



FLORISSANT CITY COUNCIL AGENDA

City Hall

955 rue St. Francois

Tuesday, April 26, 2016

7:30 PM

Karen Goodwin, MMC/MRCC



I. PLEDGE OF ALLEGIANCE

II. ROLL CALL OF MEMBERS

III. ELECTION OF COUNCIL OFFICERS

- Re-seat council

IV. PROCLAMATION

- Gary Gaydos

V. SPECIAL PRESENTATION

- Award to the City of Florissant from the American Foundation for Suicide Prevention.

VI. APPROVAL OF MINUTES

- Meeting Minutes and Executive Meeting Minutes of April 11th, 2016

VII. HEARING FROM CITIZENS

(Speaker cards are available at the entrance to the Council Chambers)

VIII. COMMUNICATIONS

None

IX. PUBLIC HEARINGS

16-03-007 (Ward 6) Application Staff Report Plans	Request to rezone for TAUC Properties, LLC, the property located at 1090 N. Highway 67 from R-4 Single Family District to B-5 Planned Commercial District to allow for an urgent care facility. (Planning and Zoning recommended denial on 3/7/16)(Postponed to this date on March 28, 2016)(Planning and Zoning recommended approval on April 18, 2016)	Brandon Harp, PE
16-04-012 (Ward 6) Application Staff Report Plans	Request to rezone for Auto Properties, LLC the property located at 1350 N. Highway 67 from B-3, Extensive Commercial District to B-5, Planned Commercial District to allow for the construction of a new self-storage, truck and trailer rental facility. (Planning and Zoning recommended approval on 4/4/16)	Steve Langford
16-04-013 (Ward 4) Application Staff Report Plans	Request to authorize a Special Use Permit to Metropolitan Events, LLC to allow for an event/banquet center for the property located at 11 Patterson Plaza Shopping Center. (Planning and Zoning recommended approval on 4/4/16)	Sonja Dulick

X. OLD BUSINESS

A. SECOND READINGS

9177 Application Staff Rpt Plans	Ordinance to authorize an amendment to B-5 Ordinance No. 8080 for Mission Hills Development d/b/a GMT Auto Sales to allow for an addition to the existing building for the property located at 620 Charbonier Road.	2 nd Reading Eagan
9178 Application Staff Rpt Plans	Ordinance to authorize an amendment to Special Use Permit No. 8063 issued to Total Tan, Inc. D/B/A Club Fitness to allow for the expansion of the fitness center for the property located at 745-755 N. Hwy67.	2 nd Reading Jones
9179 Application Staff Rpt	Ordinance amending section 405.035 of the Zoning Code “Definitions” by adding a definition of “Brewpub” and amending zoning districts, B1, B2, B3, B4, M1, M2, M3 and HB to add “Brewpubs” as a special use.	3 rd Reading Henke

9180	Ordinance to authorize an amendment to Special Use Permit no. 4599 as amended and transferred to allow for the operation of a brewpub, in addition to the existing restaurant for the property located at 1595 N. Highway 67.	2 nd Reading Henke
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XI. NEW BUSINESS

XII. BOARD APPOINTMENTS

XIII. REQUESTS

Ward 2	Request for Jan Speelman to keep 2 chickens located at 1125 Charbonier Road. (Health Department recommended approval)	Jan Speelman
Ward 1	Request for Carol Smith to keep 2 ducks located at 1270 Swan Drive. (Health Department recommended approval)	Carol Smith
Ward 1	Request for Donna Smith-Pupillo to keep 2 chickens located at 1275 Swan Drive. (Health Department recommended approval)	Donna Smith-Pupillo

XIV. BILLS FOR FIRST READING

9181	Ordinance to rezone for TAUC Properties, LLC, the property located at 1090 N. Highway 67 from R-4 Single Family District to B-5 Planned Commercial District to allow for an urgent care facility.	Henke
9182	Ordinance to authorize a Special Use Permit to Metropolitan Events, LLC to allow for an event/banquet center for the property located at 11 Patterson Plaza Shopping Center.	Caputa

XV. MESSAGE FROM THE MAYOR

XVI. COUNCIL ANNOUNCEMENTS

XVII. ADJOURNMENT

THIS AGENDA WAS POSTED AT THE FLORISSANT CITY HALL APRIL 22nd , 2016 AT 12:00 PM ON THE BULLETIN BOARD OUTSIDE THE COUNCIL CHAMBERS. ANY ONE WISHING TO ATTEND THE COUNCIL MEETING WHO HAS SPECIAL NEEDS SHOULD CONTACT THE CITY CLERK'S OFFICE AT 839-7630 OR TDD 839-5142 BY NOON ON TUESDAY, APRIL 26th, 2016.

CITY OF FLORISSANT



COUNCIL MINUTES

April 11, 2016

The Florissant City Council met in regular session at Florissant City Hall at 955 rue St. Francois on Monday, April 11, 2016 at 7:30 p.m. with Council President Joe Eagan presiding. The Chair asked everyone in attendance to stand and join in the Pledge of Allegiance.

On Roll Call the following were present: Jones, Eagan, Caputa, Schildroth, Henke, Pagano, Schmidt, Siam and Lee. Also present was Mayor Thomas P. Schneider, Acting City Attorney Curt Calloway and Deputy City Clerk Anita Moore. A quorum being present the Chair stated that the Council meeting was in session for the transaction of business.

Councilman Schildroth moved to approve the Meeting and Executive Meeting Minutes of 3/28/16, seconded by Caputa. Motion carried.

The next item on the agenda was Hearing from Citizens of which there were none.

The next item on the Agenda was Communications of which there were none.

The next item on the Agenda was Public Hearings.

The City Clerk reported that Public Hearing #16-04-008 to be held this night on a request to authorize an amendment to B-5 Ordinance No. 8080 to allow for an addition to the existing building for the property located at 620 Charbonier Road had been advertised in substantially the same form as appears in the foregoing publication and by posting the property. The Chair declared the Public Hearing to be open and invited those who wished to be heard to come forward.

Joe Dale, architect and representative for Glenn Travers, petitioner, was present to discuss his request. Mr. Dale explained that as a result of the increase in sales and

33 staff, they would like to expand the building at 620 Charbonier to accommodate more
34 offices. The 38' x 30' single story addition will house three offices, a restroom and a
35 small room for seating and copying. The existing building is a combination of brick,
36 siding and an existing mansard. The new facility will be brick with some stone. They
37 would like to replace a small amount of existing siding and soffit and, at the same time,
38 change the color to blend in with the rest of the building. There will be access from one
39 building to the other. There will be no change in the hours of operation. The new
40 building is administrative only.

41 The Chair asked if there were any other citizens who would like to speak on said
42 public hearing. Being no persons who wished to speak, Councilman Eagan moved to
43 close P.H. #16-04-008, seconded by Schmidt. Motion carried.

44 The City Clerk reported that Public Hearing #16-04-009 to be held this night on
45 a request to authorize an amendment to Special Use Permit No. 8063 to allow for the
46 expansion of Club Fitness in a B-3 Zoning District for the property located at 745-755
47 N. Hwy. 67 had been advertised in substantially the same form as appears in the
48 foregoing publication and by posting the property. The Chair declared the Public
49 Hearing to be opened and invited those who wished to be heard to come forward.

50 Ricky Rozycki and Mike Moderelli, petitioners, were present to discuss the
51 request. Club Fitness would like to expand into the old, adjacent Pet Co. Club Fitness
52 is doing very well at that location and would like to increase the space that current
53 members work out in. They don't anticipate the need for increased the parking.

54 The Chair asked if there were any other citizens who would like to speak on said
55 public hearing.

56 Kevin O'Donnell, 512 Rancho, stated that the busiest time for fitness centers
57 seemed to be in January and February. He expressed concern about people parking in
58 Florissant Oaks Shopping Center during the busy winter months and interfering with
59 parking for the businesses located there.

60 Being no other persons who wished to speak, Councilman Jones moved to close
61 P.H. #16-04-009, seconded by Siam. Motion carried.
62

63 The City Clerk reported that Public Hearing #16-04-010 to be held this night on
64 a request to amend the Zoning Code in order to allow for a “brew pub” as a Special Use
65 Permit in any B, HB, and M zoning district had been advertised in substantially the
66 same form as appears in the foregoing publication and by posting the same. The Chair
67 declared the Public Hearing to be opened and invited those who wished to be heard to
68 come forward.

69 Phil Lum, Building Commission, informed the Council that there have been
70 several attempts in the past to open a microbrewery in Florissant. Since there were no
71 microbreweries referenced in the City’s Zoning Code, the code needed to be amended.

72 The Planning and Zoning Commission reviewed and researched surrounding
73 municipalities that allowed microbreweries in order to be able to consider the definition
74 of a microbrewery for the City of Florissant. After much discussion, Planning &
75 Zoning decided on a definition that contained a brewpub with a restaurant component.
76 A ‘brewpub’ met this definition and would limit the production to 10,000 barrels or less,
77 as defined by the state. A ‘brewpub’ would be allowed under a Special Use Permit and
78 in certain defined zoning districts. Sale of the beer will be allowed on site, including
79 growlers.

80 The Chair asked if there were any other citizens who would like to speak on said
81 public hearing. Being no persons who wished to speak, Councilman Henke moved to
82 close P.H. #16-04-010, seconded by Caputa. Motion carried.

83 The City Clerk reported that Public Hearing #16-04-011 to be held this night on
84 a request to authorize an amendment to Special Use Permit No. 4599, as amended and
85 transferred, to allow for the operation of a “brew pub” in a B-3 Zoning District for the
86 property located at 1595 N Highway 67 had been advertised in substantially the same
87 form as appears in the foregoing publication and by posting the property. The Chair
88 declared the Public Hearing to be opened and invited those who wished to be heard to
89 come forward.

90 Councilman Lee asked if it was appropriate to consider this Public Hearing
91 before the Zoning Code had been amended to allow a “brewpub.” Mr. Calloway
92 explained that there was nothing improper about proceeding with both public hearings

concurrently, as long as the zoning amendment was adopted before the Special Use Permit for any particular establishment was passed.

William Buchholz attorney, David Beckham owner, and Jeff Hardesty brewer were present to discuss the request.

Mr. Buchholz stated that he represented Cugino's Restaurant and their desire for a brewpub, once the definition had been adopted into the City's zoning code. Furthermore, he stated that the footprint of the building would remain the same with the brewery being operated in the basement which used to be a banquet center. This basement area will be for employees only, with no access for the public. There are two means of egress in the basement. No additional parking will be needed or required. They will brew less than 300 barrels a year. In regards to growlers, they are available at most of the microbreweries, and Cugino's will have them also. Cugino's will participate in special events in the area, for example, Valley of Flowers. Mr. Buchholz explained that brewing is a highly regulated industry which includes licensing through federal ATF, State of Missouri, St. Louis County and the City of Florissant. Mr. Beckham stated that there will be minimum odor from the brewery, even less than the odor that comes from the cooking of food. They will reduce the amount of various beers that they currently have on tap by approximately 20 beers and will add their product.

The Chair asked if there were any citizens who would like to speak on said public hearing. Being no persons who wished to speak, Councilman Henke moved to close P.H. #16-04-011, seconded by Pagano. Motion carried.

The Chair stated that the next item on the agenda was old business.

Councilman Eagan moved that Bill No. 9168 An ordinance amending code Section 125.065 "Wage Increase & Schedule" Section A "Job Classification and Grade Level" by adding a new position of "Corrections Transport Officer" at Grade 5 for the Police Department be read for a second time, seconded by Schildroth. Motion carried and Bill No. 9168 was read for a second time. Councilman Lee moved that Bill No. 9168 be read for a third time, seconded by Schildroth. Motion carried and Bill No. 9168 was read for a third and final time and placed upon its passage.

Before the final vote all interested persons were given an opportunity to be heard. On roll call the Council voted: Jones yes, Eagan yes, Caputa yes, Schildroth yes,

Henke yes, Pagano yes, Schmidt yes, Siam yes and Lee yes. Whereupon the Chair declared Bill No. 9168 to have passed and said Bill became Ordinance No. 8212.

Councilman Siam moved that Bill No. 9171 Ordinance authorizing an amendment to Special Use Permit No 2109 to AM & LB, Inc. to allow for renovations in a B-1 Zoning District for the property located at 3575 Parker Spur be read for a second time, seconded by Pagano. Motion carried and Bill No. 9171 was read for a second time. Councilman Siam moved that Bill No. 9171 be read for a third time, seconded by Schildroth. Motion carried and Bill No. 9171 was read for a third and final time and placed upon its passage.

Before the final vote all interested persons were given an opportunity to be heard. On roll call the Council voted: Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Schmidt yes, Siam yes and Lee yes. Whereupon the Chair declared Bill No. 9171 to have passed and said Bill became Ordinance No. 8213.

Councilman Henke moved that Bill No. 9172 Ordinance to approve the final subdivision of the "Re-subdivision in the Northwest ¼ of Block of Old Town of St. Ferdinand" to divide one lot into two lots for the property located at 610 rue St. Francois be read for a second time, seconded by Jones. Motion carried and Bill No. 9172 was read for a second time. Councilman Henke moved that Bill No. 9172 be read for a third time, seconded by Lee. Motion carried and Bill No. 9172 was read for a third and final time and placed upon its passage.

Before the final vote all interested persons were given an opportunity to be heard. On roll call the Council voted: Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Schmidt yes, Siam yes and Lee yes. Whereupon the Chair declared Bill No. 9172 to have passed and said Bill became Ordinance No. 8214.

Councilman Eagan moved that Bill No. 9173 Ordinance to authorize a Special Use Permit to Bell-Brown Enterprises, LLC d/b/a Bell-Brown Medical College to allow for the operation of a medical educational facility for the property located at 470 Howdershell Road be read for a second time, seconded by Schildroth. Motion carried and Bill No. 9173 was read for a second time. Councilman Siam moved that Bill No. 9173 be read for a third time, seconded by Caputa. Motion carried and Bill No. 9173 was read for a third and final time and placed upon its passage.

155 Before the final vote all interested persons were given an opportunity to be
156 heard. On roll call the Council voted: Jones yes, Eagan yes, Caputa yes, Schildroth yes,
157 Henke yes, Pagano yes, Schmidt yes, Siam yes and Lee yes. Whereupon the Chair
158 declared Bill No. 9173 to have passed and said Bill became Ordinance No. 8215.

159 Councilwoman Pagano moved that Bill No. 9174 Ordinance to amend the
160 Zoning Code, Section 405.135, Paragraph J, (3) to allow for a B-5 re-zoning for
161 properties proposed to be re-zoned to commercial by the City's Comprehensive Plan be
162 read for a second time, seconded by Caputa. Motion carried and Bill No. 9174 was read
163 for a second time. Councilman Henke moved that Bill No. 9174 be read for a third time,
164 seconded by Siam. Motion carried and Bill No. 9174 was read for a third and final time
165 and placed upon its passage.

166 Before the final vote all interested persons were given an opportunity to be
167 heard. On roll call the Council voted: Jones yes, Eagan yes, Caputa yes, Schildroth yes,
168 Henke yes, Pagano yes, Schmidt yes, Siam yes and Lee yes. Whereupon the Chair
169 declared Bill No. 9174 to have passed and said Bill became Ordinance No. 8216.

170 Councilman Lee moved that Bill No. 9175 An Ordinance authorizing a transfer
171 of \$7,500 from account no. 5-06-29010 "Building Maintenance & Supplies – Golf" to
172 account no. 5-06-30000 "Golf Course Equipment Repairs" be read for a second time,
173 seconded by Schildroth. Motion carried and Bill No. 9175 was read for a second time.
174 Councilman Schildroth moved that Bill No. 9175 be read for a third time, seconded by
175 Jones. Motion carried and Bill No. 9175 was read for a third and final time and placed
176 upon its passage.

177 Before the final vote all interested persons were given an opportunity to be
178 heard. On roll call the Council voted: Jones yes, Eagan yes, Caputa yes, Schildroth
179 yes, Henke yes, Pagano yes, Schmidt yes, Siam yes and Lee yes. Whereupon the Chair
180 declared Bill No. 9175 to have passed and said Bill became Ordinance No. 8217.

181 Councilman Lee moved to reappoint Mary Pat Outlaw, 1405 Central Parkway, to
182 the Citizens Participation Committee as a member from Ward 1 for a term expiring on
183 3/27/2017, seconded by Jones. Motion carried.

Councilman Caputa moved to reappoint Robert Smith, 2823 Chapel View Dr., to the Citizens Participation Committee as a member from Ward 4 for a term expiring on 3/24/2017, seconded by Siam. Motion carried.

Councilman Caputa moved to reappoint Connie Castillo, 2575 Lawnview, to the International Code Council as a member from Ward 4 for a term expiring on 2/26/21, seconded by Siam. Motion carried.

Councilman Siam moved to approve the Mayor's appointment of Dennise Lafferre, 3395 Hambletonian, to the Senior Commission as a member from Ward 9 for a term expiring on 4/11/2019, seconded by Lee. Motion carried.

Councilman Schildroth moved to reappoint Christine Keil, 110 St. Pierre, to the Citizens Participation Committee as a member from Ward 5 for a term expiring on 3/22/2017, seconded by Caputa. Motion carried.

Councilman Schildroth moved to reappoint Lee Baranowski, 15 Graybrooke, to the Planning & Zoning Commission as a member from Ward 5 for a term expiring on 3/10/2020, seconded by Lee. Motion carried.

Councilman Schmidt moved to reappoint Loretta Ashford, 3010 Newgate, to the Citizens Participation Committee as a member from Ward 8 for a term expiring on 4/9/2017, seconded by Caputa. Motion carried.

Councilman Jones moved to approve the request to keep one rabbit for George Awwad for the property located at 825 Daniel Boone, seconded by Caputa. Motion carried.

Councilman Eagan introduced Bill No. 9177 An Ordinance amending B-5 Ordinance No. 8080 for Mission Hills Development d/b/a GMT Auto Sales to allow for an addition to the existing building for the property located at 620 Charbonier Road and said Bill was read for the first time by title only.

Councilman Jones introduced Bill No. 9178 An Ordinance to authorize an amendment to Special Use Permit No. 8063 issued to Total Tan, Inc. d/b/a Club Fitness to allow for the expansion of the fitness center for the property located at 745-755 N. Hwy. 67 and said Bill was read for the first time by title only.

Councilman Henke introduced Bill No. 9179 An Ordinance amending Section 405.035 of the Zoning Code “Definitions” by adding a definition of “brewpub” and amending Zoning Districts B1, B2, B3, B4 M1, M2, M3 and HB to add “brewpubs” as a Special Use Permit and said Bill was read for the first time. Councilman Henke moved that Bill No. 9179 be read for a second time, seconded by Eagan. Motion carried and Bill No. 9179 was read for a second time.

Councilman Henke moved that Bill No. 9179 be read for a third time, seconded by Eagan. On roll call the Council voted: Jones yes, Eagan yes, Caputa no, Schildroth no, Henke yes, Pagano no, Schmidt no, Siam yes and Lee no. Without a unanimous vote, Bill No. 9179 was not read for a third time.

Councilman Henke introduced Bill No. 9180 An Ordinance to authorize an amendment to Special Use Permit No. 4599, as amended and transferred, to allow for the operation of a “brewpub”, in addition to the existing restaurant, for the property located at 1595 N. Hwy. 67 and said Bill was read for the first time by title only.

The next item on the Agenda was Mayor Announcements.

Mayor Schneider thanked all the residents for overwhelmingly passing the three propositions A, B, and R in the recent election. This will help the city maintain vacant properties and problem rental properties.

The Queens Dinner that was held on April 3rd at the Eagan Center was very successful. The queen will be crowned at the Valley of Flowers. There will be a seminar on the home improvement program this week at the Government Center. From May 1 thru 31 residents can apply for the income based, home improvement grant. The Mayor encouraged residents to “Spring Clean” and beautifying their homes and neighborhoods. April 16th will be the annual Electronic Recycling Event at St. Ferdinand Park. April 23 will be the free document shredding day for residents at St. Ferdinand Park as well. On April 30th there will be a Florissant Garage Sale at the ice rink. Summer playground program sign-ups started on March 15th. The *Pitch, Hit and Run* event will be held on Thursday May 5th at Koch Park for ages 7 – 14.

The next item on the Agenda was Council Announcements.

Councilman Schildroth thanked the Valley of Flowers Committee for hosting an excellent Queens Dinner this year. He too commended the well-informed, progressive

voters of the city for passing the recent Propositions. He attended the Princesses' Tea at the nature lodge and it was a very fun event. He thanked the Parks staff.

Councilman Henke stated that this Friday was the "Food Truck Night" at the Shrine starting at 5:00 pm. He too asked the residents to "spruce-up" their neighborhoods.

Councilman Schmidt stated that the Ward 7 & 8 Neighborhood Watch meeting that was held at JJE was well attended and very productive.

Councilman Caputa invited the residents of Ward 1, 3, and 4 to attend a Ward Meeting at JFK on April 13th.

Councilman Jones reminded everyone to not forget to donate to the TEAM food pantry. He thanked all the residents for passing the recent propositions.

Councilman Eagan stated that this would be his last night as Council President. He stated that this council had been very active in working with the Mayor to improve the City. Over the last 2 years subcommittees have been formed to discuss rental property, city streets, the golf course, pay plans, the aquatic centers and the municipal government building. Much has been accomplished and there is a lot yet to do. He thanked other Councilmembers, the Mayor, City Attorney and City Clerk for all the support and help they have all given him.

Councilman Eagan added that there would be a seminar on the heroin epidemic at the Florissant Police Department on Monday, April 25th and he encouraged everyone to attend. As a result, the next City Council Meeting is scheduled for Tuesday, April 26, 2016 at 7:30 pm.

Councilman Siam moved to adjourn the meeting, seconded by Schildroth. Motion carried.

The meeting was adjourned at 8:42 p.m.

Anita Moore, Deputy City Clerk

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277 The following Bills were signed by the Mayor:

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279 Bill no. 9168 Ord. 8212

280 Bill no. 9171 Ord. 8213

281 Bill no. 9172 Ord. 8214

282 Bill no. 9173 Ord. 8215

283 Bill no. 9174 Ord. 8216

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CITY OF FLORISSANT
CITY COUNCIL
OPEN EXECUTIVE SESSION

April 11, 2016

The City Council of the City of Florissant met in open Executive Session on Monday, April 11, 2016 at 7:15 pm. in the Council Conference Room at 955 rue St. Francois, with President Eagan presiding. On Roll Call the following Council members were present: Jones, Eagan, Caputa, Schildroth, Henke, Pagano, Schmidt, Siam and Lee. Also present were Mayor Thomas Schneider, Deputy City Clerk Anita Moore and Acting City Attorney Curt Calloway.

Councilman Schmidt moved to call for a closed meeting to confer with the City Attorney regarding contract negotiations pursuant to Section 610.021 of the Revised Statutes of Missouri, seconded by Jones. On Roll Call the Council voted: Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Schmidt yes, Siam yes and Lee yes. Motion carried.

The Council conferred with Mr. Calloway regarding contract negotiations.

Councilman Schildroth moved to open the closed executive session, seconded by Siam. On roll call the Council voted: Jones yes, Eagan yes, Caputa yes, Schildroth yes, Henke yes, Pagano yes, Schmidt yes, Siam yes and Lee yes. Motion carried.

There being no further business to discuss, Councilman Lee motioned to adjourn, seconded by Schmidt. Motion carried and the meeting adjourned at 7:27 pm.

Anita Moore
Deputy City Clerk

WHEREAS: In 1978 Gary Gaydos accepted the position as the Florissant Civic Center Theatre Manager and for 38 years remained in that position until retiring April 1, 2016, and

WHEREAS: He completed 13 years of service on the board and selection committee of the International Association of Performing Arts for Youth, served as Artistic Director for the Junior League's St. Louis Family Theatre Series, and served 4 terms as a board member and served as president for 3 of those years on the Board of the Missouri Association of Community Arts Agencies, and

WHEREAS: Gary's first jobs after majoring in Business Management in the Arts at Webster College were the Repertory Theatre of St. Louis, Administrative Director at Wayside Theatre in Middleton, VA, Administrative Coordinator for the Bicentennial Horizons of American Music and Performing Arts sponsored by St. Louis City and County, Assistant Administrator for St. Louis Public School's Visual Arts and Performing Arts Center before arriving in Florissant, and

WHEREAS: In his position as Florissant's Theatre Manager Gary oversaw the long-range and day-to-day operation of the theatre and took great pride in the beauty, comfort and function of this professionally equipped, municipally owned facility and was instrumental in bringing in national and international artists to the theatre, and

WHEREAS: A Board Advisor to the Florissant Fine Arts Council (FFAC) Gary encouraged the promotion of cultural and educational activities by sponsoring performances of music, dance, theater and art gallery exhibits at the theatre. And booked all the performers for Florissant's free "Music Under the Stars" summer concert series, and played a pivotal role with the Valley of Flowers Festival at the Eagan Center that hosts array of professional performing artists including a big top circus, and

WHEREAS: In addition to providing arts opportunities for adult performers and audiences at the theatre, he focused on introducing children to quality fine arts programming, he also championed the "Children's Celebration of Performing Arts", Gary's leadership close to 40 years in the theatre industrial will not be forgotten, and

WHEREAS: Gary and his wife Betty have been married for 36 years and have two grown children Drew and Georgia both graduates from SIU-E.

NOW, THEREFORE, I, Thomas P. Schneider, MAYOR OF THE CITY OF FLORISSANT, MISSOURI, and Members of the City Council do hereby congratulate Gary Gaydos on his retirement and wish him well. We would like to thank him for all his dedication and commitment to the City of Florissant and to the region.

In Witness Whereof I hereunto Set My Hand And Cause To Be Affixed The Seal Of The City Of Florissant, Missouri, this 26th day of April 2016.

Council President	<div>Thomas P. Schneider, Mayor</div>	<div>Jackie Pagano,</div>
Ward 5	<div>Timothy Lee, Ward 1</div>	<div>Keith Schildroth,</div>
Ward 6	<div>Tim Jones, Ward 2</div>	<div>Gerard Henke,</div>
	<div>Joseph Eagan, Ward 3</div>	<div>Mark Schmidt, Ward 8</div>
Ward 9	<div>Jeff Caputa, Ward 4</div>	<div>Tommy Siam,</div>



CITY OF FLORISSANT

PUBLIC HEARING NOTICE

A Public Hearing will be held by the Florissant City Council in the Council Chambers, 955 rue St. Francois, Florissant, MO., on Monday, March 28, 2016 at 7:30 p.m. on the following proposition, to-wit:

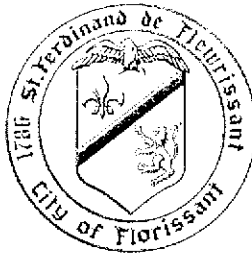
To rezone for TAUC Properties, LLC, the property located at 1090 N. Highway 67 from R-4 Single Family District to a B-5 Planned Commercial District to allow for an urgent care facility.

Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, City Clerk MMC.

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MEMORANDUM



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CITY OF FLORISSANT- BUILDING DEPARTMENT

4 *"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant;*
5 *while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

6

7 To: Planning and Zoning Commissioners

Date: March 3, 2016

8

9 From: Philip E. Lum, AIA-Building Commissioner c:

Louis B. Jearls, Jr. - P.E.,
PWLF Director Public Works
Timothy Barrett, P.E. CFM-
City Engineer
Deputy City Clerk
Applicant
File

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17 Subject: Request recommended approval to rezone to a 'B-5' to allow for a new
18 Urgent Care facility at **1090 N. Highway 67** in an 'R-4' Zoning District.
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STAFF REPORT

CASE NUMBER PZ-030716-6

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22

I. PROJECT DESCRIPTION:

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25 This is a request for **recommended approval** to rezone to a '**B-5**' to allow for a new
26 Urgent Care facility at **1090 N. Highway 67** in an 'R-4' Zoning District.
27

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II. EXISTING SITE CONDITIONS:

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30 The existing address has been vacant as the former location of a car leasing
31 establishment.
32

33 The structures existing on the site would be removed for the new development,
34 precipitating the need for a 'B-5' re-zoning for this commercial use.
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III. SURROUNDING PROPERTIES:

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38 The properties adjacent and to the North are to remain in an 'R-4' District. The addresses
39 adjacent are 1,2 & 3 St. George Ct. and 1001 St. Jean. Properties across St. Jean are 1090
40 and 1080 St. Jean and 435 St. Joseph.

41
42 **IV. STAFF ANALYSIS:**

43 The application is accompanied by professionally completed plans sealed C01 dated
44 3/1/16, E100 and L-1 dated 2/12/16, Color Elevations and Rendering by FSA
45 Architects.

46
47 The purpose of the 'B-5' District from section 405.135:

48 *"The purpose of this District is not only to provide for the attractive and efficient retail shopping facilities,*
49 *but to facilitate the establishment of combinations of developments and uses for which no provision is made*
50 *in any other single "B" Commercial District or the establishment of developments and uses in locations*
51 *appropriate under approved site plans and conditions. Such approved plans and conditions shall be*
52 *consistent with good planning practice and compatible with permitted developments and uses in adjoining*
53 *Districts so as to protect the general welfare."*

54
55 When considering issues with respect to non-adherence to the regulations of the zoning
56 district, i.e. masonry, parking spaces, setbacks, and lot size, section 405.135 includes the
57 following:

58 *"G. (3.) Minimum yard requirements — general. Setbacks for parking areas, internal drives, loading spaces*
59 *and structures shall be established in the conditions of the ordinance governing the particular "B-5"*
60 *Planned Commercial District development...*

61 *...J. Special Conditions. The following conditions apply:*

62 *1. Except as otherwise prohibited hereunder, a "B-5" Planned Commercial District may be established on*
63 *any tract of land in accordance with provisions of this Section.*

64 *2. A "B-5" Planned Commercial District may be established by ordinance of the City Council in the same*
65 *manner that other mapped Districts are established where the City Council determines that any particular*
66 *tracts or areas should be developed for commercial use, but because of possible conflicts with adjoining*
67 *uses, more development control is necessary to protect the general welfare than is possible under the*
68 *regulations of the other "B" Commercial Districts.*

69 *3. A "B-5" Planned Commercial District shall not be established on any tract of land less than one (1) acre*
70 *that has a common property line with an "R" Residential District and does not have a common property*
71 *line with any "B-5" Commercial or "M" Industrial District."*

72
73 Section 500.040 allows exceptions to masonry materials under a Special Permit or 'B-5'.

74
75 Condition J (3.) above exists, however, is in conflict with the City's Comprehensive Plan
76 for this site. The Comprehensive Plan indicates that this particular parcel should be
77 proposed to be re-zoned to commercial in the future. A new facility here precipitates the
78 need to re-zone to a 'B-5' District.

79
80 The following are staff comments regarding plans:

81
82 **Sheet C01 Comments:**

- 83 1. The size of the overall development is 0.76 acres.
84 2. The lot does not fall within a flood zone per notation.
85 3. The new building is shown at elevation 546.5'.
86 4. Greenspace minimums for less than 1 acre is not required per 405.245 para. 9.
87 5. Trash enclosure is noted to be sight-proof, no material noted.
88 6. No irrigation of landscape will be required.
89 7. A tan 6' vinyl privacy screen is shown along the west and south sides of the
90 parking lot, and includes detail of the fence.

136 In summary, the property should be re-zoned to commercial, and is proposed in this case
137 to be re-zoned to 'B-5' to allow for a new facility. Variances to the code proposed are:

- 138 1. Re-zoning and lot size: The City's Comprehensive Plan clearly indicates a re-
139 zoning is necessary to commercial. Since a 'B-5' gives greater regulatory
140 responsibility, staff recommends a 'B-5' is appropriate, because it gives greater
141 consideration to the Council for restrictions. An alternative consistent with the
142 zoning code is to re-zone to 'B-3' and then review the development plan to
143 comply with all codes with a Medical Clinic as a permitted use.
- 144 2. Masonry: EIFS can be proposed as an except to 500.040.
- 145 3. Setbacks for Building and Sign: Can be part of the ordinance per 405.135, G (3).

146
147 Insofar as the petitioner has described a 'hybrid clinic/ER' type of facility, it is incumbent
148 on the presenters to give a complete and accurate description of the use and development
149 to meet the purpose of the Zoning District and for the Commission to consider in that
150 light.

151
152 The staff report attempts to identify any differences in the zoning code and the proposal.

153 154 **Suggested Motion**

155 I move to recommend approval to rezone to a 'B-5' to allow for a new Urgent Care
156 facility at **1090 N. Highway 67**: with the following conditions to become part of the
157 record:

158
159 I move to **recommended approval** to rezone the property to a '**B-5**' to allow for a new
160 Urgent Care facility at **1090 N. Highway 67**, according to the proposal prepared by the
161 petitioner as described related documents presented and according to the attached
162 drawings: C01 dated 3/1/16, E100 and L-1 dated 2/12/16, Color Rendering, Front, Right,
163 Back and Left Elevations as prepared by FSA Architects, Approval is subject to
164 the regulations of these ordinances, with permitted uses allowed being an Urgent Care
165 Facility, and the following additional requirements:

166 167 **1. PERMITTED USES**

168 The uses permitted for this property shall be limited to an Urgent Care
169 Facility. Uses other than those permitted shall require approval by
170 amendment to this Ordinance.

171 172 173 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

174 The building space shall be limited to a single story 5000 s.f. Facility.

175 176 **3. PERFORMANCE STANDARDS**

177 In addition to all other requirements, uses within the "B-3" Extensive
178 Business District shall conform to the most restrictive performance
179 standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. Screening.
 - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
 - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Trash container shall be screened from view from any r.o.w or residential property.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawing attached and shall include the entire property, trash enclosures, landscape, lighting, legal description and building setbacks.

226 **6. SITE DEVELOPMENT PLAN CRITERIA:**

227
228 a. Height, Area And Bulk Restrictions:

- 229
230 1. Height, Area And Bulk Regulations. The height, area and bulk
231 regulations for uses in the "B-5" Planned Commercial District shall be
232 those as set forth on drawing C01 attached dated 3/1/16 and are as
233 follows:

- 234 a. North: a minimum of 15.62 feet and gradually increasing with
235 the face of the proposed building toward the intersection as
236 shown.
237 b. East: 11.24 feet.
238 c. West: 35 feet.
239 d. South: 35 feet.

240
241 b. Internal Drives:

- 242
243 (1) There shall be parking as shown on the Final Development Plan
244 indicating existing parking.

245
246 c. Minimum Parking/Loading Space Requirements.

- 247
248 (1) There shall be a minimum of 42 required parking spaces provided on
249 the property as shown on drawing C01 dated 3/1/16.
250 (2) A parking demand study showing satisfactory justification for
251 exceeding 110% of parking required shall be reviewed and accepted
252 by City Council.

253
254 d. Road Improvements, Access and Sidewalks

- 255 (1) There shall be a modification of the sidewalk area to include
256 landscape: burning bush plantings, trees, walks, tree wells and lighting
257 per the Lindbergh Improvement Plan, provided on the highway
258 frontage of the property.

259
260 e. Lighting Requirements.

261
262 Lighting of the property shall comply with the following standards and
263 requirements:

- 264
265 (1) The light level for parking lot lighting shall be as depicted on sheet
266 E100, dated 2/12/16, attached.
267
268 (2) All site lighting and exterior building lighting shall be directed down
269 and inward

270
271 f. Sign Requirements.

(1) All signage shall comply with the City of Florissant sign ordinance for commercial districts.

(2) One existing Ground Sign in its location shown on C01, shall not exceed 4 feet in height above adjacent roadway.

g. Landscaping and Fencing.

(1) Shall be as shown on drawing L-1 dated 2/12/16 attached. Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

(1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse affect the neighboring properties.

(2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

(1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.

(2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.

(3) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.

(4) All mechanical equipment, electrical equipment, and communication equipment shall be screened in accordance with the Florissant Zoning Code.

(5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.

318
319 (6) All other requirements of the Florissant Municipal Code and other
320 ordinances of the city shall be complied with unless otherwise allowed
321 by this ordinance.
322

323
324 **7. GENERAL DEVELOPMENT CONDITIONS.**
325

326 a. Unless, and except to the extent, otherwise specifically provided herein,
327 development shall be effected only in accordance with all ordinances of
328 the City of Florissant.
329

330 b. The Department of Public Works shall enforce the conditions of this
331 ordinance in accordance with the Site Development Plan approved and all
332 other ordinances of the City of Florissant.
333

334 **9. PROJECT COMPLETION.**
335

336 Construction shall start within 60 days of the issuance of building permits for
337 the project and shall be developed in accordance of the approved final
338 development plan within 6 months of start of construction.
339

340
341 (end report and suggested motion options)
342

TOTAL ACCESS URGENT CARE

1090 NORTH HIGHWAY 67
FLORISSANT, MO

ELECTRICAL
SCHEDULES

ISSUED FOR	DATE
PROJECT	02/22/18

E100

D-Series Pole Mount LED Area Luminaire

Specifications:

- Mounting: Pole Mount
- Height: 15' - 20'
- Beam Spread: 120°
- Light Output: 100,000 - 150,000 Lumens
- Warranty: 5 Years

Notes:

1. Luminaire shall be mounted on a steel pole.
2. Luminaire shall be oriented to provide uniform illumination of the area.
3. Luminaire shall be protected from vandalism.

6 TYPE A & C CLISHEE

E100 SCALE: NO SCALE

D-Series Size 1 LED Pole Luminaire

Specifications:

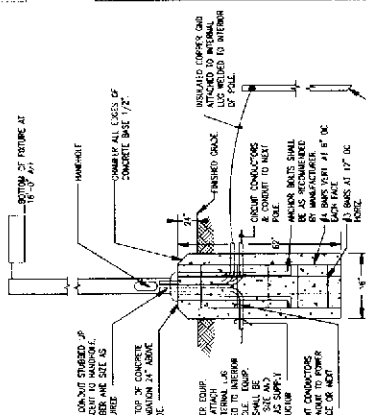
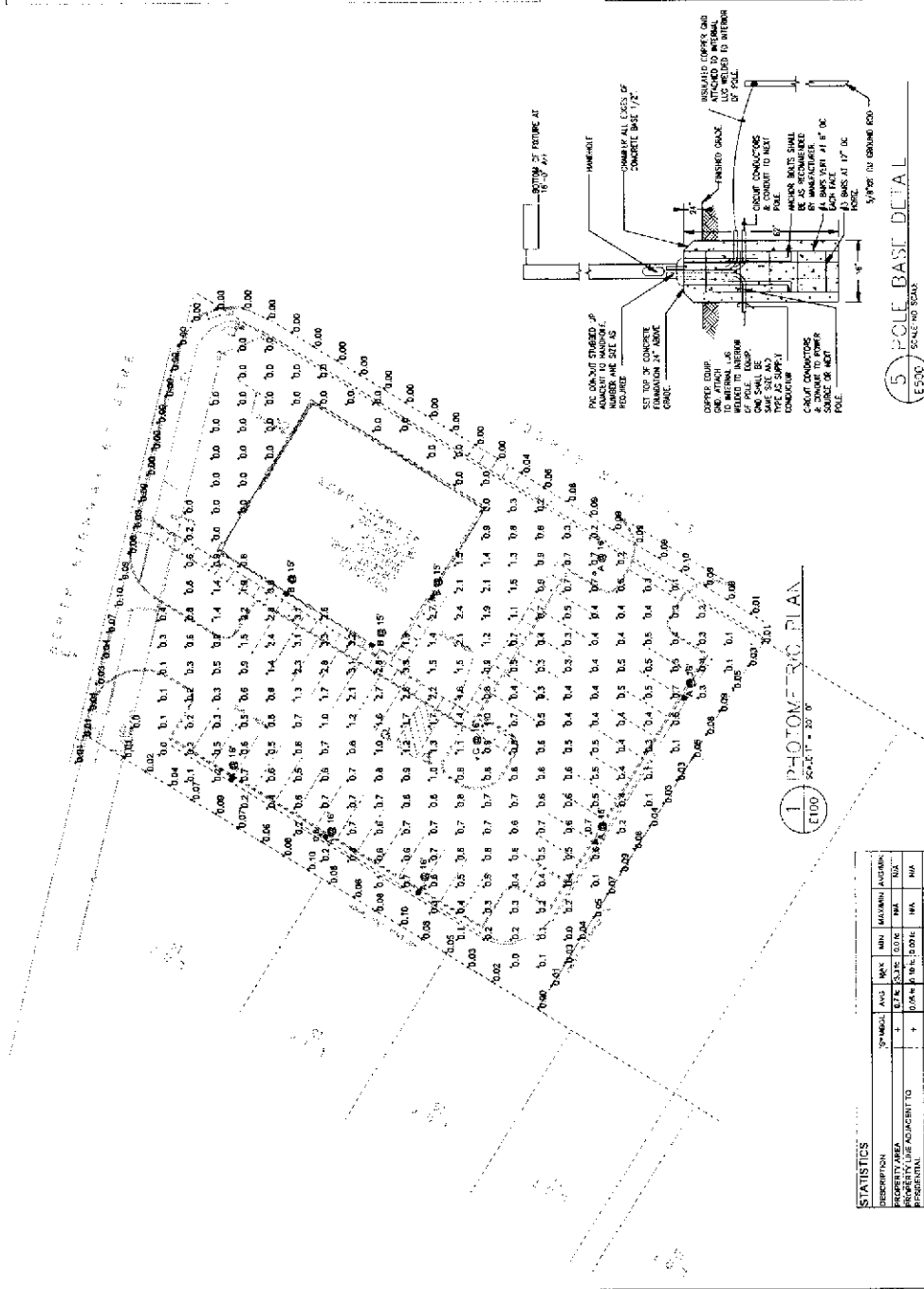
- Mounting: Pole Mount
- Height: 15' - 20'
- Beam Spread: 120°
- Light Output: 100,000 - 150,000 Lumens
- Warranty: 5 Years

Notes:

1. Luminaire shall be mounted on a steel pole.
2. Luminaire shall be oriented to provide uniform illumination of the area.
3. Luminaire shall be protected from vandalism.

7 TYPE B CLISHEE

E500 SCALE: NO SCALE



SYMBOL	LABEL	WAVE	QUANTITY	MANUFACTURER	CATALOG NO.	DESCRIPTION	LAMP	NO. OF LAMPS	LIGHT FACTOR	MOYER
A	A	1	1	1	1	1	1	1	1	1
B	B	1	1	1	1	1	1	1	1	1
C	C	1	1	1	1	1	1	1	1	1

4. LUMINAIRE SCHEDULE

E100 SCALE: NO SCALE

2. STATISTICS
E100 SCALE: NO SCALE

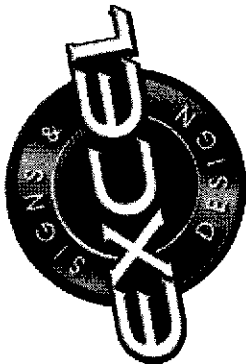
SYMBOL	WAVE	QUANTITY	MANUFACTURER	CATALOG NO.	DESCRIPTION	LAMP	NO. OF LAMPS	LIGHT FACTOR	MOYER
A	A	1	1	1	1	1	1	1	1
B	B	1	1	1	1	1	1	1	1
C	C	1	1	1	1	1	1	1	1

3. LUMINAIRE LOCATIONS
E100 SCALE: NO SCALE

SYMBOL	WAVE	QUANTITY	MANUFACTURER	CATALOG NO.	DESCRIPTION	LAMP	NO. OF LAMPS	LIGHT FACTOR	MOYER
A	A	1	1	1	1	1	1	1	1
B	B	1	1	1	1	1	1	1	1
C	C	1	1	1	1	1	1	1	1

3. LUMINAIRE LOCATIONS

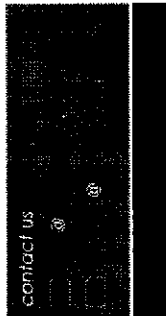
E100 SCALE: NO SCALE



4004-B Butler Hill Rd. | St. Louis, MO 63129

314.200.8097 314.200.8069

excelsignsll.com



Client: Total Access Urgent Care

Contact: Ashley Williams
(618) 593-4435
awilliams@tauc.com

Date: 3/23/16

Address: 1090 N Hwy 67
Florissant, MO 63031



Design Layout Approval

☒ Approved AS IS

☐

☒ Date

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TOTAL ACCESS URGENT CARE

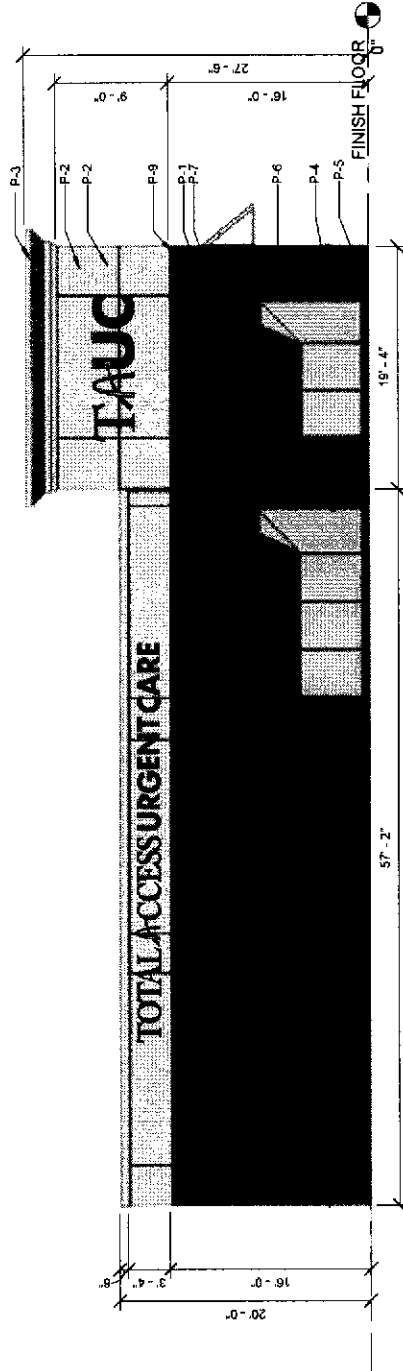
138.4"

TAUC

41.5"

398.5"

TOTAL ACCESS URGENT CARE



EAST ELEVATION

S P E C I F I C A T I O N S

Raceway mounted channel letters

Florissant Allowances: max of 40 sqft

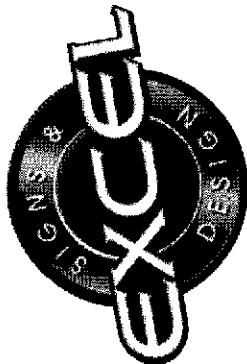
Proposed Signage:

- > TAUC - 41.5" x 138.4" = 5,743.6 sqin / 144 = 39.8 sqft
- > Total Access Urgent Care - 25" x 398.5" = 9,962.5 sqin / 144 = 69.1 sqft

** Variance Needed!

color chart

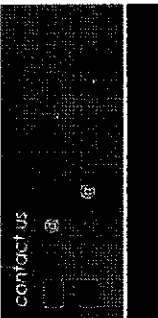
- PMS 281C
- PMS 193C
- Cool Gray 6



4004-B Butler Hill Rd. | St. Louis, MO 63129

314.200.8097 314.200.8069

excelsignsll.com



Client: Total Access Urgent Care

Contact: Ashley Williams
(618) 593-4435
awilliams@tauc.com

Date: 3/23/16

Address: 1090 N Hwy 67
Florissant, MO 63031



Design Layout Approval

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TOTAL ACCESS URGENT CARE

138.4"

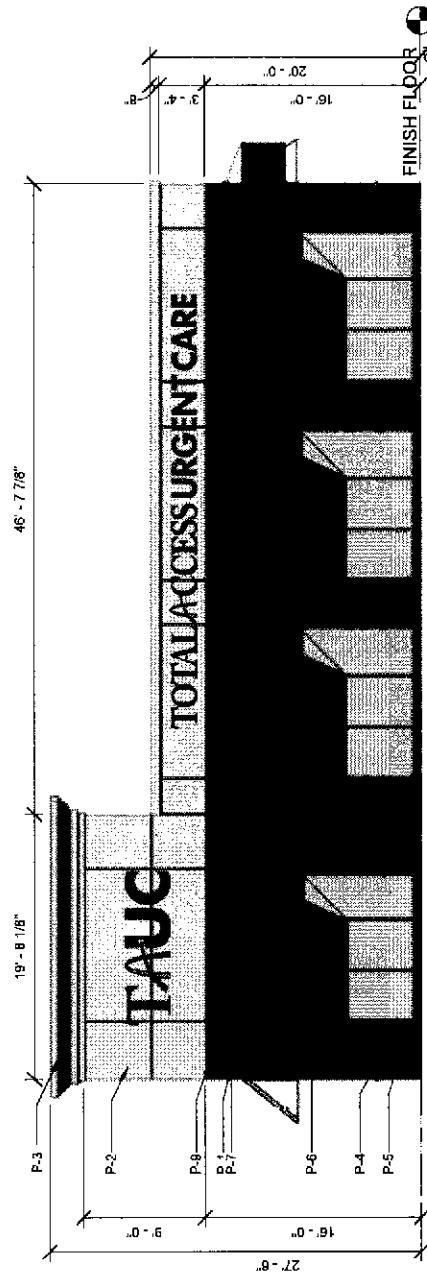
TAUC

41.5"

398.5"

TOTAL ACCESS URGENT CARE

25"



NORTH ELEVATION

S P E C I F I C A T I O N S

Raceway mounted channel letters

Fluorescent Allowances: max of 40 sqft

Proposed Signage:

- > TAUC - 41.5" x 138.4" = 5,743.6 sqin / 144 = 39.8 sqft
- > Total Access Urgent Care - 25" x 398.5" = 9,962.5 sqin / 144 = 69.1 sqft

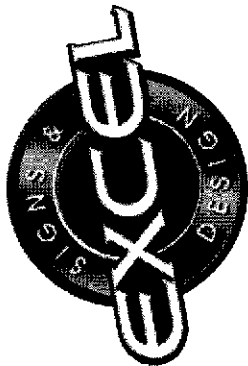
** Variance Needed!

color chart

PMS 281C

PMS 193C

Cool Gray 6



4004-8 Butler Hill Rd. | St. Louis, MO 63129

314.200.8097 314.200.8099

excelsignsll.com

contact us

Client:

Total Access Urgent Care

Contact:

Ashley Williams
(618) 593-4435
awilliams@tauc.com

Date:

3/23/16

Address:

1090 N Hwy 67
Florissant, MO 63031

designer

Design Layout Approval

☒ Approved AS IS

☒

☒ Date

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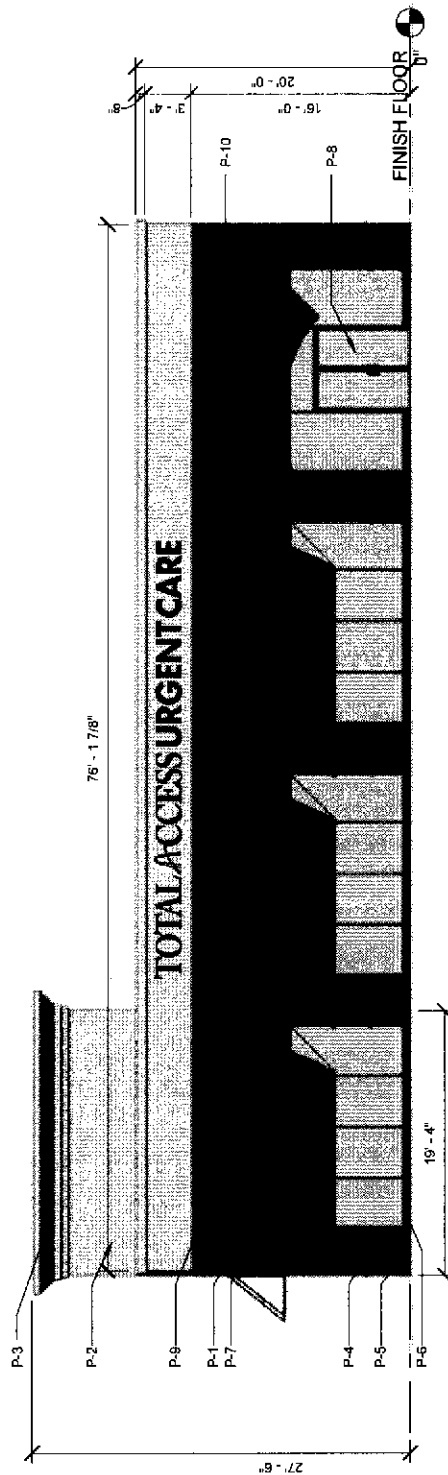
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TOTAL ACCESS URGENT CARE

398.5"

25" TOTAL ACCESS URGENT CARE



WEST ELEVATION

S P E C I F I C A T I O N S

Raceway mounted channel letters

Florissant Allowances: max of 40 sqft

Proposed Signage:

- > TAUC - 41.5" x 138.4" = 5,743.6 sqin / 144 = 39.8 sqft
- > Total Access Urgent Care - 25" x 398.5" = 9,962.5 sqin / 144 = 69.1 sqft

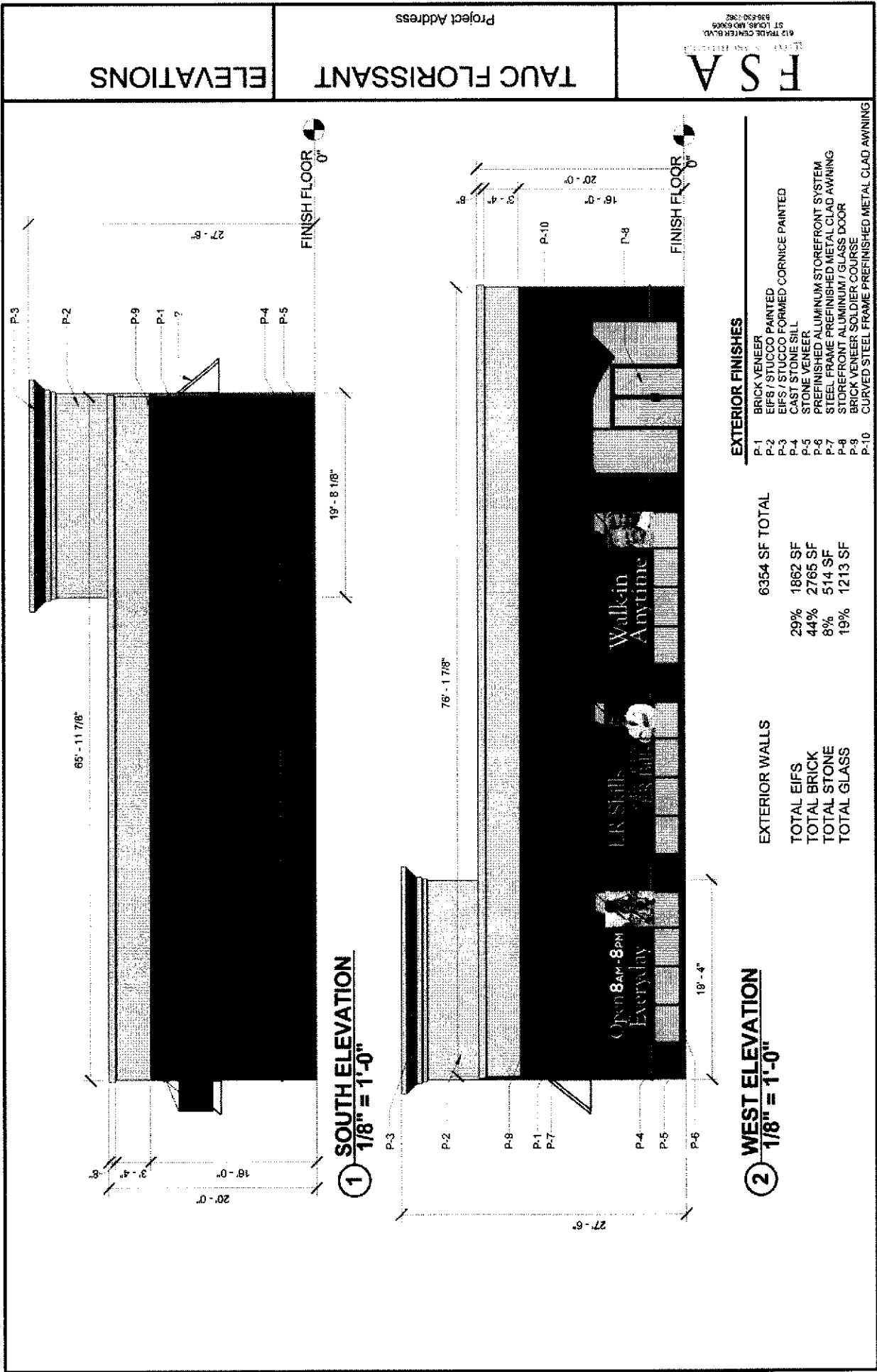
** Variance Needed!

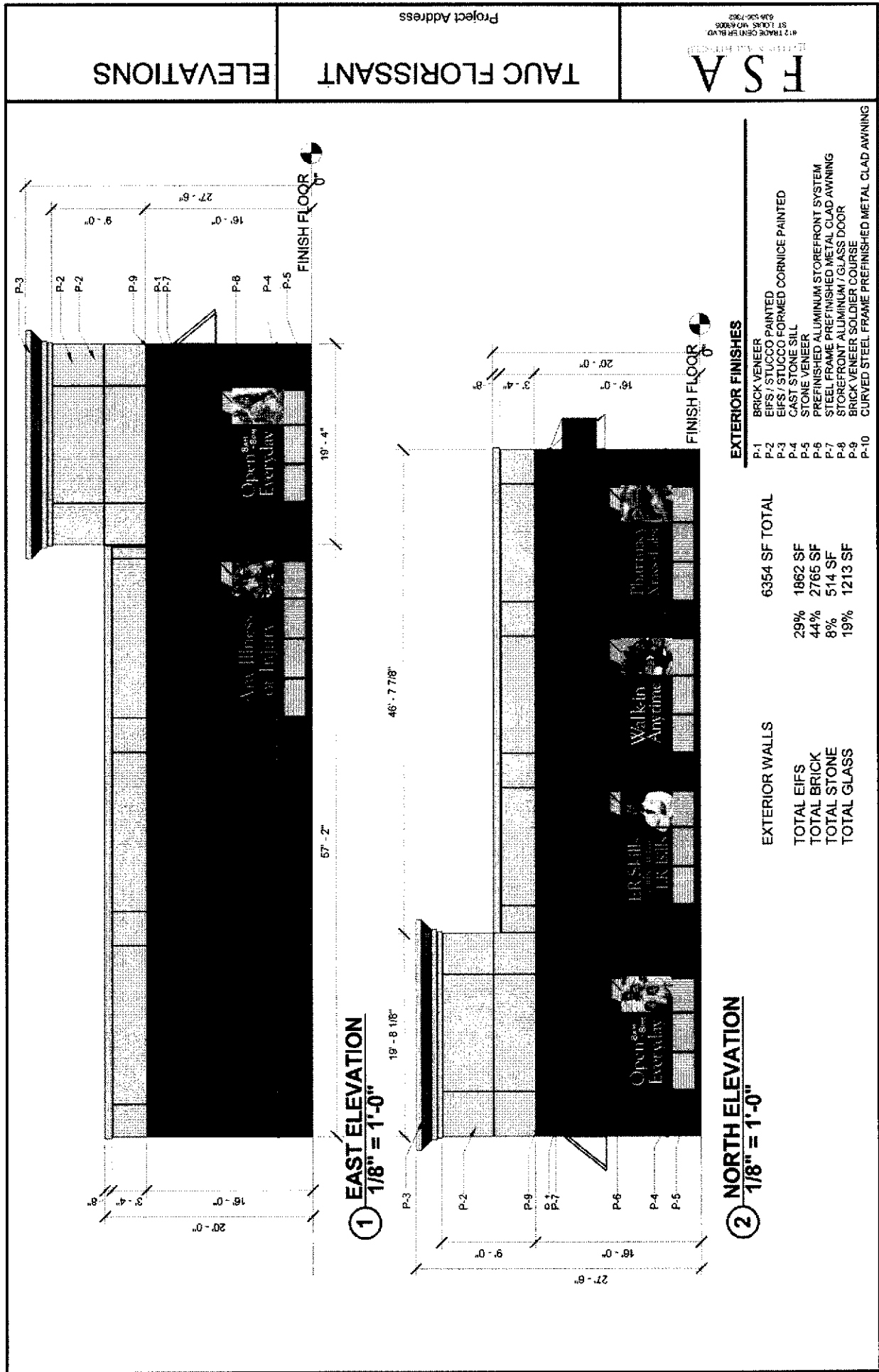
color chart

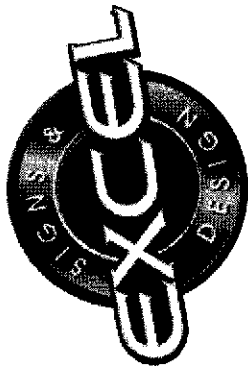
PMS 281C

PMS 193C

Cool Gray 6



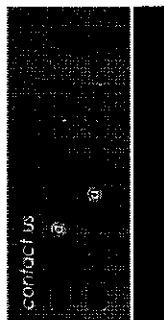




4004-B Butler Hill Rd. | St. Louis, MO 63129

314.200.8097 314.200.8069

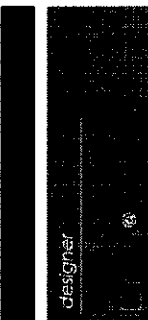
excelsignstl.com



Client: Total Access Urgent Care
Contact: Ashley Williams (618) 593-4435 awilliams@tauc.com

Date: 3/24/16

Address: 1090 N Hwy 67 Florissant, MO 63031



Design Layout Approval
✓ **Approved ASIS**

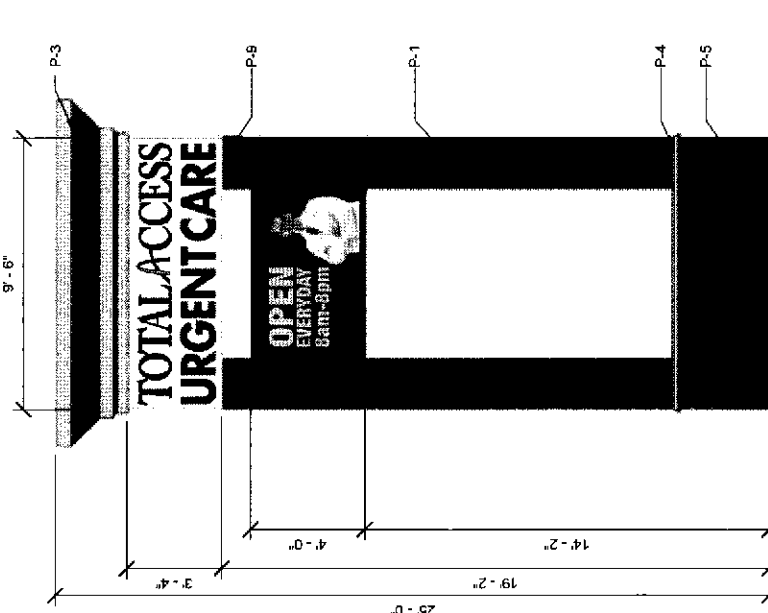
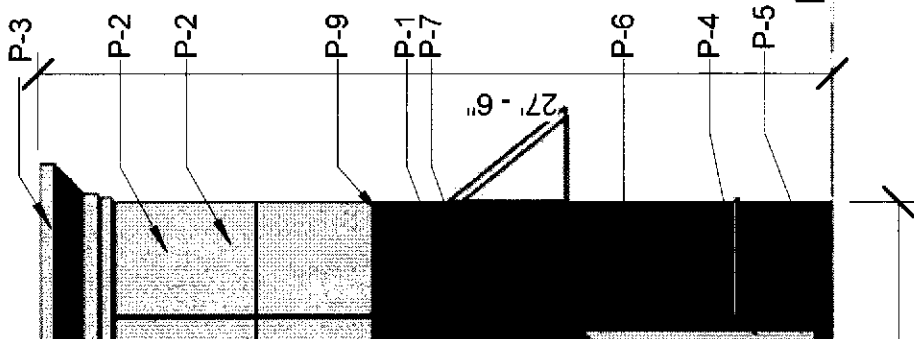
✗ **Date**

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TOTAL ACCESS URGENT CARE



FINISH FLOOR 0"

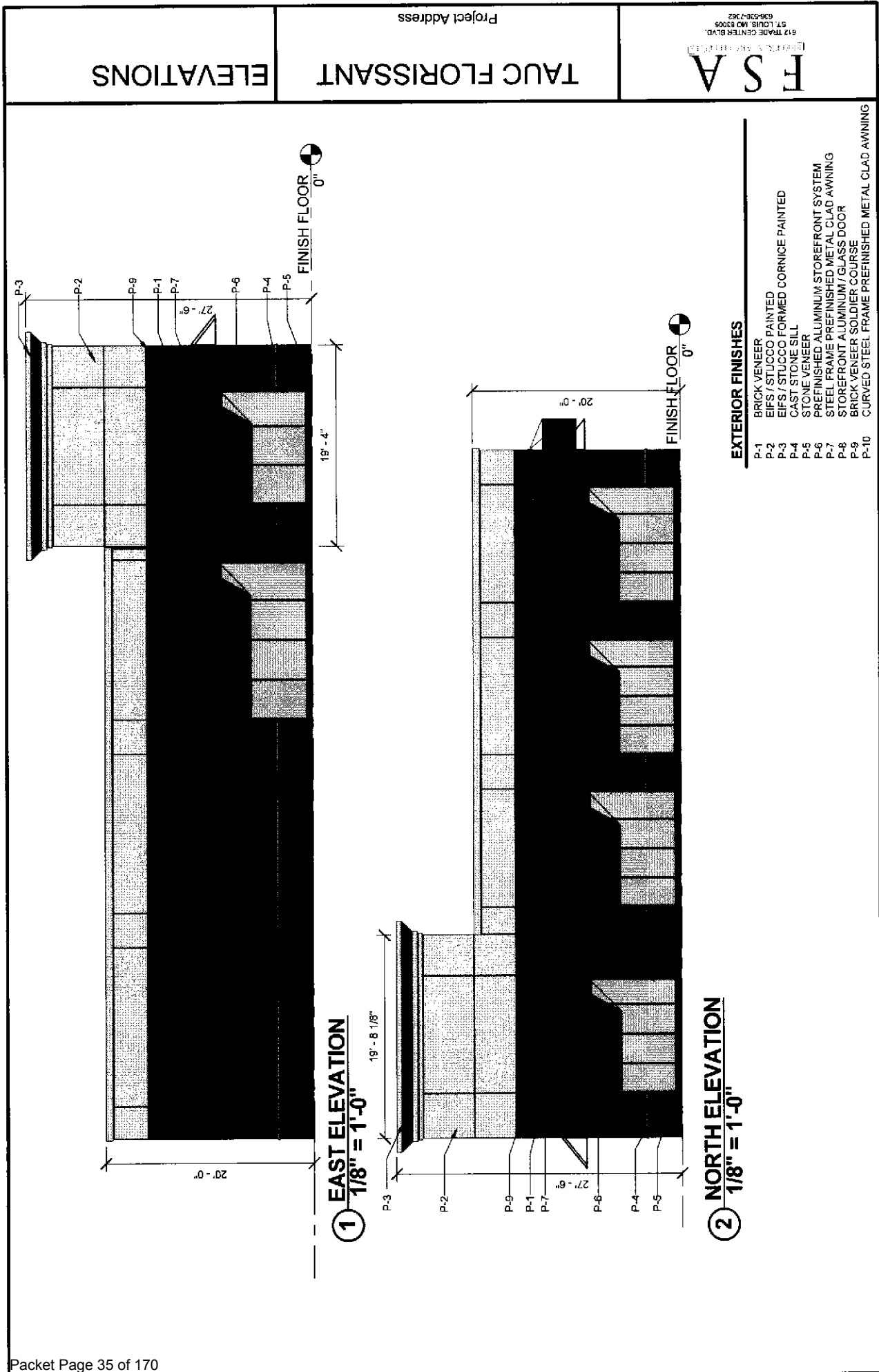
1 PROPOSED SIGNAGE
1/4" = 1'-0"

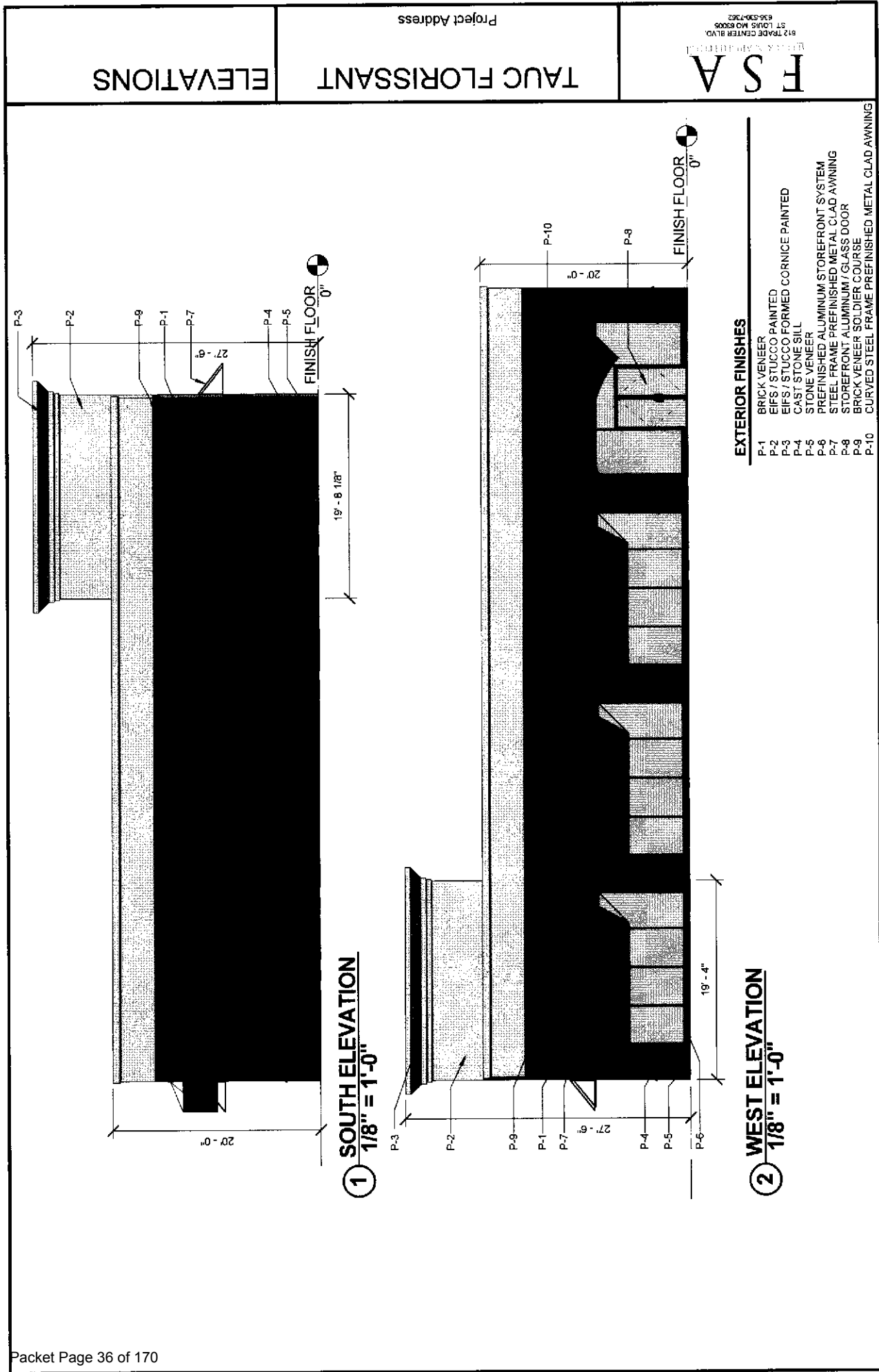
S P E C I F I C A T I O N S

Free-standing cabinet sign with 16mm LED message board

- > Brick work to be done by FSA
- > Cabinet includes polycarbonate panels with DI Print graphics applied & topper constructed to match building design

Florissant Allowances: max height of 25 sqft



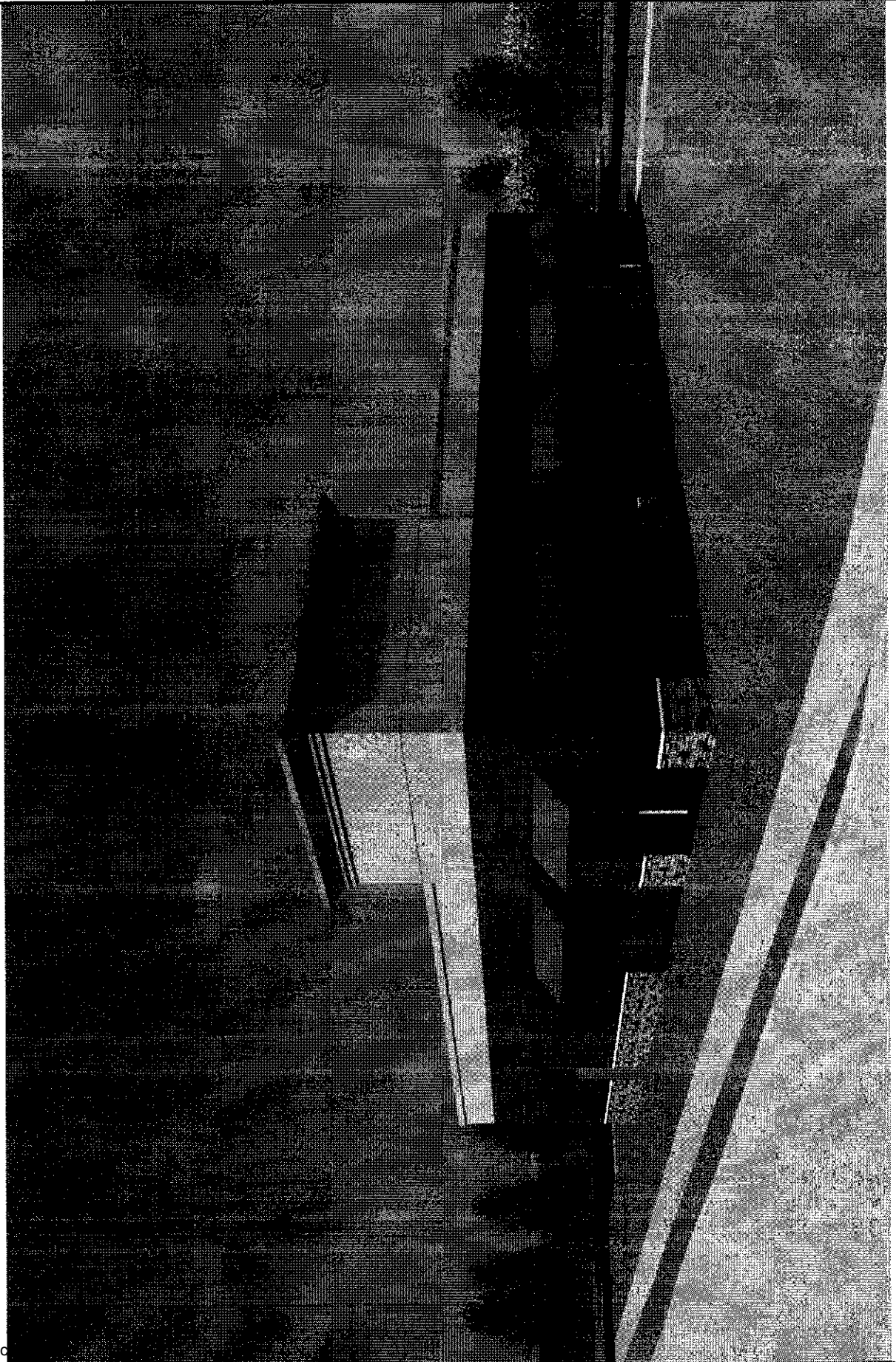


F S A
612 TRADE CENTER BLVD
ST. LOUIS, MO 63102
314-591-7382

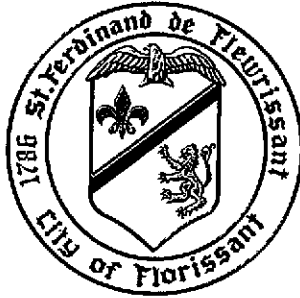
Project Address

TAUC FLOISSANT

RENDERING



FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant -- Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 1090 No HIGHWAY 67

Property Owners Name: DAVID & CAROL TEUBNER Phone #: _____

Property Owners Address: 7001 HOWDERSHELL ROAD

Business Owners Name: TAUC PROPERTIES, LLC Phone #: 314-458-0044

Business Owners Address: 9556 MANCHESTER, ST LOUIS MO 63119

DBA (Doing Business As) _____

Authorized Agents Name: BRANDON A. HARP, P.E. CO. Name: _____
(Authorized Agent to Appear Before The Commission)

Agents Address: 11402 GRAVOIS ROAD - St Louis Suite 100 63126 Phone #: 314-729-1400

Request REZONE TO B-5, SITE PLAN REVIEW

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]
Applicant's Signature

2-19-16
Date

OFFICE USE ONLY

Received by: _____ Receipt # _____ Amount Paid: _____ Date: _____

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

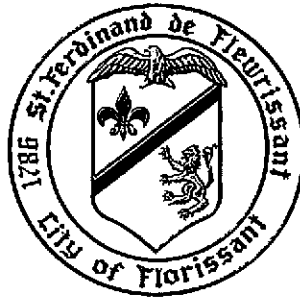
COMMISSION ACTION TAKEN:

RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

SIGN. [Signature]

DATE: 3/7/2016

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL
DEVELOPMENT OR TO AMEND AN EXISTING B-5 COMMERCIAL
DEVELOPMENT



City Of Florissant – Public Works
314-839-7648

PLANNING & ZONING ACTION:

Address of Property: 1090 N. HWY 67

RECOMMEND DENIAL
PLANNING & ZONING
CHAIRMAN

Council Ward 6 Zoning R-4

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN. [Signature]

DATE: 3/7/2010

Petition to Establish a B-5 Ordinance: ☒ Petition to Amend Existing B-5 Ordinance # _____

1) Comes Now MATT BRUCKER / TAUC PROPERTIES LLC

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property OWNER UNDER CONTRACT

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".

B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.

C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 0.8

2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for _____

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following reasons to justify the amendment to the existing B-5 ordinance:

TO ALLOW FOR AN URGENT CARE FACILITY
List reason for the amendment request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME

MATT BRUCKEL
Print Name

PETITIONER(S) SIGNATURE (S)

FOR TANC PROPERTIES LLC

(company, corporation, partnership) Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):
- (X) I (we) have a legal interest in the herein above described property.
- () I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE

ADDRESS 9556 MANCHESTER ST, LOUIS MO 63119
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 314-458-0044
BUSINESS

I (we) the petitioner (s) do hereby appoint BRANDON A. HARP, P.E. as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

[Signature]
Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐ Partnership: ☐ LLC Corporation: ☐

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners MATT BRUCKEL
- (2) Telephone numbers 314-458-0044
- (3) Business address 9556 MANCHESTER, ST. LOUIS, MO 63119
- (4) Name under which business is operated TAVC PROPERTIES, LLC
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name BRANDON A. HARP, P.E.
Address 11402 GRAVOIS
Property Owner DAVID & CAROL TEUBNER
Location of property 1090 N. HWY 67
Dimensions of property 160' x 180' +/-
Property is presently zoned B-5 per ordinance # N/A
Current & Proposed Use of Property URGENT CARE FACILITY
Type of Sign MONUMENT Height MAX. PER CODE
Type of Construction SEE BLDG ELEVATIONS Number Of Stories 1
Square Footage of Building 5,000 S.F. +/- Number of Curb Cuts 2
Number of Parking Spaces 42 Sidewalk Length NONE
Landscaping: No. of Trees SEE LANDSCAPE PLAN Diameter _____
No. of Shrubs _____ Size _____
Fence: Type TAN VINYL Length 270' +/- Height 6'

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY 1090 N. Hwy 67 CURRENT ZONING 'B-4'

PROPERTY OWNER OF RECORD David Trebner PHONE NO. _____

AUTHORIZED AGENT CEOC PHONE NO. _____

PROPOSAL Re-zone to 'B-5' for Urgent Care

1) a. Uses - Are uses stipulated Yes / No

b. What current District would this proposal be a permitted use: 'B-5'

c. Proposed uses for out lots: _____

2) Performance Standards:

- a) Vibration: Is there any foreseen vibration problems at the property line? Yes / No
- b) Noises: Will the operation or proposed equipment exceed 70 decibels? Yes / No
- c) Odor is there any foreseen problem with odor? Yes / No
- d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? Yes / No
- e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? Yes / No
- f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? Yes / No
- g) Is there any dangerous amount of radiation produced from the operation? Yes / No
- h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No
- i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? Yes / No
- j) Is buildings screened from adjoining residential? Yes / No

3) Are height of structures shown? Yes / No

4) Are all setbacks shown? only parking Yes / No

5) Are building square footages shown? Yes / No

6) What is the exterior construction of the buildings? stone/brick/EIFS

7) Is off street loading shown? Yes/No N/A

8) Parking:

- a) Does parking shown meet the ordinance? Yes / No
- b) Is a variance required in accordance with the ordinance? Yes / No
- c) Ratio shown reqd. 4.5 to _____
- d) Total Number 42
- e) Will cross access and cross parking agreements be required? Yes / No
- f) Is the parking lot adequately landscaped? Yes / No

9) Are there any signs? Yes / No

Number of signs shown one

Type of Signs ground

Are sizes, heights, details, and setbacks shown? Yes / No

10) Are existing and proposed contours shown at not more than five (5) feet intervals? Yes / No

11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? ☒ Yes ☐ No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? ☒ Yes ☐ No
- 14) Was a traffic study submitted?
Does the City Staff recommend a traffic study? ☒ Yes ☐ No
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? ☒ Yes ☐ No
- 16) Is a legal description of the property shown?
Does legal description appear to be proper? ☒ Yes ☐ No
- 17) Is an out-boundary plat of the property submitted? ☒ Yes ☐ No
- 18) Suggested time limitations of construction: Start 60 Finish 360
- 19) Is parking lot lighting shown? ☒ Yes ☐ No
- 20) Are new walkways required? ☒ Yes ☐ No
- 21) Is there sufficient handicapped access? ☒ Yes ☐ No
- 22) a) Are there proposed curb-cuts?
b) Do the curb-cuts meet the City ordinances? ☒ Yes ☐ No *refer to TB.*
- 23) Will this project require any street improvements? ☒ Yes ☐ No
- 24) Staff recommendations for site development plans: _____

25) Staff Comments: see staff report

2/23/16
Date Application reviewed
Philip E. Smith
Building Commissioner or Staff Signature

Site Development Plan

TOTAL ACCESS URGENT CARE MEDICAL CLINIC

PART OF BLOCK 85 OF THE NEW TOWN OF FERDINAND
CITY OF FLOISSANT, MISSOURI

LEGEND

EXISTING DRIVEWAY	EXISTING DRIVEWAY
EXISTING DRIVEWAY	EXISTING DRIVEWAY
EXISTING DRIVEWAY	EXISTING DRIVEWAY
EXISTING DRIVEWAY	EXISTING DRIVEWAY
EXISTING DRIVEWAY	EXISTING DRIVEWAY
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EXISTING DRIVEWAY	EXISTING DRIVEWAY
EXISTING DRIVEWAY	EXISTING DRIVEWAY
EXISTING DRIVEWAY	EXISTING DRIVEWAY

SYMBOLS

WATER VALVE	WATER VALVE
WATER VALVE	WATER VALVE
WATER VALVE	WATER VALVE
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WATER VALVE	WATER VALVE
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WATER VALVE	WATER VALVE

ABBREVIATIONS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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ZONING NOTES

1. The zoning district is shown on the zoning map of the City of Floissant, Missouri, and is subject to the zoning ordinance of the City of Floissant, Missouri.

FLOOD ZONE NOTES

1. The flood zone is shown on the flood zone map of the City of Floissant, Missouri, and is subject to the flood zone ordinance of the City of Floissant, Missouri.

BENCHMARK

1. The benchmark is shown on the benchmark map of the City of Floissant, Missouri, and is subject to the benchmark ordinance of the City of Floissant, Missouri.

SITE BENCHMARK

1. The site benchmark is shown on the site benchmark map of the City of Floissant, Missouri, and is subject to the site benchmark ordinance of the City of Floissant, Missouri.

LAND DESCRIPTION


1. The land description is shown on the land description map of the City of Floissant, Missouri, and is subject to the land description ordinance of the City of Floissant, Missouri.

PREPARED FOR:

TAUC Properties, LLC
Mott Broker, LLC
314-458-0244
www.TAUC.com

PREPARED BY:

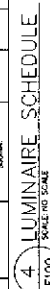
CEDC
CIVIL ENGINEERING
DESIGN CONSULTANTS



D Series Size 1 LED Wall Luminaire

Options	
LED <input type="checkbox"/> 10W <input type="checkbox"/> 15W <input type="checkbox"/> 20W <input type="checkbox"/> 25W <input type="checkbox"/> 30W <input type="checkbox"/> 35W <input type="checkbox"/> 40W <input type="checkbox"/> 45W <input type="checkbox"/> 50W <input type="checkbox"/> 55W <input type="checkbox"/> 60W <input type="checkbox"/> 65W <input type="checkbox"/> 70W <input type="checkbox"/> 75W <input type="checkbox"/> 80W <input type="checkbox"/> 85W <input type="checkbox"/> 90W <input type="checkbox"/> 95W <input type="checkbox"/> 100W <input type="checkbox"/> 105W <input type="checkbox"/> 110W <input type="checkbox"/> 115W <input type="checkbox"/> 120W <input type="checkbox"/> 125W <input type="checkbox"/> 130W <input type="checkbox"/> 135W <input type="checkbox"/> 140W <input type="checkbox"/> 145W <input type="checkbox"/> 150W <input type="checkbox"/> 155W <input type="checkbox"/> 160W <input type="checkbox"/> 165W <input type="checkbox"/> 170W <input type="checkbox"/> 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7 TYPE B CUTSHEET
SCALE: NO SCALE



UNWARRANT SCHEDULE												
ITEM NO.	SYMBOL	LABEL	IMAGE	QUANTITY	MANUFACTURER	CATALOG NO.	DESCRIPTION	LAMP	NO. OF LAMPS	WARRANT PER FACTOR	LOSS FACTOR	NOTES
1		A		6	UNION LIGHTING	DOWNWY LED 100 WATT 2X40 INK T8/NO. 24K	DOWNWY LED WITH 100 WATT T8/NO. 24K	LED	1	1	0.3	DOWNWY LED WITH 100 WATT T8/NO. 24K
2		B		3	UNION LIGHTING	DOWNWY LED 100 WATT 2X40 INK T8/NO. 24K	DOWNWY LED WITH 100 WATT T8/NO. 24K	LED	1	47.3	1	DOWNWY LED WITH 100 WATT T8/NO. 24K
3		C		1	UNION LIGHTING	DOWNWY LED 100 WATT 2X40 INK T8/NO. 24K	DOWNWY LED WITH 100 WATT T8/NO. 24K	LED	1	23.4	1	DOWNWY LED WITH 100 WATT T8/NO. 24K

STATISTICS						
	SYMBOL	DOC	MAX	MIR	MAX/MIN	AVERAGE
PROPERTY AREA	+	8.1%	3.1%	0.0%	N/A	N/A
PROPERTY LINE ADJACENT TO HIGHWAY	+	0.6%	16.1%	0.0%	N/A	N/A
RECREATIONAL	-	0.0%	0.0%	0.0%	0.0%	0.0%

LUMINAIRE LOCATIONS		Location		Alt.	
NO.	LABEL	X	Y	TH	Z
1	BRIDGE 50	1073963.00	11.00	18.00	1073963.00
2	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
3	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
4	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
5	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
6	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
7	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
8	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
9	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
10	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
11	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
12	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
13	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
14	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
15	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
16	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
17	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
18	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
19	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
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30	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
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37	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
38	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
39	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
40	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
41	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
42	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
43	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
44	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
45	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
46	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
47	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
48	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
49	BRIDGE 50	1073963.00	11.00	12.00	1073963.00
50	BRIDGE 50	1073963.00	11.00	12.00	1073963.00

3 LUMINAIRE LOCATIONS

REV	DATE	BY
1	10/1/10	WJS
2	10/1/10	WJS
3	10/1/10	WJS
4	10/1/10	WJS
5	10/1/10	WJS
6	10/1/10	WJS
7	10/1/10	WJS
8	10/1/10	WJS
9	10/1/10	WJS
10	10/1/10	WJS

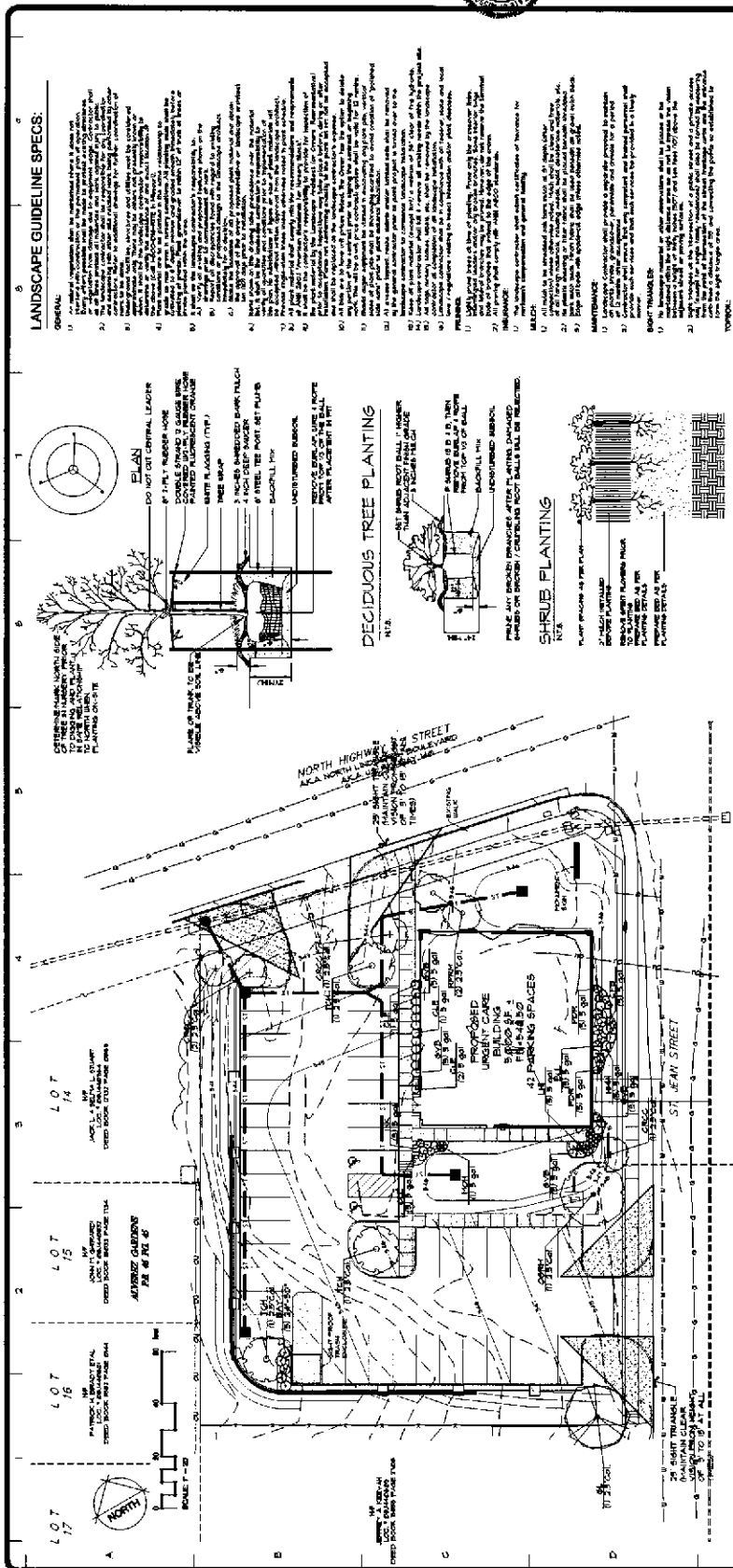


LANDSCAPE TECHNOLOGY

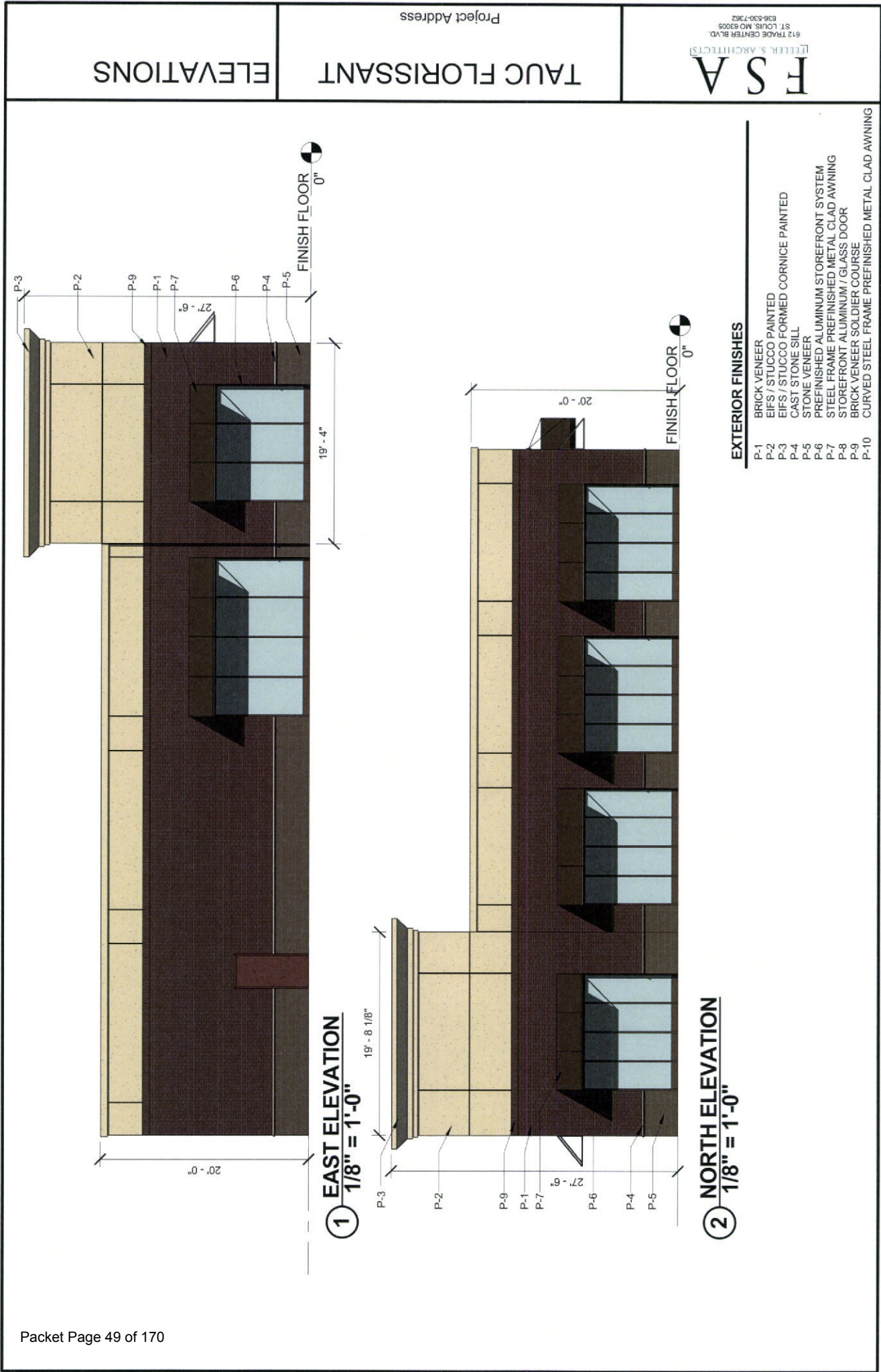
Total Access Urgent Care

PLANTING PLAN FOR THE PROPOSED
FLOISSANT, MISSOURI

REV	DATE	BY
1	10/1/10	WJS
2	10/1/10	WJS
3	10/1/10	WJS
4	10/1/10	WJS
5	10/1/10	WJS
6	10/1/10	WJS
7	10/1/10	WJS
8	10/1/10	WJS
9	10/1/10	WJS
10	10/1/10	WJS



PLANT SCHEDULE		
TREES	QTY	BOTANICAL NAME
GL	1	Greenheart Littleleaf Linden / <i>Tilia cordata</i> 'Greenspire'
RPRM	2	Redpointe Red Maple / <i>Acer rubrum</i> 'Redpointe'
OSRM	1	October Glory Maple / <i>Acer rubrum</i> 'October Glory'
FLOWERING TREES	QTY	BOTANICAL NAME
CRCC	4	Canada Red Chokeberry / <i>Prunus virginiana</i> 'Canada Red'
TCH	5	Thornless Cockspur Hawthorn / <i>Crataegus crugata</i> var. 'thornless'
SHRUBS	QTY	BOTANICAL NAME
BLL	5	Blooming Lilac / <i>Syringa x Panda</i>
CPB	5	Crimson Pygmy Borerberry / <i>Berberis thunbergii</i> 'Crimson Pygmy'
INK	3	Danica Inkberry / <i>Ilex glabra</i> 'Danica'
SVB	16	Green Velvet Boxwood / <i>Buxus Green Velvet</i>
HMA	5	Heiz Midget Arborvitae / <i>Thuja occidentalis</i> 'Heiz Midget'
LHI	5	Little Henry Sweetgum / <i>Liquidambar styraciflua</i> 'Little Henry'
NOM	1	Norfolk Island Cedar / <i>Callitris nothofagifolia</i> 'Norfolk'
BAY	5	Northern Bayberry / <i>Myrica pensylvanica</i>
CLE	9	Hummingbird Summer Sweet / <i>Clethra alnifolia</i> 'Hummingbird'
ROSES	QTY	BOTANICAL NAME
PDR	10	Peach Drift Rose / <i>Rosa x 'Meigull'</i>



ELEVATIONS

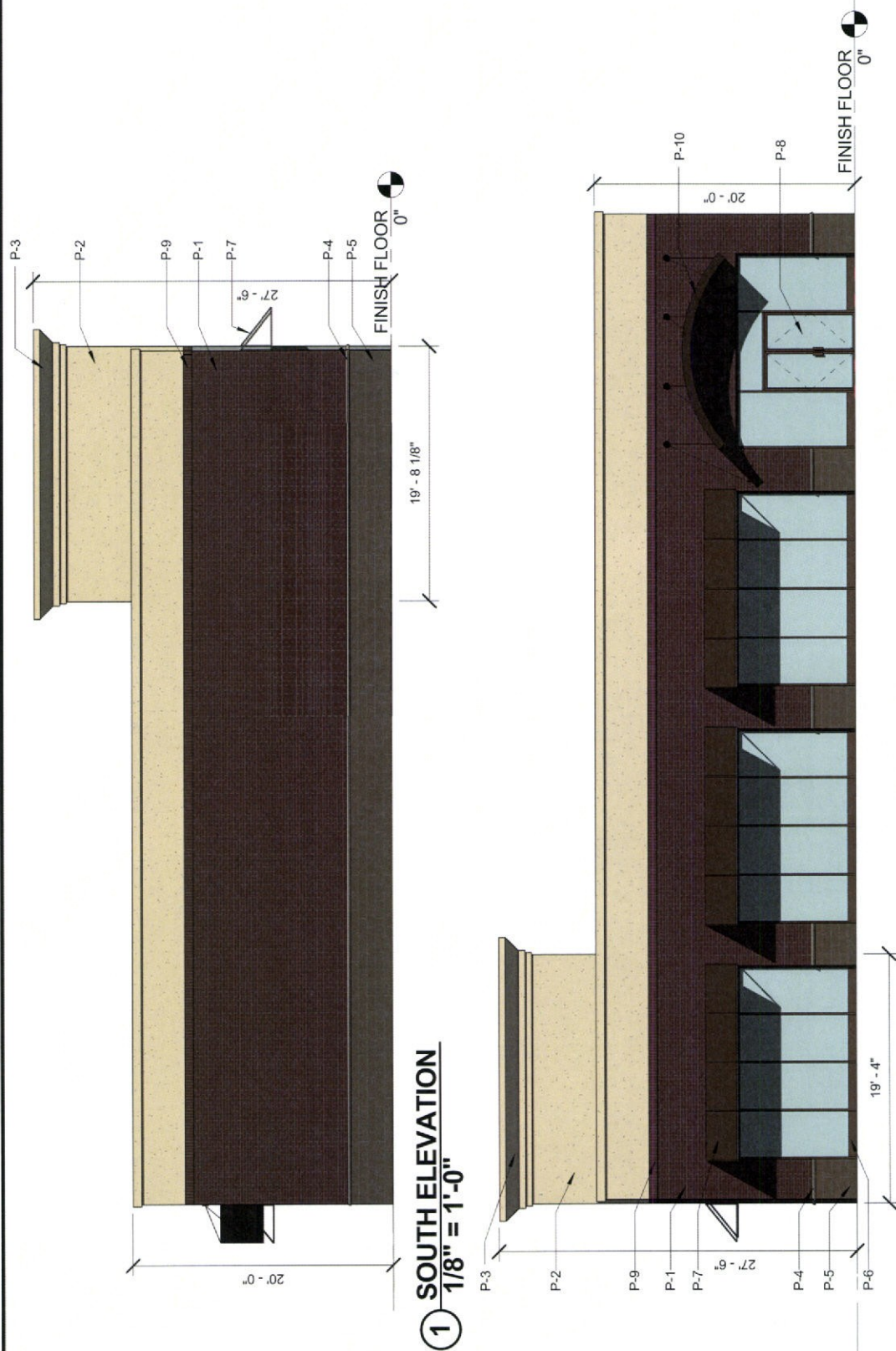
TAUC FLOISSANT

Project Address

F S A
LESTER S. ARCHITECTS
612 TRADE CENTER BLVD.
ST. LOUIS, MO 63105
636-530-7362

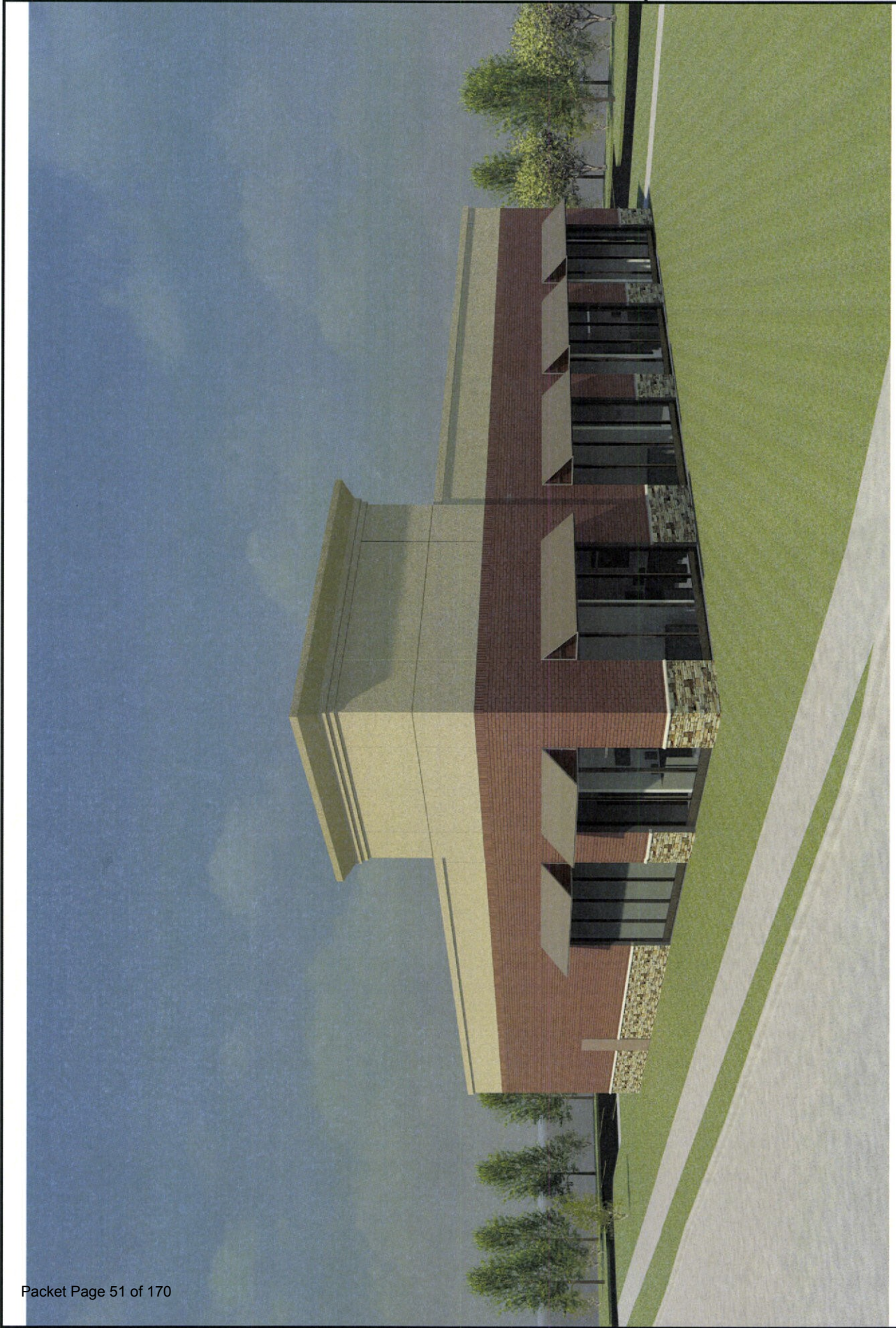
EXTERIOR FINISHES

- P-1 BRICK VENEER
- P-2 EIFS / STUCCO PAINTED
- P-3 EIFS / STUCCO FORMED CORNICE PAINTED
- P-4 CAST STONE SILL
- P-5 STONE VENEER
- P-6 PREFINISHED ALUMINUM STOREFRONT SYSTEM
- P-7 STEEL FRAME PREFINISHED METAL CLAD AWNING
- P-8 STOREFRONT ALUMINUM / GLASS DOOR
- P-9 BRICK VENEER SOLDIER COURSE
- P-10 CURVED STEEL FRAME PREFINISHED METAL CLAD AWNING



EXTERIOR FINISHES

- | | |
|------|---|
| P-1 | BRICK VENEER |
| P-2 | EI/F / STUCCO PAINTED |
| P-3 | EI/F / STUCCO FORMED CORNICE PAINTED |
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| P-8 | STOREFRONT ALUMINUM / GLASS DOOR |
| P-9 | BRICK VENEER SOLDIER COURSE |
| P-10 | CURVED STEEL FRAME PREFINISHED METAL CLAD |





CITY OF FLORISSANT

PUBLIC HEARING NOTICE

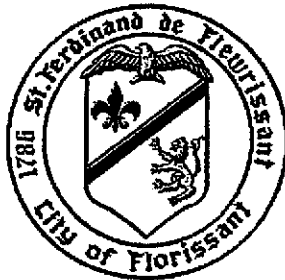
A Public Hearing will be held by the Florissant City Council in the Council Chambers, 955 rue St. Francois, Florissant, MO., on Tuesday, April 26, 2016 at 7:30 p.m. on the following proposition, to-wit:

To rezone for Auto Properties, LLC the property located at 1350 N. Highway 67 from B-3, Extensive Commercial District to B-5, Planned Commercial District to allow for the construction of a new self-storage, truck and trailer rental facility.

Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, City Clerk MMC.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant - Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 1350 N. Hwy 67
Property Owners Name: Auto Properties, LLC ^{attn: Bill Haegeler} Phone #: (314) 565-4245
Property Owners Address: 1163 Jeffco Blvd.; Arnold, MO 63010
Business Owners Name: Steve Langford Phone #: _____
Business Owners Address: 12060 Lusher Rd, Saint Louis, MO 63138
DBA (Doing Business As) U-Haul
Authorized Agents Name: Steve Langford-12060 Lusher Rd CO. Name: St. Louis MO 63138
(Authorized Agent to Appear Before The Commission)
Agents Address: From 'B-3' to Phone #: 355-7920 or 761-8881
Request re-zone to a 'B-5' to allow for the construction of a new "Storage Facility".
State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Applicant's Signature Steve Langford

Date 3-14-16

Received by: [Signature] Receipt # 595354 OFFICE USE ONLY Amount Paid: 125.00 Date: 2/29/16

STAFF REMARKS: _____

COMMISSION ACTION TAKEN:

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

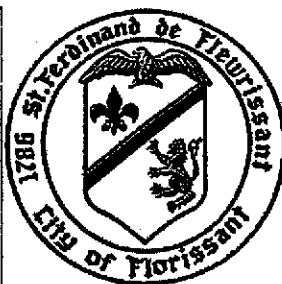
Planning & Zoning Application
Page 1 of 1 - Revised 9/28/10

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. [Signature]

DATE: 4/4/16

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DISTRICT



PLANNING & ZONING ACTION:

Address of Property:

RECOMMENDED APPROVAL

PLANNING & ZONING

CHAIRMAN

SIGN. *[Signature]*

DATE: 4/4/16

1350 N. Hwy 67

Council Ward 6 Zoning B3

Initial Date Petitioner Filed 3/4/16

Building Commissioner to complete
ward, zoning & date filed

PETITION FOR A B-5 RE-ZONING:

- 1) Comes Now Steve Langford, U-Haul
(Individual's name, corporation, partnership, etc.)
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal
interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property Purchase
State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of
authorization from owner to seek a special use.

- A. The petitioner (s) hereby states that he (she) (they) is (are) submitting a description of the property for which
the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is
identical to "B".
- B. The petitioner (s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn
to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street
intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and
distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned ~ 3.6 acres
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in
a B3 District and is presently being used for: Vacant

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following purpose to justify the re-zoning to a B-5:

Proposing a U-Haul storage to better serve the community.

We propose a new development new building 3 story 79,330 s.f.
List purpose for this request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.
5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME Steve Langford

Print Name

PETITIONER(S) SIGNATURE (S) Steve Langford

FOR U-Haul

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or LLC Managing PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):

☒ I (we) have a legal interest in the herein above described property.

☐ I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE _____

ADDRESS _____

STREET

CITY

STATE

ZIP CODE

TELEPHONE NUMBER _____

BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as

Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐ Partnership: ☐ Corporation/LLC: ☒

(a) If an Individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a Partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a Corporation or LLC:

- (1) Names & addresses of all partners Steve Langford, 12060 Lusher Rd., Saint Louis,
- (2) Telephone numbers (314) 355-7920 (314) 761-8881 MO 63138
- (3) Business address 12060 Lusher Rd St Louis MO 63138
- (4) State of corporation & a photocopy of incorporation papers Missouri
- (5) Date of corporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration.
- (8) Name in which business is operated U-Haul
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name Steve Langford
Address UHC of Saint Louis, 12060 Lusher Rd., Saint Louis, MO 63138
attn: Bill Haegeler
Property Owner auto properties, LLC; 1163 Jeffco Blvd.; Arnold, MO 63010
Location of property 1350 N. Hwy. 67; Florissant, MO 63034
Dimensions of property Please see attached site plan
Current Use of Property vacant - former car dealership
Proposed Use of Property U-Haul self storage
Type of Sign _____ Height _____
Type of Construction 3 story building Number Of Stories 3
Square Footage of Building 79,330 ± Number of Curb Cuts 2
Number of Parking Spaces _____ Sidewalk Length _____
Landscaping: No. of Trees _____ Diameter _____
No. of Shrubs _____ Size _____
Fence: Type _____ Length _____ Height _____

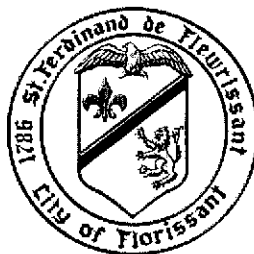
Phone: (314) 565-4245
bha
billhaegel.com

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

1

MEMORANDUM



2
3

CITY OF FLORISSANT- BUILDING DEPARTMENT

4 *"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant;*
5 *while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

6
7 To: Planning and Zoning Commissioners Date: March 30, 2016

8
9 From: Philip E. Lum, AIA-Building Commissioner c: Louis B. Jearls, Jr. - P.E.,
10 PWLF Director Public Works
11 Timothy Barrett, P.E. CFM-
12 City Engineer
13 Deputy City Clerk
14 Applicant
15 File

16
17 Subject: Request recommended approval to rezone to a 'B-5' to allow for a new
18 Self-Storage, truck and trailer rental facility at **1350 N. Highway 67** in a
19 'B-3' Zoning District.
20

21
22 **STAFF REPORT**
23 **CASE NUMBER PZ-040416-1**

24 **I. PROJECT DESCRIPTION:**

25
26 This is a request for **recommended approval** to rezone to a 'B-5' to allow for a new a
27 new Self-Storage, truck and trailer rental facility at **1350 N. Highway 67** in an 'B-3'
28 Zoning District.
29

30 **II. EXISTING SITE CONDITIONS:**

31
32 The existing address has been vacant as the former location of an auto sales
33 establishment.
34

35 The structure existing on the site would be removed for the new development,
36 precipitating the need for a 'B-5' re-zoning for this commercial use.
37

38 The site has a large paved area to the South, surrounded by berms and mature screen tree
39 plantings.
40

41 **III. SURROUNDING PROPERTIES:**

42 The properties adjacent and to the South are to remain in an 'R-4' District, the AT&T
43 Facility and 1011 and 1194 Clark St. The property at 1194 serves almost as an access
44 easement because it is only 4 feet wide x 194 feet long also owned by Auto Properties.
45 The Properties to the East are owned by the same seller of this property, Auto Properties
46 and are in a 'B-3' Extensive Business District. Properties across Clark are 1190, 1180,
47 1170, 1150, 1130 and 1110 Clark.

48
49 **IV. STAFF ANALYSIS:**

50 The application is accompanied by professionally completed plans SP1 dated 2/12/16, A-
51 1 Floor Plan and A-2 Elevations dated 3/10/16, and Civil Plan 1, dated 3/29/16 by
52 Doering Engineering.

53
54 The following are staff comments regarding plans:

55
56 **Sheet SP1 Comments:**

- 57 1. The size of the overall development is 3.63 acres.
- 58 2. The brick structure of 19,791 s.f., first built in 1968, is proposed to be removed.
- 59 3. The new building is shown on this plan. Site improvements are not developed on
60 this plan but was done as a concept and preceded the Civil Plan, therefore, the
61 Civil Plan is more valid.
- 62 4. Greenspace minimums for over 2 acres is required per 405.245 para. 9 to be 25%.
- 63 5. No outside trash area is noted.
- 64 6. Irrigation of landscape will be required for landscape.
- 65 7. A berm with planting is existing and proposed to remain along 3 sides of the
66 property.
- 67 8. 10 parking spaces are shown with accessible parking with 3 spaces being inside.
68 The parking ordinance only allows for 3.33 spaces per 1000 s.f. of offices and 1
69 space for a caretaker.
- 70 9. There is a monument sign shown near the front of the new parking lot, noted to be
71 6' tall and 50 s.f.

72 **Sheet A-1 Comments:**

- 73 1. Indicates the floor plan of the lockers for each floor and the mix of types of
74 lockers.

75
76 **Sheet A-2 Comments:**

- 77 10. The elevation drawings indicate a concrete tilt-up building with white upper
78 panels of metal.
- 79 11. 'Black' and 'Sierra Sunset' (tan) doors and 'U-Haul green' metal canopy.

80
81 **Elevation Comments:**

- 82 1. The building is shown to be constructed of walls using no brick, inconsistent with
83 masonry ordinance, unless excepted by the Council upon recommendation by the
84 Commission. The masonry ordinance exception for tilt-up includes:
 - 85 a. *"3. Tilt-up construction is allowed on buildings of twenty thousand (20,000)*
86 *square feet or greater provided that the front tilt-up face of the building shall be*
87 *constructed with traditional masonry material unless otherwise determined by*

the City Council. "Traditional masonry" is defined as hand-laid in place traditional block back-up, brick, stone or any other masonry material as a face. Decorative and/or embossed tilt-up panels may be required on all other portions of the building. Tilt-up construction is the process of forming, pouring and curing Portland cement concrete panels on the job site and tilting/raising them up into place usually as the exterior wall of a building or structure. Tilt-up is different than pre-cast panels which are constructed off site."

2. Therefore, the design is inconsistent with the masonry ordinance because its "front walls" as defined above, do not contain any traditional (brick/block) masonry walls.

Checklist comments:

8. Parking

- f. Landscape: Comply with Lindbergh Improvement Plans, provide shrubs for building plantings 1 shrub per 5 lineal feet of exterior wall.

VI. STAFF RECOMMENDATIONS:

See suggested motion options, dependent on the presentation content:

Suggested Motion- I move to recommend approval to rezone to a 'B-5' to allow for a new Self-Storage, truck and trailer rental facility at **1350 N. Highway 67:** with the following conditions to become part of the record:

I move to recommend approval **recommended approval** to rezone to a '**B-5**' to allow for a new Self-Storage, truck and trailer rental facility at **1350 N. Highway 67** in a '**B-3**' Zoning District, according to the proposal prepared by the petitioner as described related documents presented and according to the attached drawings: SP1 dated 2/12/16, A-1 Floor Plan and A-2 Elevations dated 3/10/16, and Civil Plan 1, dated 3/29/16 by Doering Engineering. Approval is subject to the regulations of these ordinances, with permitted uses allowed being a Self-Storage, truck and trailer rental facility, those within the 'B-3' "Extensive Business District" without a Special Permit, and the following additional requirements:

1. PERMITTED USES

The uses permitted for this property shall be limited to an Self-Storage, truck and trailer rental facility and those uses within the 'B-3' "Extensive Business District" without a Special Permit. Other uses than those permitted shall require approval by amendment to this Ordinance.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

The building space shall be limited to a three-story 79,330 s.f. Facility.

3. PERFORMANCE STANDARDS

In addition to all other requirements, uses within the "B-3" Extensive Business District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).
6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.
7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.
8. Screening.
 - a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.
 - b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Any exterior trash container shall be screened from view from any r.o.w or residential property.

5. PLAN SUBMITTAL REQUIREMENTS

179 Final Development Plan shall include improvements as shown on drawing
180 attached and shall include the entire property, trash enclosures, landscape,
181 lighting, legal description and building setbacks.
182

183
184 **6. SITE DEVELOPMENT PLAN CRITERIA:**
185

186 a. Height, Area And Bulk Restrictions:
187

- 188 1. Height, Area And Bulk Regulations. The height, area and bulk
189 regulations for uses in the "B-3" Extensive Commercial District
190

191 b. Internal Drives:
192

- 193 (1) There shall be parking as shown on the Final Development Plan
194 indicating existing parking.
195

196 c. Minimum Parking/Loading Space Requirements.
197

- 198 (1) There shall be a minimum of 10 required parking spaces provided on
199 the property.
200

201 d. Road Improvements, Access and Sidewalks
202

- 203 (1) There shall be a modification of the sidewalk area to include burning
204 bush plantings, trees, walks, tree wells and lighting per the Lindbergh
205 Improvement Plan, provided on the highway frontage of the property.
206

207 e. Lighting Requirements.
208

209 Lighting of the property shall comply with the following standards and
210 requirements:
211

- 212 (1) The light level for parking lot lighting shall be a minimum of 0.5 fc on
213 the property and shall not project light or glare onto adjacent
214 residentially zoned property.
215

- 216 (2) All site lighting and exterior building lighting shall be directed down
217 and inward
218

219 f. Sign Requirements.
220

- 221 (1) All signage shall comply with the City of Florissant sign ordinance for
222 commercial districts.

- 223 (2) One existing Ground Sign in its location shown on Doering
224 Engineering Sheet 1, dated 3/29/16, shall not exceed 3 feet in height
225 above adjacent roadway.
226
227

228 g. Landscaping and Fencing.
229

- 230 (1) Shall be as shown on Doering Engineering Sheet 1, dated 3/29/16,
231 attached. Any modifications to the landscaping plan shall be reviewed
232 and approved by the Planning and Zoning Commission.
233 (2) **Additional landscaping meeting city ordinances shall be added to**
234 **the Landscape Plan.**
235 a. **Landscape, paving and light poles per Lindbergh**
236 **Improvement plans as recommended by the City Engineer.**
237 b. **Landscape Plantings per 405.245, including building**
238 **plantings to establish the number of shrubs.**
239

240 h. Storm Water.
241

242 Storm Water and drainage facilities shall comply with the following
243 standards and requirements:
244

- 245 (1) The Director of Public Works shall review the storm water plans to
246 assure that storm water flow will have no adverse affect the
247 neighboring properties.
248
249 (2) No building permits shall be issued until the storm water plan has been
250 approved by the St. Louis Metropolitan Sewer District.
251

252 i. Miscellaneous Design Criteria.
253

- 254 (1) All applicable parking, circulation, sidewalks, and all other site design
255 features shall comply with the Florissant City Code.
256
257 (2) All dumpsters and grease containers shall be contained within a trash
258 enclosure with gates compatible with existing building.
259
260 (3) All storm water and drainage facilities shall be constructed, and all
261 landscaping shall be installed, prior to occupancy of the building,
262 unless remitted by the Director of Public Works due to weather related
263 factors.
264
265 (4) All mechanical equipment, electrical equipment, and communication
266 equipment shall be screened in accordance with the Florissant Zoning
267 Code.
268

269 (5) The exterior design of the buildings shall be constructed in accordance
270 with the renderings as approved by the Florissant Planning and Zoning
271 Commission and attached hereto.
272

273 (6) All other requirements of the Florissant Municipal Code and other
274 ordinances of the city shall be complied with unless otherwise allowed
275 by this ordinance.
276

277
278 **7. GENERAL DEVELOPMENT CONDITIONS.**
279

280 a. Unless, and except to the extent, otherwise specifically provided herein,
281 development shall be effected only in accordance with all ordinances of
282 the City of Florissant.
283

284 b. The Department of Public Works shall enforce the conditions of this
285 ordinance in accordance with the Site Development Plan approved and all
286 other ordinances of the City of Florissant.
287

288 **9. PROJECT COMPLETION.**
289

290 Construction shall start within 90 days of the issuance of building permits for
291 the project and shall be developed in accordance of the approved final
292 development plan within 18 months of start of construction.
293

294
295 (end report and suggested motion)
296

STAFF CHECK LIST / REVIEW SHEET

ADDRESS OF PROPERTY 1350 N. Hwy 67 CURRENT ZONING B-3
 PROPERTY OWNER OF RECORD Auto Properties PHONE NO. _____
 AUTHORIZED AGENT D. Haul / Doering PHONE NO. _____
 PROPOSAL B-5 for 3 story new building

- 1) a. Uses - Are uses stipulated Yes / No
 b. What current District would this proposal be a permitted use: none
 c. Proposed uses for out lots: none

2) Performance Standards:

- a) Vibration: Is there any foreseen vibration problems at the property line? ✓ Yes / No
 b) Noises: Will the operation or proposed equipment exceed 70 decibels? ✓ Yes / No
 c) Odor is there any foreseen problem with odor? ✓ Yes / No
 d) Smoke: Will the operation emit any smoke which could exceed a density described as No. 1 on the Ringleman Chart? ✓ Yes / No
 e) Toxic gases: Is there any foreseen emission of toxic gases from the operation? ✓ Yes / No
 f) Is there foreseen emission of dirt, dust, fly ash, and other forms of particle matter? ✓ Yes / No
 g) Is there any dangerous amount of radiation produced from the operation? ✓ Yes / No
 h) Is there any glare or heat which would be produced outside of an enclosure? Yes / No - white bldg
 i) Is screening of trash dumpsters, mechanical equipment, incinerators, etc, shown? Ye / None
 j) Is buildings screened from adjoining residential? ✓ Yes / No
- 3) Are height of structures shown? - Yes / No
 4) Are all setbacks shown? Yes / Not correct ✓
 5) Are building square footages shown? ✓ Yes / No
 6) What is the exterior construction of the buildings? metal panel over tilt-up
 7) Is off street loading shown? ✓ Yes / No
- 8) Parking:
 a) Does parking shown meet the ordinance? ✓ Yes / No
 b) Is a variance required in accordance with the ordinance? Yes / No ✓
 c) Ratio shown _____ to _____
 d) Total Number 10
 e) Will cross access and cross parking agreements be required? Yes / No ✓
 f) Is the parking lot adequately landscaped? Yes / No ✓
- 9) Are there any signs? ✓ Yes / No
 Number of signs shown (1)
 Type of Signs ground sign 50 SF 6' ht.
 Are sizes, heights, details, and setbacks shown? Yes / No details
- 10) Are existing and proposed contours shown at not more than five (5) feet intervals? ✓ Yes / No
 11) Is the approximate location of all isolated trees having a trunk diameter of six inches or all tree masses and proposed landscaping shown? Yes / No ✓

- 12) Are two section profiles through the site showing preliminary building form, existing natural grade and proposed final grade shown? ☒ Yes / No
- 13) Is proposed ingress/egress onto the site and internal traffic movements shown? ☒ Yes / No
- 14) Was a traffic study submitted? Yes / No ☒
Does the City Staff recommend a traffic study? Yes / No ☒
- 15) Are preliminary plans for sanitation and drainage (sanitary & storm water) facilities shown? ☒ Yes / No
- 16) Is a legal description of the property shown? ☒ Yes / No
Does legal description appear to be proper? ☒ Yes / No
- 17) Is an out-boundary plat of the property submitted? ☒ Yes / No
- 18) Suggested time limitations of construction: Start _____ Finish _____
- 19) Is parking lot lighting shown? ☒ Yes / No
- 20) Are new walkways required? ☒ Yes / No *Lindbergh Impst.*
- 21) Is there sufficient handicapped access? ☒ Yes / No
- 22) a) Are there proposed curb-cuts? Yes / No ☒
b) Do the curb-cuts meet the City ordinances? Yes / No *n/a*
- 23) Will this project require any street improvements? Yes / No ☒ *MODER?*
- 24) Staff recommendations for site development plans: _____

25) Staff Comments: _____

3/30/16
Date Application reviewed
Philip E. Jones
Building Commissioner or Staff Signature

CITY OF FLORISSANT

Public Hearing

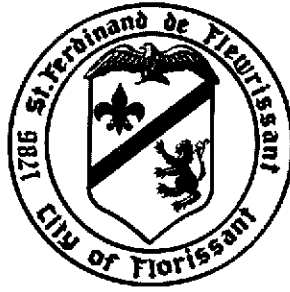


In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Tuesday, April 26, 2016 at 7:30 P.M. on the following proposition:

To authorize a Special Use Permit to Metropolitan Events, LLC to allow for an event/banquet center in a B-3, Extensive Commercial Zoning District for the property located at 11 Patterson Plaza Shopping Center (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 11 Patterson Plaza, Florissant MO 63031
Property Owners Name: Cozad Group Phone/email: 314-781-3000
(Louie Tocco) (LTocco@cozadgroup.com)
Property Owners Address: 16 Sunnen Dr # 164, 63143
Business Owners Name: Sonja Dulick Phone/email: 314-724-1452
Business Owners Address: 105 Kendal Ct, Florissant MO 63031
DBA (Doing Business As) Metropolitan Events LLC
Authorized Agents Name: Sonja Dulick Co. Name: Metropolitan Events LLC.
(Authorized Agent to Appear Before The Commission)
Agents Address: 105 Kendal Ct Phone/email: 314-724-1452
Request for special use permit to operationalize underwsr81@yahoo.com
event/banquet venue business for social events
State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Sonja Dulick
Applicant's Signature

3/21/16
Date

Received by: CA Receipt # 77823 OFFICE USE ONLY Amount Paid: 125.00 Date: 3/22/16

STAFF REMARKS: _____

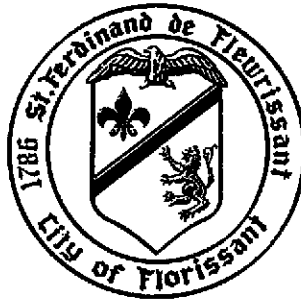
DATE APPLICATION REVIEWED: _____

COMMISSION ACTION TAKEN:

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN: [Signature] DATE: 4/4/16

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

**PLANNING & ZONING ACTION
RECOMMENDED APPROVAL**
PLANNING & ZONING
CHAIRMAN

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN. _____

DATE: 4/4/16

SPECIAL PERMIT FOR

Banquet Hall Venue

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT # _____

ordinance # _____

TO ALLOW FOR

opening of event banquet venue business
Statement of what the amendment is for.

LOCATION

11 Patterson Plaza, Florissant MO 63031

Address of property.

1) Comes Now

Sonja Dulick COBA: Metropolitan Events LLC

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property)

lease (tenant-commercial)

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for event rental space and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit:

(If more space is needed, separate sheets maybe attached)

Sonja Dulick Sonja Dulick underwrsr81@yahoo.com/
 PRINT NAME SIGNATURE email and phone 314-724-1452
 FOR Metropolitan Events LLC
 (company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

- 8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE _____

ADDRESS _____
 STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL _____ / _____
 BUSINESS

I (we) the petitioner (s) do hereby appoint _____ as
 Print name of agent.
 my (our) duly authorized agent to represent me (us) in regard to this petition.

 Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:

Individual _____ Partnership LLC X Corporation _____

(a) If an individual:

(1) Name and Address _____

(2) Telephone Number _____

(3) Business Address _____

(4) Date started in business _____

(5) Name in which business is operated if different from (1) _____

(6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

(1) Names & addresses of all partners Sonja Dulick, 105 Kendal Ct, 63031

(2) Telephone numbers 314-724-1452

(3) Business address 11 Patterson Plaza, 63031

(4) Name under which business is operated Metropolitan Events LLC

(5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

(1) Names & addresses of all partners _____

(2) Telephone numbers _____

(3) Business address _____

(4) State of Incorporation & a photocopy of incorporation papers _____

(5) Date of Incorporation _____

(6) Missouri Corporate Number _____

(7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____

(8) Name in which business is operated _____

(9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

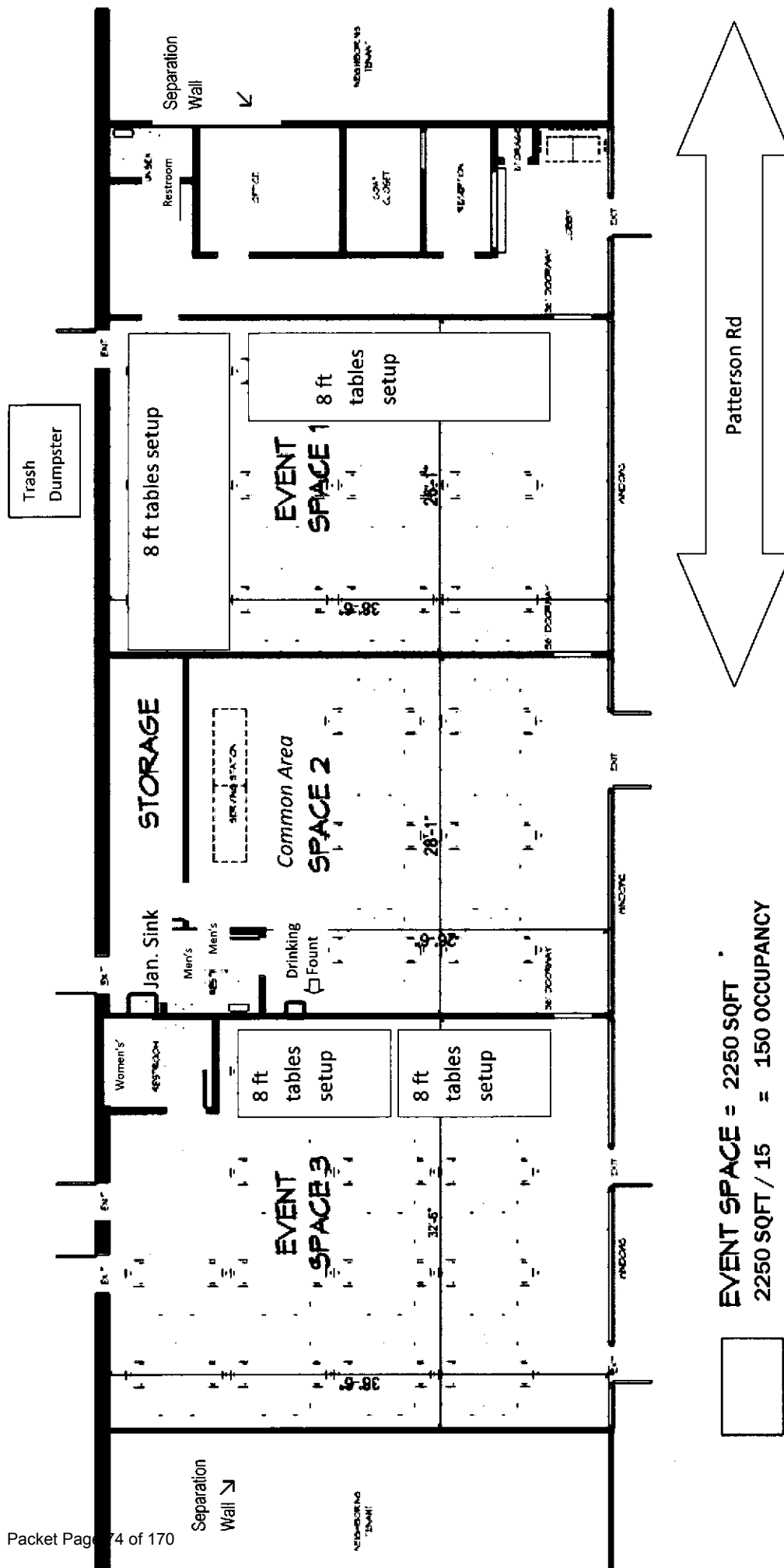
Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Sonja Dulick
Address 105 Kendal Ct, Florissant MO 63031
Property Owner Cozad Group
Location of property 11 Patterson Plaza, 63031
Dimensions of property 10ft x 120ft (38.6 X 86 ft)
(ceilings)
Property is presently zoned _____ Requests Rezoning To _____
Proposed Use of Property Event/Banquet Venue
Type of Sign n/a Height _____
Type of Construction n/a Number Of Stories 1
Square Footage of Building 4800 ft² Number of Curb Cuts _____
Number of Parking Spaces 180+ Sidewalk Length 120 ft
Landscaping: No. of Trees n/a Diameter _____
No. of Shrubs _____ Size _____
Fence: Type n/a Length _____ Height _____

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

*(Signage will be on front glass)
"adhesive"*



OCCUPANCY CALCULATIONS

DRAWN BY:
OE DIMARTINO 314-497-4634

SCALE: 1/8" = 1'-0"

MARCH 17, 2016

11 PATTERSON PLAZA
FLORISSANT, MO 63031



**Metropolitan Events
Presents**

The Plum Factory
A Private Event Venue
11 Patterson Plaza



Mission

- A family-run event and meeting facility hosting social gatherings including receptions, private parties, meetings and children's parties.
- The Plum Factory brings a personalized touch for quality and affordable event accommodations all-in-one.
- Facilitation of youth educational workshops focused on entrepreneurship and leadership.



Operations

- All events will have food catered into the facility from outside vendors.
- Many of the events especially kids parties will have themed options allowing for a customized touch to every occasion.
- The new facility serves a vision for a growing community with a variety of event needs (art classes, bridal fairs, wedding solutions, etc).



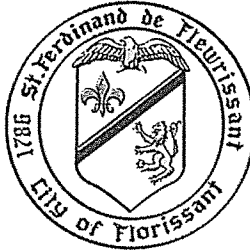
Our Success Factors

- **Multi-Use Facility** - One that the public supports and views as important to meeting community needs in the present and in the future
- **Location** - One that is visible, accessible and has aesthetic potential
- **Professional & Experienced Management** - 15 yrs experience in marketing and event planning
- **Motivated Staff** - Friendly and attentive service
- **Quality** - Both building cleanliness and maintenance as well as exceptional service that leaves a lasting impression on both repeat and potential business



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MEMORANDUM



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CITY OF FLORISSANT- BUILDING DEPARTMENT

"The mission of the Building Department is to enforce building codes, zoning codes and property maintenance codes in order to protect life safety and enhance the quality of life for the residents of the City of Florissant."

To: Planning and Zoning Commissioners Date: March 30, 2016

From: Philip E. Lum, AIA-Building Commissioner c: Louis B. Jearls, Jr. - P.E.,
PWL Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request Recommended Approval for a Special Use at **11 Patterson Plaza**
to allow for a Banquet/Event Center in an existing 'B-3' Zoning District.

STAFF REPORT
CASE NUMBER PZ-040416-2

I. PROJECT DESCRIPTION:

This is a Request for Recommended Approval for a Special Use at **11 Patterson Plaza**,
to allow for a Banquet/Event Center in an existing 'B-3' Zoning District.

II. SITE CONDITIONS:

The existing property at **11 Patterson Plaza** is an existing Shopping Center built in 1965
according to County records.

The existing property is currently occupied by several tenants. The site meets the
definition of a Shopping Center having two or more establishments under separate
management.

The subject property has two buildings which are an approximate 50'x 360' strip center
and a retail facility (Nagle's) approximately 120'x130' feet the total area of both building
is approximately 33,600 square feet and constructed of masonry. The walls of the
buildings have aluminum and glass storefront, with brick and flat roofs.

The number of existing parking is derived from aerial photos and appears to be (252). Per the parking ordinance for this use a retail center containing less than 100,000 s.f. requires 4 spaces/1000 s.f. Required parking is, therefore= 134.

III. SURROUNDING PROPERTIES:

The properties to the North and East are in an 'R-4 Single' Family Dwelling District and include 2190 Patterson, 530, 550, 560, 580 Wren, 505 Humes, 2085, 2095, 2125, 2135, 2145, 2145, 2155, 2165 Rivoli and the adjacent Gas Station in the Southwest corner of the site, 2020 Patterson, is in a 'B-3' Zoning District.

IV. STAFF ANALYSIS:

Special Uses for this zoning district include: Assembly Halls not associated with a church or School, Private Clubs and Lodges, Restaurants, Taverns, Nightclubs and Lounges. Therefore, staff determined that a Special Use Permit is in order, technically as a for profit "assembly hall".

The application is accompanied by a revised floor plan showing 3 gathering spaces with overall dimensions of 40' x 86' approx. = 3440 s.f.

The applicant indicates a hall for hire type business only with no cooking equipment.

No exterior changes to the site are anticipated. No outside equipment is anticipated.

Now new signage is proposed, therefore signs must meet 40 s.f. max. size requirement.

Occupant Load: The architectural plan shows one room with 11 tables and the other 2 rooms have 6 tables of 6 people. This would result in 138 plus staff. The building code would require a maximum of occupants pertaining to the area of the space, however, which could be a different number based on tables/chairs or without tables or chairs. Therefore the total number of occupants likely is up to 200 per the building code for the same table/chair arrangement.

VI. STAFF RECOMMENDATIONS:

If the Commission recommends approval, staff recommends the attached suggested motion.

Suggested Motion for 11 Patterson Plaza

I move to recommend approval of a Special Use to allow for a Banquet/Event Center in an existing 'B-3' Zoning District at **11 Patterson Plaza**, with the following stipulations:

- 87 1. Any trash container over 90 cubic feet shall be screened and screen shall be
88 constructed compatible with the construction of the building as approved by the
89 Building Commissioner. The enclosure should have gates that are solid metal,
90 reinforced solid vinyl or metal picket type fence with pickets spaced for
91 screening.
92

93 **PROJECT COMPLETION.**

94 Construction shall start within 60 days of the issuance of building permits, and
95 the structure shall be completed in accordance with the plans within 180 days
96 of start of construction.

97 (end of Suggested Motion and Memo)
98
99

1 INTRODUCED BY COUNCILMAN EAGAN
2 APRIL 11, 2016

3
4 BILL NO. 9177

ORDINANCE NO.

5
6
7 **AN ORDINANCE AMENDING B-5 ORDINANCE NO. 8080 FOR**
8 **MISSION HILLS DEVELOPMENT D/B/A GMT AUTO SALES TO**
9 **ALLOW FOR AN ADDITION TO THE EXISTING BUILDING FOR THE**
10 **PROPERTY LOCATED AT 620 CHARBONIER RD.**
11

12
13 WHEREAS, Ordinance No. 8080 was passed and approved on October 13, 2014
14 approving an amendment for the Mission Hills Development d/b/a GMT Auto Sales to B-5
15 Ordinance No. 6166 (as amended) by rescinding special use Ordinance No. 7550 (as amended)
16 located at 365 N. Highway 67 and B-5 Ordinance No. 5877 (as amended) located at 620
17 Charbonier Rd and consolidating 225 and 365 N. Hwy 67 and 620 and 624 Charbonier Rd. into
18 one car leasing establishment and allowing for signage; and

19 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
20 recommended to the City Council at their meeting of March 21, 2016 that Ordinance No. 8080
21 be amended to allow for an addition to the existing building for the property located at 620
22 Charbonier; and

23 WHEREAS, due and lawful notice of public hearing no. 16-04-008 on said proposed
24 change was duly published, held and concluded on 11th day of April, 2016 by the Council of the
25 City of Florissant; and

26 WHEREAS, the Council, following said public hearing, and after due and careful
27 deliberation, has concluded that the amendment of Ordinance No. 8080, to allow for an addition
28 to the existing building to the property located at 620 Charbonier Rd. is in the best interest of the
29 public health, safety and welfare of the City of Florissant; and
30

31 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
32 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

33 Section 1: Ordinance No. 8080, heretofore granted to Mission Hills Development d/b/a
34 GMT Auto for a B-5 Planned Commercial District Development is hereby amended to allow for
35

36 an addition to the existing building for the property located at 620 Charbonier Rd in
 37 accordance with the plans attached hereto with the following amendments to the original
 38 ordinance:

39
 40 Section 4, paragraph 2, shall be amended to read:

41
 42 2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

43
 44 (a) The building space existing at 620 Charbonier shall be limited to a
 45 single story 3,525 square foot building.

46 (b) A brick and siding addition will be as shown on attached drawings SP-
 47 1, dated 12/31/15 and C-1 and A-2 dated 3/1/2016 as prepared by Joe A. Dale,
 48 Architect.

49
 50 Section 2: Except as herein amended Ordinance No. 8080, shall remain in full force and
 51 effect.

52 Section 3: This ordinance shall become in full force and effect immediately upon its
 53 passage and approval.

54
 55 Adopted this _____ day of _____, 2016.

56
 57 _____
 58 Joseph Eagan
 59 President of the Council
 60

61 Approved this _____ day of _____, 2016.

62
 63
 64 _____
 65 Thomas P. Schneider
 66 Mayor, City of Florissant
 67

68 ATTEST:

69
 70 _____
 71 Karen Goodwin, MMC, MRCC
 72 City Clerk

CITY OF FLORISSANT



PUBLIC HEARING NOTICE

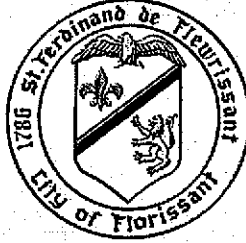
Notice is hereby given in accordance with Section 405.135 of the Florissant City Code, the Zoning Ordinance, as amended, that a Public Hearing will be held by the City Council of the City of Florissant, St. Louis County, Missouri, in the Council Chambers, 955 rue St. Francois, on Monday, April 11, 2016 at 7:30 P.M. on the following proposition, to wit:

To issue an amendment to B-5 Ordinance No. 8080 to allow for an addition to the existing building for the property located at 620 Charbonier Road (legal description to govern). Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142.

Karen Goodwin, MMC City Clerk.

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MEMORANDUM



CITY OF FLORISSANT- BUILDING DIVISION

*"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant;
while at the same time maintaining property values and improving the quality of life in the City of Florissant."*

To: Planning and Zoning Commissioners Date: March 16, 2016

From: Philip E. Lum, AIA-Building Commissioner c: Louis B. Jearls, Jr. - P.E.,
PWL Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request Recommended Approval to amend Ordinance no. 8080 to allow
an Addition at 620 Charbonier in an existing B-5 Zoning District.

STAFF REPORT
CASE NUMBER PZ-032116-1

I. PROJECT DESCRIPTION:

This is a request for Recommended Approval to amend Ordinance #8080 to allow for an Addition at 620 Charbonier within an existing B-5 Zoning District. An addition is proposed for the site to be constructed onto an existing structure.

II. SITE CONDITIONS:

The existing property at 620 Charbonier is one of 4 parcels that make up a 'B-5' zoning district owned by Mission Hills Dev. Co. The parcels that make up the 'B-5' are 225 and 365 N. Highway 67, 624 and 620 Charbonier.

There is an existing brick and siding structure that the Commission recommended approval of a brick addition on February 22, 2002 and a brick and siding addition in 2010. The lot 0.3 acres adjacent to the main lot, both now zoned 'B-5'. There is an entrance drive is from Charbonier.

40 The proposed one level addition is 1250 square feet. The addition will cause the removal
41 of one trash enclosure. There is another wood screened trash enclosure in proximity.
42 There is an existing wood and a vinyl privacy fence along the West side of the property
43 with an existing and a landscape planter on the east side of the existing building.
44

45 It was determined that the setbacks are met by the 2010 addition. This addition is
46 approximately 38'x33'.
47

48 There are 16 off street parking spaces for the building on 620 Charbonier and 14 were
49 required in 2010. Twelve parking spaces are now shown 9x20 feet. New regulations for
50 parking for the site are 3 spaces for every 1000 s.f. of sales and showroom area and 1
51 space for every service bay, one space for every vehicle customarily used for the
52 business, not including spaces for vehicles for sale or lease. The buildings contain 2402
53 s.f. including one bay for detailing and the building at 620 Charbonier contains 2275 s.f.,
54 however, not all of the space is currently used for offices and showroom. The architect
55 estimates 67% of the main building to be offices and 90% of the building on 620
56 Charbonier. Therefore, spaces to designate for employees shall be: $(2402 \times .67/1000 \times 3)$
57 $+ (2275 \times .9/1000 \times 3) + (1250 \times .9/1000 \times 3) = 14$, plus 3 spaces for one detailing bay =
58 17 total spaces required. There are 20 spaces shown on the site plan which would meet
59 the requirement for parking.
60
61
62
63

64 **III. SURROUNDING PROPERTIES:**

65

66 The property to the west is a church at 660 Charbonier in an R-4 residential District. The
67 property to the South 360 N Hwy 67 is a used car lot in an B-5 Zoning District. The
68 property to the East, 366 N Hwy 67 which is the Waffle House in a B-5 Zoning District
69 and an open lot in a B-3 District.
70
71

72 **IV. STAFF ANALYSIS:**

73

74 1. The application is accompanied by professionally completed architectural site plans
75 with elevation drawings.
76

77 2. Sign. There are no new signs or landscaping proposed.
78

79 3. Height, Area And Bulk Regulations. The height, area and bulk regulations are met in
80 the "B-5" District are as follows:

- 81 a. Minimum lot area. None.
- 82 b. Maximum story. Three (3) stories.- Buildings comply.
- 83 c. Maximum height. Forty-five (45) feet.- Buildings comply.
- 84 d. Setbacks are met as approved by the Planning & Zoning Commission under Ord.
85 5877 attached.

86
87 5. Performance Standards. In addition to all other requirements, uses within the District
88 shall conform to the most restrictive performance standards as cited in the city code for
89 Vibration, Odor, Smoke, Toxic gases, Emission of dirt, dust, fly ash and other forms of
90 particulate matter, Radiation, Glare, Sound transmission loss and Fencing Regulations.
91

92 6. New Landscaping and Screening: Since the West yard abuts a residential property,
93 screening of the West side yard by existing fence remains, but no new fence is shown on
94 this side of the site.
95

96 7. Trash enclosure: An existing 6 foot wood trash enclosure is shown.
97

98 8. Exterior elevations: Materials shown are 36" brick base with siding above. The
99 masonry ordinance is not met which calls for all walls to be constructed of masonry
100 unless approved by Council.
101

102 **VI. STAFF RECOMMENDATIONS:**

103 Staff proposes the following suggested motion:
104

105 **Suggested Motion**

106 I move to **recommend approval** to to amend Ordinance #8080 to allow for an Addition
107 at 620 Charbonier within an existing B-5 Zoning District. The following changes to be
108 made to ordinance no. 8080:
109

110 Section 4, paragraph 2 shall be amended to read:

111 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

112 a. The building space existing at 620 shall be limited to a single story 3525 s.f. building.

113 b. A brick and siding addition will be as shown on attached drawings SP-1 dated
114 12/31/15 and C-1 and A-2 dated 3/1/16 as prepared by Joe A. Dale, Architect.
115

116 (end report)

1 INTRODUCED BY COUNCILMAN EAGAN
2 OCTOBER 13, 2014

3
4 BILL NO. 9034

ORDINANCE NO. 8080

5
6
7 **ORDINANCE TO AUTHORIZE AN AMENDMENT FOR MISSION HILLS**
8 **DEVELOPMENT D/B/A GMT AUTO SALES TO B-5 ORDINANCE NO.**
9 **6166 (AS AMENDED), BY RESCINDING SPECIAL USE ORDINANCE NO.**
10 **7550, (AS AMENDED) LOCATED AT 365 N. HIGHWAY 67 AND B-5**
11 **ORDINANCE NO. 5877 (AS AMENDED) LOCATED AT 620**
12 **CHARBONIER AND CONSOLIDATING 225 AND 365 N. HIGHWAY 67**
13 **AND 620 AND 624 CHARBONIER INTO ONE CAR LEASING**
14 **ESTABLISHMENT AND ALLOWING FOR SIGNAGE.**
15

16
17 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
18 recommended to the City Council at their meeting of September 2nd, 2014 that Ordinance No.
19 6166 as amended by Ordinance nos. 7536, 7630 & 7941 be amended to allow for the
20 consolidation of 4 properties into one car leasing business and allowing for signage; and

21 WHEREAS, due and lawful notice of public hearing no. 14-09-025 on said proposed
22 change was duly published, held and concluded on 22nd day of September, 2014 by the Council
23 of the City of Florissant; and

24 WHEREAS, the Council, following said public hearing, and after due and careful
25 deliberation, has concluded that the amendment of Ordinance No. 6166 as amended, as
26 hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City
27 of Florissant; and

28
29 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
30 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
31

32 Section 1: Special Use Ordinance no. 7550, as amended by Ordinance no. 7630, issued
33 to GMT Auto for the property at 365 N. Hwy 67 is hereby rescinded.

34 Section 2: B-5 Ordinance no. 5877, as amended by Ordinance nos. 6655 and 7719,
35 issued to for a Planned Commercial Development for the property at 620 Charbonier is hereby
36 rescinded.
37

81 37.63 FEET TO THE SOUTHEAST LINE OF SAID "BEHLMANN WEST";

82
83 THENCE ALONG SAID SOUTHEAST LINE SOUTH 38 DEGREES 27
84 MINUTES 38 SECONDS WEST A DISTANCE OF 121.33 FEET TO THE
85 NORTHEAST LINE OF SAID "BEHLMANN WEST";

86
87 THENCE ALONG SAID NORTHEAST LINE SOUTH 52 DEGREES 34
88 MINUTES 00 SECONDS EAST A DISTANCE OF 139.23 FEET TO THE
89 AFORESAID NORTHWEST LINE OF NORTH LINDBERGH BOULEVARD;

90
91 THENCE ALONG SAID NORTHWEST LINE OF NORTH LINDBERGH
92 BOULEVARD THE FOLLOWING COURSES AND DISTANCES:

93
94 SOUTH 38 DEGREES 32 MINUTES 27 SECONDS WEST A DISTANCE OF
95 139.50 FEET;

96
97
98 SOUTH 37 DEGREES 24 MINUTES 56 SECONDS WEST A DISTANCE OF
99 193.36 FEET TO A POINT OF CURVATURE:

100
101 SOUTHWESTERLY ALONG THE ARC OF A CURVE TO THE RIGHT
102 HAVING A RADIUS OF 5,679.65 FEET AND AN ARC LENGTH OF 98.12
103 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.37 ACRES,
104 MORE OR LESS.

105
106 Section 4: B-5 Ordinance no. 6166, as amended by Ordinance nos. 7536, 7630 & 7941,
107 is hereby amended to allow for the development of a B-5 Commercial District including signage
108 in accordance with the attached plans dated 7/21/14 and the following conditions:

109
110 **1. PERMITTED USES**

111
112 The uses permitted in this 'B-5' Planned Commercial District shall be limited to auto
113 sales facility housing offices for minor mechanical repairs and detailing of cars to be
114 performed exclusively in the building, and all other uses permitted within the B-3
115 "Extensive Business District" without a Special Permit.

116
117 **2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS**

118
119 b. The building space existing at 620 Charbonier, shall be limited to a single story,
120 2789 square foot building.

171 The Final Site Development Plan shall include the following:

172
173 a. Height, Area And Bulk Restrictions:
174

175 Height, Area And Bulk Restrictions. The height, area and bulk regulations for uses in
176 the "B-3" Extensive Commercial District.
177

178 b. Internal Drives:
179

180 There shall be parking to be indicated on the Final Development Plan
181
182

183
184 c. Minimum Parking/Loading Space Requirements.
185

186 There shall be added parking spaces provided on the property as shown on Site Plan
187 SP-1 dated 7/21/14 attached.
188

189 d. Road Improvements, Access and Sidewalks:
190

191 Final Development shall include additional enhancements along the frontage shown
192 on Site Plan SP-1 dated 7/21/2014.
193

194 e. Lighting Requirements:
195

196 The light level for parking lot lighting shall be 0.5 fc minimum. Future total
197 replacement pole and fixtures shall be a maximum height of site lighting, including
198 base, light fixture and light standard, shall be 25 feet above grade.
199

200 f. Sign Requirements:
201

202 There shall be signage as shown on Site Plan SP-1 Dated 7/21/2014.
203

204 g. Landscaping And Fencing:
205

- 206 1. Landscaping indicated on the Final Development Plan shall be as shown on Site
207 Plan SP-1 dated 7/21/2014; and
208 2. Any modifications to the landscaping shall be reviewed and approved by the
209 Planning and Zoning Commission.
210

211 h. Storm Water:
212

213 Storm Water drainage facilities shall comply with the following standards
214 and requirements.

- 215 1. The Director of Public Works shall review the storm water plans to assure that
216 storm water flow will have no adverse effect on the neighboring properties.

262

b. If the building commissioner determines that the requested amendment is not consistent in purpose and content with the nature of the purpose as originally proposed or previously advertised for the public hearing, then an amendment to the special use permit shall be required and a review and recommendation by the planning and zoning commission shall be required and a new public hearing shall be required before the City Council.

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9. VERIFICATION PRIOR TO OCCUPANCY PERMIT:

281

282

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290

10. GENERAL DEVELOPMENT CONDITIONS:

291

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295

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299

9. PROJECT COMPLETION:

300

301

302

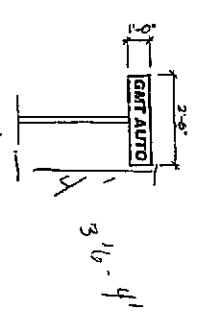
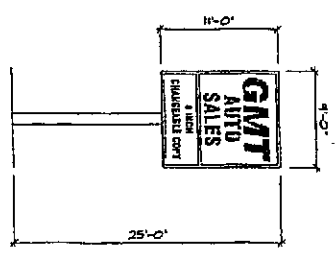
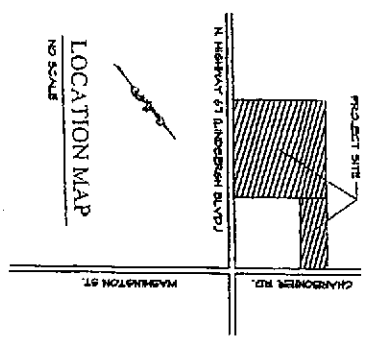
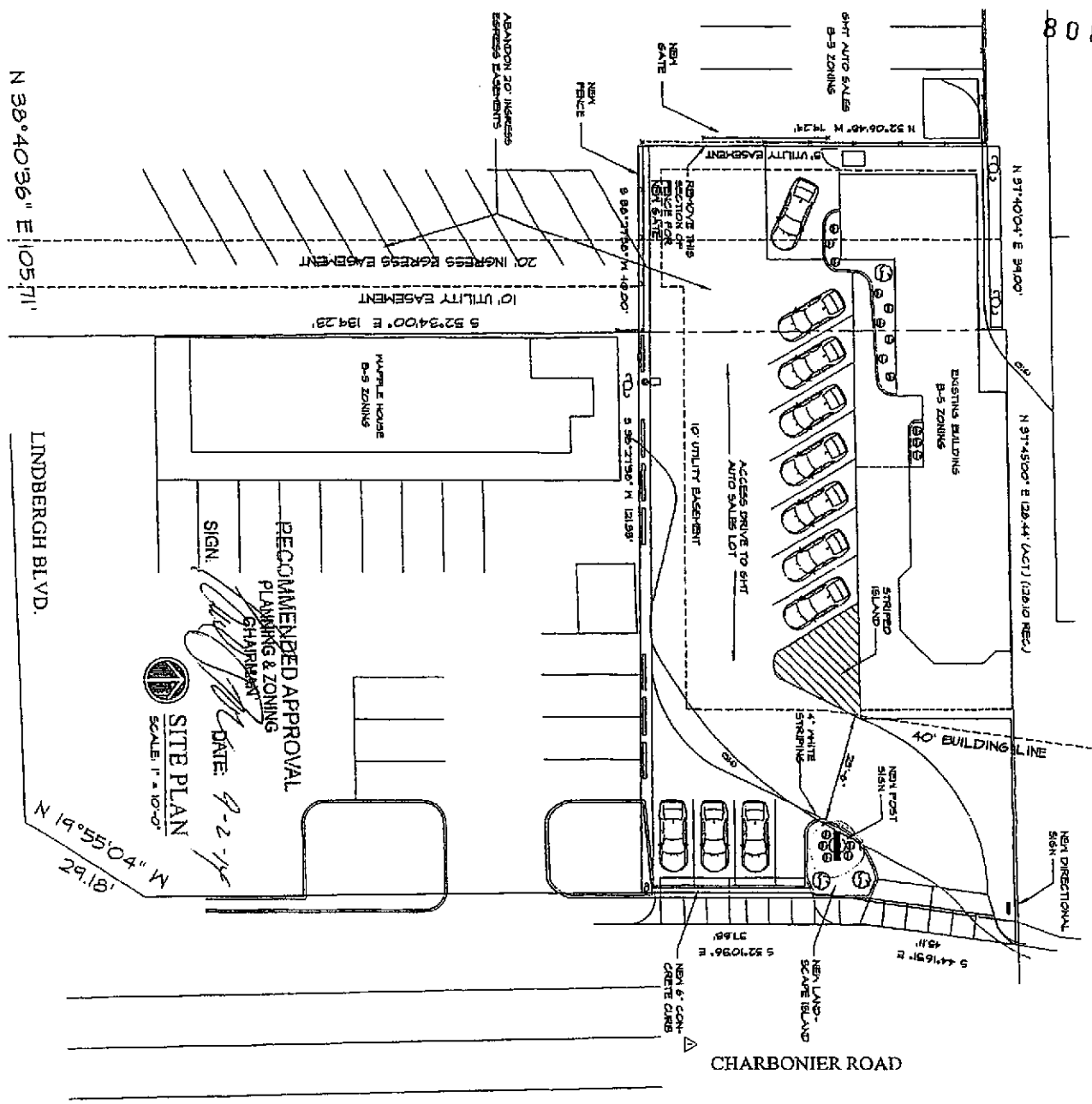
303

304

305

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 6 months of start of construction.

8080



11' TALL X 4' WIDE SIGNAGE PLACED POLE SIGN
 11' TALL X 4' WIDE SIGNAGE PLACED POLE SIGN
 TOP FACE PLANNED SIGN IMPACT FACE
 BOTTOM FACE PLANNED SIGN IMPACT FACE
 TRACK TO ACCOMMODATE DRIVEABLE CORP. &
 LEMING

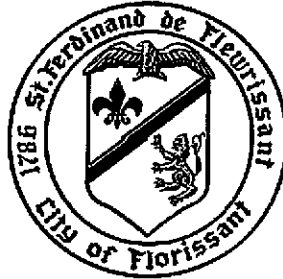
PROPOSED POST SIGN
 NO SCALE

PROPOSED DIRECTIONAL SIGN
 NO SCALE

a proposed lot access & signage plan for: GMT AUTO SALES 620 CHARBONIER ROAD FLORISSANT, MISSOURI 63031		DALE ARCHITECTURAL SERVICES, LLC 743 Saint Mary's Road Villa Ridge, Mo. 63089 314-517-5101 joedale@abcglobal.net		no. date description 1 10/1/13 10/1/13
sheet no. of SP-1	title 10/1/13	project 10/1/13	prepared by 10/1/13	reviewed by 10/1/13



FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works
314-839-7648

Application is hereby made to the Building Commissioner of the Department of Public works Office at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission

Please Print or Type The Following Information

Property Address: 620 CHARBONIER ROAD
Property Owners Name: MISSION HILLS DEVELOPMENT CO. Phone #: 314 830 2730
Property Owners Address: 225 NORTH HIGHWAY 67, FLORISSANT, MO. 63031
Business Owners Name: TRAVERS AUTO GROUP Phone #: 314 830 2730
Business Owners Address: 225 NORTH HIGHWAY 67, FLORISSANT, MO. 63031
DBA (Doing Business As) N/A
Authorized Agents Name: JOE A. DALE CO. Name: N/A
(Authorized Agent to Appear Before The Commission)
Agents Address: 743 ST. MARY'S ROAD, VILLA MOGE, MO Phone #: 314.517-5101
Request TO CONSTRUCT A 1,250 SF, SINGLE STORY, BUILDING ADDITION
FOR OFFICE USE 85' Amendment
State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Heena Trean
Applicant's Signature

1-6-16
Date

Received by: et Receipt # 59227 OFFICE USE ONLY Amount Paid: 125.22 Date: 1/7/16

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: 3/15/16

COMMISSION ACTION TAKEN: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION pet

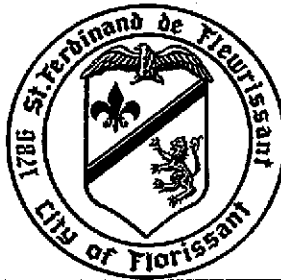
Planning & Zoning Application
Page 1 of 1 - Revised 9/28/10

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

[Signature]
SIGN.

DATE: 3-21-16

APPLICATION TO THE CITY OF FLORISSANT PLANNING AND ZONING
COMMISSION TO ESTABLISH A B-5 PLANNED COMMERCIAL DISTRICT
AMEND



PLANNING & ZONING ACTION:

Address of Property:

620 CHANSONIER

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward 3 Zoning B-5

Initial Date Petitioner Filed 1/7/16
Building Commissioner to complete
ward, zoning & date filed

X SIGN [Signature]

DATE: 3-21-16

PETITION FOR A B-5 RE-ZONING:

1) Comes Now MISSION HILLS DEVELOPMENT

(Individual's name, corporation, partnership, etc.)

Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As).

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, described on page 3 of this petition.

Legal interest in the Property PROPERTY OWNER

State legal interest in the property. (i.e., owner of property, lease); also submit copy of deed or lease or letter of authorization from owner to seek a special use.

- A. The petitioner(s) hereby states that he (she) (they) is (are) submitting a description of the property for which the Permit is petitioned by giving bearings & distances (metes and bounds). Not required if description is identical to "B".
- B. The petitioner(s) hereby states that he (she) (they) is (are) submitting a survey or plat of the property drawn to a scale of 100 feet or less to the inch, referenced to a point easily located on the ground as street intersection, centerline of creek having a generally known name, etc., showing dimensions, bearings and distances of the property, north arrow and scale.
- C. Acreage to nearest tenth of an acre of the property for which rezoning is petitioned 2.37 ACRES
2. The petitioner(s) hereby further state(s) that the property herein described in this petition is presently zoned in a B-5 District and is presently being used for: AUTO VEHICLE SALES

State current use of property, (or, state: vacant).

3. The petitioner(s) hereby state(s) the following purpose to justify the re-zoning to a B-5:

amendment for
TO PROVIDE ADDITION OFFICE SPACE BY CONSTRUCTING A 1,250 SF
BUILDING EXPANSION TO THE EX-SISTING STRUCTURE.

List purpose for this request.

4. The petitioner(s) further states(s) that they (he) (she) can comply with all of the requirements of the City of Florissant, including setback lines and off-street parking.

5. The petitioner(s) further state(s) that they (he) (she) further represent(s) and warrants that they (he) (she) has (have) not made any arrangement to pay any commission, gratuity or consideration, directly or indirectly, to any official employee or appointee of the City of Florissant, with respect to this application.

PRINT PETITIONER'S NAME GLENN TRAVERS

Print Name

PETITIONER(S) SIGNATURE (S) *Glenn Travers*

FOR MISSION HILLS DEVELOPMENT CO.

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or LLC Managing PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

6. I (we) hereby certify that (indicate one of the following):

- ☒ I (we) have a legal interest in the herein above described property.
☐ I am (we are) the duly appointed agent(s) of the petitioner (s), and
that all information given here is true and a statement of fact.

Petitioner may assign an agent to present petition to the Commission and Council. The agent must sign the petition in this section, and provide address and telephone number

SIGNATURE *Joe A. Dale*

ADDRESS 743 ST. MARYS ROAD VILLA MOISE MO 63089
STREET CITY STATE ZIP CODE

TELEPHONE NUMBER 314.517.5101
BUSINESS

I (we) the petitioner (s) do hereby appoint JOE A. DALE as
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

Glenn Travers
Signature of Petitioner(s) or Authorized Agent

NOTE: Be advised when the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and make the presentation, the same individuals must also appear before the City Council for that presentation. Also if the descriptions of plats or surveys are incorrect, or if the petition form is not correctly and completely filled out it will be returned for corrections and may have to be re-submitted.

Please check the box for the appropriate type of operation then fill in applicable section (a), (b) or (c). Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual: ☐ Partnership: ☐ Corporation/LLC: ☒

(a) If an Individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a Partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a Corporation or LLC:

- (1) Names & addresses of all partners Glenn Travers
- (2) Telephone numbers 314.960.4175
- (3) Business address 225 N. Hwy 67 Florissant MO 63031
- (4) State of corporation & a photocopy of incorporation papers MO
- (5) Date of corporation January 28, 1998
- (6) Missouri Corporate Number 00451386
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. N/A
- (8) Name in which business is operated MISSION HILLS DEVELOPMENT INC
- (9) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested.

Name GUENN TRAVERS

Address 90 225 NORTH HIGHWAY 67, FLOUISSANT, MO 63031

Property Owner MISSION HILLS DEVELOPMENT CO.

Location of property 620 CHARBONIER

Dimensions of property ± 211' x 431' PLUS 121' x 80'

Current Use of Property AUTO VEHICLE SALES

Proposed Use of Property AUTO VEHICLE SALES

Type of Sign N/A

Height N/A

Type of Construction FRAME

Number Of Stories 1

Square Footage of Building MAIN BLDG 3,728 SF

Number of Curb Cuts 3

CHARBONIER 2,213 SF

Number of Parking Spaces

Sidewalk Length N/A

Landscaping: No. of Trees 0

Diameter N/A

No. of Shrubs 10

Size 5 GALLON

Fence: Type N/A

Length

Height

PLEASE SUBMIT NINE (9) FOLDED COPIES OF THE FOLLOWING:

1. Plan or drawing showing zoning of adjoining properties.
2. Plan or drawing showing location of property in relation to major streets and all adjoining properties.
3. Drawing showing measurement of tract and overall area of tract.
4. Plan or drawing showing proposed parking layout, landscaping, parking lighting, signage and trash enclosure.

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

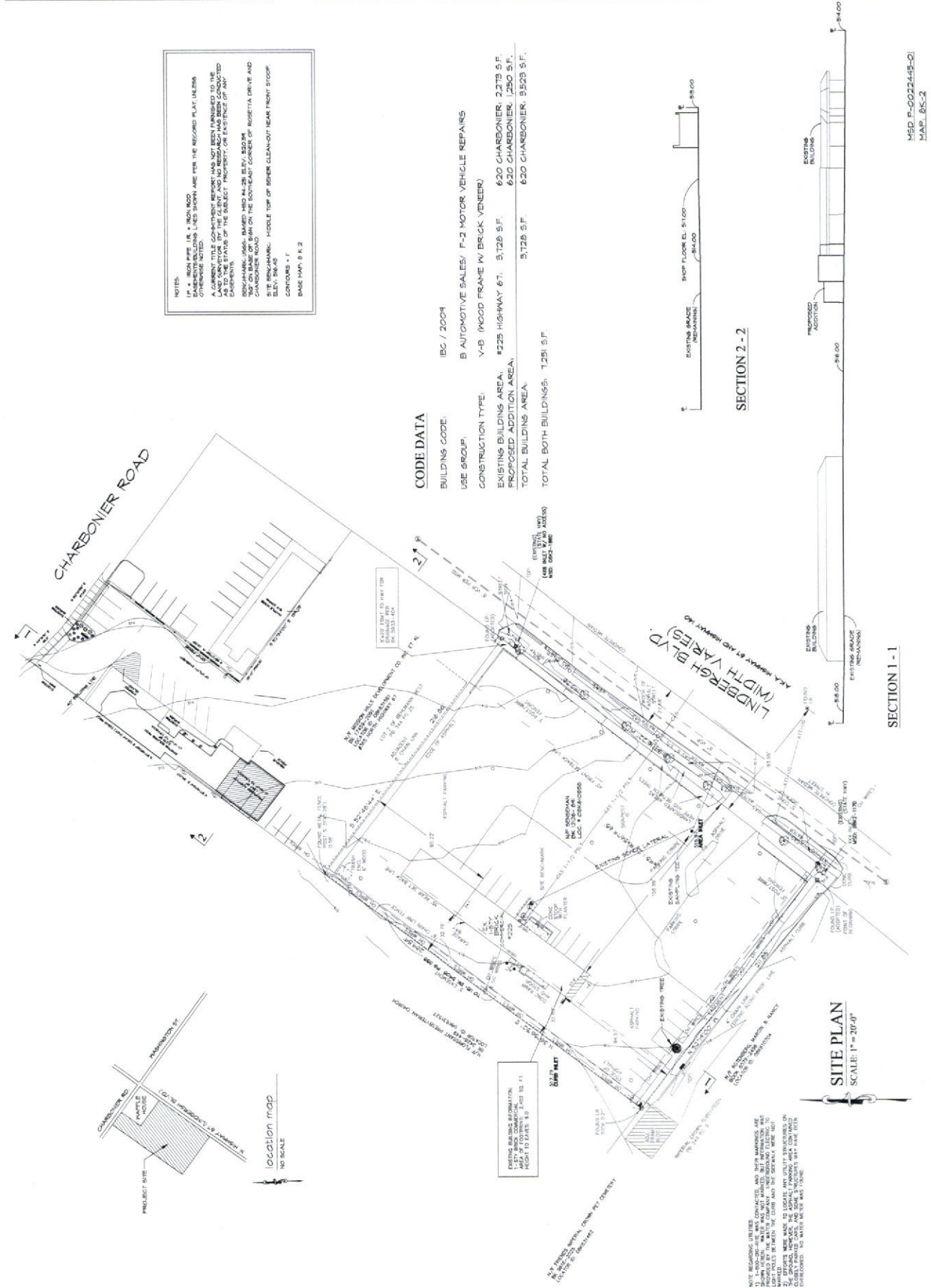
Provide a legal description of the property. If part of a shopping center list address and state part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with bearings and distances.

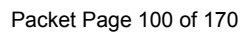
ATTACHED TO APPLICATION

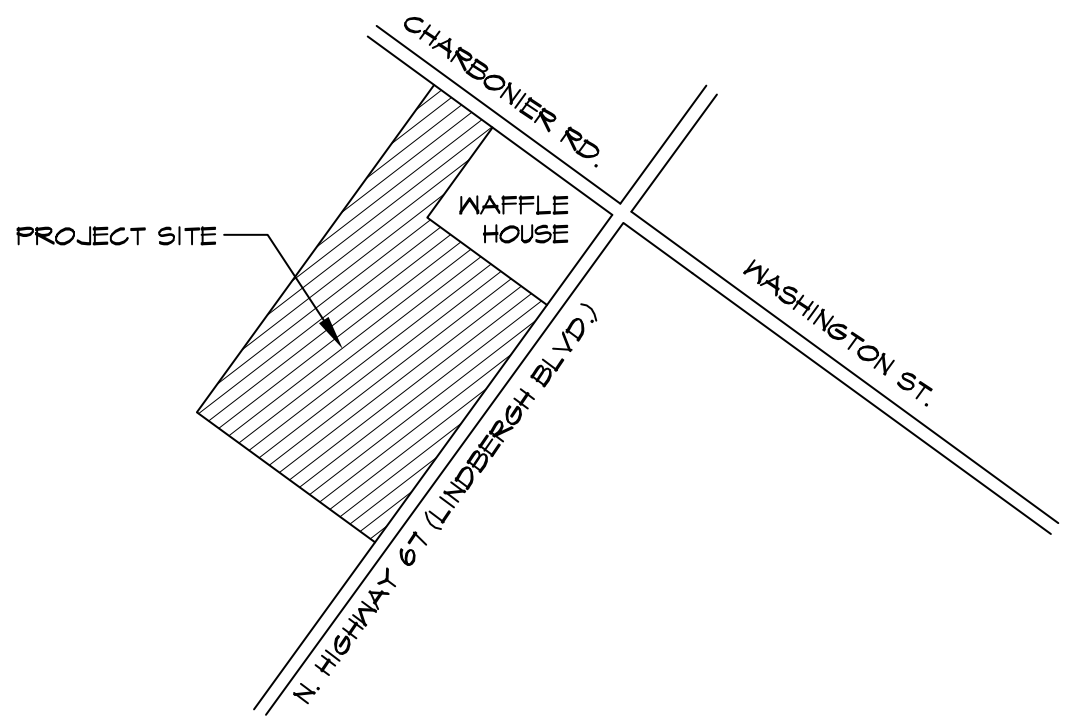
PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION

Provide a drawing of a location map showing the nearest major intersection or include on plans.

INCLUDED ON PLANS







location map
NO SCALE

EXISTING BUILDING INFORMATION:
1-STY BRICK COMMERCIAL
AREA OF FOOTPRINT: 2,402 SQ. FT.
HEIGHT TO EAVES: 9.0'

N/F FRIENDS IMPERIAL CROWN PET CEMETERY
BK 661F-2025-149
LOCATOR ID: 08K631462

NOTE REGARDING UTILITIES:
1) 1-800-DIG-RITE WAS CONTACTED, AND THEIR MARKINGS ARE SHOWN HEREIN. WATER WAS NOT MARKED, BUT INFORMATION WAS PROVIDED BY THE WATER COMPANY. UNDERGROUND ELECTRIC TO LIGHT POLES BETWEEN THE CURB AND THE SIDEWALK WERE NOT MARKED.
2) EFFORTS WERE MADE TO LOCATE ANY UTILITY STRUCTURES ON THE GROUND, HOWEVER, THE ASPHALT PARKING AREA CONTAINED CLOSELY PARKED CARS, AND SOME STRUCTURES MAY HAVE BEEN OVERLOOKED. NO WATER METER WAS FOUND.

SITE PLAN
SCALE: 1" = 20'-0"

CODE DATA

BUILDING CODE: IBC / 2009

USE GROUP: B AUTOMOTIVE SALES/ F-2 MOTOR VEHICLE REPAIRS

CONSTRUCTION TYPE: V-B (WOOD FRAME W/ BRICK VENEER)

EXISTING BUILDING AREA: #225 HIGHWAY 67: 3,728 S.F. 620 CHARBONIER: 2,273 S.F.

PROPOSED ADDITION AREA: 620 CHARBONIER: 1,250 S.F.

TOTAL BUILDING AREA: 3,728 S.F. 620 CHARBONIER: 3,523 S.F.

TOTAL BOTH BUILDINGS: 7,251 S.F.



SECTION 2 - 2

LINDBERGH BLVD.
(WIDTH VARIES)
AKA HIGHWAY 67 AND HIGHWAY 140

SECTION 1 - 1

NOTES:

I.P. = IRON PIPE I.R. = IRON ROD
EASEMENTS/BUILDING LINES SHOWN ARE PER THE RECORD PLAT, UNLESS OTHERWISE NOTED.

A CURRENT TITLE COMMITMENT REPORT HAS NOT BEEN FURNISHED TO THE LAND SURVEYOR BY THE CLIENT, AND NO RESEARCH HAS BEEN CONDUCTED AS TO THE STATUS OF THE SUBJECT PROPERTY, OR EXISTENCE OF ANY EASEMENTS.

BENCHMARK: USGS- BASED MSD #4-251 ELEV. 520.54
"SQ" ON BASE OF SIGN ON THE SOUTHEAST CORNER OF ROSETTA DRIVE AND CHARBONIER ROAD.

SITE BENCHMARK: MIDDLE TOP OF SEWER CLEAN-OUT NEAR FRONT STOOP. ELEV. 516.43

CONTOURS = 1'

BASE MAP: 8 K 2

a proposed office addition for:

MISSION HILLS DEVELOPMENT

620 CHARBONIER ROAD

FLORISSANT, MISSOURI 63031

project
number

file
name

date

sheet no.

C-1

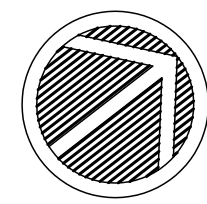
no. date description

revisions

JOE A. DALE, ARCHITECT
743 Saint Mary's Road
Villa Ridge, Mo. 63089

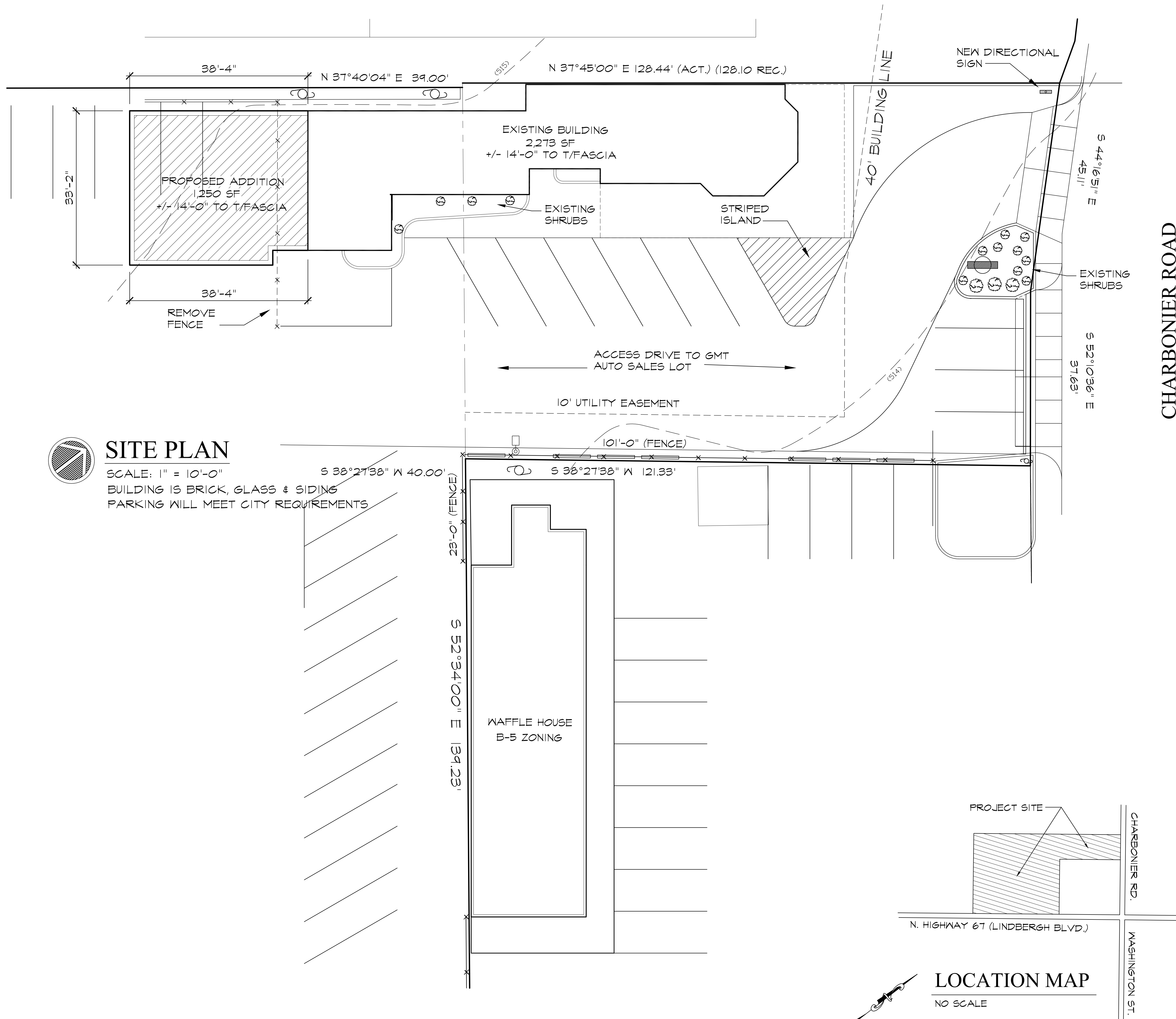
NCARB
314-517-5101
joedale@sbeglobal.net

MSD P-0022445-01
MAP: 8K-2



SITE PLAN

SCALE: 1" = 10'-0"
BUILDING IS BRICK, GLASS & SIDING
PARKING WILL MEET CITY REQUIREMENTS



LOCATION MAP

NO SCALE

CHARBONIER ROAD

a proposed office addition for:

MISSION HILLS DEVELOPMENT

620 CHARBONIER ROAD
FLORISSANT, MISSOURI 63031

project
number

file
name

date

sheet no.

SP-1

addp-1

03/01/16

of

NCARB

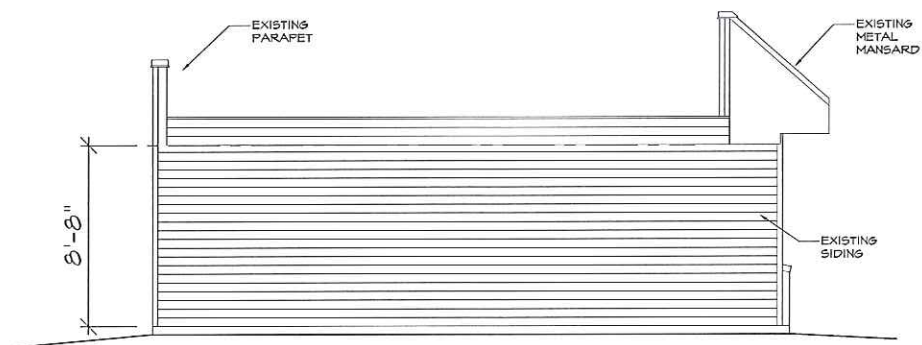
JOE A. DALE, ARCHITECT

743 Saint Mary's Road
Villa Ridge, Mo. 63089

joedale@sbcglobal.net

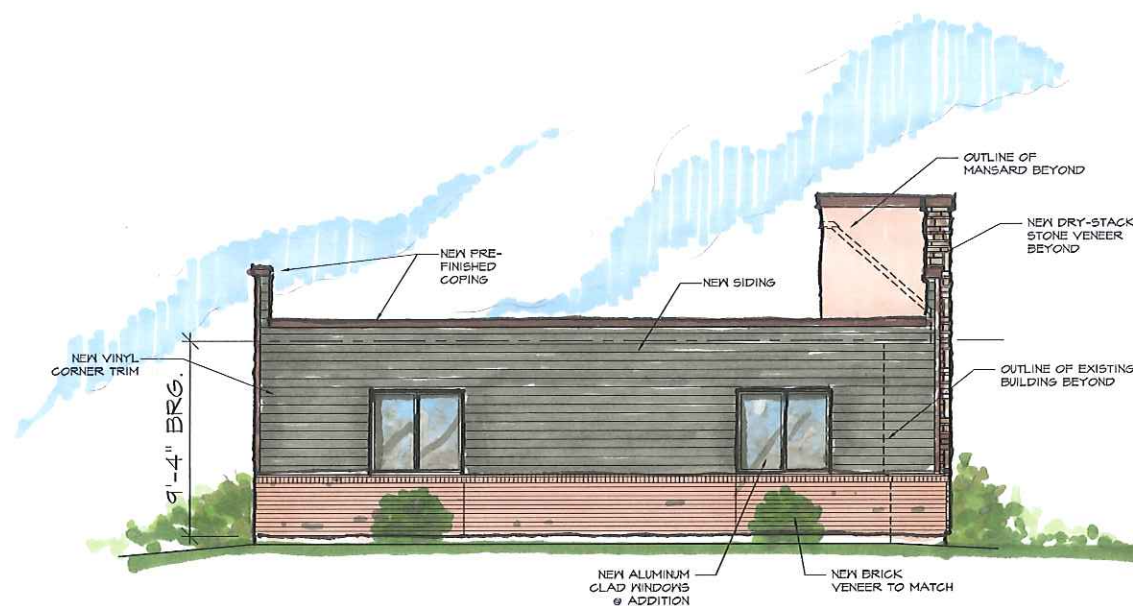
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revisions



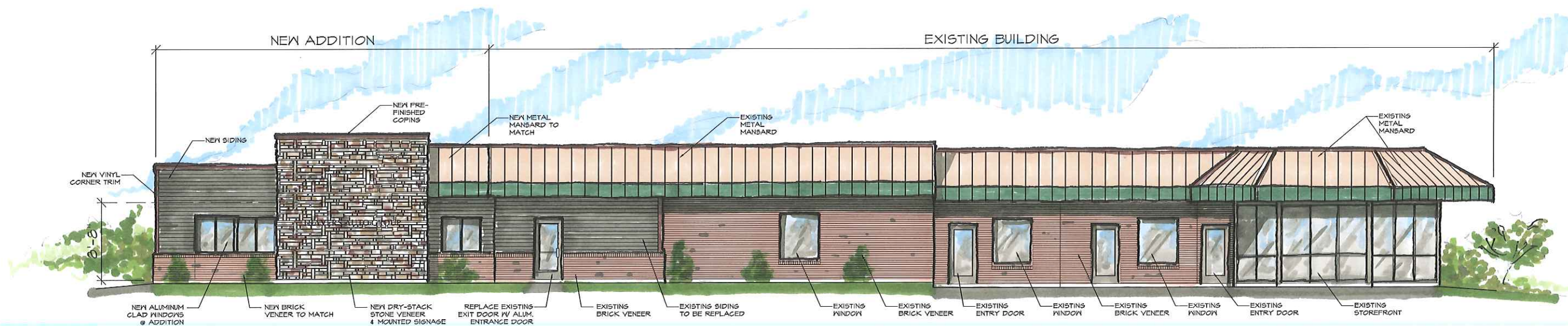
EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 3/16" = 1'-0"

JOE A. DALE, ARCHITECT
743 Saint Mary's Road
Villa Ridge, Mo. 63089

NCARB
314-517-5101
joedale@sbcglobal.net

a proposed office addition for:
GMT AUTO SALES
620 CHARBONIER ROAD
FLORISSANT, MISSOURI 63031

project
number

file
name

date

sheet no.

A-2

adda-2

03/01/16

of

no. date description

revisions

CITY OF FLORISSANT

Public Hearing



In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, April 11, 2016 at 7:30 P.M. on the following proposition:

To authorize an amendment to Special Use Permit No. 8063 to allow for the expansion of Club Fitness in a B-3 Zoning District for the property located at 745-755 N Highway 67 (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142. CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

1 INTRODUCED BY COUNCILMAN JONES
2 APRIL 11, 2016

3
4 BILL NO. 9178

ORDINANCE NO.

5
6 **ORDINANCE TO AUTHORIZE AN AMENDMENT TO SPECIAL USE**
7 **PERMIT NO. 8063 ISSUED TO TOTAL TAN, INC. D/B/A CLUB FITNESS**
8 **TO ALLOW FOR THE EXPANSION OF THE FITNESS CENTER FOR**
9 **THE PROPERTY LOCATED AT 745-755 N. HWY67.**
10

11 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
12 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
13 operation of a fitness center; and

14 WHEREAS, the Florissant City Council has heretofore granted a Special Use Permit to
15 Total Tan, Inc. d/b/a Club Fitness for the location and operation of a restaurant on the property
16 described in Ordinance No. 8063; and

17 WHEREAS, an application has been filed by Total Tan, Inc. d/b/a Club Fitness for an
18 amendment to the said Special Use Permit heretofore granted under Ordinance No. 8063 to
19 authorize the expansion of the fitness center in to the property located at 755 N. Highway 67;
20 and

21 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
22 meeting of March 21, 2016 has recommended that the said Special Use Permit be amended; and

23 WHEREAS, due notice of public hearing no. 16-04-009 on said application to be held on
24 the 11th day of April at 7:30 P.M. by the Council of the City of Florissant was duly published,
25 held and concluded; and

26 WHEREAS, the Council, following said public hearing, and after due and careful
27 consideration, has concluded that the granting of an amendment to the Special Use Permit
28 authorized by Ordinance No. 8063, to expand the fitness center to 755 N. Highway 67 would be
29 in the best interest of the City of Florissant.

30 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
31 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
32

33 Section 1: The Special Use Permit heretofore granted to Total Tan Inc. d/b/a Club
34 Fitness under Ordinance No. 8063 is hereby amended by allowing the expansion of the fitness
35 center to over 2000 square feet at 745-775 N. Highway 67 in a B-3 Zoning District, as depicted
36 by the attached Floor Plan dated 3/8/16, subject to the regulations of the B-3 Extensive Business
37 District

Section 2: Said Special Permit shall be conditioned on and shall remain in full force and effect so long as the conditions set out in Ordinance . 8063, as now amended, are adhered to.

Section 3: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2016.

Joseph Eagan
President of the Council
City of Florissant

Approved this ____ day of _____, 2016.

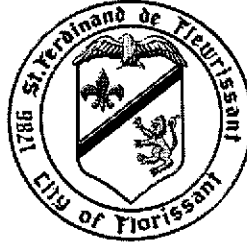
Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

1

MEMORANDUM



2

3

4

5

6

CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

7 To: Planning and Zoning Commissioners Date: March 16, 2016

8

9 From: Philip E. Lum, AIA-Building Commissioner c: Louis B. Jearls, Jr. - P.E.,
10 PWLF Director Public Works
11 Timothy Barrett, P.E. CFM-
12 City Engineer
13 Deputy City Clerk
14 Applicant
15 File

16

17 Subject: **745-775 N. Highway 67 Club Fitness** Request recommended approval to
18 amend a Special Use Permit to allow for expansion of a Fitness Center
19 over 2000 s.f. in an existing 'B-3' Zoning District.
20

21

22

STAFF REPORT
CASE NUMBER PZ-032116-2

23

24 **I. PROJECT DESCRIPTION:**

25

26 This is a request for Request recommended approval to amend a Special Use Permit to
27 allow for expansion of a Fitness Center over 2000 s.f. in an existing 'B-3' Zoning
28 District. The proposal of Fitness Centers over 2000 s.f. is a Special Use under section
29 405.125 of the Zoning Code and the proposed expansion into retail space formerly
30 occupied by Petco, requires an amendment to the Special Use:

31

32 **II. SITE CONDITIONS:**

33

34 The existing property at **745-775 N. Highway 67** is an existing site of 2.97 acres owned
35 by S. P. Real Estate Investment Co. L.P. with an existing parking lot and existing
36 Buildings of 32,815 s.f which was built in 1965 according to current public records. The
37 parcel addresses are 737 and 779 N. Highway 67 and not owned by the same owner as
38 the Danmark property.
39

There are 253 existing off street parking shown on the Site Plan excluding the Danmark property to the West, but the Danmark property is not part of the site. The number of parking provided on the two parcels was 182 until a recent addition. Required parking sized per usages s.f. is now proposed as 252 spaces.

Landscape has recently been upgraded.

III. SURROUNDING PROPERTIES:

The properties to the West, 705 and 735 N Hwy 67 are in a B-3 District, is also bounded by a 785 N Hwy 67 (Titlemax) in a B-3 District and t6, 17 & 18 Merri and 680 Lindsay in an R-4 District to the North. Lindsay Lane is on the East.

IV. STAFF ANALYSIS:

1. The application is accompanied by a Vance Engineering (Site) Plan, dated 10/9/14.
2. The landscape and exterior were approved by the Commission under a remodeling project PZ-071513.
3. Parking: Under the New Parking Ordinance, parking would instead of 4/1000 for the Retail Center, shall be calculated as follows:

Fitness Center

- a. 3.33 / 1000 GFA of office, consultation, retail sales, tanning, beauty service and non-public eating area.
- b. 1 space for every 100 SF gross floor area for exercise, exercise machines and aerobics areas.
- c. 2 spaces for every 100 SF of swimming pool. (none)
- d. Use applicable ratios for other uses at these facilities found in this table.
 - i. Childcare 2.66 / 1000 GFA, or 1 space for every 10 children or adults enrolled plus 1 per employee
- e. Parking required for Fitness Center proposed = 225

Other Retail

- f. Parking required for the Honey Baked Ham building are calculated at 27
- g. Parking required calculated by uses = 252
- h. Staff conducted further study as to seating in existing uses in the Honeybaked Ham building regarding the restaurants that exist there and determine if there is any favorable affect. The results are that these businesses have a favorable affect:
 - i. St. Louis Pizza and Wings- 9 seating /3= 3 plus employees or 4.5/1000, net affect is nil.
 - ii. Honey Baked Ham- not a restaurant, however dining for 9 seating.

86
87 4. Information given regarding the new plan for Club Fitness shown on attached plan
88 dated 3/8/16:

- 89 a. Occupant Load: Staff received this plan proposed for the facility. The
90 architect identifies areas to be calculated for usage.
91 b. Does not cover Hours of operation.
92 c. Does not discuss Number of Staff.
93

94 **VI. STAFF RECOMMENDATIONS:**

95 The total number of parking spaces on the two parcels 737 and 779 N. US Highway 67
96 meets the parking ordinance. Therefore, the cross parking agreement for additional
97 parking is not required to meet the parking ordinance
98

99 (end report)
100

101 **Suggested Motion for 745-775 N. Highway 67 Club Fitness:**
102

103 I move to recommend approval to amend a Special Use Permit for a Fitness
104 Center over 2000 s.f. at **745-775 N. Highway 67** in a B-3 Zoning District, as
105 depicted by the attached Floor Plan dated 3/8/16, subject to the regulations of the
106 B-3 "Extensive Business District" ~~with the following additional requirements:~~
107

108
109 (end suggested motion)
110
111
112

1 INTRODUCED BY COUNCILMAN JONES

2 JULY 14, 2014

3
4 BILL NO. 9013

ORDINANCE NO. 8063

5
6 **ORDINANCE AUTHORIZING A SPECIAL USE PERMIT TO TOTAL TAN,**
7 **INC. D/B/A CLUB FITNESS TO ALLOW FOR THE OPERATION OF A**
8 **FITNESS CENTER FOR THE PROPERTY LOCATED AT 745 N. HWY 67.**
9

10 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
11 Florissant, by Special Use Permit, after public hearing thereon, to permit the operation of
12 health/fitness center; and

13 WHEREAS, an application has been filed by Total Tan, Inc. d/b/a Club Fitness for the
14 operation of a fitness center locate at 645 N. Hwy 67.

15 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their meeting
16 of June 16, 2014, has recommended that the said Special Use Permit be granted; and

17 WHEREAS, due notice of a public hearing no. 14-07-016 on said application to be held on
18 the 14th day of July, 2014 at 7:00 P.M. by the Council of the City of Florissant was duly published,
19 held and concluded; and

20 WHEREAS, the Council, following said public hearing, and after due and careful
21 consideration, has concluded that the granting of the Special Use Permit as hereinafter provided
22 would be in the best interest of the City of Florissant.

23 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
24 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

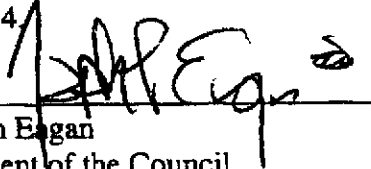
25
26 Section 1: A Special Use Permit is hereby granted to Total Tan, Inc. d/b/a Club Fitness for
27 the operation of a Fitness Center over 2000 square feet at 745-775 N. Highway 67 in a B-3 Zoning
28 District, as depicted by the attached floor plan dated February 10, 2014 subject to the regulations of
29 the B-3 "Extensive Business District" with the following additional requirements:

- 30 1. Provide compliance with the municipal parking ordinance by duly recorded
31 cross-parking agreement or by additional parking spaces.

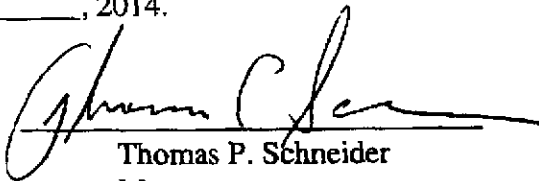
32 Section 2: When the named permittee discontinues the operation of said business, the Special
33 Use Permit herein granted shall no longer be in force and effect.

34 Section 3: This ordinance shall become in force and effect immediately upon its passage and
35 approval.
36
37

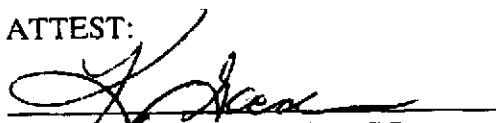
Adopted this 28 day of July, 2014.


Joseph Eagan
President of the Council

Approved this 28 day of July, 2014.


Thomas P. Schneider
Mayor

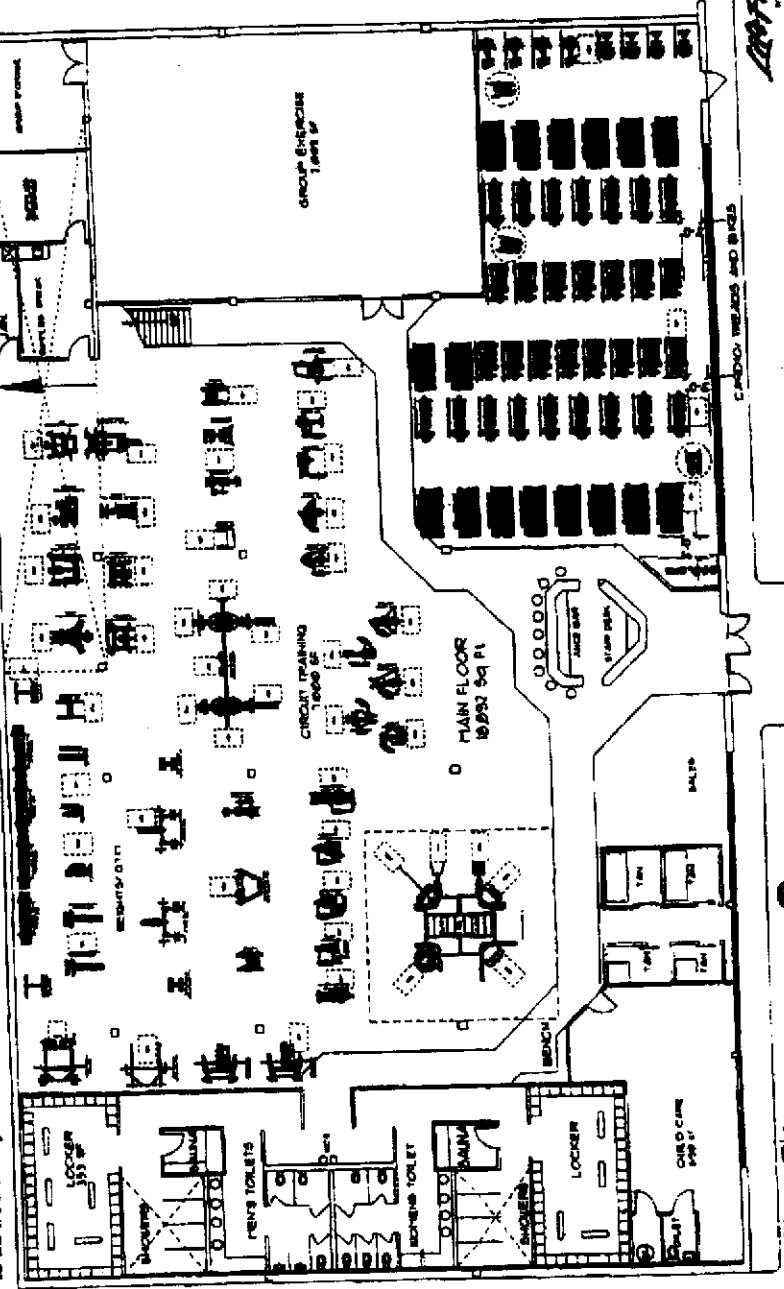
ATTEST:


Karen Goodwin, MMC/MRCC
City Clerk

Club Fitness - Florissant, MO

- *Synergy360 minimum recommended ceiling height is 9'-6". This allows for proper head clearance when doing pull-ups and step-ups, as well as clearance for the rebounder balls.
- *Synergy360 is recommended to be bolted to the floor to stabilize and eliminate rocking or tipping.
- *Equipment is recommended to be free of any obstructions.

Mezzanine Floor Plan



Floor Plan

0 3 5 10 ft

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

DATE: 6/16/14

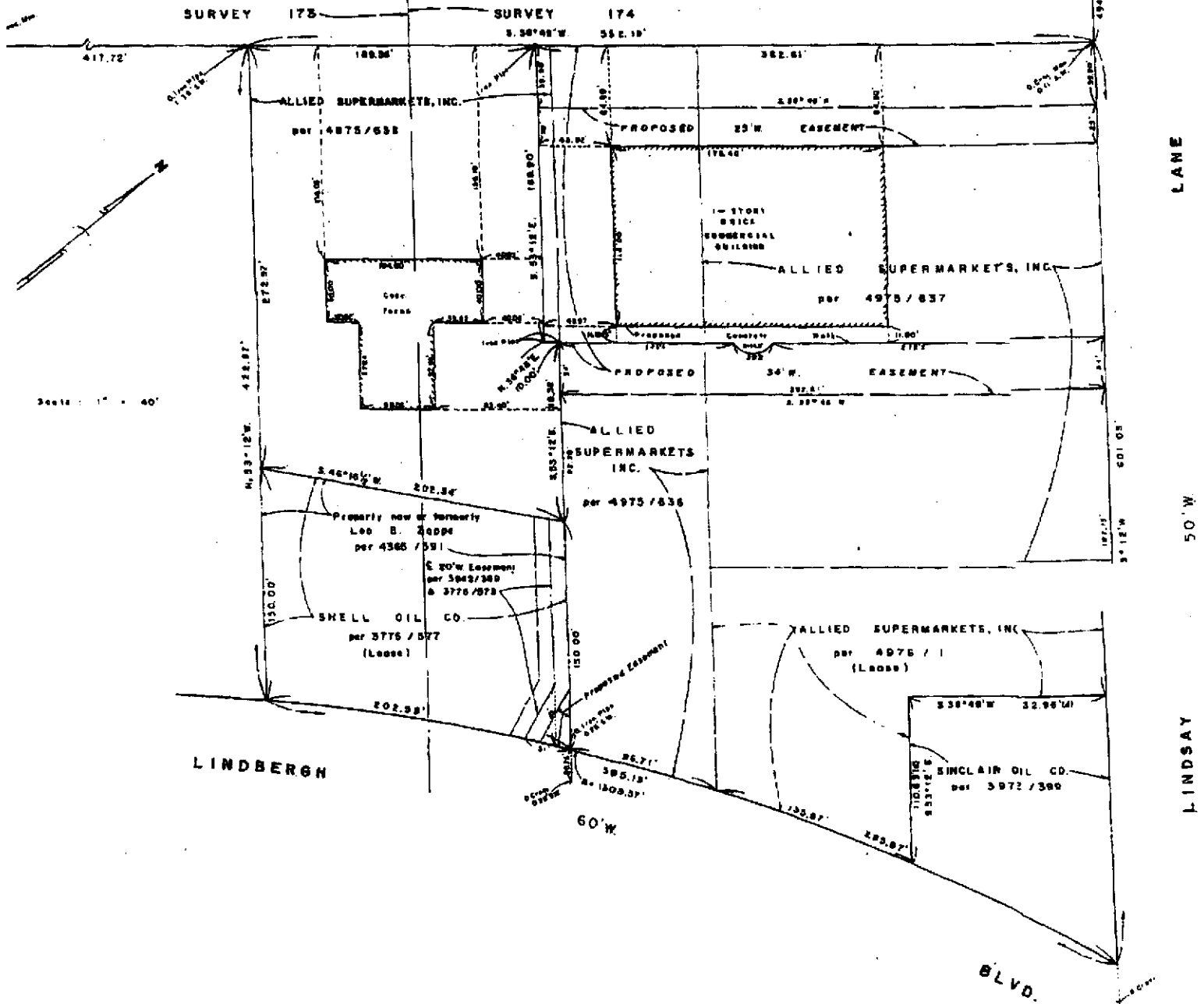
Sales Contact: Travis Moore

Date: February 10, 2014 | Version: 1.01 | Scale: 3/64"=1'-0"

8063

SURVEYS 173 & 174 ST. FERDINAND COMMONFIELDS

ST. LOUIS COUNTY, MO.



Projected Parking Space Requirements

(Per Florissant Model Parking Ordinance)
 Florissant MO, Revised June 24, 2014

Address	Tenant	Use	Leasable Area (S.F.)	# of Seats	# of Employees	Code Requirement	Parking Spaces Required
737	Bledz	Hair Salon	900	28	n/a	4 spaces per 1,000 sq. ft.	3.6
737A	Dollar Blingz	Retail Sales	900	10	n/a	4 spaces per 1,000 sq. ft.	3.6
739	Nail Spa	Salon	900	n/a	n/a	4 spaces per 1,000 sq. ft.	6.1
739A	St Louis Pizza	Restaurant	1,350	n/a	n/a	3.33 spaces/1000 s.f.	12.6
743	Honey Baked	Restaurant	3,150	n/a	n/a	3.33 spaces/1000 s.f.	181.3
745	Club Fitness	Fitness Center	20,400	n/a	n/a	10 spaces/1,000 s.f. exer., 3.33 offices/sales	0
765	Vacant	Retail Sales	10,640	n/a	12	4 spaces per 1,000 sq. ft. 3 spaces p/1,000 office/sales 3 spaces per service bay 1 space per employee	50
	Danmark Tire	Auto Repair	2,000, 8 bays	n/a			
Total Square footage			38,240				240.8
Subtotal (Existing Tenants)							241
Parking Spaces Required							182
Total Spaces Florissant Plaza							63
							245

14,000 sf. of workout facilities @ 10 sp./1000 s.f.
6400 sf of office/sales @ 3.33/1000 s.f.

Club Fitness

2,000 sf. of office/sales @ 3 sp/1000
3 spaces per service bay
1 space per employee

Danmark Tite

Total Spaces Florissant Plaza
Total Spaces Danmark Tire
Total Existing Parking Spaces
Extra Parking Space Capacity

Florissant Plaza, Florissant, MO, Revised June 2011

Total Spaces Florissant Plaza
Total Spaces Denmark Tire
Total Existing Parking Spaces
Extra Parking Space Capacity

Club Fitness

Danmark Tire

Packet Page 116 of 170

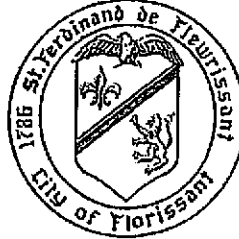
13
4B
180

234

8063



FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant - Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 745-775 N. HWY 67 FLORISSANT, MO

Property Owners Name: FP3 BP ASSOCIATES, LLC Phone/email: 314 872-8500

Property Owners Address: 680 CRAIG ROAD STE. 240 CREVE COEUR, MO 63141

Business Owners Name: John Crocker Phone/email: 314-265-2150 jcrocker@clubfitness.us

Business Owners Address: 3701 W ST Peters pkwy

DBA (Doing Business As) Club Fitness

Authorized Agents Name: Jim Von der Haar Co. Name: 514-494-8874

(Authorized Agent to Appear Before The Commission)

Agents Address: 3701 N. St Peters Pkwy Phone/email: jvonderhaar@bhhselectstl.com

Request to amend a sup, ord 8063 to allow for an expansion of a Fitness Center in a 'B-3 Zoning Dist.
State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

Applicant's Signature [Signature] Date 3/11/16

Received by: JB Receipt # 595551 Amount Paid: 125.00 Date: 3/10/16

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: _____

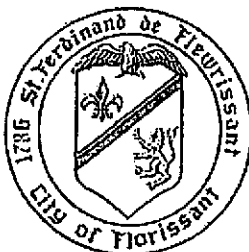
COMMISSION ACTION TAKEN:

SIGNATURE OF STAFF WHO REVIEWED APPLICATION
Planning & Zoning Application
Page 1 of 1 - Revised 7/15/15

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN [Signature] DATE: 3-21-16

SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION



City Of Florissant - Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant, while at the same time maintaining property values and improving the quality of life in the City of Florissant."

PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN. [Signature] DATE: 3-21-16

SPECIAL PERMIT FOR INCREASING SQUARE FOOTAGE TO EXISTING CLUB FITNESS OPERATIONS
Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT # 8063 TO ALLOW FOR ADDITIONAL SQUARE FOOTAGE ADDED
Ordinance # Statement of what the amendment is for.

LOCATION 745-775 N. HWY 67 FLORISSANT, MO
Address of property.

1) Comes Now TOTAL TAN INC d/b/a CLUB FITNESS
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (she) (they) has (have) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) LEASE
State legal interest in the property. (i.e., owner of property, lease).
Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for VACANT SPACE and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that they (he) (she) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

4) The petitioner(s) further state(s) that (he) (she) (they) shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.

5) The petitioner (s) further (represent (s) and warrants (s) that they (he) (she) has (have) not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.

6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.):

7) The petitioner (s) state (s) the following factors and reason to justify the permit:
(If more space is needed, separate sheets maybe attached)

Greg Cenariempo [Signature] / g cenariempo@clubfitness.us
PRINT NAME SIGNATURE email and phone
636-219-3017

FOR Club Fitness

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE Greg Cenariempo

ADDRESS 3701 North St Peters Mo 63376
STREET CITY STATE ZIP CODE

TELEPHONE / EMAIL 636-219-3017 / g cenariempo@clubfitness.us
BUSINESS

I (we) the petitioner (s) do hereby appoint Jim Von Der Haar as
Print name of agent.

my (our) duly authorized agent to represent me (us) in regard to this petition.

[Signature]
Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation: Individual X Partnership _____ Corporation _____

(a) If an individual:

- (1) Name and Address John Crocker 11 upper Whitman Dr
- (2) Telephone Number 314-265-2150
- (3) Business Address 3701 North St Peters PKWY
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) TOTAL TAN
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) State of Incorporation & a photocopy of incorporation papers _____
- (5) Date of Incorporation _____
- (6) Missouri Corporate Number _____
- (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. _____
- (8) Name in which business is operated _____
- (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping information.

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

Name Club Fitness

PROPERTY Address 745-775 N. HWY 67 FLORISSANT, MO

Property Owner FP BPS ASSOCIATES, LLC

Location of property NEAR SW CORNER OF N. HWY 67 AND LINDSAY LANE

Dimensions of property 232/362 x 122/421

Property is presently zoned B-3 Requests Rezoning To NO CHANGE

Proposed Use of Property FITNESS CENTER AND AUXILIARY USES

Type of Sign _____ Height _____

Type of Construction _____ Number Of Stories 1

Square Footage of Building 31,040 Number of Curb Cuts 3

Number of Parking Spaces 252 Sidewalk Length _____

Landscaping: No. of Trees _____ Diameter _____

No. of Shrubs _____ Size _____

Fence: Type WOOD Length 270' Height 6'

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

LEGAL DESCRIPTION
EXHIBIT "A"

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAINT LOUIS, STATE OF MISSOURI, AND IS DESCRIBED AS FOLLOWS:

A tract of land in Survey 174 of St. Ferdinand Commonfields and being more particularly described as follows: Beginning at a point in the Southwest line of Lindsay Lane at its intersection with the most Northern corner of property conveyed to Sinclair Refining Company by deed recorded in Book 3795 Page 303 and as corrected by instrument recorded in Book 3873 Page 399; thence North 53 degrees 12 minutes West along the Southwest line of said Lindsay Lane, 85.35 feet to a point; thence South 36 degrees 48 minutes West, 259.52 feet to a point; thence South 53 degrees 12 minutes East, 126 feet to a point in the Northern line of Lindbergh Boulevard, as widened; thence Eastwardly along the North line of said Lindbergh Boulevard, 135.70 feet to a point, being the most Southern corner of tract of land conveyed to Sinclair Refining Company, as aforesaid; thence North 53 degrees 12 minutes West along the Southwest line of said tract conveyed to Sinclair Refining Company, 89.74 feet to the most Western corner thereof; thence North 36 degrees 48 minutes East along the Northwest line of said tract, 133.12 feet to the point of beginning.

Also,

A tract of land in Survey 174 of St. Ferdinand Commonfields, Township 47 North, Range 6 East, Saint Louis County, Missouri, and described as follows: Beginning at a point in the West line of Lindsay Lane, 50 feet wide, said point being most Northern corner of property conveyed to Allied Supermarkets, Inc., by deed recorded in Book 4975 Page 637 of the Saint Louis County Records; thence along the West line of Lindsay Lane, South 53 degrees 12 minutes East, 335.65 feet to a point; thence leaving said road line, South 36 degrees 48 minutes West, 259.52 feet to a point; thence South 53 degrees 12 minutes East, 126.00 feet, more or less, to a point; thence along a curve to the left having a radius of 1,323.57 feet, a distance of 96.56 feet, more or less, to a point; being Southwest line of property conveyed to Allied Supermarkets, Inc., according to instrument recorded in Book 4975 Page 636 of the Saint Louis County Records; thence leaving said right of way line, North 53 degrees 12 minutes West along said Southwest line 246 feet, more or less, to a point being an angle point in property conveyed to Leo B. Zappe according to instrument recorded in Book 5456 Page 169 of the Saint Louis County Records; thence South 36 degrees 48 minutes West along Zappe property line 10 feet to a point; thence North 53 degrees 12 minutes West along Northeast line of property conveyed to Zappe as aforesaid, 189.90 feet to a point being most Northern corner of said Zappe property; thence North 36 degrees 28 minutes East along the Northwest line of property conveyed to Allied Supermarkets, Inc., by instruments recorded in Book 4975 Page 638, Book 4975 Page 636 and Book 4975 Page 637 of the Saint Louis County Records, 362.46 feet to the point of beginning.

Less and Except those portions conveyed to the State of Missouri, acting by and through the Missouri Highways and Transportation Commission by Warranty Deeds recorded June 18, 2007 in Book 17584 Page 983 and Book 17584 Page 989 of the Saint Louis County Records. The Warranty Deed recorded in Book 17584 page 989 was corrected by an Affidavit of Scrivener's Error recorded on August 6, 2007 in Book 17636 Page 3751.

Together with a non-exclusive parking easement dated July 20, 1964 and recorded in Book 5786 Page 50, over the following described property: A tract of land in Surveys 173 and 174 of St. Ferdinand Commonfields, Saint Louis County, Missouri and described as follows: Beginning at the Northwestern corner of a tract of land conveyed to Allied Supermarkets, Inc., according to deed recorded in Deed Book 4975 Page 638; thence along the Northwestern line of said Allied Supermarkets, Inc., property North 36 degrees 48 minutes East, 189.58 feet to a point; thence leaving said Northwestern line and running South 53 degrees 12 minutes East, 189.90 feet to a point; thence North 36 degrees 48 minutes East, 10.00 feet to a point in the Northeastern line of said Allied Supermarkets, Inc. property; thence along said Northeastern line South 53 degrees 12 minutes East, 116.38 feet to a point; said point being distant North 53 degrees 12 minutes West, 150.00 feet from the most Southern corner of property conveyed to Clarence R. Zahner and wife by deed recorded in Deed Book 1817 Page 451; thence South 46 degrees 16-1/2 minutes West, 202.34 feet to a point in the Southwestern line of the

ALTA Commitment - 2006

**PROVIDE LEGAL DESCRIPTION OF PROPERTY PERTAINING TO THIS
PETITION**

(Close legal description with acreage to the nearest tenth of an acre).

Provide a legal description of the property. If part of a shopping center, list address and show part of what shopping center (i.e.: 351 N. Highway 67 part of Florissant Meadows Shopping Center). If property is a single lot, list full written legal description with metes and bounds bearings and dimensions.

PROVIDE LOCATION MAP SHOWING AREA INVOLVING THIS PETITION
Provide a drawing of a location map showing the nearest major intersection.

OFFICE USE ONLY

Date Application reviewed _____

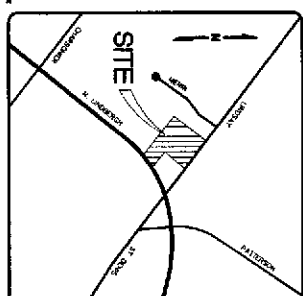
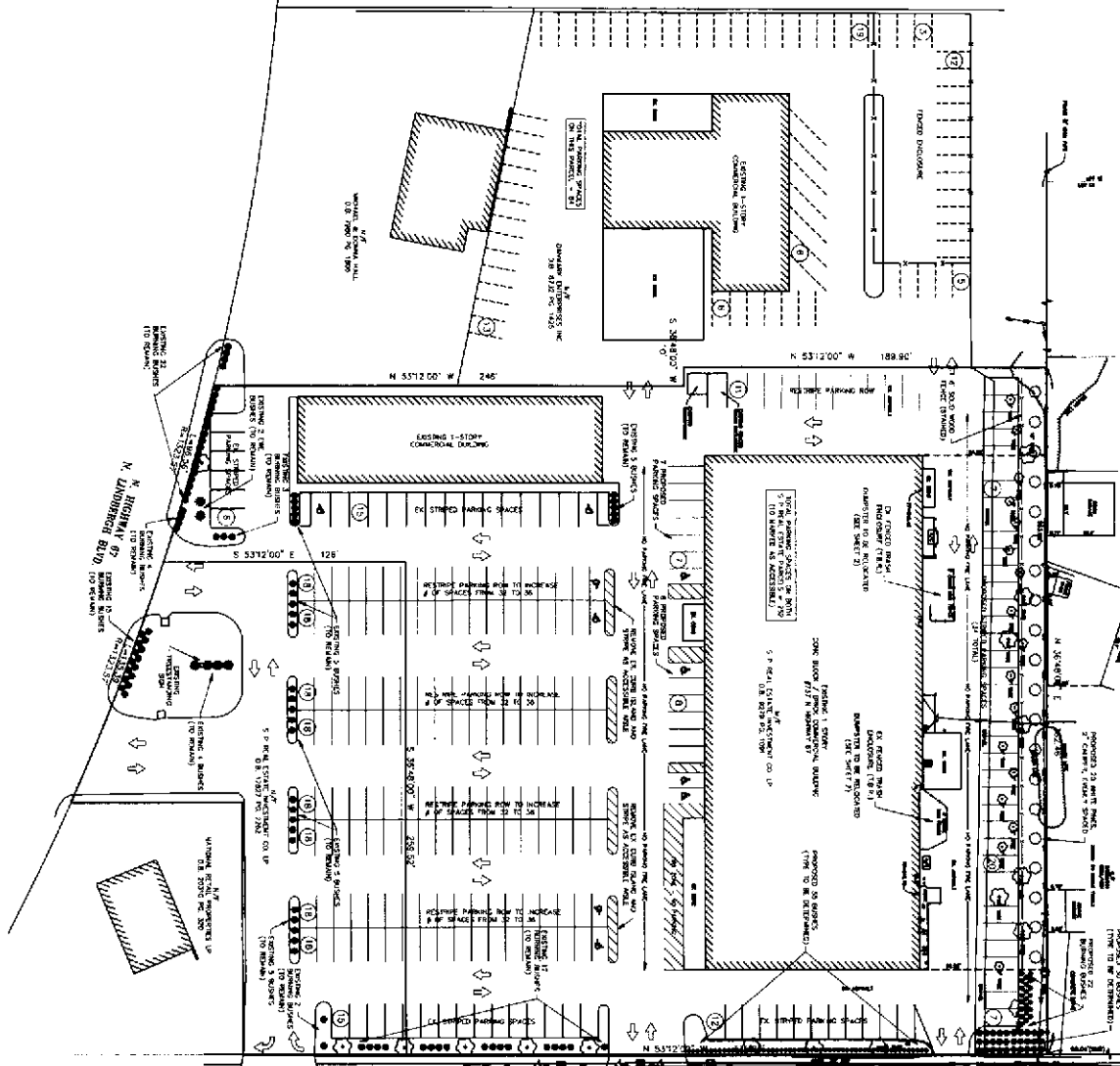
STAFF REMARKS: _____

Building Commissioner or Staff Signature

737 N. LINDBERGH

A TRACT OF LAND BEING PART OF A TRACT OF LAND IN SURVEY 174 OF ST
FERDINAND COMMONFIELDS AS RECORDED IN DEED BOOK 9279 PAGE 109
OF THE ST. LOUIS COUNTY RECORDS, CITY OF FLOIRISSANT, MISSOURI

DESCRIPTION	SYMBOL
EXISTING MAJOR CONTROL	—●—
EXISTING MAJOR CONTROL	—●—
PROPOSED MAJOR CONTROL	—■—
PROPOSED MAJOR CONTROL	—■—
PROPOSED SPOT ELEVATION	—x—
EXISTING ELEVATION CENTER	—○—
EXISTING ELEVATION CENTER	—○—
PROPOSED SURVEY CENTER	—x—
PROPOSED SURVEY CENTER	—x—
EXISTING MATERIAL	—●—
EXISTING FINE MATERIAL	—●—
EXISTING FINE MATERIAL	—●—
EXISTING FINE MATERIAL	—●—
EXISTING CONCRETE UTILITY	—x—
USE IN PLACE	—○—
ADJUST TO MATCH	—○—
TO BE REMOVED AND REPAIRED	—x—
TO BE REMOVED AND REPAIRED	—x—
TO BE REMOVED AND REPAIRED	—x—

[illegible]

LOCATION MA

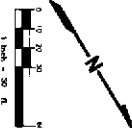
PROJECT DATA

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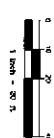
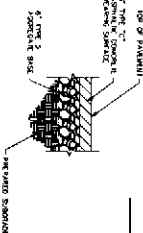
SITE BENCHMARK INFORMATION

Shelton, J. S. 1983. *MAJOR ILLUSTRATIONS*. Pp. 514-529. FWS/OBS-83/26. New Mexico Dept. - 511 of FWS.

NOTICE TO CONTRACTOR

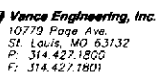
[illegible]

K.T.9

[illegible]

WABE, CHICAGO, ILL., 1991
AUTHORITY: HQ, 200202217

SITE PLAN



BLANCO PROPERTIES
MR. MIKE MODARELLI
680 CRAIG ROAD, SUITE 240
CREVE COEUR, MO 63141

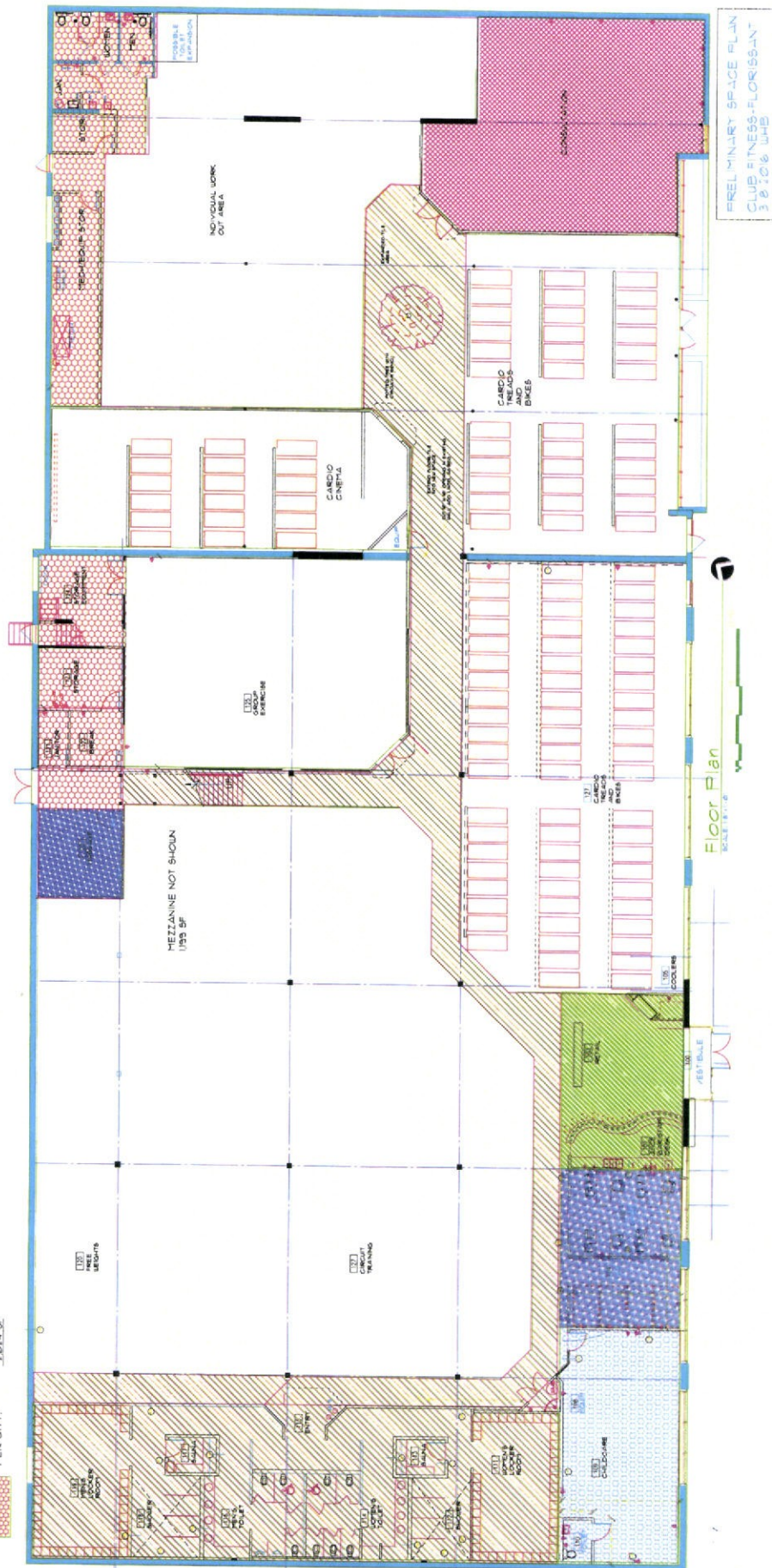


01962-7
C-20610

GROSS BUILDING SQUARE FOOTAGE - 31,040 +/- SF

WORKOUT AREAS/ FITNESS CTR 8 PS / 10,000 SF X 16,445 SF	• 136 PS
OFFICE/SALES/CONSULTATION 3.3 PS / 10,000 SF X 1513 SF	• 5 PS
CIRCULATION 3.3 PS / 10,000 SF X 5,193 SF	• 16.5 PS
LOCKERS/STORAGE/TOILETS/JAN NOT INCLUDED IN TOTAL PER CITY.	• 0 PS 3,074 SF

CHILD CARE 2.66 / 10,000 SF X 8,000 SF	• 2 PS
OFFICE/TANNING/MASSAGE 3.3 PS / 10,000 SF X 1,072 SF	• 3.3 PS
OFFICE RETAIL SALES 3.3 PS / 10,000 SF X 1,163 SF	• 2 PS
SUPPLY 31,040 SF	224.8 PS



1 INTRODUCED BY COUNCILMAN HENKE
2 APRIL 11, 2016

3
4 BILL NO. 9179

ORDINANCE NO.

5
6
7 **AN ORDINANCE AMENDING SECTION 405.035 OF THE ZONING CODE**
8 **“DEFINITIONS” BY ADDING A DEFINITION OF “BREW PUB” AND**
9 **AMENDING ZONING DISTRICTS, B1, B2, B3, B4, M1, M2, M3 AND HB**
10 **TO ADD BREWPUBS AS A SPECIAL USE.**
11

12 WHEREAS, Title IV, the Zoning Code, as amended, establishes within the City of
13 Florissant district classifications for the purpose of regulating their construction and use of land,
14 buildings and property within the said various districts, and said Ordinance provides the nature,
15 kind and character of buildings that may be erected in each of the said districts and the use to
16 which the land and buildings may be put; and

17 WHEREAS, the Planning and Zoning Commission has recommended that section
18 405.035 “Definitions” of the Zoning code be amended to add the definition of “Brewpubs”

19 WHEREAS, the Planning and Zoning Commission has recommended that Zoning
20 Districts B1, B2, B3, B4, M1, M2, M3 AND HB be amended to add “Brewpubs” as a special
21 use.

22 WHEREAS, due and lawful notice of a public hearing no. 16-04-010 on said proposed
23 zoning change was duly published and held on Monday, April 11th, 2016 at 7:30 P.M. by the
24 Council of the City of Florissant; and

25 WHEREAS, the Council of the City of Florissant, after careful and due deliberation, has
26 concluded that the amendment of the Zoning Code, as hereinafter set forth, to be in the best
27 interest of the City of Florissant.

28 BE IT ORDAINED BY THE COUNCIL OF THE CITY OF FLORISSANT, ST. LOUIS
29 COUNTY, MISSOURI, AS FOLLOWS:
30

31 Section 1: Section 405.035 “Definitions” of the Florissant Zoning Code is here by
32 amended by adding the following definition of Brewpubs:
33

34 **BREWPUBS**

35 A microbrewery that brews beer for both on and off-premise sale
36 & consumption with an annual production of 10,000 barrels or
37 less.
38

Section 2: Section 405.115, B1 “Local Shopping District” subsection N is hereby amended by adding “Brewpubs” as a special use and renumbering accordingly.

Section 3: Section 405.120, B2 “Central Business District” subsection K is hereby amended by adding “Brewpubs” as a special use and renumbering accordingly.

Section 4: Section 405.125, B3 “Extensive Business District” subsection K is hereby amended by adding “Brewpubs” as a special use and renumbering accordingly.

Section 5: Section 405.130, B4 “Highway Commercial District” subsection L is hereby amended by adding “Brewpubs” as a special use and renumbering accordingly.

Section 6: Section 405.140, M1 “Limited Industrial District” is hereby amended by adding a new section M. “Special Use Permits” and adding “Brewpubs” as a special use.

Section 7: Section 405.145, M2 “Industrial District” is hereby amended by adding a new section M. “Special Use Permits” and adding “Brewpubs” as a special use.

Section 8: Section 405.150, M3 “Planned Industrial District” is hereby amended by adding a new section K. “Special Use Permits” and adding “Brewpubs” as a special use.

Section 9: Section 405.161, HB “Historic Business District” subsection 6 is hereby amended by adding “Brewpubs” as a special use and renumbering accordingly.

Section 10: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2016.

Joseph Eagan
President of the Council
City of Florissant

Approved this _____ day of _____, 2016.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

CITY OF FLORISSANT



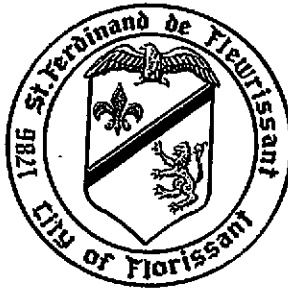
NOTICE OF PUBLIC HEARING

Notice is hereby given that a Public Hearing will be held by the City Council of the City of Florissant, MO, in the Council Chambers, 955 Rue St. Francois, on Monday, April 11, 2016 at 7:30 P.M. on the following proposition:

To amend the Zoning Code in order to allow for a brew pub as a Special Use in any B, H-B, and M Zoning District. Citizens and parties of interest will have the opportunity to be heard at said public hearing. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142. CITY OF FLORISSANT.

Karen Goodwin, CMC, City Clerk.

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 1595 N Hwy. 67, Florissant, MO 63031

Property Owners Name: KBE, LLC

Phone/email: 314-837-3308 SKJ@KAYBEEELECTRIC.COM

Property Owners Address: 250 RUE ST. FRANCOIS, FLORISSANT, MO 63031

Business Owners Name: BKE, LLC

Phone/email: 314-831-3222 CUGEMAN@YAHOO.COM

Business Owners Address: 1595 N. Hwy. 67, Florissant, MO 63031

DBA (Doing Business As) Cugino's Grill and Bar

Authorized Agents Name: David Beckham

Co. Name: BKE, LLC

(Authorized Agent to Appear Before The Commission)

Agents Address: 1335 St. Denis, Florissant, MO 63031

Phone/email: 314-330-5053 CUGEMAN@YAHOO.COM

Request Amend Zoning B-3 to provide for a permitted use category "microbrewery" and amend special use permit for 1595 N. Hwy. 67 to allow the operation of a microbrewery

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]
Applicant's Signature

3/14/2016

Date

Received by: dl Receipt # 595611 OFFICE USE ONLY Amount Paid: 125.00 Date: 3/15/16

STAFF REMARKS: _____

DATE APPLICATION REVIEWED: _____

COMMISSION ACTION TAKEN: _____

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

Planning & Zoning Application
Page 1 of 1 – Revised 7/15/15

SIGN. [Signature]

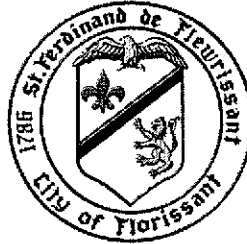
DATE: 3-21-16

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

MEMORANDUM

SIGN.

DATE:



[Handwritten Signature]

3-21-16

CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners

Date: March 16, 2016

From: Philip E. Lum, AIA-Building Commissioner c:

Louis B. Jearls, Jr. - P.E.,
PWL Director Public Works
Deputy City Clerk
Applicant
File

Subject: Request recommended approval to change the zoning code, to allow for
Micro-Brewery as a Special Use in any 'B', 'HB' or 'M' District.

STAFF REPORT
CASE NUMBER PZ-032116-3

I. PROJECT DESCRIPTION:

This is a request for **recommended approval** to change the zoning code, to allow for
Micro-Brewery as a Special Use in any 'B', 'HB' or 'M' District.

II. STAFF ANALYSIS:

The purpose of this amendment proposal is to address a need since the establishment of a
micro-brewery has been considered at various locations in the city and will continue to be
considered in the foreseeable future. These include districts in which bar restaurants
currently exist.

When undergoing a change in the zoning code to allow a particular use, a definition of
the use is highly recommended. Other municipalities define this use as follows:

Ferguson:

Permitted Use in the Downtown District:

- "Brewpubs. A microbrewery that brews beer for both on and off-premise consumption, and may include a bar and/or restaurant.
- Wine Establishments. A properly licensed business which sells wine only (not liquor or beer) for both on and off-premise consumption, as well as wine accessories and/or merchandise."

41
42 **Maryland Heights: Special Use**

- 43 • *Bar/tavern (drinking establishment): Premises used primarily for the sale or dispensing of*
44 *alcoholic beverages by the drink for on-site consumption and where food may be available for*
45 *consumption by the general public. Food and packaged liquors and beverages may be served or*
46 *sold only as accessory to the primary use.*
47 • *Restaurant: An establishment where food and drink are prepared, served, and consumed primarily*
48 *within the principal building.*
49 • *Restaurant, micro-brewery/winery: An establishment where food and drink are prepared, served,*
50 *and consumed within a structure that includes, as an accessory use, the on-site brewing or*
51 *fermentation of either beer or wine for consumption on the same premises, but not for distribution*
52 *or sale outside the licensed premises. The accessory use shall not exceed twenty-five (25) percent*
53 *of the total floor area of the establishment.*
54

55 **Maplewood: Special Use**

- 56 • *Micro-breweries for the production and packaging of beer, cider and soft drinks that meet the*
57 *following requirements:*
58 ○ *Micro-breweries must be associated with a retail operation.*
59 ○ *Associated retail operation must utilize a minimum of 9,500 square feet of gross floor*
60 *area.*
61 • *Sec. 8-137. - Microbrewery defined; license fee; retail license allowed, procedure; sale to*
62 *wholesalers allowed, when.*
63 • *(a) As used in this section, the term "microbrewery" means a business whose primary activity is*
64 *the brewing and selling of beer, with an annual production of 10,000 barrels or less.*
65

66 **O'Fallon, MO: Special Use Microbreweries within Restaurants and do-it-yourself Beer and wine**
67 **making stores**
68

69 Restaurants are a Special Use in the 'B' and 'M' Districts. In the 'HB' Zoning District,
70 section 405.161 includes 'restaurants and coffee shops' as a permitted use. A 'Brewpub'
71 is a term used to describe a pub or restaurant that brews beer on the premises.
72

73 **VI. STAFF RECOMMENDATIONS:**

74 Microbreweries are a relatively new use to Zoning Codes in the metro area, with
75 the term first popularized in 1982. Several local municipalities have amended
76 their zoning code to adjust to this newer and specialized use. Particular
77 difficulties can arise to regulate this type of use with regard to the liquor license
78 as many products exceed the 5% alcohol content threshold, therefore, a full liquor
79 license will be required.
80

81 The Brewers Association (in the U.S.) defines four markets within American craft
82 brewing: microbreweries, with an annual production less than 15,000 US beer
83 barrels (1,800,000 L; 460,000 US gal); brewpubs, which sell 25% or more of their
84 beer on site; regional craft breweries, which make between 15,000 US beer
85 barrels (1,800,000 L; 460,000 US gal) and 6,000,000 US beer barrels
86 (700,000,000 L; 190,000,000 US gal), of which at least 50% is all malt or

contains adjuncts that are used only to enhance flavor; and contract brewing companies, which hire other breweries to make their beer. Therefore, another term, "Nano-brewery", is a smaller form of a Microbrewery.

Missouri State Licensure further defines limits of a microbrewery to 10,000 barrels annually or less by this statute:

311.195. 1. As used in this section, the term "microbrewery" means a business whose primary activity is the brewing and selling of beer, with an annual production of ten thousand barrels or less.

2. A microbrewer's license shall authorize the licensee to manufacture beer and malt liquor in quantities not to exceed ten thousand barrels per annum. In lieu of the charges provided in section 311.180, a license fee of five dollars for each one hundred barrels or fraction thereof, up to a maximum license fee of two hundred fifty dollars, shall be paid to and collected by the director of revenue.

The City currently has bar/restaurants in the 'B', 'HB' and 'M' Districts, but will need to decide how to regulate a liquor license for this use.

Suggested Motion

I move to **recommend approval** to change the zoning code, to allow for Microbreweries in any 'B', 'HB' or 'M' District as a Special Use.

Definition* for consideration to be added to the Zoning Code:

1. "Microbrewery: An establishment whose primary activity is the brewing and selling of beer, with an annual production of 10,000 barrels or less."
2. "Restaurant, micro-brewery/winery: An establishment where food and drink are prepared, served, and consumed within a structure that includes, as an accessory use, the on-site brewing or fermentation of either beer or wine for consumption on the same premises, but not for distribution or sale outside the licensed premises."

(end report and suggested motion)

"*Proposals*" A microbrewery that brews beer for both on and off-premise sale & consumption with an annual production of 10,000 barrels or less.

1 INTRODUCED BY COUNCILMAN HENKE
2 APRIL 11, 2016

3
4 BILL NO. 9180

ORDINANCE NO.

5
6 **ORDINANCE TO AUTHORIZE AN AMENDMENT TO SPECIAL USE**
7 **PERMIT NO. 4599 AS AMENDED AND TRANSFERRED TO ALLOW**
8 **FOR THE OPERATION OF A BREWPUB, IN ADDITION TO THE**
9 **EXISTING RESTAURANT FOR THE PROPERTY LOCATED AT 1595 N.**
10 **HIGHWAY 67.**

11
12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
14 operation of a restaurant; and

15 WHEREAS, the Florissant City Council has heretofore granted a Special Use Permit to
16 BKE, LLC for the location and operation of a restaurant on the property described in Ordinance
17 No. 4599; and

18 WHEREAS, an application has been filed by BKE, LLC for an amendment to the said
19 Special Use Permit heretofore granted under Ordinance No. 4599 as amended and transferred to
20 authorize the operation of a brewpub; and

21 WHEREAS, the Planning and Zoning Commission of the City of Florissant at their
22 meeting of March 21, 2016 has recommended that the said Special Use Permit be amended; and

23 WHEREAS, due notice of public hearing no. 16-04-011 on said application to be held on
24 the 11th day of April, 2016 at 7:30 P.M. by the Council of the City of Florissant was duly
25 published, held and concluded; and

26 WHEREAS, the Council, following said public hearing, and after due and careful
27 consideration, has concluded that the granting of an amendment to the Special Use Permit
28 authorized by Ordinance No. 4599, as amended, to allow for the operation a brewpub would be
29 in the best interest of the City of Florissant.

30 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
31 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

32
33 Section 1: The Special Use Permit heretofore granted to BKE, LLC under Ordinance No.
34 4599 is hereby further amended to allow for the operation of a brewpub, in addition to the
35 existing restaurant for the property located at 1595 N. Highway 67.

36 Section 2: Said Special Permit shall be conditioned on and shall remain in full force and
37 effect so long as the conditions set out in Ordinance no. 4599, as now amended, are adhered to.

Section 3: This ordinance shall become in force and effect immediately upon its passage
and approval.

Adopted this ____ day of _____, 2016.

Joseph Eagan
President of the Council
City of Florissant

Approved this ____ day of _____, 2016.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

CITY OF FLORISSANT

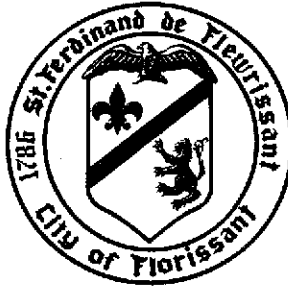
Public Hearing



In accordance with 405.310 of the Florissant Zoning Code a Public Hearing will be held by the City Council of Florissant, MO. in the Council Chambers, 955 Rue St. Francois, on Monday, April 11, 2016 at 7:30 P.M. on the following proposition:

To authorize an amendment to Special Use Permit No. 4599, as amended and transferred by Ord. Nos. 7009 and 7200, to allow for the operation of a Brew Pub in a B-3 Zoning District for the property located at 1595 N Highway 67 (legal description to govern). Citizens will have an opportunity to be heard. Anyone with special needs should contact the City Clerk at least 5 days before said public hearing by calling 839-7630 or TDD 839-5142. CITY OF FLORISSANT, Karen Goodwin, MMC City Clerk

FLORISSANT PLANNING & ZONING COMMISSION APPLICATION



City Of Florissant – Public Works 314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

Application is hereby made to the Building Commissioner, Department of Public Works at the City of Florissant, Missouri, to appear before the Planning & Zoning Commission.

Please Print neatly or Type the Following Information:

Property Address: 1595 N Hwy. 67, Florissant, MO 63031

Property Owners Name: KBE, LLC Phone/email: 314-837-3308 SKJ@KAYBEEELECTRIC.COM

Property Owners Address: 250 RUE ST. FRANCOIS, FLORISSANT, MO 63031

Business Owners Name: BKE, LLC Phone/email: 314-831-3222 CUGEMAN@YAHOO.COM

Business Owners Address: 1595 N. Hwy. 67, Florissant, MO 63031

DBA (Doing Business As) Cugino's Grill and Bar

Authorized Agents Name: David Beckham Co. Name: BKE, LLC
(Authorized Agent to Appear Before The Commission)

Agents Address: 1335 St. Denis, Florissant, MO 63031 Phone/email: 314-330-5053 CUGEMAN@YAHOO.COM

Request Amend Zoning B-3 to provide for a permitted use category "microbrewery" and amend special use permit for 1595 N. Hwy. 67 to allow the operation of a microbrewery

State complete request (print or type only).

IF A TRAFFIC STUDY IS REQUIRED FOR CERTAIN DEVELOPMENTS AND USES THE COST OF THE TRAFFIC STUDY SHALL BE PAID BY THE APPLICANT. PLEASE SUBMIT FOLDED PLANS

[Signature]
Applicant's Signature

3/14/2016

Date

Received by: [Signature] Receipt # 595611 OFFICE USE ONLY Amount Paid: 125.00 Date: 3/15/16

STAFF REMARKS: _____

COMMISSION ACTION TAKEN: _____

DATE APPLICATION REVIEWED: _____

SIGNATURE OF STAFF WHO REVIEWED APPLICATION

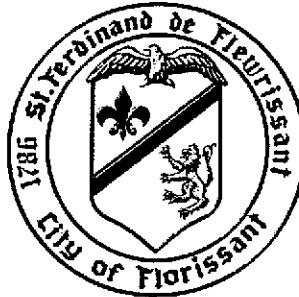
Planning & Zoning Application
Page 1 of 1 – Revised 7/15/15

Packet Page 138 of 170

RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN

SIGN. [Signature] DATE: 3-21-16

**SPECIAL USE PERMIT APPLICATION
TO THE CITY OF FLORISSANT
PLANNING AND ZONING COMMISSION**



City Of Florissant – Public Works
314-839-7648

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

**PLANNING & ZONING ACTION
RECOMMENDED APPROVAL
PLANNING & ZONING
CHAIRMAN**

Council Ward _____ Zoning _____

Initial Date Petitioner Filed _____
Building Commissioner to complete
ward, zone & date filed

SIGN. [Signature] DATE: 3-21-6

SPECIAL PERMIT FOR Special permit for the operation of a microbrewery

Statement of what permit is being sought. (i.e., special permit for operation of a restaurant).

AMEND SPECIAL PERMIT # 4098 as amended* TO ALLOW FOR operation of microbrewery
ordinance # 4599, 7009, 7200 Statement of what the amendment is for.

LOCATION 1595 N. Hwy 67

Address of property.

1) Comes Now BKE, LLC dba Cugino's Italian Grill and Bar
Enter name of petitioner. If a corporation, state as such. If applicable include DBA (Doing Business As)

and states to the Planning and Zoning Commission that he (~~she~~)(~~they~~) has (~~have~~) the following legal interest in the tract of land located in the City of Florissant, State of Missouri, as described on page 3 of this petition.

Legal interest in the Property) Lessor

State legal interest in the property. (i.e., owner of property, lease).

Submit copy of deed or lease or letter of authorization from owner to seek a special use.

2) The petitioner(s) further state(s) that the property herein described is presently being used for restaurant and that the deed restrictions for the property do not prohibit the use which would be authorized by said Permit.

3) The petitioner(s) further states (s) that ~~they~~ (he) (~~she~~) are submitting a detailed site plan of the proposed or existing development showing location and use of all structures, off-street parking, and all other information required by the Zoning Ordinance or determined necessary by the Building Commissioner.

- 4) The petitioner~~(s)~~ further state(s) that (he) ~~(she)~~ ~~(they)~~ shall comply with all of the requirements of the City of Florissant, including setback lines and off- street parking.
- 5) The petitioner (s) further (represent (s) and warrants (s) that they (he) ~~(she)~~ ~~has~~ ~~(have)~~ not made any arrangement to pay any commission gratuity or consideration, directly or indirectly to any official, employee or appointee of the City of Florissant, with respect to this application.
- 6) The petitioner(s) further state (s) that the Special Use Permit is sought for the following purposes, and no other, as listed in detail, all activities sought to be covered by the permit (i.e.; operation of a business, approval of building and/or site plans (preliminary and / or final), plan approval for signage, etc.): OPERATION OF A MICROBREWERY
- 7) The petitioner (s) state (s) the following factors and reason to justify the permit: SEE ATTACHED
(If more space is needed, separate sheets may be attached)

David Beckham

314-330-5053 CUGEMAN@YAHOO.COM

PRINT NAME

SIGNATURE

email and phone

FOR

BKE, LLC dba Cugino's Grill and Bar

(company, corporation, partnership)

Print and sign application. If applicant is a corporation or partnership signature must be a CORPORATE OFFICER or a PARTNER. NOTE: Corporate officer is an individual named in corporate papers.

8) I (we) hereby certify that, as applicant (circle one of the following):

1. I (we) have a legal interest in the herein above described property.
2. I am (we are) the duly appointed agent(s) of the petitioner (s), and that all information given here is true and a statement of fact.

Permission granted by the Petitioner assigning an agent (i.e. Architect) to present this petition in their behalf, to the Commission and/or Council. The petitioner must sign below, and provide contact information:

PRESENTOR SIGNATURE _____

ADDRESS _____

STREET

CITY

STATE

ZIP CODE

TELEPHONE / EMAIL _____

BUSINESS

I (we) the petitioner (s) do hereby appoint n/a as
Print name of agent.
my (our) duly authorized agent to represent me (us) in regard to this petition.

Signature of Petitioner authorizing an agent

NOTE: When the petitioner and/or his duly authorized agent appears before the Planning and Zoning Commission and to make a presentation, the same individuals must also appear before the City Council at the Public Hearing to make the presentation and no one else will be permitted to make the presentation to the City Council without authorized approval.

IF DESCRIPTIONS, PLATS OR SURVEYS ARE INACCURATE, OR IF THE PETITION APPLICATION IS NOT CORRECT OR COMPLETE, IT WILL BE RETURNED FOR ADDITIONS OR CORRECTIONS.

REQUIRED INFORMATION

Please mark an "X" in the appropriate type of operation, then fill in applicable section (a), (b) or (c).
Corporations are to submit copy of Missouri corporate papers with registration papers.

1) Type of Operation:
Individual _____ Partnership _____ Corporation LLC

(a) If an individual:

- (1) Name and Address _____
- (2) Telephone Number _____
- (3) Business Address _____
- (4) Date started in business _____
- (5) Name in which business is operated if different from (1) _____
- (6) If operating under a fictitious name, provide the name and date registered with the State of Missouri, and a copy of the registration.

(b) If a partnership:

- (1) Names & addresses of all partners _____
- (2) Telephone numbers _____
- (3) Business address _____
- (4) Name under which business is operated _____
- (5) If operating under fictitious name, provide date the name was registered with the State of Missouri, and a copy of the registration.

(c) If a corporation:

- LLC
Members: David Beckham 1335 St. Denis Florissant Mo Benjamin Goldkamp 320 S. ST. JACQ
FLORISSANT, MO
63031
- (1) Names & addresses of all partners _____
 - (2) Telephone numbers 314-330-5053 314-477-4736
 - (3) Business address 1975 N. Hwy 67, Florissant, MO 63031
 - (4) State of Incorporation & a photocopy of incorporation papers Missouri
 - (5) Date of Incorporation 3/4/2004
 - (6) Missouri Corporate Number LC0572096
 - (7) If operating under fictitious name, provide the name and date registered with the State of Missouri, and a copy of registration. see attached
 - (8) Name in which business is operated Cugino's Grill and Bar
 - (9) Copy of latest Missouri Anti-Trust. (annual registration of corporate officers) If the property location is in a strip center, give dimensions of your space under square footage and do not give landscaping Information. NOTE: REQUIRED FOR LLC

Please fill in applicable information requested. If the property is located in a shopping center, provide the dimensions of the tenant space under square footage and landscaping information may not be required.

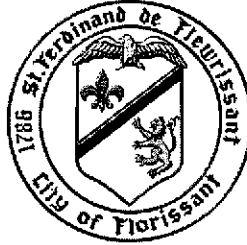
Name BKE, LLC dba Cugino's Grill and Bar
Address 1595 N. Hwy 67, Florissant, MO 63031
Property Owner KBE, LLC
Location of property 1595 N. Hwy. 67, Florissant, MO 63031
Dimensions of property 247'2"x163'7"x144'9"x183'11"
Property is presently zoned B-3 Requests Rezoning To n/a
Proposed Use of Property restaurant/microbrewery
Type of Sign present sign shall remain Height _____
Type of Construction brick Number Of Stories 1
Square Footage of Building 5,544 Number of Curb Cuts 2
Number of Parking Spaces 52 Sidewalk Length appx. 90'
Landscaping: No. of Trees 0 Diameter _____
No. of Shrubs _____ Size _____
Fence: Type chain link Length 163'7" Height 4'

PLEASE SUBMIT THE FOLLOWING INFORMATION ON PLANS OR DRAWINGS:

1. Zoning of adjoining properties.
2. Show location of property in relation to major streets and all adjoining properties.
3. Show measurement of tract and overall area of tract.
4. Proposed parking layout and count, parking lighting.
5. Landscaping and trash screening.
5. Location, sizes and elevations of signage.

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MEMORANDUM



CITY OF FLORISSANT- BUILDING DEPARTMENT

"Preserve and improve the health, safety, and welfare of our residents, businesses and the general public in the City of Florissant; while at the same time maintaining property values and improving the quality of life in the City of Florissant."

To: Planning and Zoning Commissioners Date: March 16, 2016

From: Philip E. Lum, AIA-Building Commissioner c: Louis B. Jearls, Jr. - P.E.,
PWL Director Public Works
Deputy City Clerk
Applicant
File

Subject: ¹⁵⁹⁵ **1575 N. Highway 67 (Cugino's):** Request recommended approval to amend a Special Use for the operation of a Bar/Restaurant with the addition of a microbrewery, in an existing 'B-3' Zoning District.

STAFF REPORT
CASE NUMBER PZ-032116-4

I. PROJECT DESCRIPTION:

This is a request for **Recommended Approval** to amend a Special Use for the operation of a Bar/Restaurant with the addition of a microbrewery, in an existing 'B-3' Zoning District. This need was precipitated by the establishment holding themselves out as a microbrewery. They have since taken down all advertisements of same.

II. EXISTING SITE CONDITIONS:

The existing property is in an existing 'B-3' Zoning District.
The existing property contains 0.82 acres and 8631 square feet of building.

III. SURROUNDING PROPERTIES:

The properties to the north are 32, 40 and 42 St. Celeste in an 'R-4' District. The property adjacent and to the East and West are at 1555 and 1605 N Hwy 67, in the 'B-3' District.

IV. STAFF ANALYSIS:

The application is accompanied by a drawing A-1 by Grubbs & Associates, dated 9/24/15. Plans were approved by staff for equipment installation.

Proposed:

BUILDING- The petitioner proposes a small area of the basement for brewing equipment.

No new seating is proposed.

The basement was unused, but last used as an inaccessible dining area.

There are existing restrooms shown without changes for staff.

Suggested Motion for 1575 N Hwy 67 (Cugino's)

I move to recommend approval to amend a Special Use for the operation of a Bar/Restaurant with the addition of a microbrewery, in an existing 'B-3' Zoning District, with the following stipulations:

(end of Suggested Motion and Memo)

CITY OF FLORISSANT – Health Department

Application for keeping domestic animals, fowl or bees

WP 2

Applicant Name: JAN SPERMAN Address: 1125 CHARBONIER RD, 63031

Home Phone: NA Cell Phone: 314-677-4474

Designate number & type of animal(s) to be kept: 2 CHICKENS (HENS)

Designate where animal(s), fowl or bees will be kept: BACKYARD IN COOP & CHICKEN RUN/PEN
(CENTER OF YARD)
to be anchored (like sheds)

Facilities/shelter to be provided: CHICKEN COOP PURCHASED ONLINE FROM
SUMMER HAWK RANCH -- "VINTAGE RED BARN XL CHICKEN COOP"
DIMENSIONS: COOP INTERIOR 7.08 SQ FT
PEN INTERIOR 20.87 SQ FT (PHOTO ATTACHED)

Size of applicant's property: 140' X 55' (PLOT PLAN ATTACHED)

Are the animals being requested on the application going to be bred or used for a home business in any way?
NO - THEY WILL BE PETS

What other animals are being kept on the premises? 2 Dogs, registered

Has the applicant spoken with adjoining property owners concerning this application? ☒ YES ☐ NO

The following documentation is required and has been attached to this application:

☒ Plot plan/drawings showing property and location of animal housing, pen or cage ...

☐ Veterinarian statement of Health risks and vaccination requirements ...

I HAVE READ, UNDERSTAND AND DO HEREBY AGREE TO ABIDE BY THE ORDINANCES
PRINTED ON THE REVERSE SIDE OF THIS FORM PERTAINING TO THIS PERMIT
APPLICATION; FURTHER I ATTEST THAT ALL INFORMATION PROVIDED HERE IS TRUE.

Applicant Signature: [Signature] Date: 4/13/16

Health Department Action & Recommendation:

Approved

Health Superintendent: [Signature] Date: 4-14-16

Director of Public Works: [Signature] Date: 4-14-16



CITY OF FLORISSANT HEALTH DEPARTMENT

Animal Permit Application – Neighbor Approval Form

Florissant City Code 205.360 requires any property owner proposing to keep domestic animals, fowl or bees other than the usual children's pets to obtain a permit. As part of this process, applicants must advise immediate neighbors of their intentions and receive approval from any adjoining property owners. If neighbor is a renter then approval must be obtained from both the renter AND property owner.

APPLICANT NAME: JAN SPEELMAN

SITE ADDRESS: 1125 CHARBONIER RD, FLORISSANT MO, 63031

TYPE OF ANIMAL BEING APPLIED FOR: CHICKENS

I/we, being the abutting property owner(s), have no objections to the above named property owner keeping the animal(s) described above in accordance with Florissant City Code.

Abutting Property Owner Name & Signature	Address	Phone	Date
Patrick McCollison	1131 Charbonier	314-973-9048	4-12-16
Patricia Martin	1019 Charbonier	314-423-7000	4-12-16
Sharon C. Gosh	1024 Joeker	314-899-0878	4-12-16

Anyone with questions or concerns may call the Florissant Health Department at 314-839-7655 Monday - Friday

Permit Application for Chickens
City of Florissant
CHECK-LIST

- ☒ Completed application ... (attached)
- Hens only, no roosters
 - Maximum 4 hens allowed
 - Non-commercial use only (no breeding or selling of eggs, for personal use only)
 - Will chickens be kept on 3 acres or more?
 - What is the current zoning of property?
 - Applicant agrees to yearly inspection by the City, as warranted

- ☒ Has applicant contacted the neighbors?
(May not be required on 3 acres or more)

☒ ~~Has veterinarian statement concerning health risks and vaccination been addressed~~

- ☒ Plot plan with dimensions showing location of proposed chicken coop ...
(Chicken coops will be treated as accessory structures, and must meet all City building and zoning codes.)

- ☒ Detailed drawing showing dimensions of chicken coop and construction materials
- Predator- proof
 - Secure from rodents (rats)
 - Adequate ventilation, adjustable for summer and winter conditions
 - Appropriate lighting
 - Easy to clean
 - Roosting poles for sleeping with removable "droppings tray" under each pole
 - Provide one nest box for every four hens
 - ☒ Provide at least 10 square feet per hen if they are permanently confined; 4 square feet per hen if they can roam freely during the day
 - Provide adequate feeder and water, 6-8 inches off the ground
 - Construction materials must be sturdy, able to withstand local weather conditions, painted/stained/sealed appropriately, of quality workmanship and meet local building standards & practices.

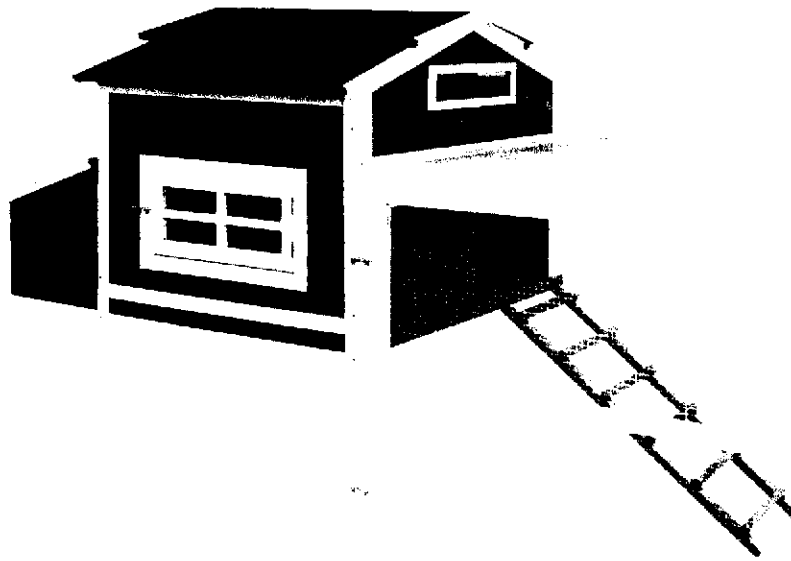
- ☒ Photo's if applicable

___ Health Department recommendations and approval

___ Director of Public Works and Health approval

___ Approval of City Council

5.15.12



VINTAGE RED BARN XL CHICKEN COOP

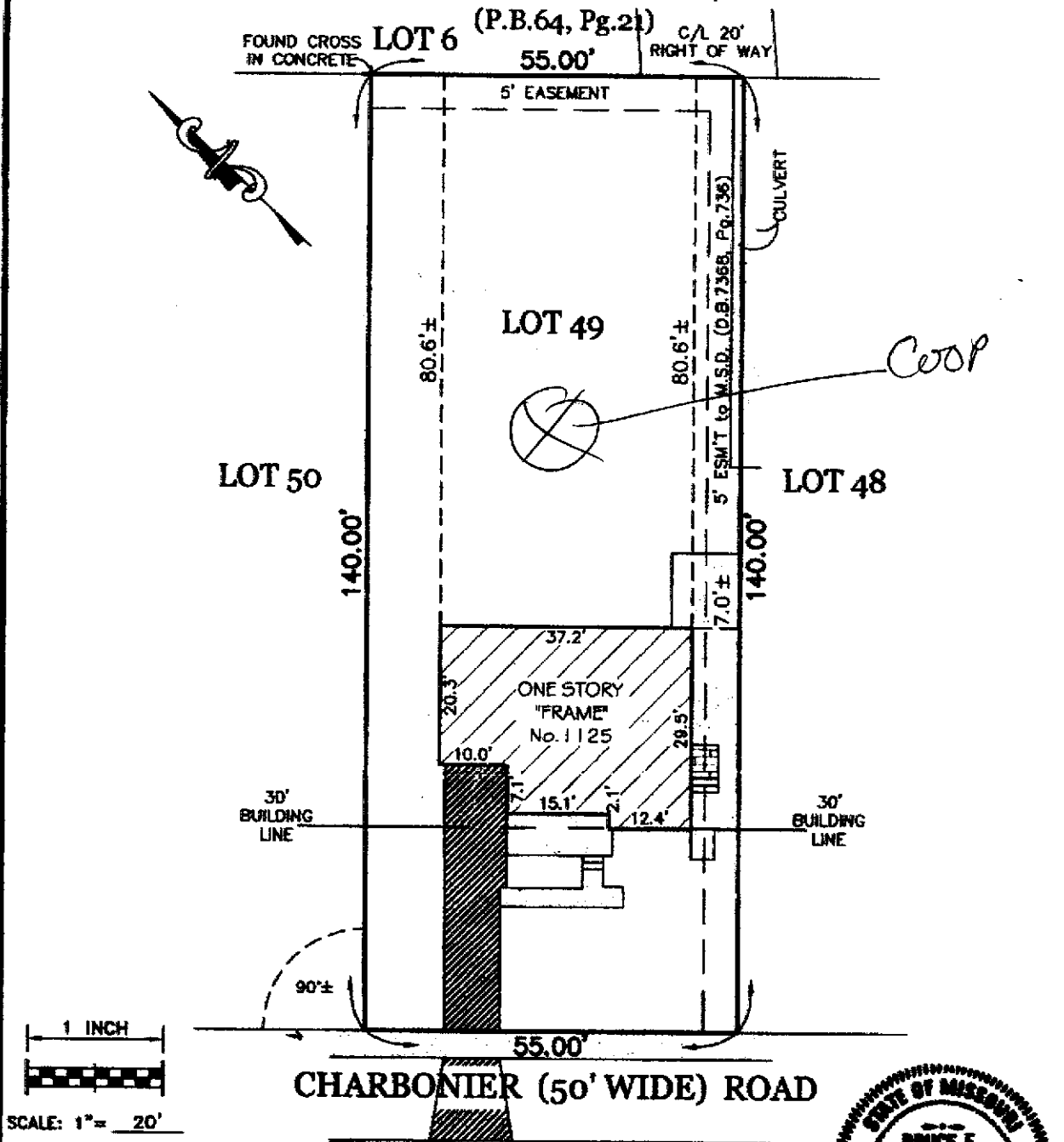
- Assembled Exterior: 89.3"L x 40.8"W x 50"H (Pen Interior: 20.87 sq. ft. / Coop Interior: 7.08 sq. ft. / Nest Box Interior: 2.93 sq. ft.)
- Features weather-resistant asphalt roofing
- Hand built from sustainably harvested, naturally weather and pest resistant fir
- Sized to sleep up to 9 hens, assuming they are free-ranged during the day. If you are not able to give your chickens access to your yard during the day, we recommend keeping only 3 hens in this coop.
- Spacious interior features three nest stalls, two 35" roosting bars, and adjustable ventilation
- Waist-height Nest Box features a stylish, hinged roof and removable divider - No need to bend or crouch
- Removable, metal sliding tray allows for easy cleaning access
- Best-in-class mesh-enclosed run area features chicken ramp for access to roost
- Heavy, galvanized wire is secured using our unique, extra strength, wire-clamping wood design
- Four doors for convenient access to all areas of the coop
- All doors feature convenient, spring-bolt latches to keep hens safe from predators
- Simple enough for one person to assemble in about 45 minutes with an electric screwdriver

SURVEYORS REAL PROPERTY REPORT (SRPR)

(THIS REPORT DOES NOT CONSTITUTE A BOUNDARY SURVEY)

Sky-Veu Acres Plat No.4

(P.B.64, Pg.21)



SCALE: 1" = 20'

TOLERANCE OF "LOCATION" MEASUREMENTS: 0.5'±

THIS IS TO CERTIFY THAT AT THE REQUEST OF LAND AMERICA
COMMONWEALTH (SOUTH) WE HAVE, ON THE
26TH DAY OF JUNE, 2006 MADE A SURVEYORS REAL PROPERTY REPORT ON
LOT 49 OF SKY-VEU ACRES AS RECORDED IN PLAT BOOK 48 ON
PAGE 6

IN ST. LOUIS COUNTY RECORDS, MISSOURI, AND THAT THE RESULTS OF SAID
SURVEYORS REAL PROPERTY REPORT ARE PRESENTED UPON THIS PLAT.

THE SURVEYORS REAL PROPERTY REPORT WAS CONDUCTED BY THE LAND SURVEYORS OR UNDER HIS IMMEDIATE PERSONAL SUPERVISION. THE ACCOMPANYING DRAWING IS A REPRESENTATION OF THE CONDITIONS THAT WERE FOUND AT THE TIME OF THE REPORT AND THIS DOCUMENT DOES NOT CONSTITUTE A BOUNDARY SURVEY AND IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY DISCLOSE. NO PROPERTY MARKERS/CORNERS WERE SET, AND THE INFORMATION SHOWN ON THIS DRAWING SHALL NOT BE USED TO ESTABLISH ANY FENCE, STRUCTURE OR OTHER IMPROVEMENTS. THE LINEAR AND ANGULAR VALUES SHOWN ON THIS DRAWING ARE BASED ON RECORDED OR DEEDED INFORMATION AND HAVE NOT BEEN VERIFIED. THIS FIRM IS NOT EXTENDING A WARRANTY TO THE PRESENT OR FUTURE OWNERS OR OCCUPANTS.

TOPOS SURVEYING & ENGINEERING CORP.

790 ST. FRANCOIS STREET, FLORISSANT, MISSOURI 63031

PHONE (314) 838-5806 FAX (314) 838-8141



LINE
27TH
2006

Bruce E. Thomas

REVISIONS

DRAWN BY: LW

PAGE 1 OF 1

0606-0489

ORDER NO.

CITY OF FLORISSANT – Health Department

Application for keeping domestic animals, fowl or bees

Applicant Name: DONNA SMITH - Popillo Address: 1275 Swan Dr, Florissant, Mo ^{wp 1}
63031

Home Phone: 314 839 8151 Cell Phone: 314 324 3061

Designate number & type of animal(s) to be kept: 2 Chickens

Designate where animal(s), fowl or bees will be kept: in chicken coop and
run in the backyard of the property, behind the house.
See property drawing for placement.

Facilities/shelter to be provided: Chicken coop + run according to
description + picture.

Size of applicant's property: See Lot 86 Plat 3 diagram -
130' long by 64' - one story house with carport, covered patio
and driveway.

Are the animals being requested on the application going to be bred or used for a home business in any way?
NO

What other animals are being kept on the premises? 2 dogs - 1 Yorkshire terrier
and 1 - rat terrier/chihuahua mix.

Has the applicant spoken with adjoining property owners concerning this application? ☒ YES ☐ NO

The following documentation is required and has been attached to this application:

☒ Plot plan/drawings showing property and location of animal housing, pen or cage ...

☒ Veterinarian statement of Health risks and vaccination requirements ...

**I HAVE READ, UNDERSTAND AND DO HEREBY AGREE TO ABIDE BY THE ORDINANCES
PRINTED ON THE REVERSE SIDE OF THIS FORM PERTAINING TO THIS PERMIT
APPLICATION; FURTHER I ATTEST THAT ALL INFORMATION PROVIDED HERE IS TRUE.**

Applicant Signature: Donna Smith-Popillo Date: 3/31/16

Health Department Action & Recommendation:

Health Superintendent: Gregory Koettl Date: 4/7/16

Director of Public Works: Paul Jacobs Date: 4-7-16



CITY OF FLORISSANT HEALTH DEPARTMENT

Animal Permit Application – Neighbor Approval Form

Florissant City Code 205.360 requires any property owner proposing to keep domestic animals, fowl or bees other than the usual children's pets to obtain a permit. As part of this process, applicants must advise immediate neighbors of their intentions and receive approval from any adjoining property owners. If neighbor is a renter then approval must be obtained from both the renter AND property owner.

APPLICANT NAME: DONNA C. SMITH - Pupillo

SITE ADDRESS: 1275 Swan Drive, Florissant, MO 63031

TYPE OF ANIMAL BEING APPLIED FOR: Chickens

I/we, being the abutting property owner(s), have no objections to the above named property owner keeping the animal(s) described above in accordance with Florissant City Code.

Abutting Property Owner Name & Signature	Address	Phone	Date
DANIEL KEITH MCCAIN	1325 Swan	314 322-6176	3-31-16
Patty Weir	1265 Swan	314 831-0992	3-31-16
1275 Swan - my house backs to John Mullanphy Park, no back neighbor			

Anyone with questions or concerns may call the Florissant Health Department at 314-839-7655 Monday - Friday



STATE OF MISSOURI
DEPARTMENT OF AGRICULTURE
DIVISION OF ANIMAL HEALTH
SMALL ANIMAL HEALTH CERTIFICATE

CONSIGNOR				CONSIGNEE			
ADDRESS Donna Pupillo 1275 Sun Drive Floissant MO 63631				ADDRESS Donna Pupillo 1275 Sun Drive Floissant MO 63631			
CITY	STATE	ZIP		CITY	STATE	ZIP	
Floissant	MO	63631		Floissant	MO	63631	
SPECIES	BREED	AGE	SEX	DESCRIPTION	DATE	TYPE	OTHER VACCINATIONS
Avian	Buckskin		F	Black and white	None at 1275 Sun		
Avian	Emerald		F	Red			
Avian	Easter Egg		F	Tan and Brown	7 at country place, Overlandville		
Avian	Buff Orington		F	Yellow - new at 1275 Sun			
OTHER REMARKS all appeared healthy and grazing well, everything was within normal limits on physical exam							
I have inspected the animals described hereon and find them to be free from visible signs of infectious, contagious, or communicable disease. The vaccinations and results of tests are as indicated above.							
SIGNATURE OF VETERINARIAN Carly Vanderkum		PRINTED NAME OF VETERINARIAN Dr. Carly Vanderkum		ADDRESS 440 Hawbeeshell Rd Floissant MO 63631		VET AGREEMENT CODE 0724251	
MO 350-04905-10				DISTRIBUTION: WHITE - ACCOMPANY SHIPMENT CANARY - STATE VETERINARIAN PINK - ISSUING VET FILE			



Important Made in USA Origin Disclaimer: For certain items sold by Walmart on Walmart.com, the displayed country of origin information may not be accurate or consistent with manufacturer information. For updated, accurate country of origin data, it is recommended that you rely on product packaging or manufacturer information.

For those who are getting into the urban and suburban home farming craze, or those who simply want to upgrade their backyard garden, keeping chickens has become the new craze! With our deluxe chicken coops you can give them a home of their own that is both stylish and functional. Including both an outdoor and indoor option, you can give them open space to move around in a fenced enclosure, as well as multi-leveled indoor spots that will allow them to hide from the elements. There are removable trays for easy cleaning, and multiple doors and windows so you have easy access to them. This model includes a two-door opening option to the fenced area, and then a ramp that takes them into their closed coop. A roof over the whole unit protects them from the weather, and the indoor and outdoor spaces are perfect for multiple chickens.

For those who are getting into the urban and suburban home farming craze, or those who simply want to upgrade their backyard garden, keeping chickens has become the new craze! With our deluxe chicken coops you can give them a home of their own that is both stylish and functional. Including both an outdoor and indoor option, you can give them open space to move around in a fenced enclosure, as well as multi-leveled indoor spots that will allow them to hide from the elements. There are removable trays for easy cleaning, and multiple doors and windows so you have easy access to them. This model includes a two-door opening option to the fenced area, and then a ramp that takes them into their closed coop. A roof over the whole unit protects them from the weather, and the indoor and outdoor spaces are perfect for multiple chickens.

Features:

- Large outdoor run for optimal space to roam
- Two easy access doors in front of house
- Ramp provides easy access to inner house
- Pull out droppings tray for easy cleaning
- Wood is well ventilated but keeps your chickens warm and comfortable
- Heavy duty galvanized wire helps keep birds in and predators out
- Nesting box opens to give you easy access to eggs
- Specially designed, water resistant green asphalt roof
- Assembly required, all necessary tools included

Specifications:

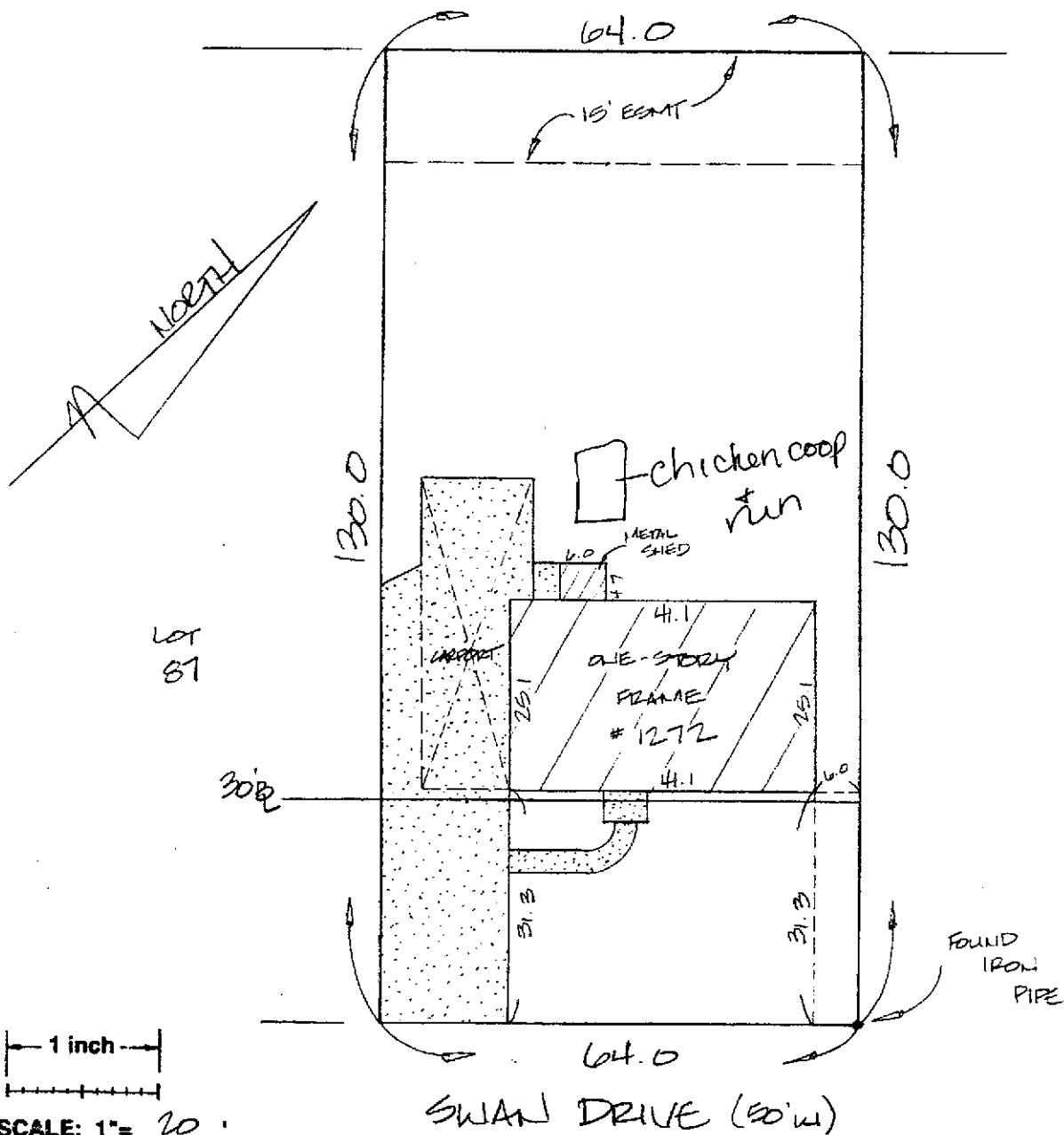
- Overall Size: 71.2"L x 37.4"D x 49.6"H (longest / widest / tallest points)
- Nest box dimensions: 28"L x 12.6"D x 13.8" - 16.5"H

[Read less](#)

Specifications

Color:	Brown
Manufacturer Part Number:	D3-0024

LOT 86
FLAMINGO PARK PLAT - 3



SCALE: 1" = 20'
 TOLERANCE OF "LOCATION" MEASUREMENTS = ± 0.5'

CITY OF FLORISSANT – Health Department

Application for keeping domestic animals, fowl or bees

WARD 1

Applicant Name: Carol Smith Address: 1270 Swan Dr.

Home Phone: 314-837-9985 Cell Phone: _____

Designate number & type of animal(s) to be kept: 2 Ducks, don't fly

Designate where animal(s), fowl or bees will be kept: Back yard & in Country

Facilities/shelter to be provided: PreFab House, to also be anchored (like car sheds)

Size of applicant's property: 130 x 64

Are the animals being requested on the application going to be bred or used for a home business in any way?
No

What other animals are being kept on the premises? 2 dogs, registered

Has the applicant spoken with adjoining property owners concerning this application? ☒ YES ☐ NO

The following documentation is required and has been attached to this application:

☒ Plot plan/drawings showing property and location of animal housing, pen or cage ...

☐ Veterinarian statement of Health risks and vaccination requirements ...

I HAVE READ, UNDERSTAND AND DO HEREBY AGREE TO ABIDE BY THE ORDINANCES PRINTED ON THE REVERSE SIDE OF THIS FORM PERTAINING TO THIS PERMIT APPLICATION; FURTHER I ATTEST THAT ALL INFORMATION PROVIDED HERE IS TRUE.

Applicant Signature: Carol J. Smith Date: 3/29/16

Health Department Action & Recommendation:

Approved

4/18/16
cc to Council
Hester
mayor

Health Superintendent: Fred Scheljo Date: 4-13-16

Director of Public Works: Ron Jacobs Date: 4-14-16



CITY OF FLORISSANT HEALTH DEPARTMENT

Animal Permit Application – Neighbor Approval Form

Florissant City Code 205.360 requires any property owner proposing to keep domestic animals, fowl or bees other than the usual children's pets to obtain a permit. As part of this process, applicants must advise immediate neighbors of their intentions and receive approval from any adjoining property owners. If neighbor is a renter then approval must be obtained from both the renter AND property owner.

APPLICANT NAME: Carol J. Smith

SITE ADDRESS: 1270 Swan Dr.

TYPE OF ANIMAL BEING APPLIED FOR: Duck

I/we, being the abutting property owner(s), have no objections to the above named property owner keeping the animal(s) described above in accordance with Florissant City Code.

Abutting Property Owner Name & Signature	Address	Phone	Date
<u>Patty Weir</u> <u>Patty Weir</u>	<u>1260 Swan</u> <u>1215 Swan</u>	<u>314-831-0998</u>	<u>3-31-16</u>
<u>Laurie Green</u> <u>Laurie Green</u>	<u>1320 Swan</u>	<u>(314)</u> <u>395-4521</u>	<u>4/8/16</u>
<u>Keith Davis</u> (owner) <u>OK - per phone call by DM-055</u>	<u>1275 Mullard</u>	<u>314-780-8665</u> <u>314-348-2524</u>	<u>4/13/16</u>
<u>Fred Schaefer</u>			

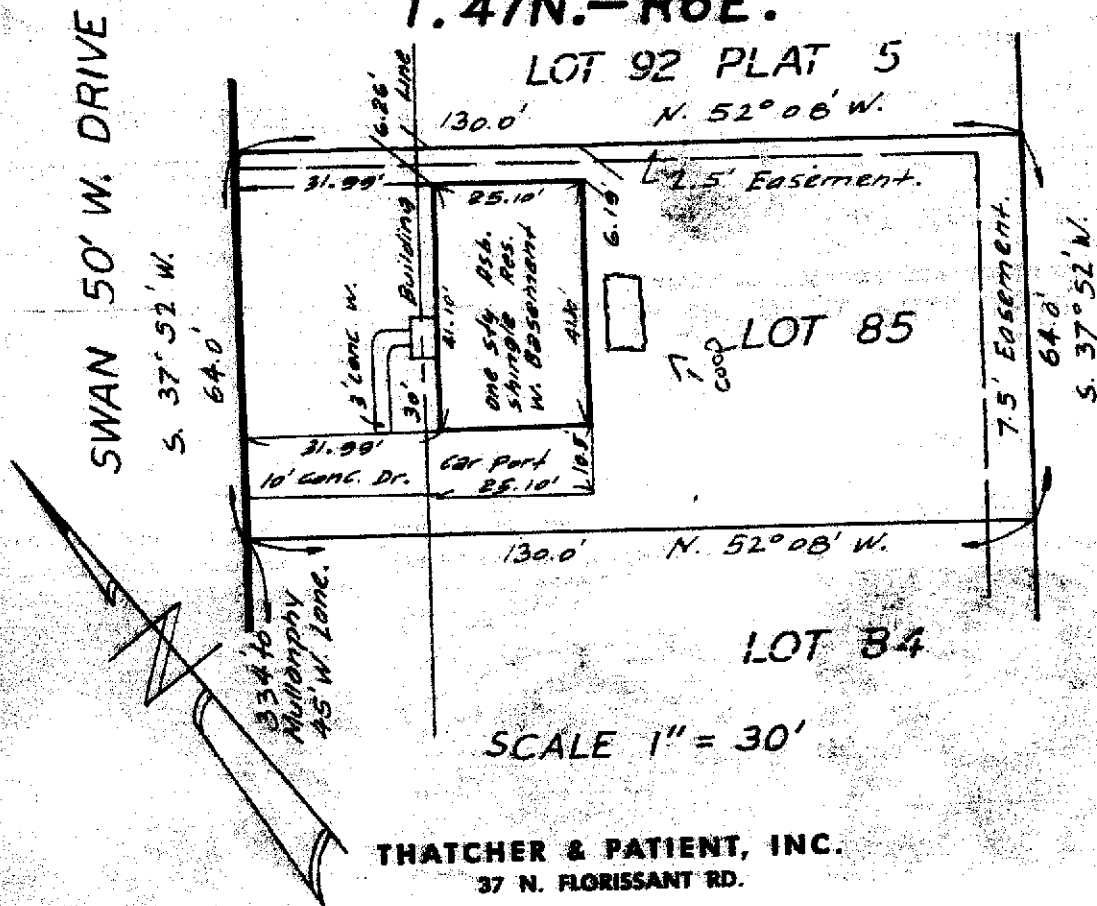
Anyone with questions or concerns may call the Florissant Health Department at 314-839-7655 Monday - Friday

FLAMINGO PARK
TIPHERO
PLAT 3.
Terms of Use | Privacy © 2008-2016 Tlopedia LLC. | All Rights Reserved

[Terms of Use](#) | [Privacy](#) © 2008-2016 Tipedia LLC. | All Rights Reserved.

LOT 92 PLAT 5

N. 52° 08' W.



THATCHER & PATIENT, INC.
37 N. FLORISSANT RD.



- 1 x set of wood house with living house & run

Feature:

This house is constructed by high quality solid Fir wood. The green Asphalt roof provides a rain and sun heat protection. All joints are mortise and tenon. Come model come with a zinc pull out tray for easy cleaning. The Spray wire is solid and Non-toxic in case your animals like to chew. When your pet feels tired, it can climb up the ramp and take a rest in its own bedroom. The doors both come with the lock. It is a perfect house for your pet. The base of this penthouse is a zinc galvanized slide out tray which saves your time in cleaning up their bedroom. Quickly assemble and easy to follow illustrations. The package is all accessories including. This is the perfect house for your Chicken, Hen, Rabbit, Guinea Pig or Ferret. Bid fast and give them a safe and comfortable home today

Dimensions:

- Overall Size : 72.4"(L) x 39.7"(W) x 32.3"(H)
- Suitable for for 3 to 5 rabbits or chickens or other small animals

Main Features:

- High quality kiln-dried Fir Wood Construction
- Spacious, comfortable and safe for small animals
- Green Asphalt roof for rain and sun heating Protection
- The Timber is Cedar Coloured and Water Proof Treatment Applied
- ALL NON TOXIC
- 3 living areas, include sleeping area, nesting area and integrated ground enclosure
- Nest box has slanted, hinged lid for easy access
- Fully enclosed sleeping area, which make your pet feel warm, relax and safety
- Built-in and non-slip ramp connected between floors
- Power Coated Wire
- Galvanized wire for protect the chicken from the danger of mouse, snake, etc.
- Zinc Tray for easy cleaning
- Contoured edges
- Pre-Drilled holes for quick easy assembly . Installation instruction will be provided and graphic assembly guide.

You DON'T need to be professional to build it!

1 INTRODUCED BY COUNCILMAN HENKE
2 APRIL 26, 2016

3
4 BILL NO. 9181

ORDINANCE NO.

5
6 **ORDINANCE TO REZONE FOR TAUC PROPERTIES, LLC, THE**
7 **PROPERTY LOCATED AT 1090 N. HIGHWAY 67 FROM R-4 SINGLE**
8 **FAMILY DISTRICT TO B-5 PLANNED COMMERCIAL DISTRICT TO**
9 **ALLOW FOR AN URGENT CARE FACILITY.**
10

11 WHEREAS, Ordinance No. 1625, as amended, establishes within the City of Florissant
12 district classifications for the purpose of regulating their construction and use of land, buildings
13 and property within the said various districts, and said Ordinance provides the nature, kind and
14 character of buildings that may be erected in each of the said districts and the use to which the
15 land and buildings may be put; and

16 WHEREAS, the Planning and Zoning Commission of the City of Florissant has
17 recommended to the City Council at their meeting of April 18th, 2016 that Ordinance No. 1625
18 be amended to change the classification of the property at 1090 N. Hwy 67 from R-4 Single
19 Family District to B-5 Planned Commercial District ; and

20 WHEREAS, due and lawful notice of a public hearing no. 16-04-012 on said proposed
21 zoning change was duly published, opened on April 11th, 2016, postponed to and concluded on
22 Tuesday, April 26th at 7:30 P.M. by the Council of the City of Florissant; and

23 WHEREAS, the Council, following said public hearing, and after due and careful
24 deliberation, has concluded that the amendment of Ordinance No. 1625, as amended, as
25 hereinafter set forth, to be in the best interest of the public health, safety and welfare of the City
26 of Florissant; and

27 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
28 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
29

30 Section 1: Ordinance No. 1625, as amended, is hereby further amended by changing the
31 classification of the following described property from R-4 Single Family District to B-5
32 Planned Commercial District:
33
34
35

Section 2: The property located 1090 N. Highway 67 is hereby rezoned from R-4 Single Family District to 'B-5' Zoning District to allow for a new Urgent Care facility according to the proposal prepared by the petitioner as described by related documents presented and according to the attached drawings: C01 dated 4/4/16, E100 and L-1 dated 2/12/16, an ALTA Survey dated 1/7/2016, Color Elevations and Rendering by FSA Architects, Signage drawings by Excel Signs & Designs dated 3/23/16. Approval is subject to the regulations of these ordinances, with permitted uses allowed being an Urgent Care Facility, those within the B-3 Extensive Business District without a Special Permit, and the following additional requirements:

1. PERMITTED USES

The uses permitted for this property shall be limited to an Urgent Care Facility and those uses within the B-3 "Extensive Business District" without a Special Permit. Other uses than those permitted shall require approval by amendment to this Ordinance.

2. FLOOR AREA, HEIGHT AND BUILDING REQUIREMENTS

The building space shall be limited to a single story 5000 s.f. Facility.

3. PERFORMANCE STANDARDS

In addition to all other requirements, uses within the "B-3" Extensive Business District shall conform to the most restrictive performance standards as follows:

1. Vibration. Every use shall be so operated that the maximum ground vibration generated is not perceptible without instruments at any point on the lot line of the lot on which the use is located.
2. Odor. Every use shall be so operated that no offensive or objectionable odor is perceptible at any point on the lot line on which the use is located.
3. Smoke. Every use shall be so operated that no smoke from any source shall be emitted of a greater density than the density described as No. 1 on the Ringelmann Chart as published by the United States Bureau of Mines.
4. Toxic gases. Every use shall be so operated that there is no emission of toxic, noxious or corrosive fumes or gases.
5. Emission of dirt, dust, fly ash and other forms of particulate matter. Emission of dirt, dust, fly ash and other forms of particulate matter shall not exceed eighty-five one-hundredths (0.85) pounds per one thousand (1,000) pounds of gases of which amount not to exceed five-tenths (0.5) pound per one thousand (1,000) pounds of gases shall be of such size as to be retained on a 325-mesh U.S. standard sieve. In the case of emission of fly ash or dust from a stationary furnace or a combustion device, these standards shall apply to a condition of fifty percent (50%) excess air in the

stack at full load, which standards shall be varied in proportion to the deviation of the percentage of excess air from fifty percent (50%).

6. Radiation. Every use shall be so operated that there is no dangerous amount of radioactive emissions.

7. Glare and heat. Any operation producing intense glare or heat shall be performed in an enclosure in such a manner as to be imperceptible along any lot line.

8. Screening.

a. All mechanical equipment, air-handling units, cooling towers, condensers, etc., on roof or grade shall be screened architecturally in such a manner as to be a part of the design of the building.

b. Incinerators and stacks shall be enclosed in the same material as the main exterior building material.

4. TRASH ENCLOSURES

Trash container shall be screened from view from any r.o.w. or residential property.

5. PLAN SUBMITTAL REQUIREMENTS

Final Development Plan shall include improvements as shown on drawing attached and shall include the entire property, trash enclosures, landscape, lighting, legal description and building setbacks.

6. SITE DEVELOPMENT PLAN CRITERIA:

a. Height, Area And Bulk Restrictions:

1. Height, Area and Bulk Regulations. The height, area and bulk regulations for uses in the "B-5" Planned Commercial District shall be those as set forth on drawing C01 attached dated 3/1/16 and are as follows:

- a. North: a minimum of 15.62 feet and gradually increasing with the face of the proposed building toward the intersection as shown.
- b. East: 11.24 feet.
- c. West: 35 feet.
- d. South: 35 feet.

b. Internal Drives:

(1) There shall be parking as shown on the Final Development Plan indicating existing parking.

c. Minimum Parking/Loading Space Requirements.

(1) There shall be a minimum of **42** required parking spaces provided on the property as shown on drawing C01 dated 3/1/16.

- (2) A parking demand study showing satisfactory justification for exceeding 110% of parking required shall be reviewed and accepted by City Council.

d. Road Improvements, Access and Sidewalks

- (1) There shall be a modification of the sidewalk area to include landscape: burning bush plantings, trees, walks, tree wells and lighting per the Lindbergh Improvement Plan, provided on the highway frontage of the property.

e. Lighting Requirements.

Lighting of the property shall comply with the following standards and requirements:

- (1) The light level for parking lot lighting shall be as depicted on sheet E100, dated 2/12/16, attached.

- (3) All site lighting and exterior building lighting shall be directed down and inward.

f. Sign Requirements.

- (1) Signage shall comply with the City of Florissant sign ordinance for commercial districts except as shown on approved drawings.
(2) One existing Ground Sign shown on C01, 8 feet from eastern curb cut and 2 feet off of the right-of-way line.
(3) Window signs not to exceed 40 sf as shown on elevations and shall have an additional picture (photo).

g. Landscaping and Fencing.

- (1) Shall be as shown on drawing L-1 dated 2/12/16 attached. Any modifications to the landscaping plan shall be reviewed and approved by the Planning and Zoning Commission.
(2) Additional landscaping, decorative lights and tree wells meeting the Lindbergh Improvement Plan shall be added to the Landscape Plan as approved by the Building Commissioner.

h. Storm Water.

Storm Water and drainage facilities shall comply with the following standards and requirements:

- (1) The Director of Public Works shall review the storm water plans to assure that storm water flow will have no adverse effect the neighboring properties.
(2) No building permits shall be issued until the storm water plan has been approved by the St. Louis Metropolitan Sewer District.

i. Miscellaneous Design Criteria.

- (1) All applicable parking, circulation, sidewalks, and all other site design features shall comply with the Florissant City Code.
- (2) All dumpsters and grease containers shall be contained within a trash enclosure with gates compatible with existing building.
- (3) All storm water and drainage facilities shall be constructed, and all landscaping shall be installed, prior to occupancy of the building, unless remitted by the Director of Public Works due to weather related factors.
- (4) All mechanical equipment, electrical equipment, and communication equipment shall be screened in accordance with the Florissant Zoning Code.
- (5) The exterior design of the buildings shall be constructed in accordance with the renderings as approved by the Florissant Planning and Zoning Commission and attached hereto.
- (6) All other requirements of the Florissant Municipal Code and other ordinances of the city shall be complied with unless otherwise allowed by this ordinance.

7. GENERAL DEVELOPMENT CONDITIONS.

- a. Unless, and except to the extent, otherwise specifically provided herein, development shall be effected only in accordance with all ordinances of the City of Florissant.
- b. The Department of Public Works shall enforce the conditions of this ordinance in accordance with the Site Development Plan approved and all other ordinances of the City of Florissant.

8. PROJECT COMPLETION.

Construction shall start within 90 days of the issuance of building permits for the project and shall be developed in accordance of the approved final development plan within 12 months of start of construction.

Section 3: The application and preliminary plans are returned to the Building Commissioner for consideration of a Final Site Development Plan, pursuant to Title IV of the Florissant Zoning Ordinance.

Section 4: Failure to develop the said Planned Commercial District in accordance with the above-described procedures and restrictions shall be cause for revision of the zoning of said property back to the previous zoning classification, in accordance with Title IV of the Florissant Zoning Ordinance.

Section 5: This ordinance shall become in full force and effect immediately upon its passage and approval.

Adopted this ____ day of _____, 2016.

Jackie Pagano
President of the Council
City of Florissant

Approved this ____ day of _____, 2016.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk

1 INTRODUCED BY COUNCILMAN CAPUTA
2 APRIL 26TH, 2016
3
4

5 BILL NO. 9182

ORDINANCE NO.

6
7 **ORDINANCE TO AUTHORIZE A SPECIAL USE PERMIT TO**
8 **METROPOLITAN EVENTS, LLC TO ALLOW FOR AN**
9 **EVENT/BANQUET CENTER FOR THE PROPERTY LOCATED AT**
10 **11 PATTERSON PLAZA SHOPPING CENTER.**
11

12 WHEREAS, the Florissant Zoning Ordinance authorizes the City Council of the City of
13 Florissant, by Special Use Permit, after public hearing thereon, to permit the location and
14 operation of an event/ banquet center; and

15 WHEREAS, an application has been filed by Sonja Dulick d/b/a Metropolitan Events,
16 LLC to allow for the location and operation of an event/banquet center on the property known
17 as 11 Patterson Plaza Shopping Center; and

18 WHEREAS, the Planning and Zoning Commission of the City of Florissant, at their
19 meeting of April 18th, 2016, has recommended that the said Special Use Permit be granted; and

20 WHEREAS, due notice of public hearing no. 16-04-013 on said application to be held on
21 the 26th of April, 2016 at 7:30 P.M. by the Council of the City of Florissant was duly published,
22 held and concluded; and

23 WHEREAS, the Council, following said public hearing, and after due and careful
24 consideration, has concluded that the granting of the Special Use Permit as hereinafter provided
25 would be in the best interest of the City of Florissant.

26 NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF
27 FLORISSANT, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:
28

29 Section 1: A Special Use Permit is hereby granted to Sonja Dulick d/b/a Metropolitan
30 Events, LLC for the location and operation of an event/banquet center on the property known as
31 11 Patterson Plaza Shopping Center with the following stipulations:

- 32 1. Hours of operation to be 7 days a week from 7:00 am until 1:00 am
33 2. No liquor will be served unless catered by a licensed catering with a
34 valid liquor license.
35 3. Any trash container over 90 cubic feet shall be screened and screen
36 shall be constructed compatible with the construction of the building

as approved by the Building Commissioner. The enclosure should have gates that are solid metal, reinforced solid vinyl or metal picket type fence with pickets spaced for screening.

PROJECT COMPLETION.

Construction shall start within 60 days of the issuance of building permits, and the structure shall be completed in accordance with the plans within 180 days of start of construction.

Section 2: The said Special Use Permit herein authorized shall remain in full force and effect and subject to all of the ordinances of the City of Florissant.

Section 3: When the named permittee discontinues the operation of said business, the Special Use Permit herein granted shall no longer be in force and effect.

Section 4: This ordinance shall become in force and effect immediately upon its passage and approval.

Adopted this _____ day of _____, 2016.

Jackie Pagano
President of the Council
City of Florissant

Approved this _____ day of _____, 2016.

Thomas P. Schneider
Mayor, City of Florissant

ATTEST:

Karen Goodwin, MMC/MRCC
City Clerk