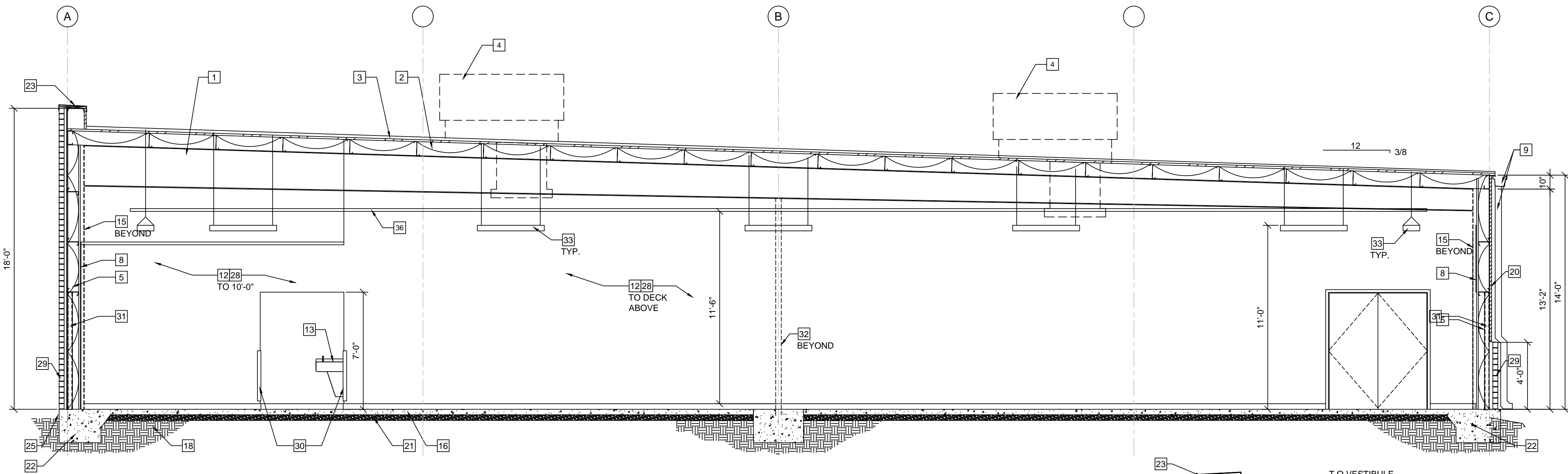
3-LD
A02
LEFT SIDE ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"



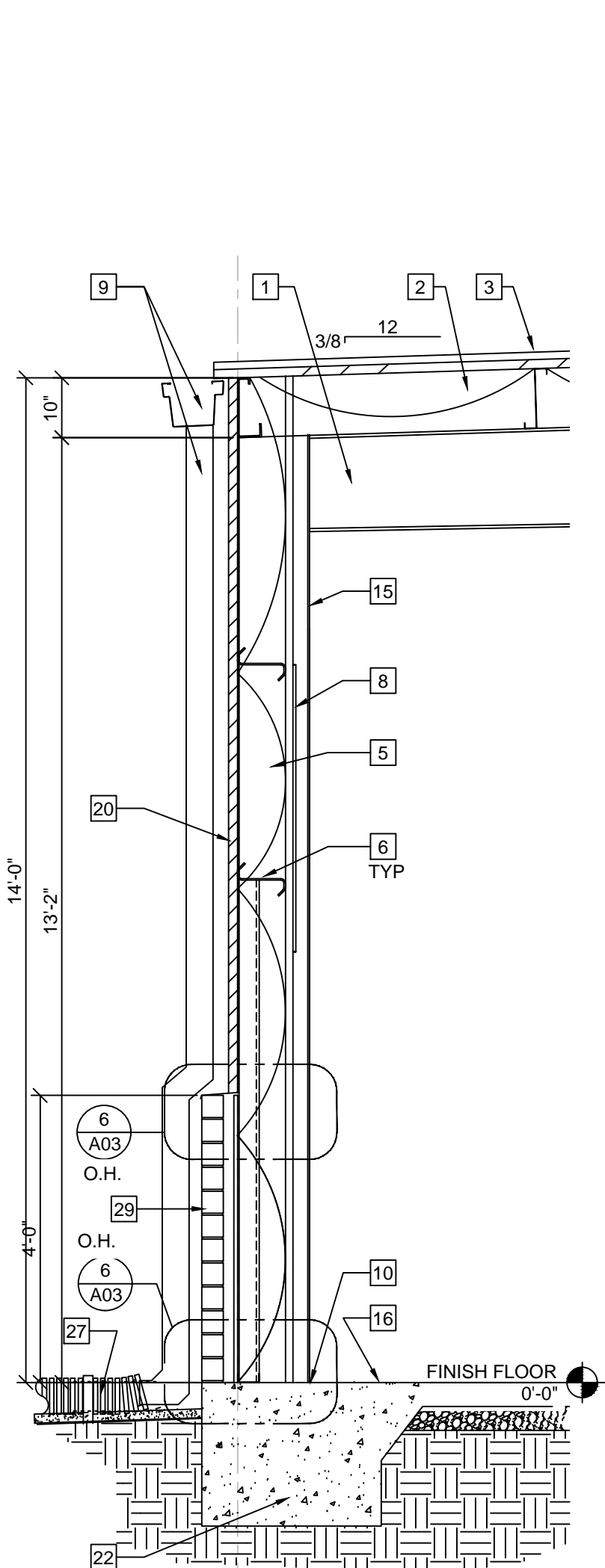
4-LD
A02
RIGHT SIDE ELEVATION - LEFT DELIVERY
SCALE: 1/8"=1'-0"

ELEVATION KEYED NOTES

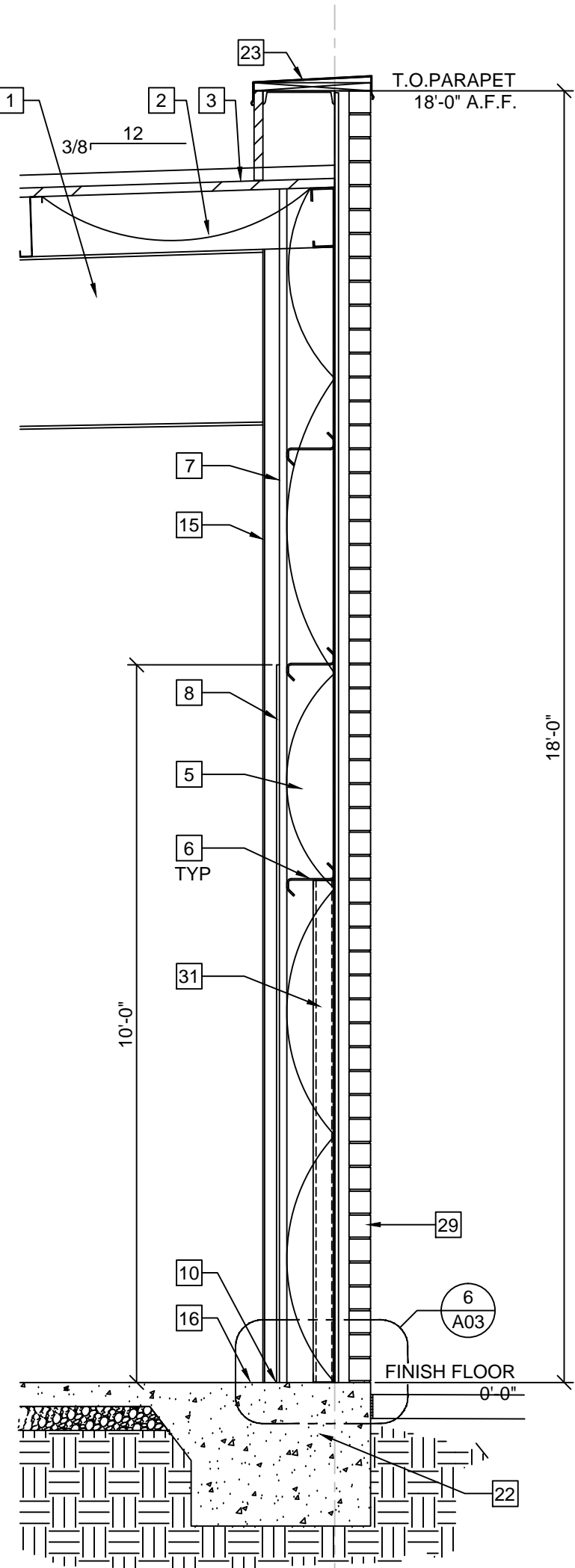
- SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. EXTERIOR CANOPY SIGN SHALL BE SUPPORTED BY THE FACE OF THE CANOPY. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- NOT USED.
- FLOOD LIGHT 16'-6" A.F.F. AT CENTERLINE OF CONNECTION TO WALL. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- WALL PACK 12'-0" A.F.F. TO TOP OF WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- FLOOD LIGHT 12'-0" A.F.F. AT CENTERLINE OF CONNECTION TO WALL. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- NOT USED.
- TRIM/COPING/FLASHING - COLOR AS NOTED OR REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR.
- GUTTER AND DOWNSPOUT - SEE EXTERIOR FINISH SCHEDULE FOR COLOR.
- 4" SMOOTH FACED ECONOMY SIZED BRICK, COLOR TO BE BELDEN 503-505.
- STANDING SEAM METAL ROOF. GALVALUME FINISH.
- NOT USED.
- KINGSPAN® SANDWICH PANELS WITH STUCCO FINISH. COLOR TO BE LIGHT STONE
- NOT USED.
- VENT FOR BATHROOM EXHAUST. REFER TO M01 FOR ADDITIONAL INFORMATION.
- DOOR BUZZER. REFER TO E01 FOR ADDITIONAL INFORMATION.
- WALL HYDRANT. REFER TO P01 FOR ADDITIONAL INFORMATION.
- HVAC UNITS MOUNTED ON ROOF. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
- MINIMUM EAVE HEIGHT IS 14'-0" A.F.F.
- FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON PAVED AREAS.
- NOT USED.
- METAL AWNING BY PEMB MANUFACTURER. REFER TO STRUCTURAL SHEETS FOR COLOR.
- 1/2" DIAMETER x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. DRILL AND EPOXY INTO BLOCK WALL. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.



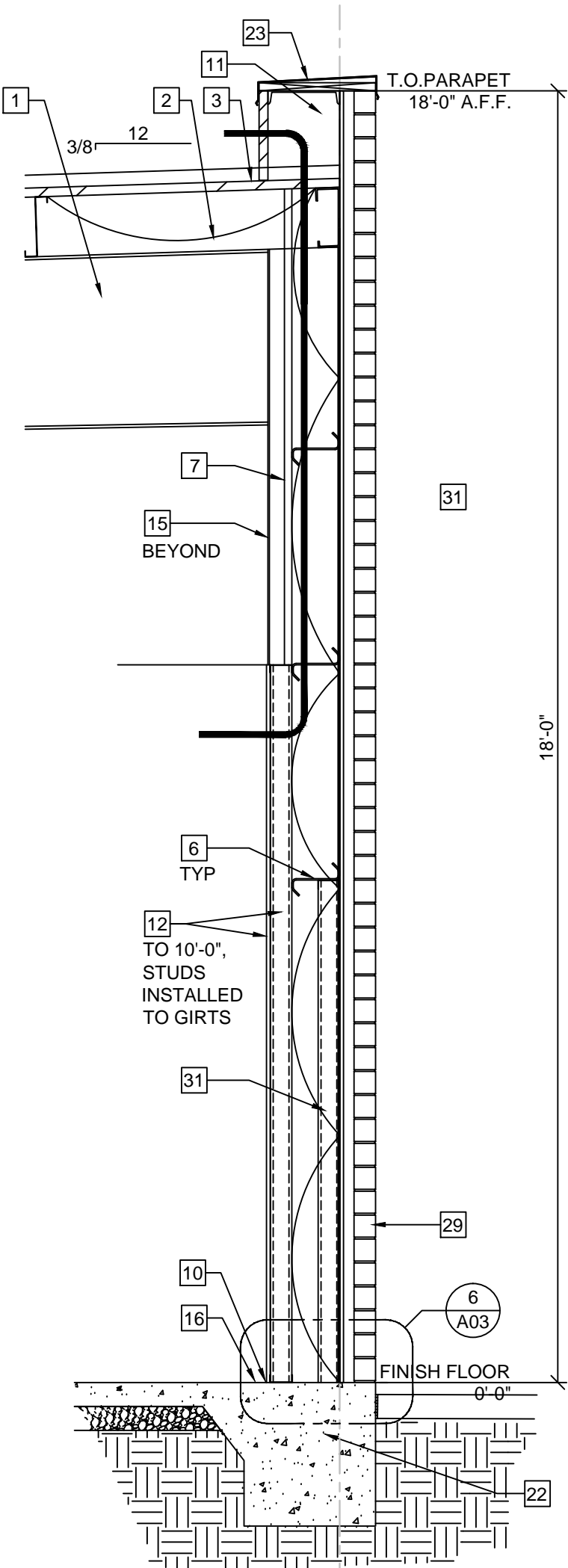
BUILDING SECTION - LEFT DELIVERY
A03-LD SCALE: (1/4"=1'-0")



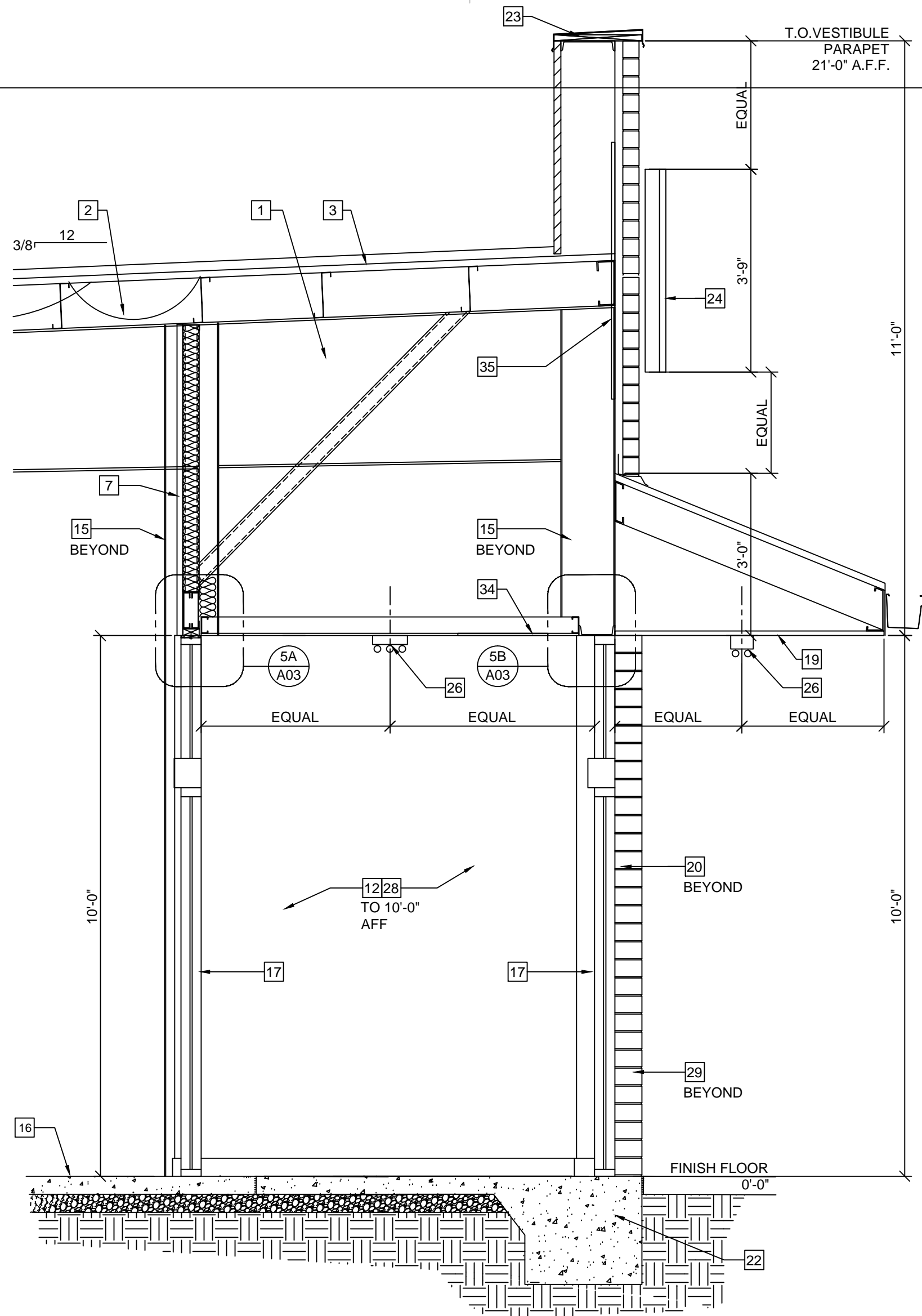
2A WALL SECTION
A03-LD SCALE: NTS (1/2"=1'-0")



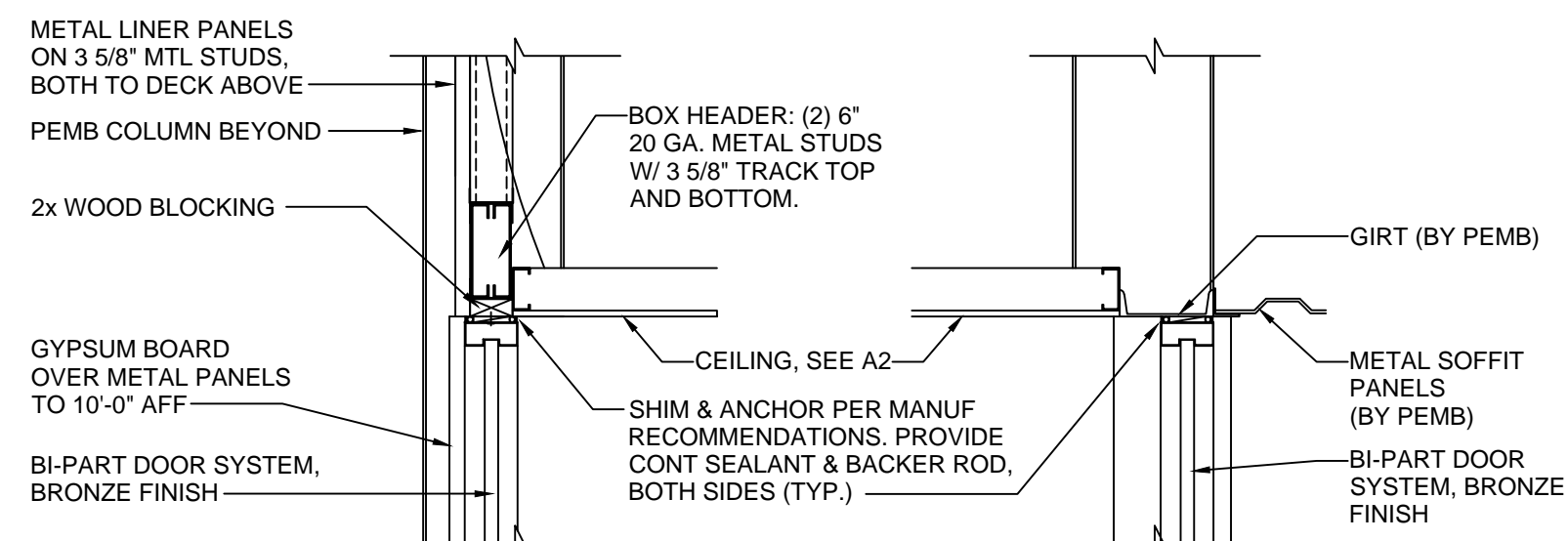
2B WALL SECTION
A03-LD SCALE: NTS (1/2"=1'-0")



3 WALL SECTION
A03-LD SCALE: NTS (1/2"=1'-0")



4 WALL SECTION
A03-LD SCALE: NTS (1/2"=1'-0")

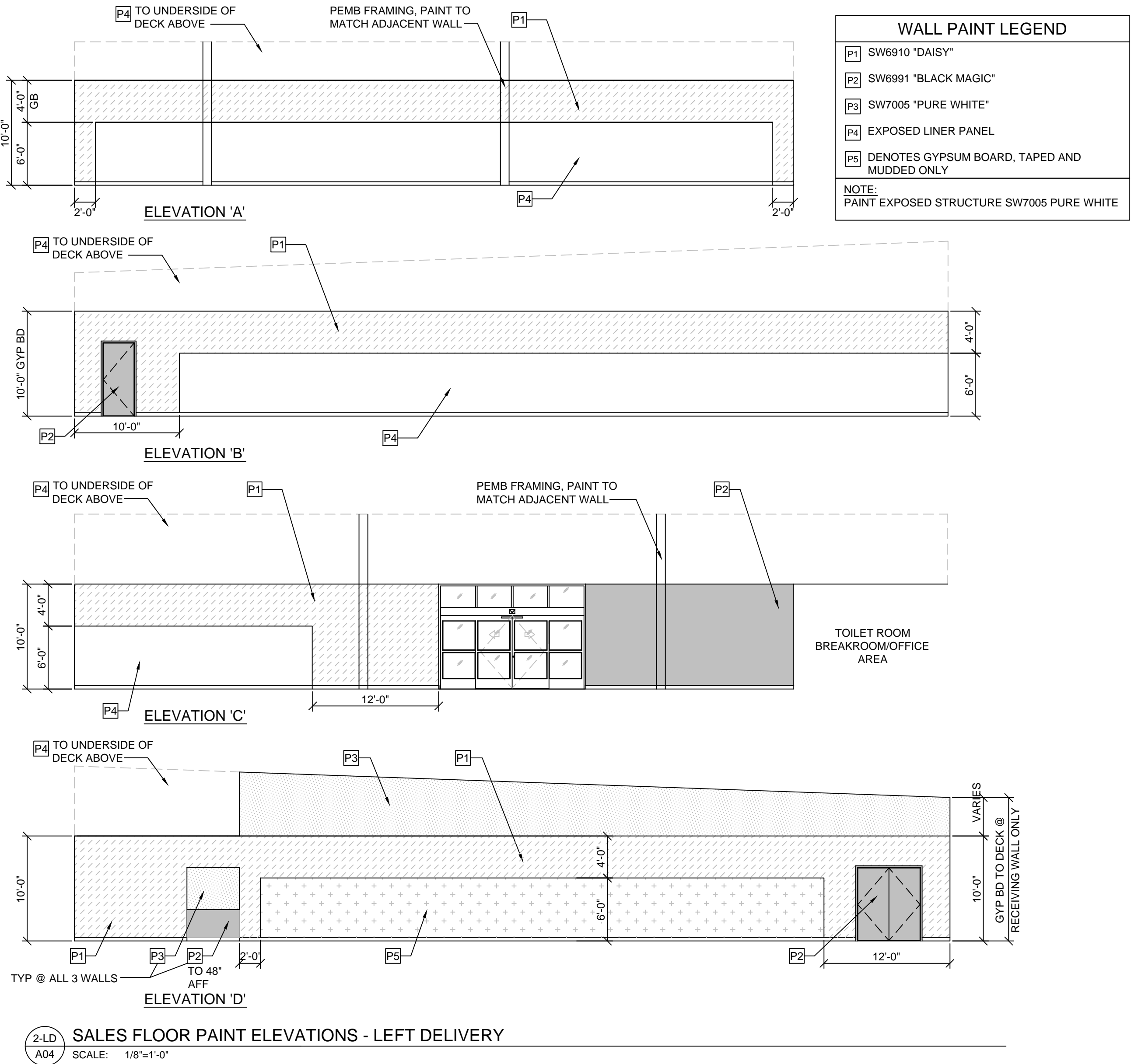
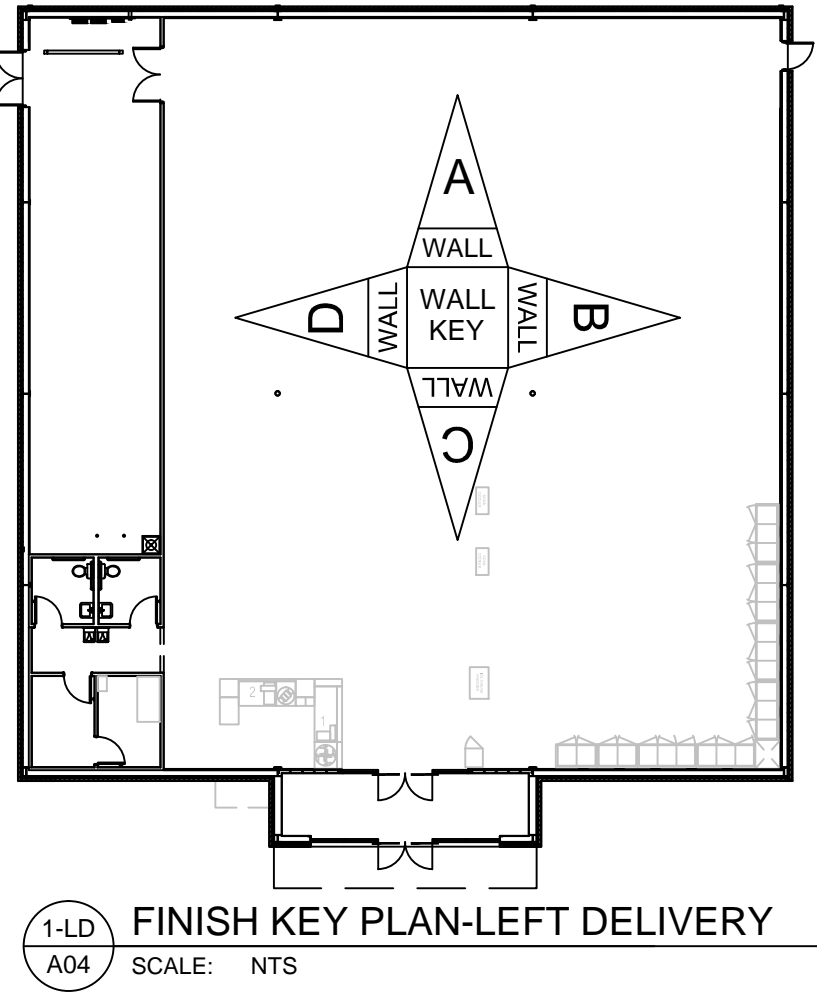


6 DETAIL
A03-LD SCALE: NTS (3/4"=1'-0")

SECTION KEYED NOTES

- PRE-ENGINEERED METAL BUILDING SYSTEM BY BUILDING MANUFACTURER.
- MIN. R-19 BATT INSULATION IN TWO LAYERS WITH R-5 THERMAL BLOCKS AT EACH PURLIN. (BY PEMB) - INSULATION SYSTEM TO LEAVE BOTTOM OF PURLINS EXPOSED FOR ATTACHMENTS - "SAG AND BAG" PREFERRED, "LONG TAB/BANDED FILLED CAVITY" ACCEPTABLE.
- STANDING SEAM METAL ROOF, GALVALUME FINISH (BY PEMB).
- ROOF MOUNTED HVAC UNIT, SEE MECHANICAL DRAWINGS.
- MINIMUM R-13 VINYL FACED BATT INSULATION (BY PEMB).
- METAL BUILDING GIRTS (BY PEMB).
- VERTICAL METAL LINER PANELS, 28 GA.
- 1/2" MINIMUM GYPSUM BOARD OVER LINER PANELS. METAL LINER PANELS TO DECK ABOVE; T.O. GYPSUM BOARD 10'-0" AFF. PAINTED, REFER TO INTERIOR SALES FLOOR ELEVATIONS.
- PRE-FINISH GUTTER & DOWNSPOUT.
- PROVIDE METAL CLOSURE. SEAL & CAULK TO RODENT PROOF BUILDING.
- LOCATION OF 1 1/2" CONDUIT WITH PULLSTRING (ABOVE OFFICE) FOR SATELLITE LINE. PROVIDE WEATHERTIGHT SEAL AT HORIZONTAL PENETRATION. CONTRACTOR RESPONSIBLE FOR INSTALLATION OF CONDUIT.
- 1/2" MINIMUM GYPSUM BOARD ON 3 5/8" MTL STUDS, HEIGHT AS NOTED.
- ADA COMPLIANT DRINKING FOUNTAIN, REFER TO PLUMBING.
- NOT USED.
- METAL BUILDING COLUMNS SHALL BE STRAIGHT.
- REINFORCED CONCRETE SLAB ON VINYL VAPOR BARRIER.
- ALUMINUM BI-PART DOOR AND STOREFRONT GLAZING SYSTEM, COLOR BRONZE.
- UNDISTURBED EARTH AND COMPACTED SUB GRADE.
- SOFFIT BEYOND (BY PEMB).
- PRE-FINISHED METAL WALL PANELS, REVERSE-RIB PROFILE (BY PEMB). PROVIDE TAMPER-RESISTANT FASTENERS 8'-0" AFF AND BELOW.
- GRANULAR FILL.
- REINFORCED CONCRETE FOOTING. (REFER TO NOTES ON S2)
- PRE-FINISHED METAL COPING. SEE ELEVATIONS FOR COLOR.
- STOREFRONT SIGN (BY DOLLAR GENERAL) V REFER TO ELEVATIONS & STRUCTURAL NOTES FOR REQUIRED BLOCKING.
- FINISH GRADE (NO SIDEWALKS) AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR.
- LIGHTING, REFER TO ELECTRICAL DRAWINGS.
- WHERE DOWNSPOUTS DISCHARGE ONTO GRADE (NO SIDEWALKS), MINIMUM 5'-0" LONG, 4" PERFORATED LANDSCAPE PIPE STRAPPED TO A 12"x24" CONCRETE SPLASH BLOCK SHALL BE INSTALLED TO PREVENT EROSION AROUND STRUCTURE.
- INTERIOR WALL - PAINTED - SEE ROOM SCHEDULE FOR MORE INFORMATION.
- SMOOTH ECONOMY SIZED BRICK, REFER TO ELEVATIONS FOR SPECIFIED COLOR.
- MC CUE TRIM KIT.
- 3 5/8" 18 GA. METAL STUDS FROM FLOOR TO TO PEMB GIRTS @ 10'-0" AFF. STUD TO BE INSTALLED FLUSH WITH EXTERIOR FACE OF COLUMNS.
- STEEL COLUMN (BY PEMB) WITH RECESSED BASEPLATE, WRAP WITH CARPET UP TO 48" AFF.
- 1"x4" LIGHT FIXTURES HUNG WITH AIRCRAFT CABLE, ADD UNISTRUT TO PURLINS AS REQUIRED FOR HANGING.
- 20"x30" MINIMUM ACCESS PANEL FOR SIGNAGE JUNCTION BOX. COORDINATE LOCATION WITH ELECTRICAL DRAWINGS AND SIGNAGE VENDOR.
- BLOCKING FOR BUILDING SIGNAGE. COORDINATE WITH SIGN VENDOR.
- CABLE TRAY - SEE A09

ROOM SCHEDULE																
NO	ROOM NAME	FLOOR		BASE		A WALL		B WALL		C WALL		D WALL		CEILING		REMARKS
		MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	
100	BREAK ROOM	SEALED CONCRETE	CONCRETE WITH SEALER	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD TO 10'-0" A.F.F.	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F.	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F. WHITE METAL LINER PANELS ABOVE	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F. WHITE METAL LINER PANELS ABOVE	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	EXPOSED TO STRUCTURE ABOVE	N/A	
101	OFFICE	SEALED CONCRETE	CONCRETE WITH SEALER	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD TO 10'-0" A.F.F.	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F.	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F. WHITE METAL LINER PANELS ABOVE	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	GYPSUM BOARD TO 10'-0" A.F.F. WHITE METAL LINER PANELS ABOVE	SHERWIN WILLIAMS - SW7005-PURE WHITE, PRO-MAR LATEX SEMI-GLOSS.	EXPOSED TO STRUCTURE ABOVE	N/A	
102	SALES AREA	POLISHED CONCRETE (STEPS 1-9)	POLISHED CONCRETE WITH SEALER	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD ON WHITE METAL LINER PANELS. REFER TO ELEVATIONS	SHERWIN WILLIAMS, PRO-MAR LATEX SATIN. SEE ELEVS ON THIS SHEET.	GYPSUM BOARD ON WHITE METAL LINER PANELS. REFER TO ELEVATIONS	SHERWIN WILLIAMS, PRO-MAR LATEX SATIN. SEE ELEVS ON THIS SHEET.	GYPSUM BOARD ON WHITE METAL LINER PANELS. REFER TO ELEVATIONS	SHERWIN WILLIAMS, PRO-MAR LATEX SATIN. SEE ELEVS ON THIS SHEET.	GYPSUM BOARD TO HEIGHT INDICATED ON WALL SECTIONS	SHERWIN WILLIAMS, PRO-MAR LATEX SATIN. SEE ELEVS ON THIS SHEET.	EXPOSED TO STRUCTURE ABOVE	N/A	
103	RECEIVING AREA	SEALED CONCRETE	CONCRETE WITH SEALER	N/A	N/A	METAL LINER PANEL TO 8'-0" A.F.F.	WHITE (SEE EXTERIOR FINISH SCHEDULE	GYPSUM BOARD TO ROOF DECK	TAPED, PAINTED AS REQ'D BY CODE. METAL LINER PANEL TO DECK AS ALTERNATE.	GYPSUM BOARD TO ROOF DECK	TAPED, PAINTED AS REQ'D BY CODE. METAL LINER PANEL TO DECK AS ALTERNATE.	METAL LINER PANEL TO 8'-0" A.F.F.	WHITE (SEE EXTERIOR FINISH SCHEDULE	EXPOSED TO STRUCTURE ABOVE	N/A	
104	MENS	SEALED CONCRETE	SHERWIN WILLIAMS ACRYLIC SILICONE SILK CHOCOLATE HC-117	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYP BD OR ACT CEILING @ 8'-0" A.F.F.	WHITE	
105	WOMENS	SEALED CONCRETE	SHERWIN WILLIAMS ACRYLIC SILICONE SILK CHOCOLATE HC-117	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYPSUM BOARD TO 8'-0" A.F.F.	8'-0" HIGH FIBERGLASS REINFORCED PANEL - "WHITE"	GYP BD OR ACT CEILING @ 8'-0" A.F.F.	WHITE	
106	VESTIBULE	POLISHED CONCRETE (STEPS 1-9)	POLISHED CONCRETE WITH SEALER	4" RUBBER / VINYL BASE	BLACK	CMU	SHERWIN WILLIAMS - SW6991-BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS.	CMU	SHERWIN WILLIAMS - SW6991-BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS.	CMU	SHERWIN WILLIAMS - SW6991-BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS.	CMU	SHERWIN WILLIAMS - SW6991-BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS.	EXTERIOR GRADE GYP BD @ 10'-0"	WHITE	
107	HALLWAY	POLISHED CONCRETE (STEPS 1-9)	POLISHED CONCRETE WITH SEALER	4" RUBBER / VINYL BASE	BLACK	GYPSUM BOARD TO ROOF DECK	SHERWIN WILLIAMS - SW6991 BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS TO 48" AFF. SHERWIN WILLIAMS - SW7005 PURE WHITE, PRO-MAR LATEX SEMI-GLOSS ABOVE 48" AFF.	GYPSUM BOARD TO 10'-0" AFF	SHERWIN WILLIAMS - SW7005 PURE WHITE, PRO-MAR LATEX SEMI-GLOSS ABOVE 48" AFF.	GYPSUM BOARD TO 10'-0" AFF	SHERWIN WILLIAMS - SW6991 BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS TO 48" AFF. SHERWIN WILLIAMS - SW7005 PURE WHITE, PRO-MAR LATEX SEMI-GLOSS ABOVE 48" AFF.	GYPSUM BOARD TO 10'-0" AFF	SHERWIN WILLIAMS - SW6991 BLACK MAGIC, PRO-MAR LATEX SEMI-GLOSS TO 48" AFF. SHERWIN WILLIAMS - SW7005 PURE WHITE, PRO-MAR LATEX SEMI-GLOSS ABOVE 48" AFF.	EXPOSED TO STRUCTURE ABOVE	N/A	



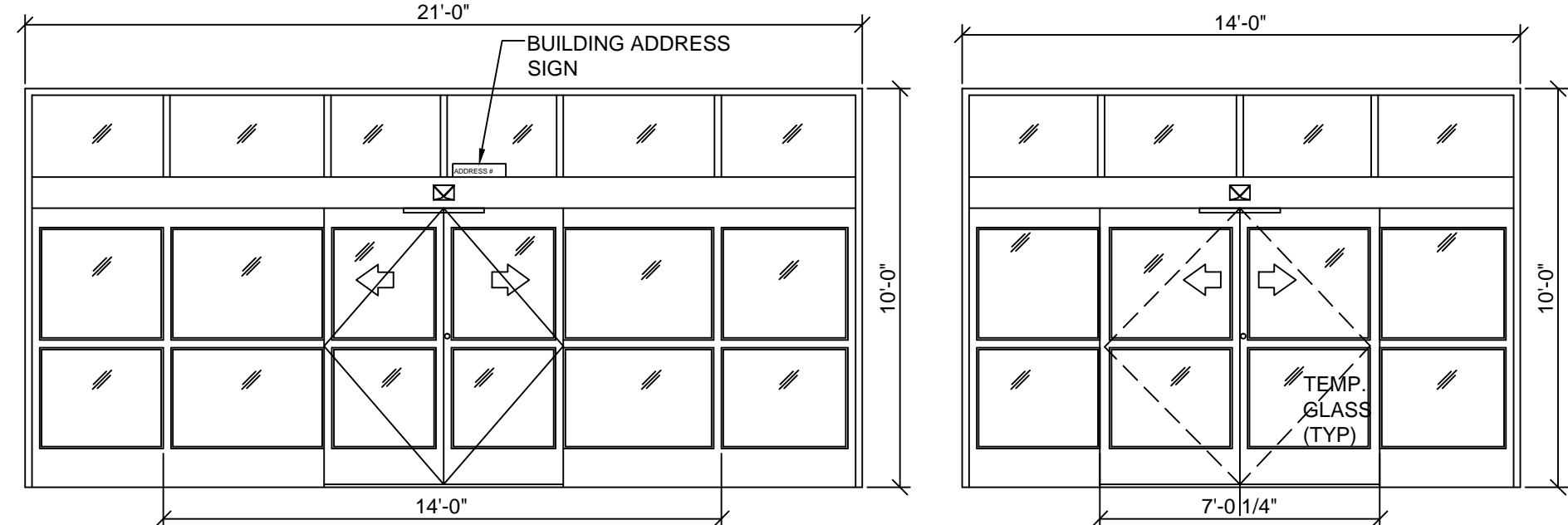
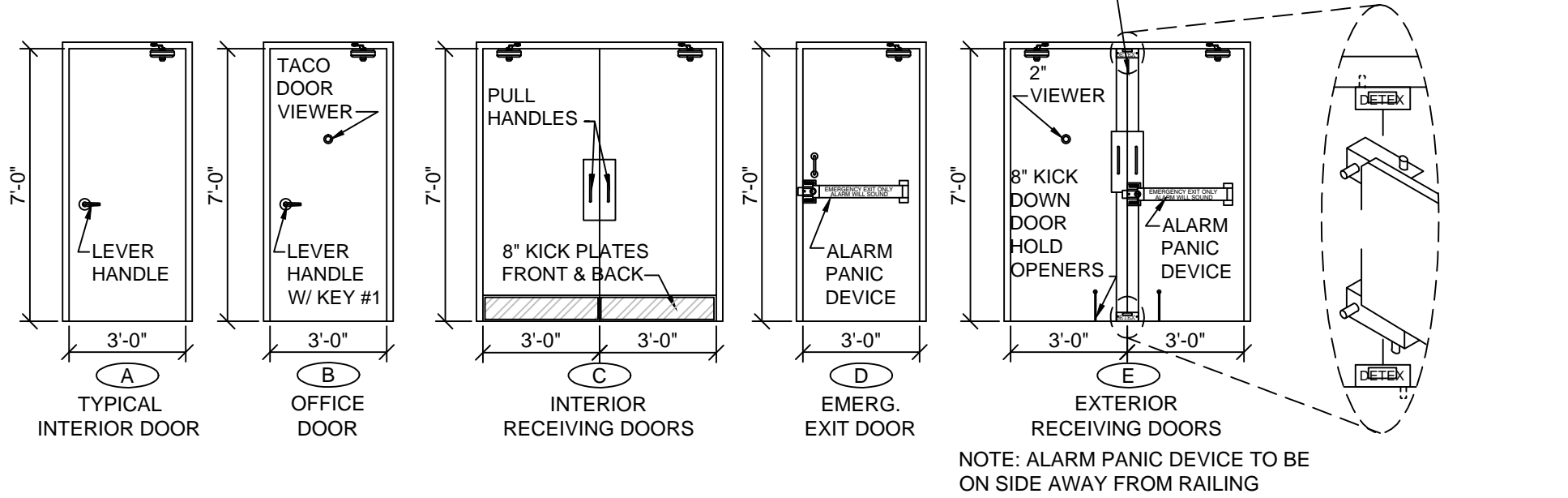
DOOR SCHEDULE									
NO.	Type	SIZE			DETAILS		DOOR HARDWARE	REMARKS	
		W	H	T	HEAD	JAMB			
100	A	3' - 0"	7' - 0"	1 3/4"	5/A5	4/A5	(1) STANLEY PASSAGE LOCKSET QCL230-E-626-S4 - NO KEY REQUIRED, (1) STANLEY DOOR CLOSER QDC311-689, (1) IVES WALL STOP #402-1/2B-26D	SOLID CORE WOOD DOOR OR HOLLOW CORE METAL DOOR PAINTED SW6991, BLACK MAGIC (SEMI-GLOSS).	
101	B	3' - 0"	7' - 0"	1 3/4"	5/A5	4/A5	(1) STANLEY STOREROOM LOCKSET QCL270-E-626-S4-SC-KD - KEY #1, (1) STANLEY DOOR CLOSER QDC311-689, (1) IVES WALL STOP #402-1/2B-26D, (1) TACO DOOR VIEWER #TA3310PC.	SOLID WOOD DOOR OR HOLLOW CORE METAL DOOR PAINTED SW6991, BLACK MAGIC (SEMI-GLOSS).	
102	D	3' - 0"	7' - 0"	1 3/4"	3/A5	2/A5	(1) VON DUPRIN GUARD-X EXIT ALARM LOCK #2670-28, (1) STANLEY DOOR CLOSER QDC311-689, (1) DOOR PULL 8N US28, (1) DOOR SWEEP, WEATHERSTRIPPING, (1) 7015SC8-26D-RIM CYLINDER	HOLLOW CORE METAL DOOR, PAINT EXTERIOR SW7041, VAN DYKE BROWN (SEMI-GLOSS); PAINT INTERIOR SW6991, BLACK MAGIC (SEMI-GLOSS).	
103A	C	6' - 0"	7' - 0"	1 3/4"	5/A5	4/A5	(2) BURNS PULL PLATES #5410-32D-26D-GRIP, (2) BURNS PUSH PLATES #54-US32D, (4) IVES KICK PLATES #8400-S32D-8X34 (2) STANLEY DOOR CLOSERS QDC311-689, (2) IVES 4" DOOR HOLDER #452B26D - IF NOT FIRE RATED WALL.	FIRE RATED DOORS, SOLID CORE WOOD DOOR OR HOLLOW METAL DOOR PAINTED SW6991, BLACK MAGIC (SEMI-GLOSS).	
103B	E	6' - 0"	7' - 0"	1 3/4"	3/A5	2/A5	(1) VON DUPRIN GUARD-X EXIT ALARM LOCK #2670-28, (1) VON DUPRIN GUARD-X DOUBLE DOOR STRIKE #2609, (1) DETEX DOUBLE DOOR HOLDER #DDH-2250 TOP & BOTTOM, (2) STANLEY DOOR CLOSERS QDC311-689 (2) BURNS PULL PLATES #5410-32D-26D-GRIP (2) BURNS PUSH PLATES #54-US32D, (1) 2" DOOR SCOPE #DS/1000MB, (2) 8" DOOR HOLDERS #608Z, (1) NATIONAL GUARD HD THRESHOLD #425 HD-6 FT., (2) DOOR SWEEPS, WEATHERSTRIPPING, (1)7015SC8-26D RIM CYLINDER	HOLLOW CORE METAL DOOR, PAINT EXTERIOR SW7041, VAN DYKE BROWN (SEMI-GLOSS); PAINT INTERIOR SW6991, BLACK MAGIC (SEMI-GLOSS).	
104	A	3' - 0"	7' - 0"	1 3/4"	5/A5	4/A5	(1) STANLEY STOREROOM LOCKSET QCL270-E-626-S4-SC-KD - KEY #2, (1) STANLEY DOOR CLOSER QDC311-689, (1) IVES WALL STOP #402-1/2B-26D.	SOLID WOOD DOOR OR HOLLOW CORE METAL DOOR PAINTED SW6991, BLACK MAGIC (SEMI-GLOSS).	
105	A	3' - 0"	7' - 0"	1 3/4"	5/A5	4/A5	(1) STANLEY STOREROOM LOCKSET QCL270-E-626-S4-SC-KD - KEY #2, (1) STANLEY DOOR CLOSER QDC311-689, (1) IVES WALL STOP #402-1/2B-26D.	SOLID WOOD DOOR OR HOLLOW CORE METAL DOOR PAINTED SW6991, BLACK MAGIC (SEMI-GLOSS).	
106A	F	6' - 0"	7' - 0"		---	---	BY DOOR MANUFACTURER TO BE RE-KEYED BY DOLLAR GENERAL AREA MANAGER WITH (1) ILCO RIM CYLINDER #7015SC8-26D.	21'-0" BI-PART WITH TRANSOM AND GLASS, BRONZE FINISH. REFER TO COVER SHEET FOR VENDOR INFORMATION.	
106B	G	6' - 0"	7' - 0"		---	---	BY DOOR MANUFACTURER TO BE RE-KEYED BY DOLLAR GENERAL AREA MANAGER WITH (1) ILCO RIM CYLINDER #7015SC8-26D.	14'-0" BI-PART WITH TRANSOM AND GLASS, BRONZE FINISH. REFER TO COVER SHEET FOR VENDOR INFORMATION.	

NOTE: PULL HANDLES AND
DOOR CLOSERS ARE TO BE
LOCATED ON THE
NON-SALES SIDE OF DOORS.

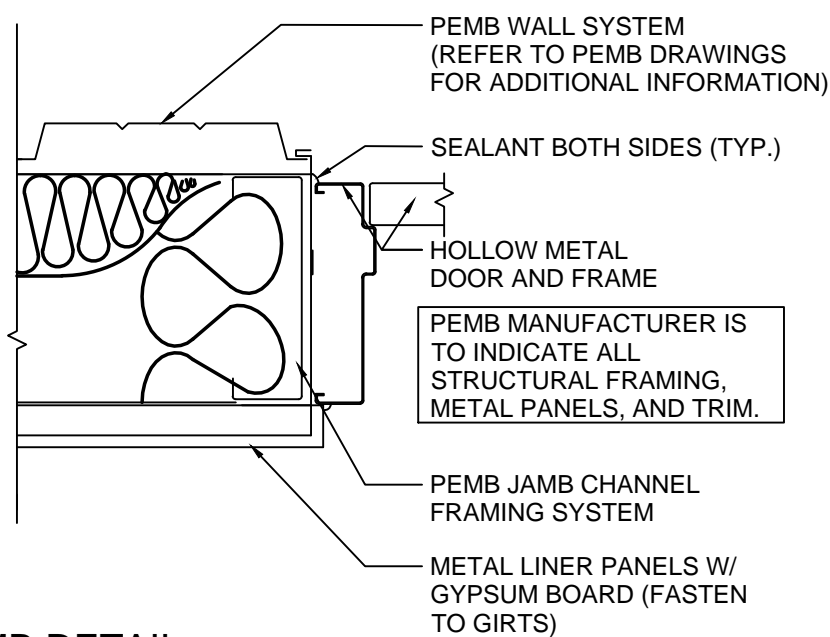
NOTE: PULL HANDLES AND
DOOR CLOSERS ARE TO BE
LOCATED ON THE
RECEIVING SIDE OF DOORS.

FULL HEIGHT
ASTRAGAL (EXT.)

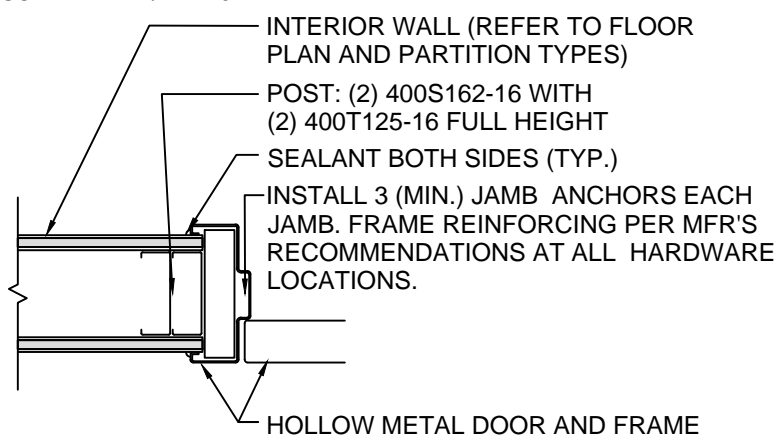
DETEX DOUBLE DOOR
HOLDER MODEL# DDH-2250
INSTALLED TOP AND
BOTTOM



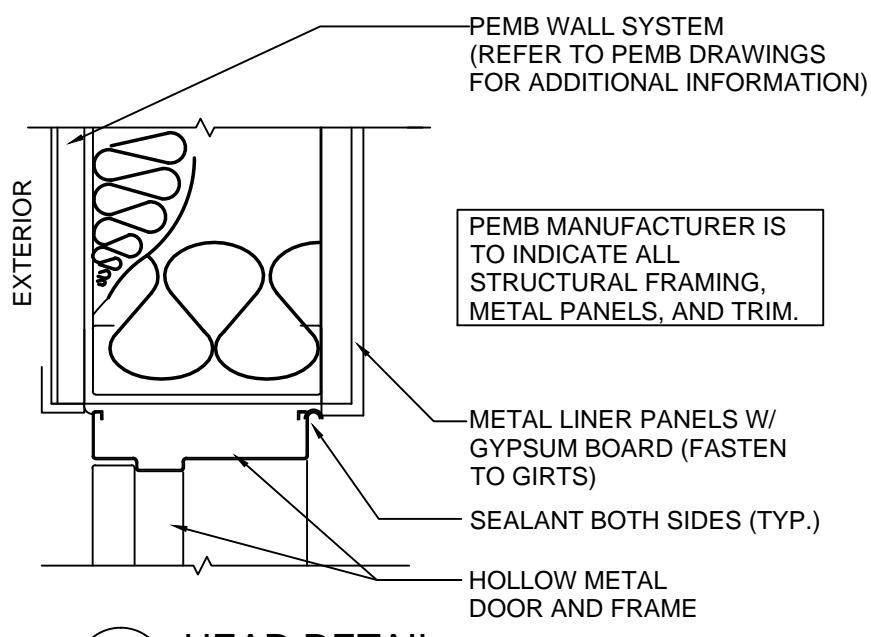
1 DOOR ELEVATIONS
SCALE: 1/4"=1'-0"



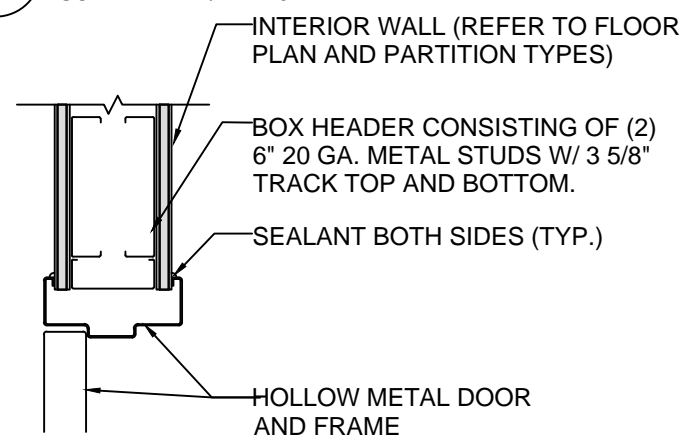
2 JAMB DETAIL
SCALE: 1 1/2"=1'-0"



4 JAMB DETAIL
SCALE: 1 1/2"=1'-0"



3 HEAD DETAIL
SCALE: 1 1/2"=1'-0"

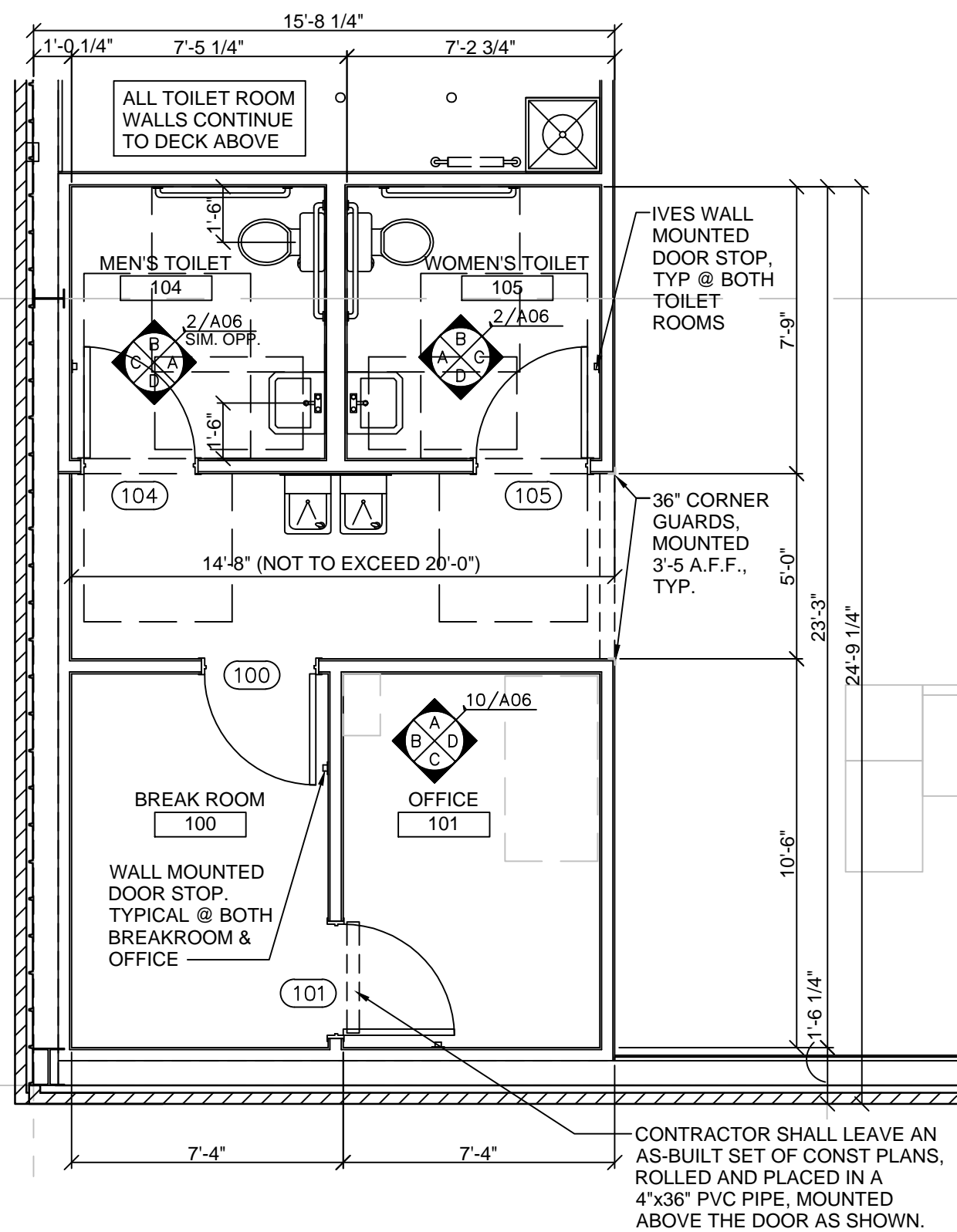


5 HEAD DETAIL
SCALE: 1 1/2"=1'-0"

DOOR 103A-FIRE-RATED DOOR HARDWARE:
(2) SVR EXIT QED316-36"-7FT-689
(1) EXIT TRIM QRT330-E-SC-KD-689
(2) BURNS PULL PLATES #5410-32D-26D-GRIP,
(2) BURNS PUSH PLATES #54-US32D, (4) IVES KICK PLATES #8400-S32D-8X34
(2) STANLEY DOOR CLOSERS QDC311-689.

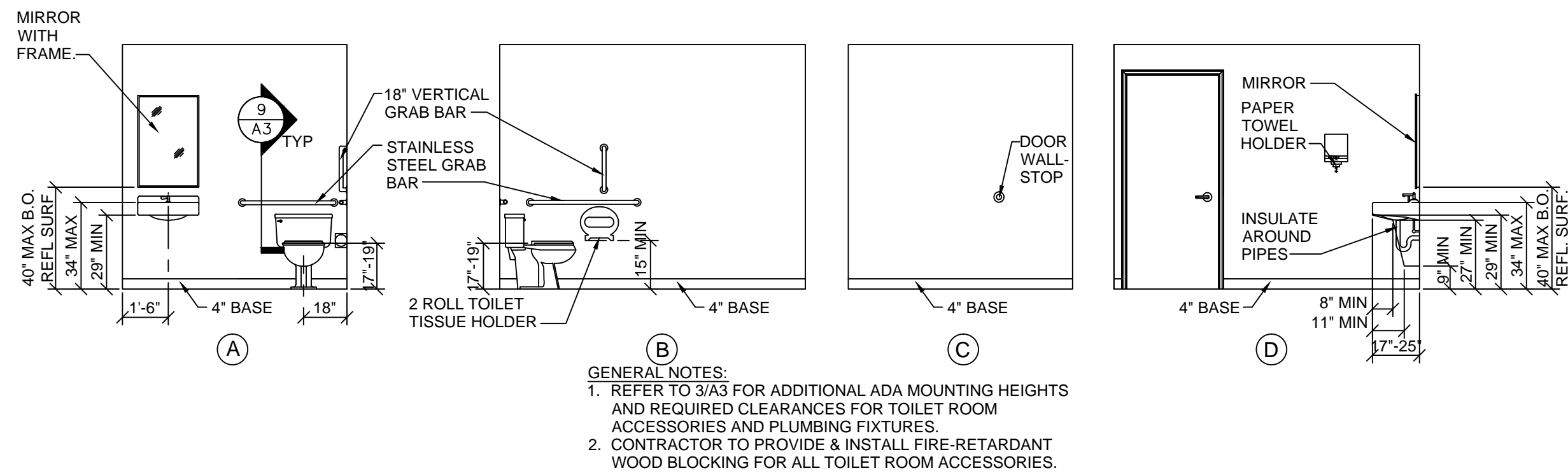


CISSELL MUELLER
CONSTRUCTION, INC.
5530 SALT RIVER RD.,
ST. PETERS, MO 63376

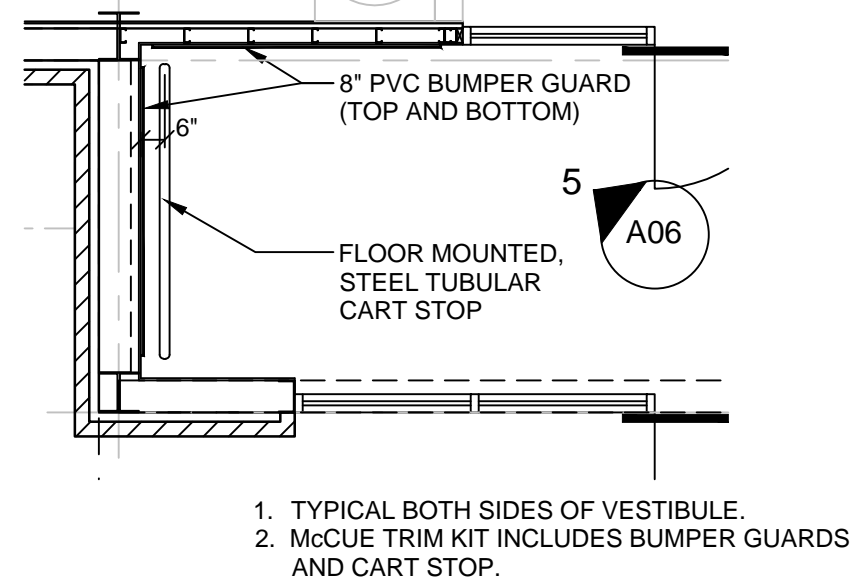


1-LD
A06 SCALE: NTS (1/4" = 1'-0")

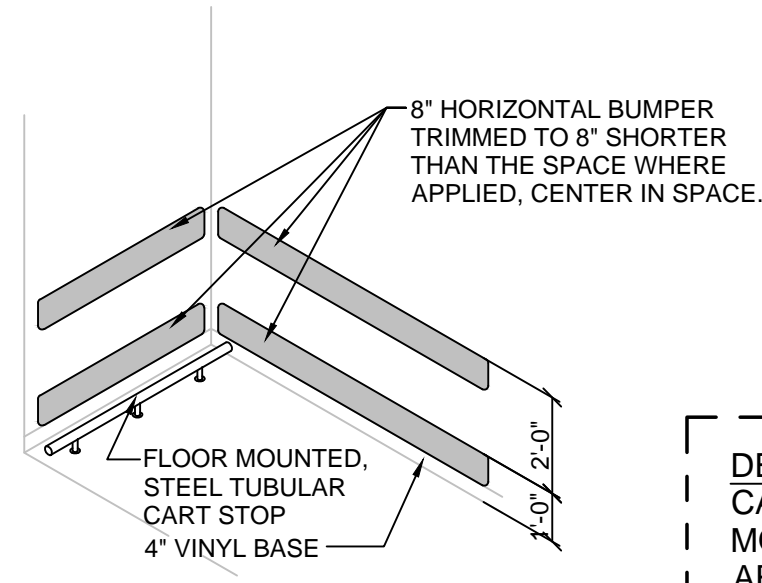
PLAN NORTH



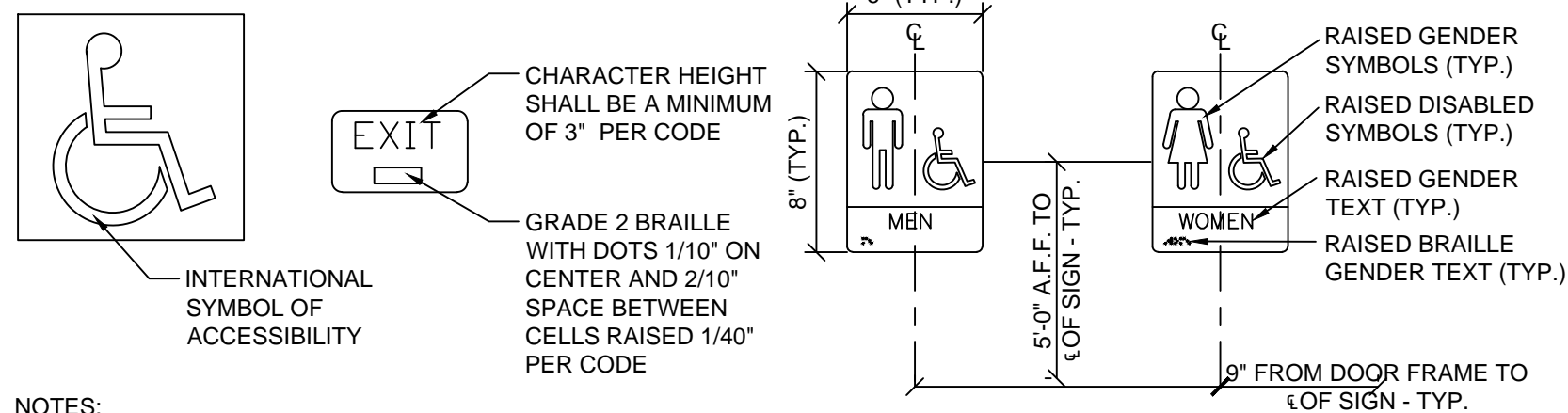
2
A06 SCALE: NTS (1/4" = 1'-0")



4
A06 SCALE: NTS (1/4" = 1'-0")



5
A06 SCALE: NTS

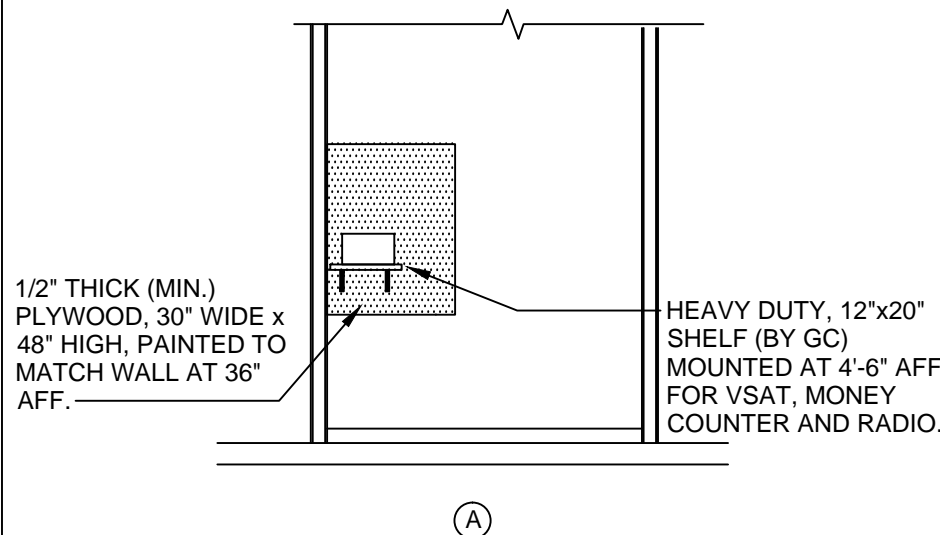


6
A06 SCALE: NTS (1 1/2" = 1'-0")

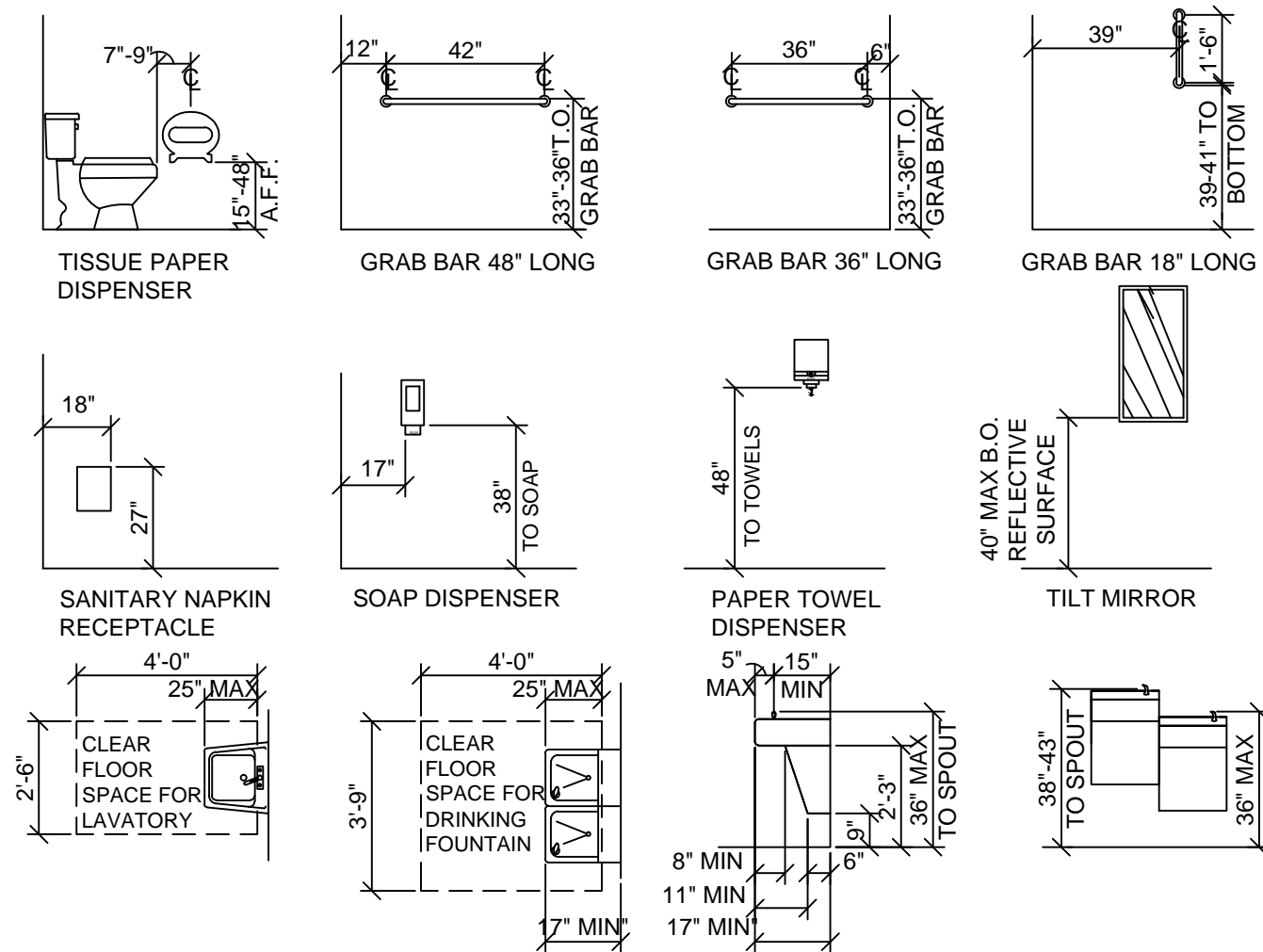
TOILET ROOM ACCESSORIES	
B2740	BOBRICK DOUBLE TOILET TISSUE DISPENSER
B253	BOBRICK PAPER TOWEL DISPENSER
A-24x36	GAMCO 24" x 36" ANGLE FRAME MIRROR
150Sx36	GAMCO 1 1/2" X 36" GRAB BAR
150Sx42	GAMCO 1 1/2" X 42" GRAB BAR
150Sx18	GAMCO 1 1/2" X 18" GRAB BAR
MS-1	GAMCO MOP HOLDER

TOILET ROOM NOTES:

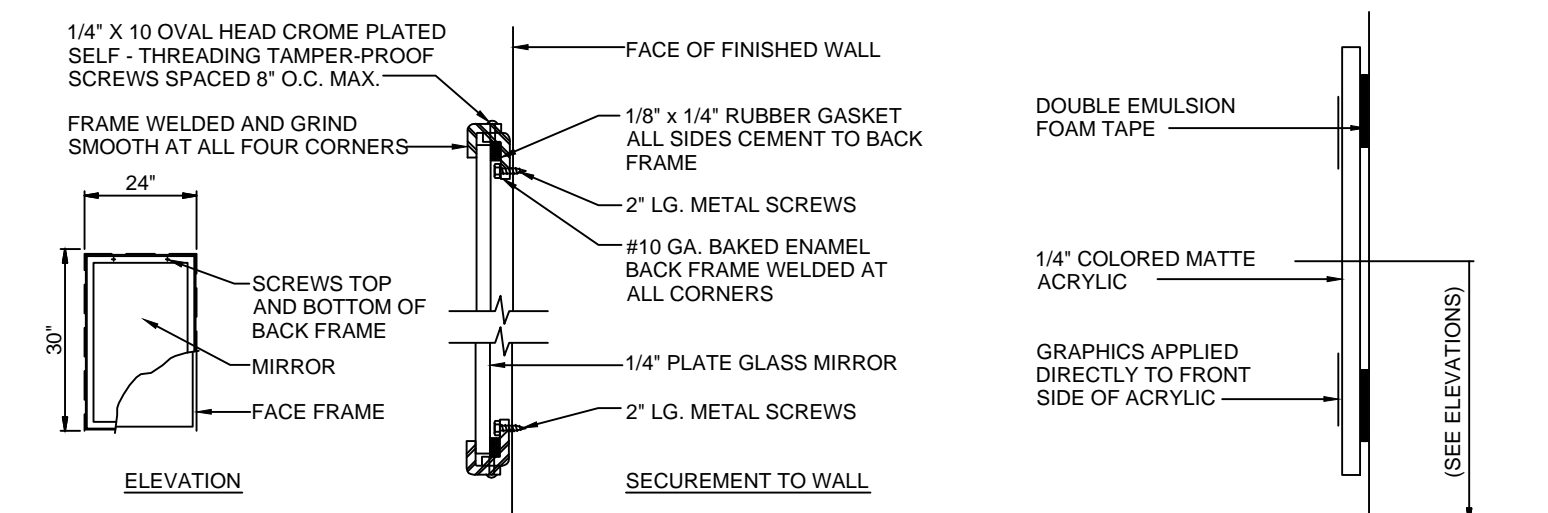
- ALL TOILET ROOM ACCESSORIES PROVIDED BY BASS SECURITY. REFER TO T01 FOR VENDOR CONTACT.
- ALL STORES MUST INCLUDE 2 REST ROOMS, EVEN WHEN NOT REQUIRED BY CODE. ANY VARIATION MUST BE APPROVED, IN WRITING, BY THE DOLLAR GENERAL CONSTRUCTION DEPARTMENT.
- RESTROOMS MUST COMPLY WITH ALL BUILDING (FEDERAL, STATE, AND LOCAL) FIRE, AND HEALTH DEPARTMENT CODES. ADA REQUIREMENTS MUST ALSO BE MET IN BOTH RESTROOMS. SOME CODES MAY REQUIRE ADDITIONAL TOILETS OR LAVATORIES. PLEASE CONTACT DOLLAR GENERAL CONSTRUCTION DEPARTMENT FOR ALTERNATE PLANS FOR THESE SITUATIONS.
- PROVIDE AND INSTALL 2'x3' MIRROR (OR LARGER IF REQUIRED BY CODE).
- CONTRACTOR TO INSTALL SOAP DISPENSERS, TOILET PAPER HOLDERS, DOOR CLOSER, EXHAUST FANS, AND ALL BASS SECURITY PARTS IN BOTH RESTROOMS. PROVIDE SOLID BLOCKING IN WALL FOR SUPPORT.



10
A06 SCALE: NTS

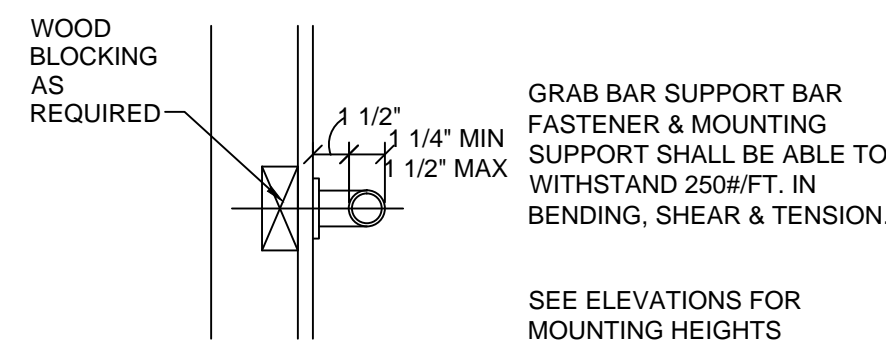


3
A06 SCALE: NTS (1/4" = 1'-0")

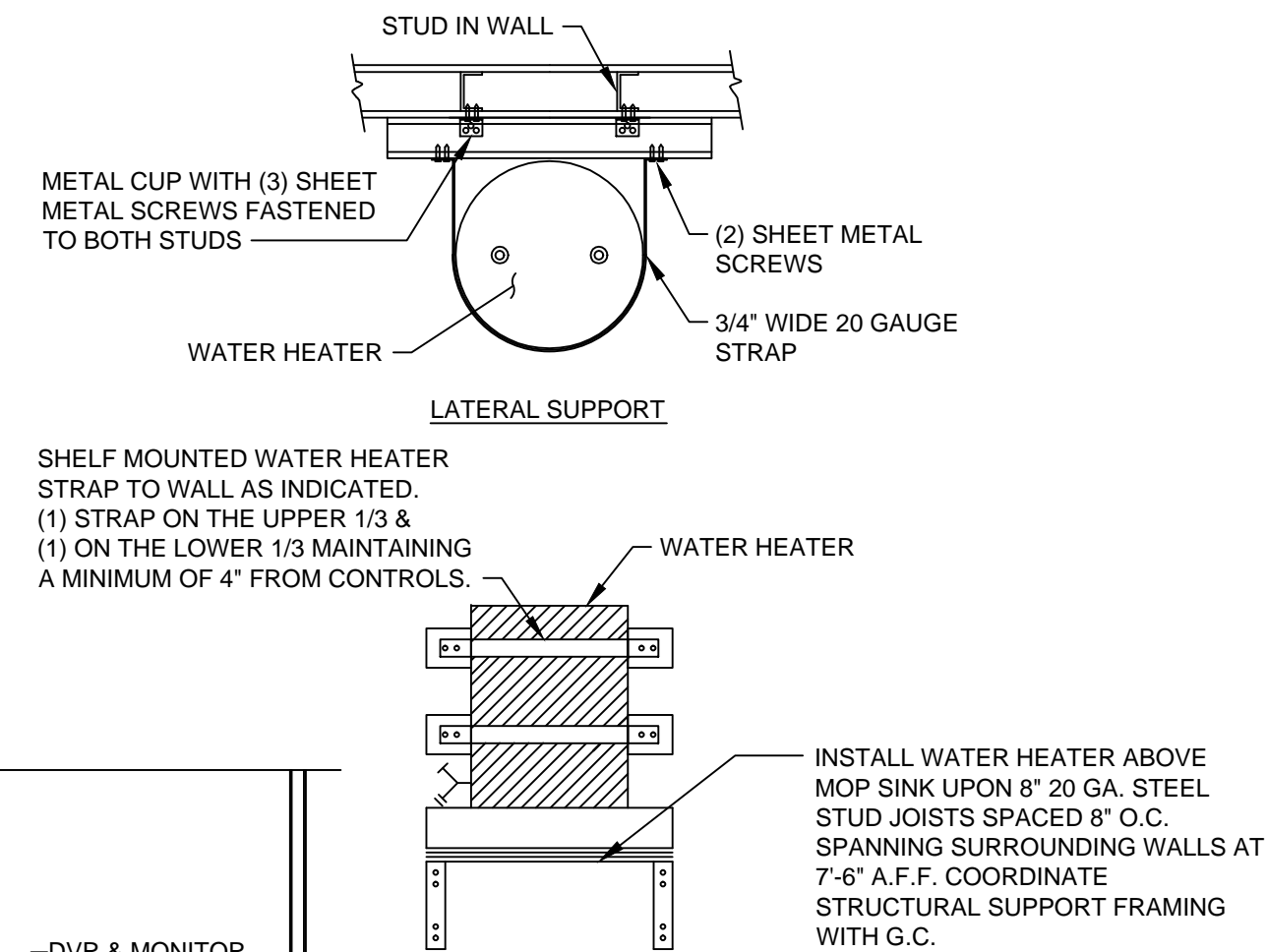


8
A06 SCALE: NTS

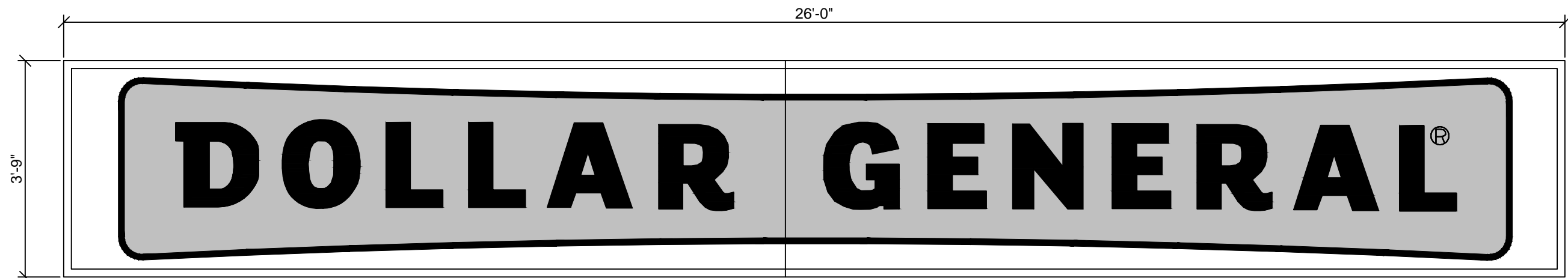
9
A06 SCALE: NTS



7
A06 SCALE: NTS (1 1/2" = 1'-0")



11
A06 SCALE: NTS



PROTOTYPICAL MAIN BUILDING SIGN



THIS SIGN IS TO BE PROVIDED AND INSTALLED BY THE DEVELOPER OR CONTRACTOR AT THE BEGINNING OF CONSTRUCTION PROJECT.

- SIGN SPECIFICATIONS
1. BUILDING SIGNS: PROVIDE CONDUIT AND WIRE FROM ELECTRICAL PANEL TO THE SIGN CANOPY. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND. BUILDING CANOPY MUST BE SUFFICIENTLY BUILT TO SUPPORT THE DOLLAR GENERAL SIGN OF UP TO 1400 LBS. NOTE: IF THE LEASE SPECIFIES A 5'-0" X 40'-0" BUILDING SIGN OR 24" LETTER SET (OR LARGER), 2 qty. - 10/2 WIRE WITH GROUND.

2. PYLON SIGNS: PROVIDE CONDUIT FROM ELECTRICAL PANEL TO LOCATION OF THE PYLON SIGN BASE. BURY CONDUIT UNDER PARKING AREA. THE CONDUIT IS TO BE 1" AND HAVE ONE SET OF 10/2 WIRE WITH GROUND.

3. FINAL ELECTRICAL CONNECTIONS FOR SIGN SHALL BE THE SIGN VENDORS RESPONSIBILITY SINCE THE 'J' BOX AND WIRES ARE IN PLACE.

4. SEE CHART ABOVE FOR SIGN SPECIFICATIONS.

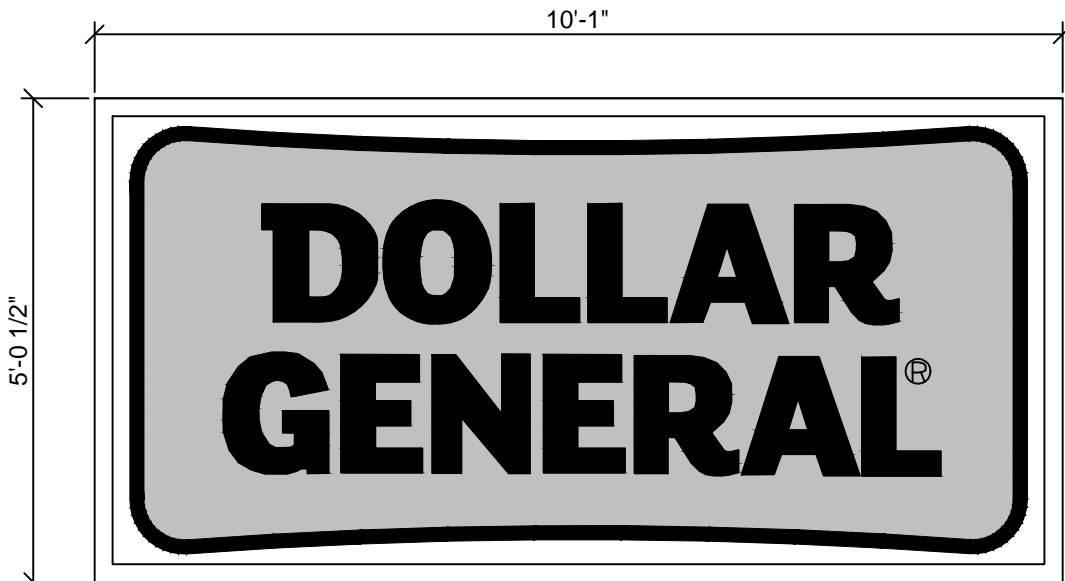
5. SEE SHEET A8 FOR SIGN BRACING DETAILS.

6. PYLON SIGN CABINETS TO CLEAR 15' FROM GRADE AND EDGE SHALL BE LOCATED NO CLOSER THAN 10' TO ANY OVERHEAD UTILITY LINES.

Building Signs			
Sign Size	Sign Weight	# Of Circuits	Amps/Voltage
3' x 23' box	380 lbs.	(1) 15 A	2.5 115
3'-9" x 26' box	441 lbs.	(1) 15 A	5 115
4'-6" x 33'-3" box	750 lbs.	(1) 15 A	8.4 115
5' x 40' box	1220 lbs.	(1) 15 A	10 115

Building Letters			
Sign Size	Sign Weight	# Of Circuits	Amps/Voltage
18"	215 lbs.	(2) 15 A	19.6 115
24"	288 lbs.	(1) 15 A & (1) 20 A	23.45 115
30"	387 lbs.	(2) 20 A	28 115
36"	649 lbs.	(2) 15 A & (1) 20 A	32.9 115

Pylon Signs			
Sign Size	Sign Weight	# Of Circuits	Amps/Voltage
4' x 8'	188 lbs.	(1) 15 A	1.7 115
5' x 10'	375 lbs.	(1) 15 A	3.4 115
6' x 16'	738 lbs.	(1) 15 A	5 115



THIS SIGN IS FOR SPECIALTY USE ONLY.



LEGEND

LIGHT FIXTURE TYPE

WALL PACK

EXHAUST FAN

NIGHT LIGHT CIRCUIT

TRANSFER GRILLE

EMERGENCY LIGHT

EXT. LED LIGHT AND EXT. ARM

EMERGENCY LIGHT & EXIT COMBO

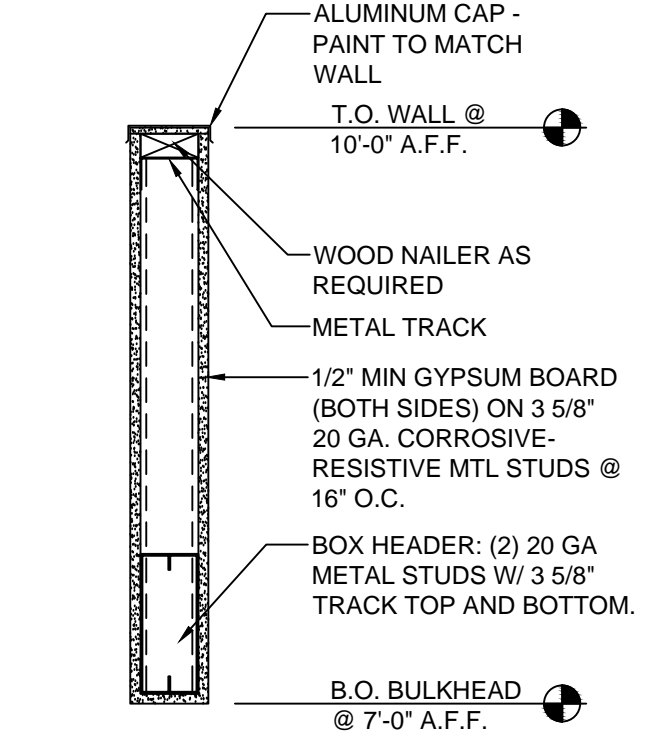
REFLECTED CEILING PLAN NOTES

1. ALL LIGHTS TO BE MOUNTED SUCH THAT THE TOP OF THE FIXTURES ARE AT 11'-0" A.F.F. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.

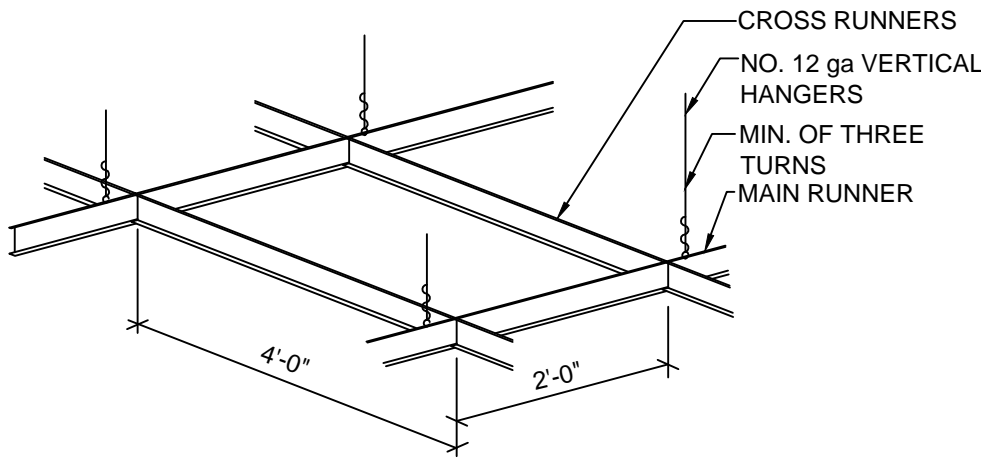
2. CABLE TRAY TO BE MOUNTED SUCH THAT BOTTOM OF TRAY IS AT 11'-6" A.F.F.

3. CABLE TRAY SYSTEM TO BE INSTALLED USING FULL LENGTHS WITH MINIMAL CUTTING OF SECTIONS. AREAS WHERE CUTTINGS MAY BE REQUIRED ARE AS NOTED ON THE PLAN.

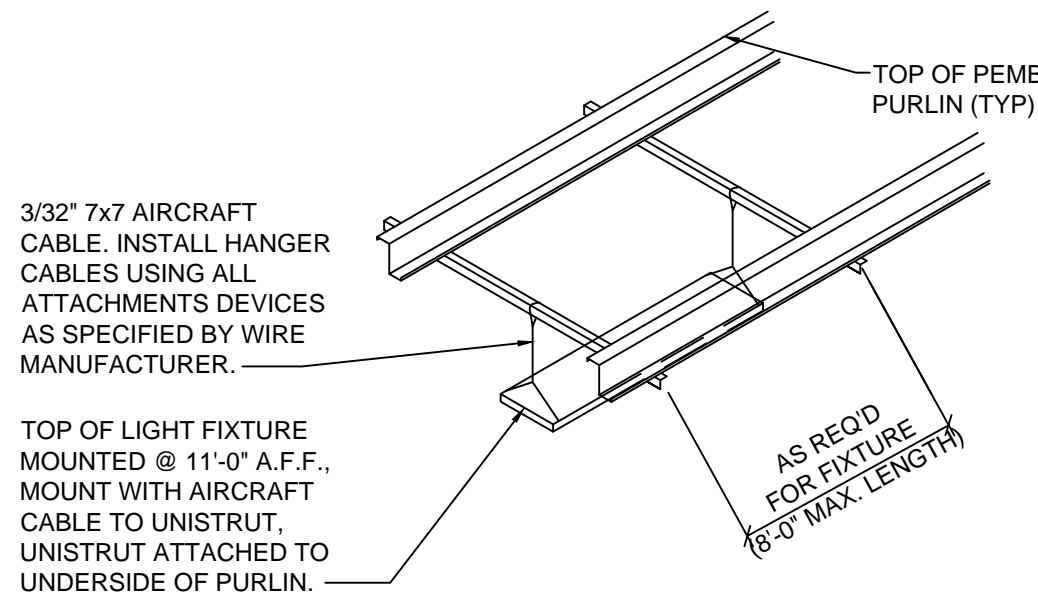
** REFER TO THE ELECTRICAL DRAWINGS FOR LIGHT DESIGNATIONS AND OTHER ADDITIONAL INFORMATION



2 BULKHEAD DETAIL
SCALE: 1"=1'-0"

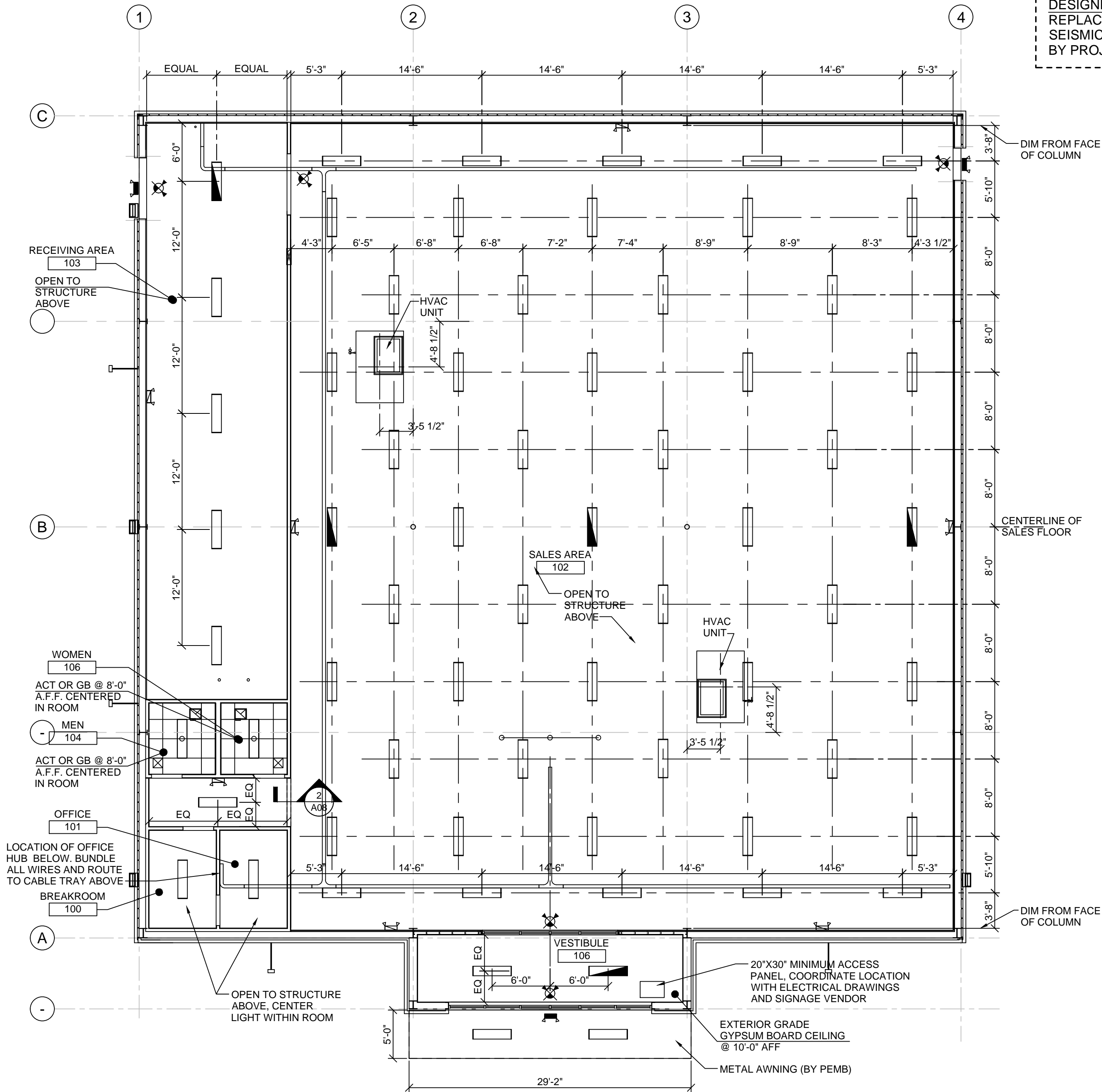


3 CEILING DETAIL
SCALE: 1"=1'-0"

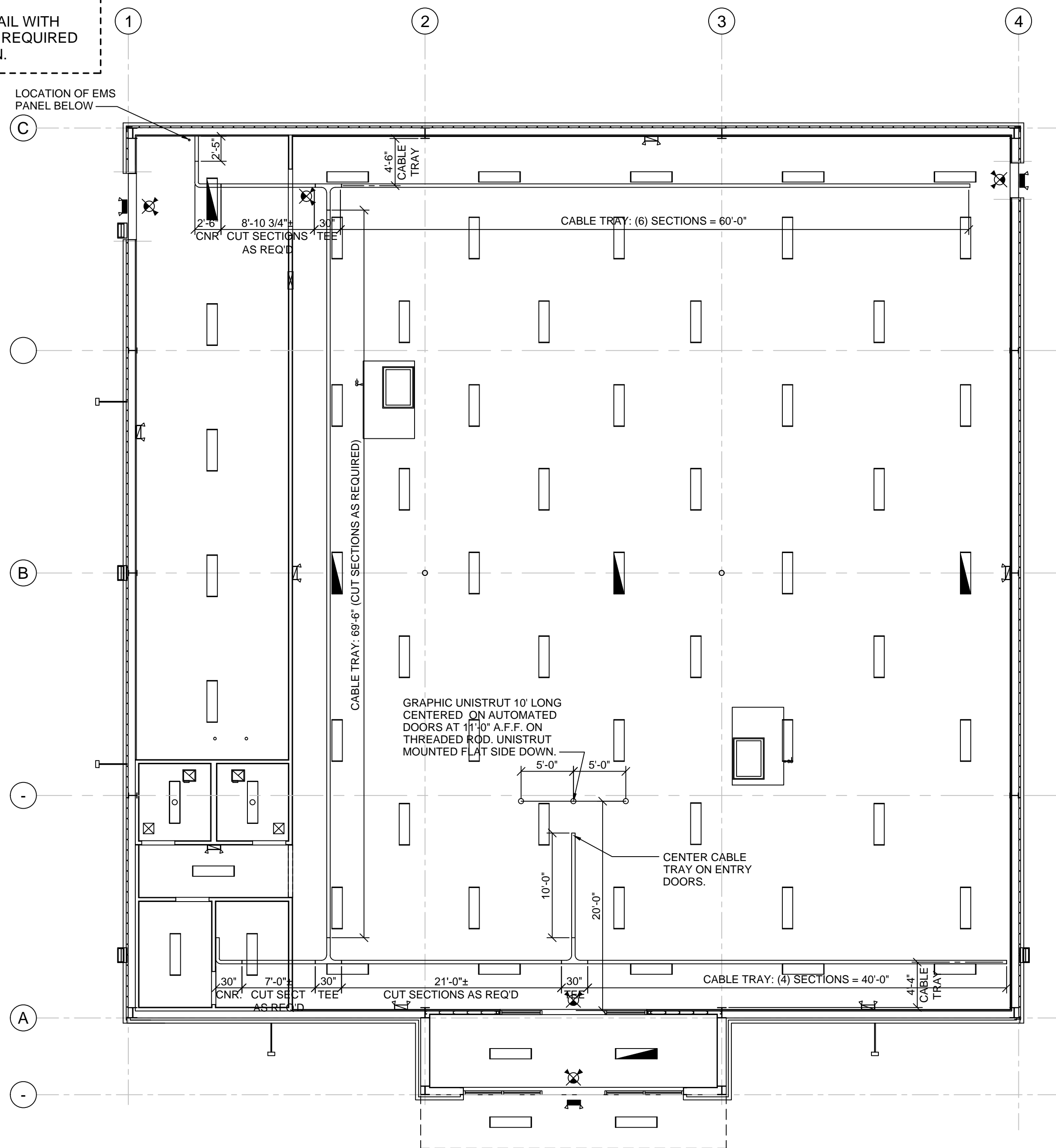


4 LIGHTING ATTACHMENT DETAIL
SCALE: 1 1/2"=1'-0"

DESIGNER NOTE:
REPLACE CEILING DETAIL WITH
SEISMIC DETAIL WHEN REQUIRED
BY PROJECT LOCATION.



1A REFLECTED CEILING PLAN (LEFT SIDE DELIVERY)
SCALE: 1/8"=1'-0"



1B CABLE TRAY AND UNISTRUT PLAN (LEFT SIDE DELIVERY)
SCALE: 1/8"=1'-0"



1 INTRODUCED BY COUNCILMAN LEE
2 OCTOBER 9, 2017
3
4

5 BILL NO. 9314

ORDINANCE NO.

6
7 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO**
8 **MULLANPHY GARDENS ACQUISITIONS, LLC D/B/A SPOT HOUSE**
9 **RESTAURANT & BAR TO ALLOW FOR THE OPERATION OF A**
10 **RESTAURANT AND BAR FOR THE PROPERTY LOCATED AT 2&3**
11 **MULLANPHY GARDENS SHOPPING CENTER.**
12

13 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
14 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
15 operation of a restaurant and bar; and

16 WHEREAS, an application has been filed by Mullanphy Gardens Acquisitions, LLC
17 d/b/a Spot House Restaurant & Bar to allow for the location and operation of a
18 restaurant and bar on the property known as 2 & 3 Mullanphy Gardens Shopping Center; and

19 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their
20 meeting of September 18, 2017, has recommended that the said Special Use Permit be granted;
21 and

22 WHEREAS, due notice of a public hearing no. 17-10-025 said application to be held on
23 the 9th day of October, 2017 at 7:30 P.M. by the Council of the City of Florissant was duly
24 published, held and concluded; and

25 WHEREAS, the Council, following said public hearing, and after due and careful
26 consideration, has concluded that the granting of the Special Use Permit as hereinafter provided
27 would be in the best interest of the City of Florissant.

28 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
29 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
30

31 Section 1: A Special Use Permit is hereby granted to Mullanphy Gardens Acquisitions,
32 LLC d/b/a Spot House Restaurant & Bar for the location and operation of a restaurant and bar on
33 the property known as 2 & 3 Mullanphy Gardens Shopping Center according to the plans attached
34 hereto and subject to the following conditions as set forth below:

35 **2. PROJECT COMPLETION.**
36

Construction shall start within 60 days of the issuance of building permits for the project and shall be developed in accordance of the approved amendments to the final development plans within **180 days** of start of construction.

Section 2: The said Special Use Permit herein authorized shall remain in full force and effect and subject to all of the ordinances of the City of Florissant.

Section 3: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 4: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2017.

Jackie Pagano
President of the Council
City of Florissant

Approved this _____ day of _____, 2017.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN EAGAN
2 OCTOBER 9, 2017

3
4 BILL NO. 9315

ORDINANCE NO.

5
6 **AN ORDINANCE AUTHORIZING THE RE-PAINTING OF MASONRY**
7 **FOR KABUL V CENTER COMMERCIAL PROPERTIES, LLC LOCATED**
8 **AT 428 HOWDERSHELL.**
9

10 Whereas, section 500.040 states that “Re-painting for reasons other than for maintenance
11 of current painted surfaces upon the approval of the Director of Public Works and requests to
12 change the color or texture of the existing brick or masonry surface, may not be done without the
13 review and recommendation from Planning and Zoning Commission and approval of City
14 Council.”; and

15 Whereas, Kabul V Center Commercial Properties LLC represented ty Mo Mangal is
16 proposing to re-paint the brick on the building located at 428 Howdershell the brick for reasons
17 other than for maintenance; and

18 Whereas, The City Council believes finds that it is appropriate under these circumstances
19 to allow for the repainting of 428 Howdershell.

20
21 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
22 COUNTY, MISSOURI, AS FOLLOWS:

23
24 Section 1: Kabul V Center Commercial Properties LLC represented ty Mo Mangal is
25 hereby authorized to re-paint the brick in accordance with the elevations submitted dated
26 9/7/2017 attached hereto.

27 Section 2: This ordinance shall become in force and effect immediately upon its passage
28 and approval.

29 Adopted this _____ day of _____, 2017.

30
31 _____
32 Jackie Pagano
33 President of the Council
34 City of Florissant

35 Approved this _____ day of _____, 2017.

36 _____
37 Thomas P. Schneider
38 Mayor, City of Florissant
39 ATTEST:
40

41 _____
42 Karen Goodwin, MMC/MRCC
43 City Clerk

- 40 1. Rendering show a picture of the overall facility, removal of all false columns as
41 the roof is currently supported by cantilevered bar joists.
42 2. All structure proposed is mansard replacement and 3 main towers.
43 3. Construction proposed is synthetic siding **columns and** on tower structures, EIFS
44 in gray and tan color for the signage area, backlit polymer sign areas to create a
45 uniform glow, lit on the perimeter of the transparent sign wall with LED lighting.
46 **EIFS has been removed under the roof level in tower areas.**
47 4. Design Development drawings included are A010, A101, A102, A103, A201,
48 A401, A402, A801, A802, A803 dated 6/12/17.
49

50 **VI. STAFF RECOMENDATIONS:**
51

- 52 1. The City Building Code 500.010 allows for Planning & Zoning to review plans
53 and compare to minimum standards. Minimum Standards in the City Code refers
54 to the City property maintenance codes.
55 2. This review therefore, is to approve improvement projects proposed without
56 going on to Council.
57

58 **Suggested Motion**

59 I move to recommend approval of improvements of 428 Howdershell in a 'B-3'
60 Extensive Business District subject to the conditions set forth below with these
61 conditions being part of the record:
62

- 63 1. Plans for permits will be consistent with Column/Tower Structures
64 shown on plans presented dated 9/7/17, attached.
65

66
67 2. **PROJECT COMPLETION.**

68 Construction shall start within 90 days of the issuance of building permits for
69 the project and shall be developed in accordance of the approved final
70 construction plans within 6 months of start of construction.
71

72
73 (End of report and suggested motion)

2. Bottom 3' shall be masonry.
a. of columns.

~~LED cannot move, flash or be more intense.~~

3. Building LED lighting (backlighting)

a. shall not cause glare

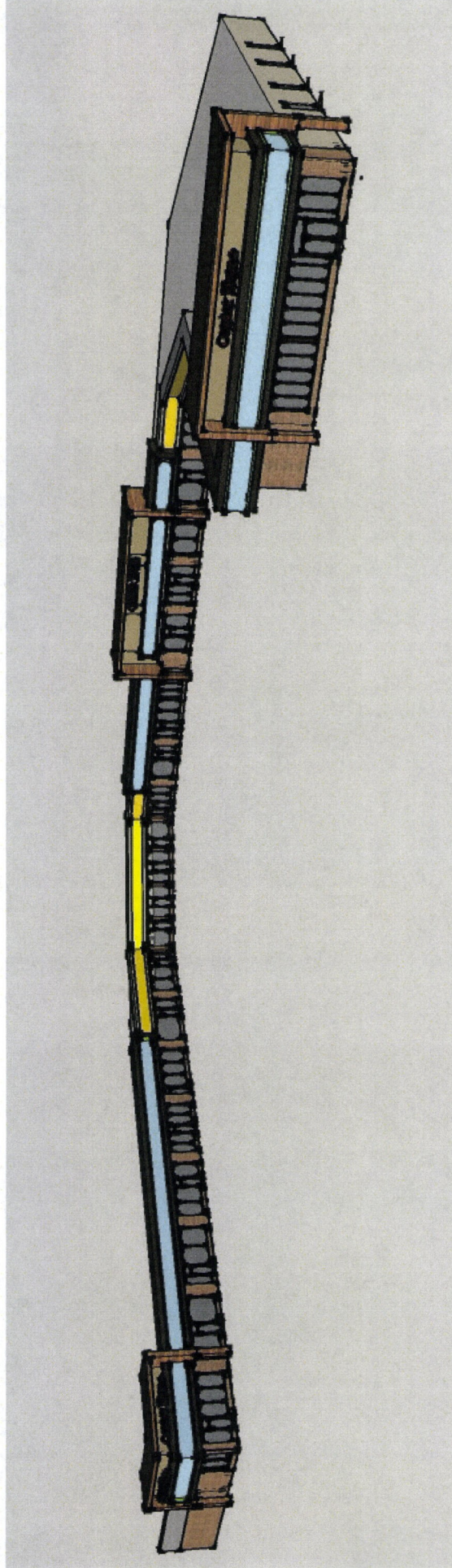
b. " have 5 min time min.

c. " not have motion or animation

4. Stain of brick must be app'd by Council

Modifications to note:

1. Backlit LED parapet band shown in rendering as blue and/or yellow
2. Tower elements clad in composite wood cladding system
3. Intermediate bump up charcoal gray—EIFS
5. Inset tan color in tower EIFS
6. lowest sign band light grey EIFS

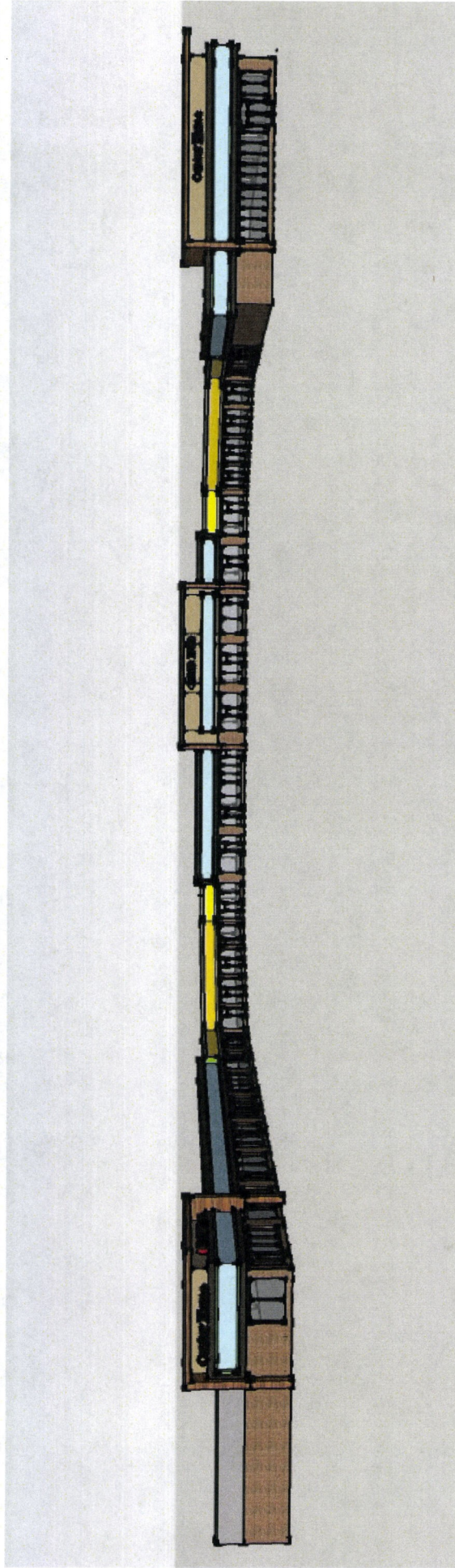


P&Z SUBMISSION – FAÇADE RENOVATION—VILLA DEL CRESTA CENTER – 09.07.2017
428 HOWDERSHELL RD, FLORISSANT, MO 63031



Modifications to note:

1. Backlit LED parapet band shown in rendering as blue and/or yellow
2. Tower elements clad in composite wood cladding system
3. Intermediate bump up charcoal gray —EIFS
5. Inset tan color in tower EIFS
6. lowest sign band light grey EIFS

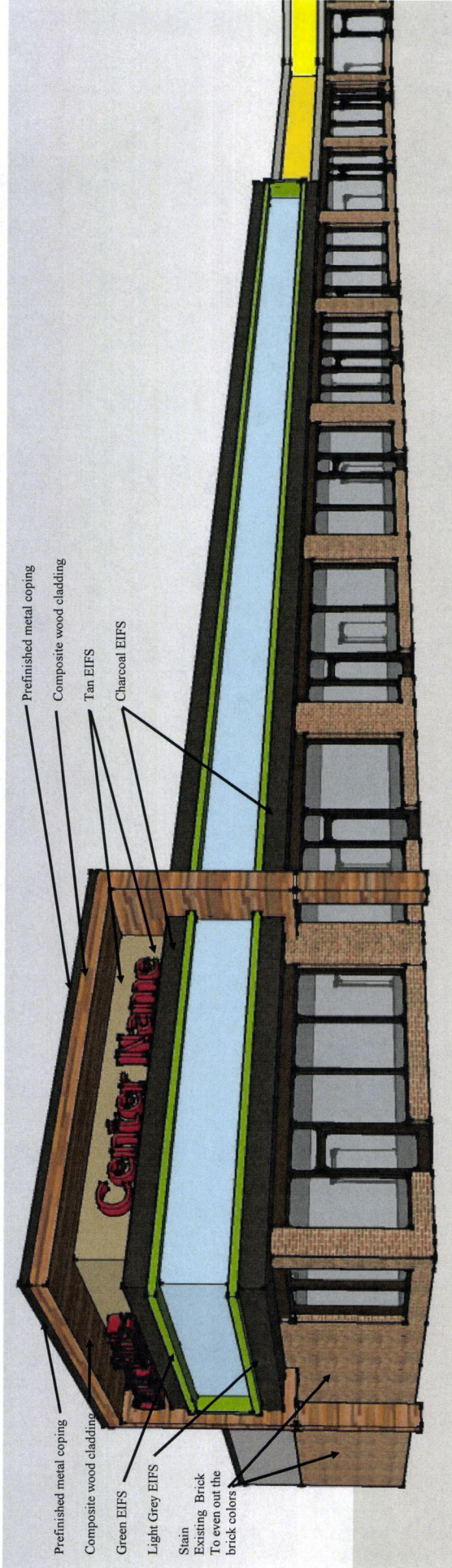


FAÇADE RENOVATION—VILLA DEL CRESTA CENTER
428 HOWDERSHELL RD, FLORISSANT, MO 63031



Modifications to note:

1. Backlit LED parapet band shown in rendering as blue and/or yellow
2. Tower elements clad in composite wood cladding system
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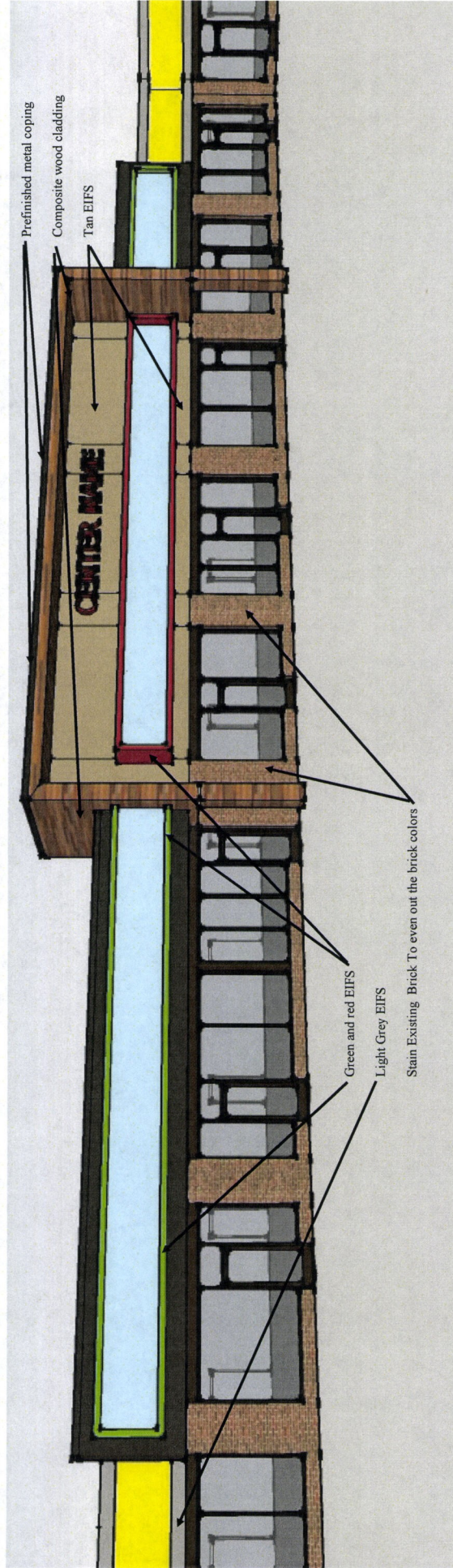


FAÇADE RENOVATION—VILLA DEL CRESTA CENTER
428 HOWDERSHELL RD, FLOISSANT, MO 63031



Modifications to note:

1. Backlit LED parapet band shown in rendering as blue and/or yellow
2. Tower elements clad in composite wood cladding system
3. Intermediate bump up charcoal gray —EIFS
5. Inset tan color in tower EIFS
6. lowest sign band light grey EIFS

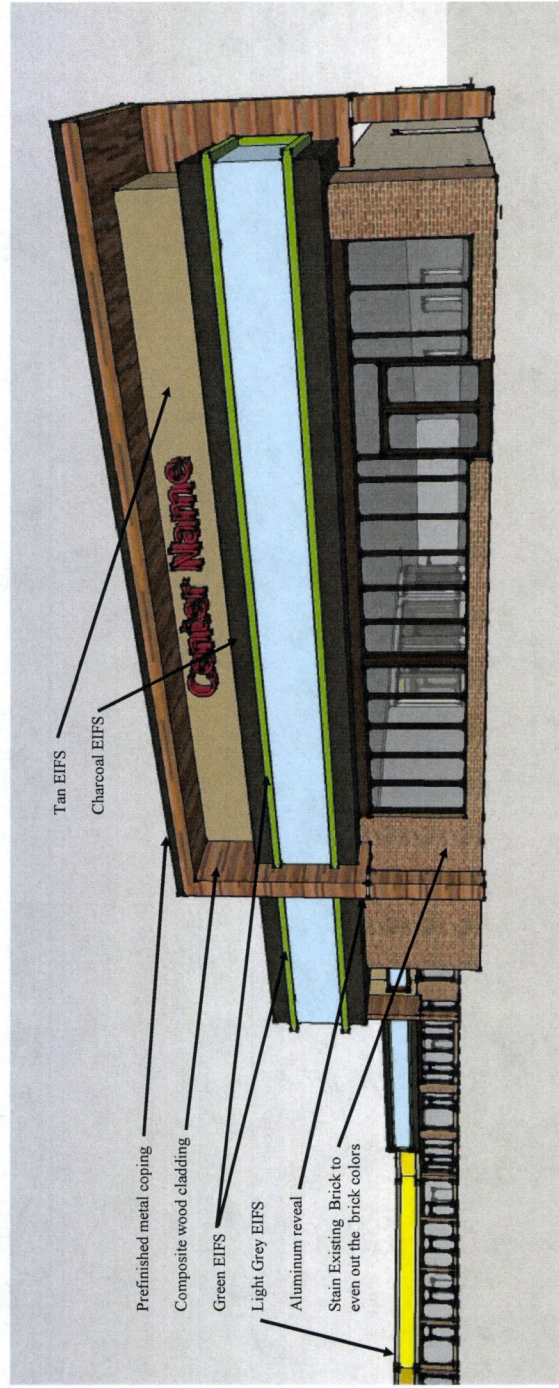


FAÇADE RENOVATION—VILLA DEL CRESTA CENTER
428 HOWDERSHELL RD, FLORISSANT, MO 63031



Modifications to note:

1. Backlit LED parapet band shown in rendering as blue and/or yellow
2. Tower elements clad in composite wood cladding system
3. Intermediate bump up charcoal gray —EIFS
5. Inset tan color in tower EIFS
6. lowest sign band light grey EIFS
7. Stain masonry as required to achieve uniform coloration
8. Provide aluminum reveal between column and upper wood clad wall

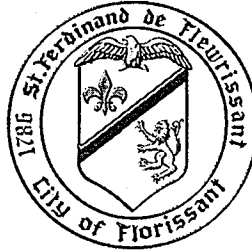


FAÇADE RENOVATION—VILLA DEL CRESTA CENTER
428 HOWDERSHELL RD, FLORISSANT, MO 63031



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MEMORANDUM



CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: August 2, 2017 rev. 9/14/17

From: Philip E. Lum, AIA-Building Commissioner c: Louis B. Jearls, Jr. - P.E.,
PWL Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request Approval and Plan Review of **Façade Improvements at 428 Howdershell** in an existing 'B-3' Zoning District.

STAFF REPORT
CASE NUMBER PZ-080717-6

I. PROJECT DESCRIPTION:

The request before the commission is to review plans for improvements to the property located at '428 Howdershell' in an existing 'B-3' Zoning District. The property is approximately 3.72 acres with building size approximately 35,580 s.f. **Drawings included by Idea Architects, dated 6/12/17 revised 9/7/17.**

BUILDING:

The existing structure on the property has brick and glass exterior walls and shingle mansard with false metal columns and is in need of the proposed update.

II. SURROUNDING PROPERTIES:

The commercial properties to the West 420 and 424 Howdershell are in the 'B-3' District, the properties to the East are in the 'R-4' Single Family Dwelling District.

III. STAFF ANALYSIS:

The plans are a unique approach to signage and replacement of the shingle mansard roof area. Review comments"

1. Rendering show a picture of the overall facility, removal of all false columns as the roof is currently supported by cantilevered bar joists.
2. All structure proposed is mansard replacement and 3 main towers.
3. Construction proposed is synthetic siding **columns and** on tower structures, EIFS in gray and tan color for the signage area, backlit polymer sign areas to create a uniform glow, lit on the perimeter of the transparent sign wall with LED lighting. **EIFS has been removed under the roof level in tower areas.**
4. Design Development drawings included are A010, A101, A102, A103, A201, A401, A402, A801, A802, A803 dated 6/12/17.

VI. STAFF RECOMENDATIONS:

1. The City Building Code 500.010 allows for Planning & Zoning to review plans and compare to minimum standards. Minimum Standards in the City Code refers to the City property maintenance codes.
2. This review therefore, is to approve improvement projects proposed without going on to Council.

Suggested Motion

I move to recommend approval of improvements of **428 Howdershell** in a 'B-3' Extensive Business District subject to the conditions set forth below with these conditions being part of the record:

1. **Plans for permits will be consistent with Column/Tower Structures shown on plans presented dated 9/7/17, attached.**

2) Bottom 3 feet of columns to be brick full
3) No flashing light, LED Bldg not cause glare at night
5) **PROJECT COMPLETION.** 5 minutes for still images w/o chges. No animation or motion
Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final construction plans within 6 months of start of construction.
4) *Stain of Brick app by CC* Bldg LED Back Lighting

(End of report and suggested motion)

1st Stock
2nd - Olds

1 INTRODUCED BY COUNCILMAN EAGAN
2 OCTOBER 9, 2017

3
4 BILL NO. 9316

ORDINANCE NO.

5
6 **AN ORDINANCE AMENDING CHAPTER 340 “MISCELLANEOUS**
7 **DRIVING RULES” BY ADDING A NEW SECTION 340.105**
8 **“GOLF CART REGULATIONS”.**
9

10 BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF FLORISSANT, MISSOURI
11 AS FOLLOWS:

12
13 Section 1. Chapter 340 “Miscellaneous Driving Rules” is hereby amended by adding a new
14 section 340.105 “Golf Cart Regulations” to read as follows:

15
16 **Section 340.105 Regulation of Golf Carts, Low Speed Vehicle, and Motorized Play Vehicles**

17
18 A. Definitions

19
20 GOLF CARTS:

21 A small, battery-powered or motorized, three (3) or four (4) wheel motor vehicle
22 meeting the requirements of Mo. Rev. Stat. §304.034, that is designed and
23 manufactured for operation on a golf course for sporting or recreational purposes
24 and is not capable of exceeding speeds of twenty (20) MPH.
25

26 LOW-SPEED VEHICLES

27 A small three (3) or four (4) wheel motor vehicle, with Gross Vehicle Weight
28 Rating of less than 3,000 pounds with minimum speeds of twenty (20) MPH and
29 maximum speeds of twenty-five (25) MPH, and otherwise meeting the
30 requirements of Mo. Rev. Stat. §304.029 and the requirements of C.P.R. 49
31 §571.500 and 571.3.
32

33 MOTORIZED PLAY VEHICLES (MPV):

34 All other small, two-wheeled, three-wheeled and four-wheeled battery-powered or
35 motorized vehicles that are not defined as golf carts or low speed vehicles. MPVs
36 include go-carts, mini-motorcycles, motorized scooters, pocket bikes and any other
37 vehicle that is capable of transporting a person or persons at a speed in excess of
38 five (5) MPH; that is self-propelled by a motor or engine and that is not otherwise
39 defined by Missouri Statutes or the Shrewsbury City Code as a motor vehicle,
40 motorcycle, bicycle, motorized bicycle, golf cart or a low speed vehicle.
41

42 B. Golf cart regulations

43
44 1. No golf cart shall be operated upon any State highway, and no golf cart shall be operated upon a
45 City street with a posted speed limit greater than twenty-five (25) miles per hour, provided, however, that
46 this shall not prohibit a golf cart operator otherwise meeting all applicable requirements from crossing the
47 golf cart at an intersection of any State highway or a City street with a posted speed limit greater than
48 twenty-five (25) miles per hour so long as the posted speed limit of the State highway or City Street at the
49 point of crossing is not greater than forty-five (45) miles per hour.
50

51 2. Golf carts operated on city streets shall be equipped with adequate brakes, two headlights and two
52 tail/brake lights.

53
54 3. Each person operating a golf cart on city streets shall possess a valid driver's license.
55

56 4. The golf cart shall be insured for liability coverage for operation of the golf cart upon a City street,
57 alley or highway. Proof of such financial responsibility and insurance coverage shall be carried at all
58 times in the insured golf cart or by the operator of the golf cart, and shall be produced upon demand by
59 any police officer who lawfully stops such golf cart operator. However, no person shall be found guilty
60 of failing to produce proof of financial responsibility if the operator demonstrates to the court that he or
61 she met the financial responsibility requirements of this section at the time the police officer wrote the
62 citation.
63

64 5. No person shall ride on or operate a golf cart upon any sidewalk within the City or within the
65 boundaries of any City park, except in designated parking areas.
66

67 6. The golf cart shall be operated primarily for non-commercial purposes.
68

69 7. The golf cart operator and any passengers in the golf cart shall wear a properly adjusted and
70 fastened safety belt, provided the golf cart is equipped with such a safety belt for the operator and/or said
71 passengers, unless any such person has a medical reason for failing to have a safety belt fastened about
72 his or her body.
73

74 8. Except as otherwise provided in this section, the golf cart operator shall observe all state traffic law
75 and City ordinance provisions regarding the rules of the road while operating the golf cart upon a City
76 street, State highway or alley.
77

78 9. No person shall operate a golf cart on a City street, State highway or alley in the following
79 manner(s):

- 80 a. In a careless manner, which may endanger the property or safety of
81 themselves or any other; or
82 b. While under the influence of alcohol or any controlled substance.
83

84 C. Low Speed Vehicle Regulations 85

86 1. A low-speed vehicle may be operated upon a City street as provided herein if it otherwise meets
87 the definition set forth in Section 300.020.
88

89 2. Every person operating a low-speed vehicle shall be granted all the rights and shall be subject to
90 all the duties applicable to the driver of any other motor vehicle except as to the special regulations in this
91 section and except as to those provisions which by their nature can have no application.
92

93 3. The operator of a low-speed vehicle shall observe all traffic laws and local ordinances regarding
94 the rules of the road.
95

96 4. Each person operating a low-speed vehicle on City streets shall possess a valid driver's license.
97

98 5. The low speed vehicle shall be insured for liability coverage for operation of the low speed
99 vehicle upon a City street, alley or highway. Proof of such financial responsibility and insurance coverage
100 shall be carried at all times in the insured low speed vehicle or by the operator of the low speed vehicle,
101 and shall be produced upon demand by any police officer who lawfully stops such low speed vehicle
102 operator. However, no person shall be found guilty of failing to produce proof of financial responsibility
103 if the operator demonstrates to the court that he or she met the financial responsibility requirements of this
104 section at the time the police officer wrote the citation.

105 6. A low-speed vehicle shall not be operated on a City street with a posted speed limit greater than
106 thirty-five (35) miles per hour. The provisions of this subsection shall not prohibit a low-speed vehicle

from crossing a street or highway with a posted speed limit greater than thirty-five (35) miles per hour so long as the posted speed limit of the street or highway at the point of crossing is not greater than forty-five (45) miles per hour.

7. A low-speed vehicle shall be exempt from the requirements of Mo. Rev. Stat. § 307.350 to 307.402 for purposes of titling and registration. Low-speed vehicle shall comply with the standards in 49 C.F.R. § 571.3 and 571.500.

8. All low-speed vehicles shall be manufactured in compliance with the National Highway Traffic Safety Administration standards for low-speed vehicles in 49 C.F.R. § 571.3 and 571.500.

9. No person shall ride on or operate a low-speed vehicle upon any sidewalk within the City or within the boundaries of any City park, except in designated parking areas.

10. No person shall operate a low speed vehicle on a City street, State highway or alley in the following manner(s):

- a. In a careless manner which may endanger the property or safety of themselves or any other; or
- b. While under the influence of alcohol or any controlled substance.

D. Motorized Play Vehicles Prohibited

1. No person shall ride on or operate a motorized play vehicle upon any street highway, roadway or sidewalk within the City or within the boundaries of any City park.

Section 2. This Ordinance shall be in full force and effect from and after the date of its passage.

Jackie Pagano
President of the Council

Approved this _____ day of _____, 2017.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCIL AS A WHOLE
2 OCTOBER 9, 2017

3
4 BILL NO. 9317

ORDINANCE NO.

5
6 **AN ORDINANCE ESTABLISHING A SEPARATE FUND TO ACCOUNT FOR**
7 **THE REVENUE RECEIVED FROM PROPOSITIONS “S” AND “P” AND A**
8 **SEPARATE FUND TO ACCOUNT FOR THE REVENUE RECEIVED FROM**
9 **PROPOSITIONS “A” AND “R” COMBINED.**

10
11 **WHEREAS** the voters in the City of Florissant authorized the collection of taxes for
12 specific purposes; and

13 **WHEREAS** on November 3rd, 2015, the City of Florissant residents passed Proposition
14 "S", which provides for a 1/4% sales tax to be collected and used "for the purpose of providing
15 additional funding for street replacement, repairs and maintenance"; and

16 **WHEREAS** Proposition P, a sales tax for Police and Public Safety was passed in St.
17 Louis County on April 4th, 2017; and

18 **WHEREAS** Proposition A, an annual registration fee for vacant structures and
19 Proposition R, a residential rental license fee were passed by the voters on April 5th, 2016; and

20 **WHEREAS** the City Council of the City of Florissant desires a clear and separate
21 accounting of those funds authorized by Propositions ‘S’, ‘P’ and ‘A&R’; and

22
23 **BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS**
24 **COUNTY, MISSOURI, AS FOLLOWS:**

25
26 Section 1: There is hereby established a separate budget fund for the revenues generated by the
27 passing of Proposition S “Streets replacement, repairs and maintenance”

28 Section 2: There is hereby established a separate budget fund for the revenues generated by the
29 passing of Proposition P “Police and Public Safety”.

30 Section 3: There is hereby established a separate budget fund for the revenues generated by the
31 passing of Propositions A “Vacant Property registration” & R “Residential Rental License Fee”
32 combined.

33 Section 4: This ordinance shall become in force and effect immediately upon its passage and
34 approval.

35
36 Adopted this ____ day of _____, 2017.

37
38 _____
39 Jackie Pagano
40 President of the Council
41 City of Florissant

42
43 Approved this ____ day of _____, 2017.

44
45 _____
46 Thomas P. Schneider
47 Mayor, City of Florissant

48 ATTEST:

49
50 _____
51 Karen Goodwin, MMC/MRCC
52 City Clerk

1 INTRODUCED BY COUNCILMAN PAGANO
2 OCTOBER 9, 2017

3
4 BILL NO. 9318

ORDINANCE NO.

5
6 **AN ORDINANCE AMENDING ARTICLE XVII "RESIDENTIAL**
7 **RENTAL REAL ESTATE"**
8

9 **WHEREAS**, the City Council adopted licensing provisions relating to the rental of
10 residential real estate; and
11

12 **WHEREAS**, the City Council believes it to be in the best interests of the City to amend
13 the provisions of Article XVII, Residential Rental Real Estate.
14

15 **NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF**
16 **FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:**
17

18 Section 1: Article XVII: Residential Rental Real Estate is hereby deleted in its entirety
19 and the following inserted in lieu thereof:
20

21 **Section 605.453 Purpose.**
22

- 23 A. The goal of the City of Florissant Residential Rental Housing Program is to create a
24 crime-free housing program and increase the quality of life of residents by partnering the
25 City with owners, landlords and managing agents to decrease the incidents of public
26 safety/nuisance/code violations and criminal activity in rental properties.
27 B. This program will collect current and accurate information identifying existing rental
28 properties, owners, landlords, and managing agents in the City of Florissant. This
29 information shall be used by the Police Department and the Department of Public Works
30 to perform their respective duties.
31 C. It is not the intent of this Article and it shall not be construed or enforced in any manner
32 which would affect the tenancy of a tenant whose only involvement in an incident has
33 been as the victim of a crime.
34

35 **Section 605.454 Definitions.**
36

37 For the purpose of this Article, the following terms, phrases and words shall have the
38 meanings given herein and shall apply in the interpretation and enforcement of this Chapter
39 unless otherwise specifically stated:

40 **DWELLING**

41 Any building or portion thereof which is designed or used for dwelling purposes.

42 **DWELLING UNIT**

43 A building or portion thereof which is designed or used for residential dwelling by a
44 single-family unit; (i.e., a single family house is one (1) dwelling unit, a duplex
45 constitutes two (2) dwelling units, a four-family constitutes four (4) dwelling units, a
46 multi-dwelling constitutes multiple dwelling units).

1 DWELLING, DUPLEX

2 A detached building designed for or occupied by two (2) families living independently of
3 each other.

4 DWELLING, MULTIPLE

5 A building or portion thereof used or designed as a residence for three (3) or more
6 families living independently of each other and doing their own cooking in said building,
7 including apartments, apartment hotels and group houses.

8 DWELLING, ONE-FAMILY

9 A detached building designed for or occupied exclusively by one (1) family.

10 OWNER

11 The owner of record of residential rental property, whether an individual(s), trust,
12 partnership or corporation.

13 PUBLIC NUISANCE

14 Shall, include, but not be limited to, lewd and lascivious behavior, loud music and/or
15 noises (Section 210.595), failure to maintain property (Section 213.030, Ch. 510), graffiti
16 (Section 210.351), garbage/rubbish/litter (Sections 220.010, 213.020), tall weeds and
17 grass (Section 213.030), property having physical conditions that threaten a person's
18 health/safety/welfare (Section 510.020), having a dangerous building and/or conditions
19 that threaten the physical health of a person (Sections 213.010 and 515.070), rodent and
20 insect infestation (Section 213.030), having derelict vehicles and/or equipment (Section
21 213.030), having flammable and/or hazardous materials which may endanger public
22 safety (Section 213.030), unlicensed or inoperable vehicle(s) not contained within an
23 enclosed area (Section 395.020 and 395.030), and obstructing surface storm water
24 drainage (Section 535.040).

25 RESIDENTIAL RENTAL PROPERTY

26 Dwellings, duplex dwellings, multiple dwellings and one-family dwellings occupied by
27 or offered for rent, lease or occupancy to any person(s), who otherwise qualify for an
28 occupancy permit, who are not the owners of record of said property.

30 **Section 605.455 Residential Rental License/Exemption.**

- 31
- 32 A. *License Required.* A license is required for each residential rental property located within
33 the City, and no person shall permit occupancy of or offer for rent/lease, without a
34 residential rental license issued pursuant to this Article, any residential rental property
35 within the City of Florissant to any person(s), as principal occupant(s), who are not the
36 record owner(s) of the property or approved as exempt occupants under provisions of this
37 Article.
- 38 B. *Exemption.* No residential rental license shall be required for non-owner occupancy of
39 residential property where the principal occupant(s) of the residential property are
40 beneficial owner(s) of the property or are related to the owner of the residential property
41 within the second degree of consanguinity. An exemption to the requirement for a
42 residential rental license for a particular parcel of residential rental property shall be
43 established by filing with the Director of Public Works, on forms prescribed thereby, a
44 declaration setting forth the name, street address, telephone number and a copy of
45 identification of the owner of record of such residential rental property, signed thereby
46 and the name of the principal occupant of the property and the basis for an exemption.
47 Such exemption shall remain valid and need not be renewed unless the circumstances of

1 exemption change or cease, but the Director of Public Works may periodically request
2 verification of continuing qualifications for exemption status.
3

4 **Section 605.456 License Application/Amendment.**
5

- 6 A. Application for a license required by Section 605.455 shall be filed annually in the office
7 of Public Works by the earlier of:
8 1. January 31 of each calendar year for all residential rental property owned on
9 January 1 of that year, or
10 2. For later acquired residential rental property, prior to permitting any occupancy of
11 or any offering thereof for rent/lease by the owner to the Director of Public
12 Works, shall set forth the name, street address, telephone number and a copy of
13 identification of the owner of record of such residential property, signed thereby
14 and shall list by street address each and every parcel of residential rental property
15 owned by that owner that is located in the City of Florissant. If the owner of said
16 residential rental property wishes to designate an agent to be responsible for said
17 property and to accept notices and process, then the owner of record shall
18 designate said agent in the application together with the agent's name, street
19 address and telephone number and the extent of the agent's authority to rent,
20 manage and make expenditures of said property. The owner, property manager or
21 authorized representative must reside within fifty (50) miles of the City of
22 Florissant. A post office box, e-mail address, mailing address, or long distance toll
23 free (e.g., 800) numbers shall not be deemed sufficient to meet the provisions of
24 this Article.
25 B. In the event of any change of circumstances subsequent to the filing of an application that
26 would result in a change in the information required by the application, the owner shall
27 promptly file an amendment of such application on forms as specified by the Director of
28 Public Works.
29

30 **Section 605.457 Application Requirements and Crime Free Housing.**
31

- 32 A. All applicants shall have and maintain a crime free housing certificate from the City of
33 Florissant, as administered by the Florissant Police Department or from another City,
34 meeting all the criteria of the nationally accepted Crime Free Housing Program. The
35 Chief of Police may issue such rules and regulations as deemed necessary to administer
36 the Crime Free Housing Program for the City of Florissant, which shall be given at no
37 charge.
38 B. All owners, landlords, or managing agents are encouraged to conduct a US
39 Comprehensive Background Search on all prospective tenants and occupants age
40 eighteen (18) and over prior to executing a lease or rental agreement. The search may go
41 back seven (7) years including all known addresses, and should also check nationally
42 recognized sex offender registration websites. The owner, landlord or managing agent
43 may conduct this search, or may have a reputable agency conduct this search at own
44 expense, and the owner, landlord and managing agent are encouraged to refer to HUD,
45 Guidance on Application for Fair Housing Act Standards to the use of criminal records
46 by providers of housing and real estate related transactions or similar materials.

- 1 C. The crime free rental agreement addendum shall be completed and signed by the
2 owner/landlord/managing agent and the tenants/occupants of age eighteen (18) or older
3 prior to the issuance of an occupancy permit.
4

5 **Section 605.458 Fees and Renewals.**
6

- 7 A. The annual fee for each calendar year or portion thereof for the license required by this
8 Article shall be fifty dollars (\$50.00) per owner per each residential dwelling unit in the
9 City of Florissant due and payable at the time of application. License renewals are due by
10 the end of January of each year. A delinquency fee, calculated at the rate of two dollars
11 (\$2.00) for each month after January 31 or portion thereof, shall be assessed for late
12 payment of an application fee but may be waived by the Director of Public Works for
13 good cause shown.
14 B. The annual rental license fee shall be waived for persons related to the owner of the
15 property within the second degree of consanguinity.
16

17 **Section 605.459 Occupancy Prohibited.**
18

19 Unless and until the annual application is filed by the owner, together with all necessary
20 accompanying documents, and all fees due hereunder are paid in full and all outstanding fines
21 imposed by the Florissant Municipal Court for any housing or Building Code violations by such
22 owner are paid in full, no residential rental license shall be issued to such owner nor shall any
23 new occupancy permit be issued for the occupancy of any parcel of residential rental property of
24 such owner. Failure to obtain and maintain a valid residential rental license shall constitute
25 grounds for the revocation or cancellation of all outstanding occupancy permits issued for any
26 parcels of residential rental property of such owner associated with said rental license. No new
27 occupancy permit shall be required if the occupancy remains the same for any parcel of
28 residential rental property purchased or obtained.
29

30 **Section 605.460 Rules.**
31

32 The Director of Public Works may issue such rules and regulations as deemed necessary to
33 implement this Article and the policies contained herein.
34

35 **Section 605.461 Suspension and Revocation.**
36

- 37 A. The residential rental license applicable to the residential rental property may be
38 suspended or revoked by the Director of Public Works or designee under the following
39 conditions:
40 1. A license may be suspended if the residential rental property is found to be
41 frequently out of compliance with property maintenance codes and corrections are
42 not being made to bring the property back into compliance within a reasonable
43 period of time from the date of notice(s) of non-compliance.
44 2. A license may be suspended if an owner is found to have made material false
45 statements on their application or failed to report a change of occupancy on the
46 property listed on the license in question.
47 3. A license may be suspended or revoked if within a twelve (12) month period the
48 owner has been notified of three (3) or more acts of conduct by the tenants or

- 1 other persons on the property which constitute a disturbance or public nuisance to
2 neighbors or the neighborhood; destruction of property; or a danger to the public
3 health, safety or welfare of the surrounding properties.
- 4 4. A license may be suspended or revoked if any member of the household, guest or
5 another person under the resident's control commits any of the following criminal
6 activities, if it is determined that the household member, guest or another person
7 under the resident's control has committed such activities, regardless of whether
8 such person has been convicted of any such activity:
- 9 (a) a felony crime under Federal or State laws;
10 (b) a Class A misdemeanor under Federal, State or local laws;
11 (c) any criminal activity that threatens the health or safety of, or the right to
12 peaceful enjoyment of the premises by other residents;
13 (d) any criminal activity that threatens the health or safety of, or the right to
14 peaceful enjoyment of their residents or persons residing in the immediate
15 vicinity of the premises;
16 (e) any violent criminal activity at or near the premises;
17 (f) any drug-related criminal activity on or near the premises;
18 (g) any abuse of drugs or alcohol that threatens health, safety or right to
19 peaceful enjoyment of other residents on the premises or persons residing
20 in the vicinity of the premises;
21 (h) violation(s) of the offenses set forth in Chapter 210 of the Florissant
22 Municipal Code; or
23 (i) violation(s) of nuisance provisions set forth in Chapter 213 of the
24 Florissant Municipal Code.
- 25 5. A license may be revoked if the owner has more than two (2) suspensions of their
26 license in any twelve (12) month timeframe.
- 27 6. As a matter of public health and safety, a license may be suspended or revoked in
28 the event that the landlord, property owner or tenant using water, gas, electric,
29 sanitary sewer service or solid waste collection service fails to restore these utility
30 services within fourteen (14) calendar days after receiving notice from the City
31 that the utility bill is delinquent for two (2) or more months and the utility service
32 provider is stopping service.
- 33 B. Once a license has been suspended, the owner may apply for reinstatement provided that
34 the residential rental property is in full compliance with all applicable codes, and the
35 suspension has been reasonably resolved, and landlord pays one hundred (\$100.00) for
36 the re-inspection of the residential rental property that was the subject of the suspension
37 and for the reinstatement of the residential rental license.
- 38 C. Once a license has been revoked, the owner may apply for reinstatement provided that
39 the residential rental property is in full compliance with applicable codes and the
40 circumstances giving rise to the revocation have been reasonably resolved, a re-
41 inspection of the residential rental property that was the subject of the revocation is
42 completed and found to be in compliance, and the owner pays two hundred dollars
43 (\$200.00) for the re-inspection of the residential rental property that was the subject to
44 the revocation and for the reinstatement of the residential rental license.
- 45 D. Any appeal of a suspension or revocation must be made, in writing, to the Director of
46 Public Works or their designee and received by the Director of Public Works or their
47 designee within ten (10) working days of notification of suspension or revocation. The
48 submission of an appeal will stay the suspension or revocation pending the holding of a

1 hearing and the issuance of written findings. The Director of Public Works will hold a
2 hearing within a reasonable period of time following receipt of the appeal and will issue a
3 written finding and conclusions within ten (10) days of such hearing.
4

5 Section 2: This ordinance shall become in full force and effect immediately upon its
6 passage and approval as provided by law.
7

8 Adopted this ____ day of _____, 2017.
9

10 _____
11 Jackie Pagano
12 President
13

14 Approved this ____ day of _____, 2017.
15

16 _____
17 Thomas P. Schneider
18 Mayor
19

20 ATTEST:
21

22 _____
23 Karen Goodwin, MMC/MRCC
24 City Clerk